

AGENDA



HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, APRIL 24, 2012 – 9 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

www.mississauga.ca

Members

Councillor George Carlson, Ward 11 (CHAIR)

Councillor Jim Tovey, Ward 1 (VICE-CHAIR)

David Dodaro, Citizen Member

Mohammad N. Haque, Citizen Member

James Holmes, Citizen Member

Rick Mateljan, Citizen Member

Cameron McCuaig, Citizen Member

Deanna Natalizio, Citizen Member

Michael Spaziani, Citizen Member

Michelle Walmsley, Citizen Member

Matthew N. Wilkinson, Citizen Member

CONTACT PERSON: Julie Lavertu, Legislative Coordinator

Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181

Julie.Lavertu@mississauga.ca

CALL TO ORDER

DECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTEREST

PRESENTATIONS/DEPUTATIONS

MATTERS TO BE CONSIDERED

1. Approval of Minutes of Previous Meeting

Minutes of the meeting held March 20, 2012.

RECOMMEND APPROVAL

2. Proposed Heritage Designation, Harold Shipp House, 500 Comanche Road, Ward 2

Corporate Report dated April 11, 2012 from the Commissioner of Community Services with respect to the proposed heritage designation, Harold Shipp House, located at 500 Comanche Road.

** Appendices 1-5 have been distributed to Members of Council and Committee members. To obtain these Appendices, please contact the Office of the City Clerk.*

RECOMMENDATION

That the Harold Shipp House, 500 Comanche Road, be designated under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

RECOMMEND APPROVAL

3. Request to Demolish a Heritage Listed Property, 216 Donnelly Drive, Ward 1

Corporate Report dated March 27, 2012 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 216 Donnelly Drive.

** Appendix 1 has been distributed to Members of Council and Committee members. To obtain this Appendix, please contact the Office of the City Clerk.*

RECOMMENDATION

That the property at 216 Donnelly Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

RECOMMEND APPROVAL4. Request to Demolish a Heritage Listed Property, 92 Pinetree Way, Ward 1

Corporate Report dated April 3, 2012 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 92 Pinetree Way.

** Appendices 1 and 2 have been distributed to Members of Council and Committee members. To obtain these Appendices, please contact the Office of the City Clerk.*

RECOMMENDATION

That the property at 92 Pinetree Way, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

RECOMMEND APPROVAL5. Request to Demolish a Heritage Listed Property, 1527 Douglas Drive, Ward 1

Corporate Report dated March 27, 2012 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 1527 Douglas Drive.

** Appendix 1 has been distributed to Members of Council and Committee members. To obtain this Appendix, please contact the Office of the City Clerk.*

RECOMMENDATION

That the property at 1527 Douglas Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

RECOMMEND APPROVAL6. Heritage Impact Statement, 162 Indian Valley Trail, Ward 1

Memorandum dated March 27, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to the Heritage Impact Statement for 162 Indian Valley Trail.

** Appendix 1 has been distributed to Members of Council and Committee members. To obtain this Appendix, please contact the Office of the City Clerk.*

RECOMMEND RECEIPT

7. Heritage Impact Statement, 1538 Douglas Drive, Ward 1

Memorandum dated April 3, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to the Heritage Impact Statement for 1538 Douglas Drive.

** Appendix 1 has been distributed to Members of Council and Committee members. To obtain this Appendix, please contact the Office of the City Clerk.*

RECOMMEND RECEIPT

8. Ontario Heritage Conference 2012

Correspondence with respect to the Ontario Heritage Conference 2012 on May 31-June 3, 2012 in Kingston, Ontario.

*** 2 Heritage Advisory Committee Citizen Members have usually attended this event. To obtain more information about this event, please visit <http://heritage2012.com>.**

DIRECTION REQUIRED

9. Status of Outstanding Issues from the Heritage Advisory Committee

Chart dated April 24, 2012 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

RECOMMEND RECEIPT

SUBCOMMITTEE UPDATES FROM CHAIRS

10. Designated Heritage Property Grant Subcommittee

11. Heritage Designation Subcommittee

12. Heritage Tree Subcommittee

13. Meadowvale Village Heritage Conservation District Review Committee

13.1 Letter dated April 12, 2012 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, with respect to Meadowvale Village Heritage Conservation District Review Committee membership.

RECOMMEND APPROVAL

14. Public Awareness Subcommittee

INFORMATION ITEMS

15. Submission to Dufferin-Peel Catholic District School Board – St. Mary’s (Old) Cemetery, 44 Port Street West, Ward 1

Email message dated March 16, 2012 from Michael Harrison, Toronto resident, with respect to a submission to the Dufferin-Peel Catholic District School Board – St. Mary’s (Old) Cemetery located at 44 Port Street West.

RECOMMEND RECEIPT

DATE OF NEXT MEETING – Tuesday, May 22, 2012 at 9 a.m., Council Chamber

OTHER BUSINESS

ADJOURNMENT

IT IS RECOMMENDED THAT HERITAGE ADVISORY COMMITTEE MEMBERS VISIT THE PROPERTIES LISTED ON THE AGENDA PRIOR TO THE MEETING.

APR 24 2012



MINUTES

HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, MARCH 20, 2012 – 9 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

www.mississauga.ca

MEMBERS PRESENT:

Councillor George Carlson, Ward 11 (CHAIR)
 Councillor Jim Tovey, Ward 1 (VICE-CHAIR)
 David Dodaro, Citizen Member
 Mohammad N. Haque, Citizen Member
 Rick Mateljan, Citizen Member (arrival at 9:31 a.m.)
 Cameron McCuaig, Citizen Member
 Deanna Natalizio, Citizen Member
 Michael Spaziani, Citizen Member
 Michelle Walmsley, Citizen Member
 Matthew N. Wilkinson, Citizen Member (arrival at 9:10 a.m.)

MEMBERS ABSENT:

James Holmes, Citizen Member

STAFF PRESENT:

Susan Burt, Director, Culture Division
 Jane Darragh, Planner, Park Planning Section
 Elaine Eigl, Heritage Coordinator
 Mike Maloney, Supervisor, Tree Preservation and Protection,
 Urban Forestry
 Paula Wubbenhorst, Acting Senior Heritage Coordinator

CONTACT PERSON: Julie Lavertu, Legislative Coordinator

Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181

Julie.Lavertu@mississauga.ca

CALL TO ORDER – 9:03 a.m.

DECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTEREST

The Chair declared a direct (or indirect) pecuniary interest with respect to Item 3 and indicated that the Vice-Chair would chair the meeting during discussion of this item.

PRESENTATIONS/DEPUTATIONS

- A. Jane Darragh, Planner, Park Planning Section, and Mike Maloney, Supervisor, Tree Preservation and Protection, Urban Forestry, with respect to the proposed amendments to Tree Permit By-Law 475-05.

Ms. Darragh and Mr. Maloney presented a PowerPoint presentation entitled “Proposed Amendments to Tree Permit Bylaw 475-05” and discussed the benefits of trees, the City’s urban forest, the policy and regulatory contexts, tree policies in other municipalities, and differences between the existing Tree Permit By-Law 475-05 and the proposed Private Tree Protection By-Law. Mr. Maloney distributed two disks of trees to the Committee and indicated that public information sessions would be held in April and May 2012.

Mr. Wilkinson arrived at 9:10 a.m.

Committee members discussed the advertising of the public information sessions, the City’s canopy cover objective, the possibility of advising residents about the public information sessions via the City’s online alert system, heritage trees, the Heritage Tree Subcommittee, tree replacement fees and refunds and the possibility of extending the fee holding period, and the structural value of the City’s trees.

In response to the Committee’s questions, Ms. Darragh and Mr. Maloney shared the information below:

- The public information sessions will be advertised in newsletters, newspapers, and online. Staff will work with MIRANET and Communications staff to inform residents about these sessions and provide them with adequate notice;
- The City does not currently have a canopy cover objective. Community Services and Planning and Building staff are undertaking a natural heritage strategy and an urban forest canopy may eventually become part of this strategy;
- Staff worked with the previous Heritage Tree Subcommittee to develop a Tree Recognition Program for heritage trees and trees of significance on private and public property which was presented to the Committee in September 2011;
- Staff is willing to meet with the Heritage Tree Subcommittee, but they are now focused on amending the private tree by-law and compiling a list of public trees;
- Before tree replacement fees are refunded, trees need to be established for at least three to four months. Urban Forestry and Planning and Building staff are currently

- developing appropriate timelines for refunding tree replacement fees; and
- The structural value of the City's 2.1 million trees is \$1.4 billion.

Edward J.F. Bavington, Ward 1 resident, expressed concern about the impact of the Region of Peel's trees on the sewer system and adjacent properties.

Mr. Maloney responded to Mr. Bavington's remarks and discussed the responsibilities of the City and Region when their tree roots damage properties via the sewer system.

Recommendation

HAC-0022-2012

That the PowerPoint presentation, dated March 20, 2012 and entitled "Proposed Amendments to Tree Permit Bylaw 475-05," by Jane Darragh, Planner, Park Planning Section, and Mike Maloney, Supervisor, Tree Preservation and Protection, Urban Forestry, to the Heritage Advisory Committee on March 20, 2012 be received.

Approved (J. Tovey)

MATTERS CONSIDERED

1. Approval of Minutes of Previous Meeting

Minutes of the meeting held March 2, 2012.

Approved (M. Wilkinson)

2. Proposed Heritage Designation, Briggs House, 913 Sangster Avenue, Ward 2

Corporate Report dated March 6, 2012 from the Commissioner of Community Services with respect to the proposed heritage designation, the Briggs House, located at 913 Sangster Avenue.

The Chair said that the property owners were not in attendance, but are enthusiastically in support of the heritage designation. The Vice-Chair expressed support for the designation.

Recommendation

HAC-0023-2012

That the Briggs House, 913 Sangster Avenue, be designated under the *Ontario Heritage Act* for its design/physical, historical/associative, and contextual value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

Approved (M. Spaziani)

3. Request to Alter a Heritage Designated Property, Brookbank-Carlson Property, 54 William Street, Ward 11

Corporate Report dated February 28, 2012 from the Commissioner of Community Services with respect to a request to alter a heritage designated property, the Brookbank-Carlson property, located at 54 William Street.

During this item, the Chair left the Council Chamber and the Vice-Chair chaired.

Mr. Mateljan arrived at 9:31 a.m.

Recommendation

HAC-0024-2012

That the request to alter the Brookbank-Carlson property, 54 William Street, as described in the report from the Commissioner of Community Services, dated February 28, 2012, be approved.

Approved (M. Spaziani)

4. Ontario Heritage Conference 2012

Correspondence with respect to the Ontario Heritage Conference 2012 on May 31-June 3, 2012 in Kingston, Ontario.

Mr. Wilkinson and the Vice-Chair discussed previous Ontario Heritage Conferences that they attended and encouraged Committee members to attend the 2012 conference. Ms. Lavertu said that the Committee's budget would cover the various conference-related costs, that the Committee needed to pass a recommendation if Committee members wished to attend, and that she would place this item on the Committee's April agenda.

Recommendation

HAC-0025-2012

That the correspondence with respect to the Ontario Heritage Conference 2012 on May 31-June 3, 2012 in Kingston, Ontario be received.

Received (J. Tovey)

5. Queen Elizabeth Way Credit River Bridge, Notice of Public Information Centre #3, Preliminary Design and Class Environmental Assessment Study

Correspondence dated March 7, 2012 from Michael Chiu, Consultant Project Manager, McCormick Rankin, with respect to Queen Elizabeth Way (QEW) Credit River Bridge, Notice of Public Information Centre #3, Preliminary Design and Class Environmental Assessment Study.

The Vice-Chair discussed a meeting with Ministry of Transportation staff and the study's timelines and community notices as well as the overall scope of the project.

Committee members discussed the proposed cycling extension, the cost of the project, whether the project team needs to obtain a heritage permit and complete a Heritage Impact Statement (HIS) because the QEW Credit River bridge is on the Heritage Register, the project's impact on nearby heritage listed properties, the lack of a heritage specialist on the project team, whether the bridge's lights and arches had been considered by the Committee, and the status of the deputation by the project team to the Committee.

Ms. Wubbenhorst said that Heritage staff informed the project team that the bridge and nearby properties are listed. She did not know if this provincial project was subject to a heritage permit and HIS, but stated that she would look into this. Ms. Wubbenhorst noted that, to her knowledge, the Committee had not reviewed the bridge's lights and arches and that staff is working on the Committee's deputation request with the project team.

Recommendation

HAC-0026-2012

That the correspondence dated March 7, 2012 from Michael Chiu, Consultant Project Manager, McCormick Rankin, with respect to Queen Elizabeth Way Credit River Bridge, Notice of Public Information Centre #3, Preliminary Design and Class Environmental Assessment Study be received.

Received (C. McCuaig)

6. Waiving of Normal Tariff Fees at Land Registry Offices for Municipal Heritage Committee Members and their Assistants

Correspondence dated March 12, 2012 from Bert Duclos, Heritage Outreach Consultant, Ministry of Tourism, Culture and Sport with respect to the waiving of normal tariff fees at land registry offices for Municipal Heritage Committee members and their assistants.

Recommendation

HAC-0027-2012

That the correspondence dated March 12, 2012 from Bert Duclos, Heritage Outreach Consultant, Ministry of Tourism, Culture and Sport with respect to the waiving of normal tariff fees at land registry offices for Municipal Heritage Committee members and their assistants be received.

Received (R. Mateljan)

7. Status of Outstanding Issues from the Heritage Advisory Committee

Chart dated March 20, 2012 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

Ms. Wubbenhorst said that Legal staff has advised that the Committee should not pursue designation for the Clarkson General Store and William Clarkson House until the Court appeal is resolved and, as such, requested that this matter be removed from the chart.

Recommendation

HAC-0028-2012

That the chart dated March 20, 2012 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, identifying the status of outstanding issues from the Heritage Advisory Committee be received.

Received (M. Walmsley)

SUBCOMMITTEE UPDATES FROM CHAIRS

8. Designated Heritage Property Grant Subcommittee – No update
9. Heritage Designation Subcommittee – No update
10. Heritage Tree Subcommittee – No update
11. Meadowvale Village Heritage Conservation District Review Committee – No update
12. Public Awareness Subcommittee – No update

INFORMATION ITEMS – Nil

DATE OF NEXT MEETING – Tuesday, April 24, 2012 at 9:00 a.m., Council Chamber

OTHER BUSINESSOutdoor Rifle Range and Toronto Barracks

Mr. Bavington discussed the Outdoor Rifle Range and Toronto Barracks and a document about the latter that he would share with the Vice-Chair for the Committee's information.

Strengthening the Old Port Credit Village Heritage Conservation District Plan
Community Meeting

The Vice-Chair discussed a community meeting that he is organizing on April 5, 2012 at the Port Credit Royal Canadian Legion Branch regarding strengthening the Old Port Credit Village Heritage Conservation District Plan.

Heritage Resources Centre's "Architectural Styles" Workshop in St. Mary's, Ontario

Mr. Wilkinson discussed the Heritage Resource Centre's above-mentioned workshop that he would be attending on April 14 and 15, 2012. He explained that the Committee previously approved his registration and mileage costs in November 2011 and requested

an additional \$150 for mileage because he would be travelling to the venue on both days.

Recommendation

HAC-0029-2012

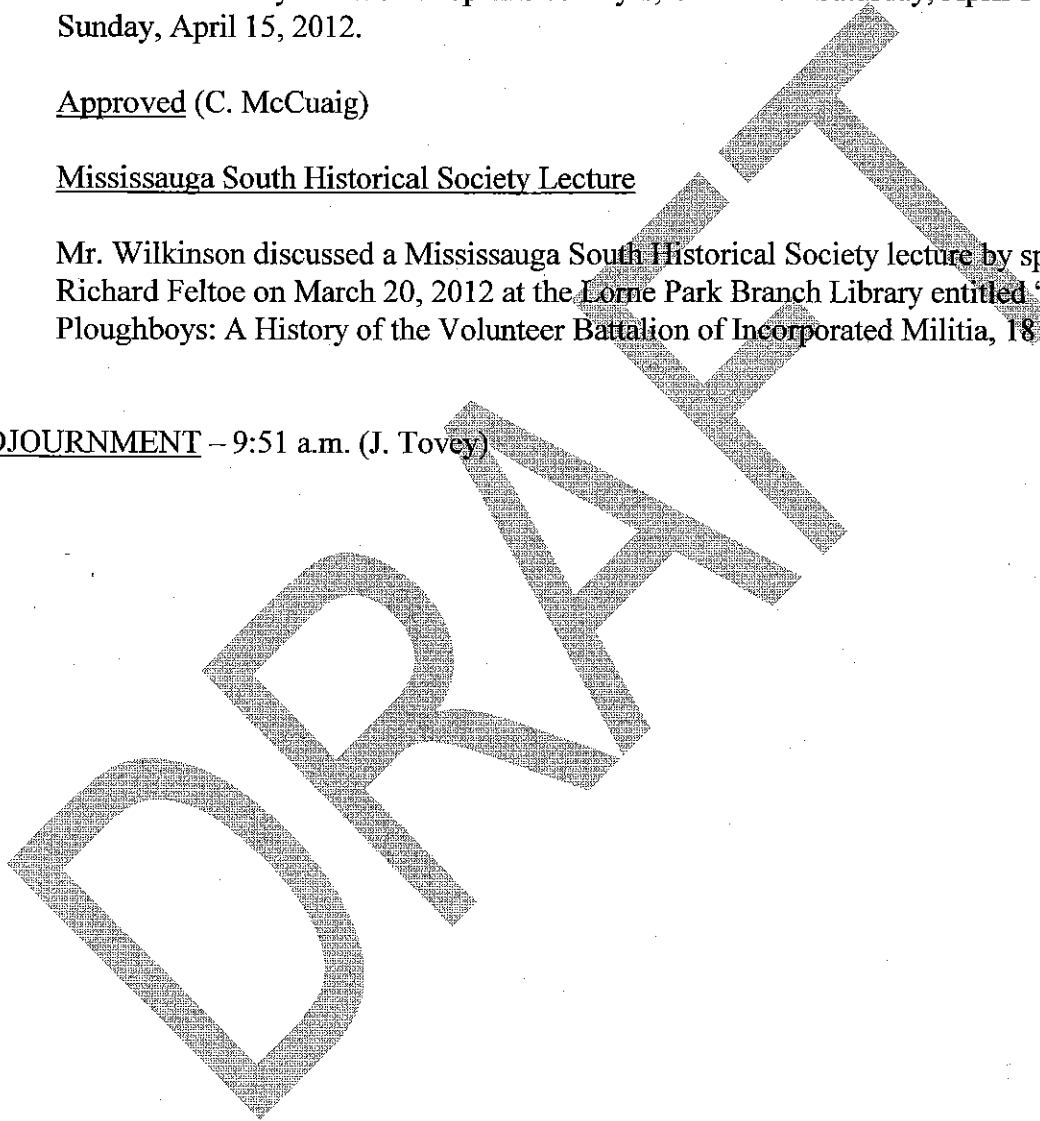
That an additional \$150 for mileage costs be approved and allocated in the Heritage Advisory Committee's 2012 budget (Account #28609) for Matthew Wilkinson, Heritage Advisory Committee Citizen Member, to attend the Heritage Resources Centre's "Architectural Styles" Workshop in St. Mary's, Ontario on Saturday, April 14, 2012 and Sunday, April 15, 2012.

Approved (C. McCuaig)

Mississauga South Historical Society Lecture

Mr. Wilkinson discussed a Mississauga South Historical Society lecture by speaker Richard Feltoe on March 20, 2012 at the Lorne Park Branch Library entitled "Red Coated Ploughboys: A History of the Volunteer Battalion of Incorporated Militia, 1813-1815."

ADJOURNMENT - 9:51 a.m. (J. Tovey)





Corporate Report

Clerk's Files

Originator's
Files

Heritage Advisory Committee

APR 24 2012

DATE: April 11, 2012

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: April 24, 2012

FROM: Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

SUBJECT: **Proposed Heritage Designation**
Harold Shipp House
500 Comanche Road
(Ward 2)

RECOMMENDATION: That the Harold Shipp House, 500 Comanche Road, be designated under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

BACKGROUND: The conservation of heritage property is legislated by the province and implemented by the municipality. The federal government sets the tone with Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (adopted by the City in 2009). This document states that "there is no typical historic building." "Often the heritage value of a building [...] illustrates a specific phase, or various phases, in the development of a particular building type, style or aesthetic. Some buildings are historic places because of their association with a particular person, event, theme or achievement."

The Provincial Policy Statement deems that "significant built heritage resources shall be conserved." It is up to the municipality, with the enabling legislation of the *Ontario Heritage Act* (OHA), to determine

enabling legislation of the *Ontario Heritage Act* (OHA), to determine what is significant. In consultation with the Heritage Advisory Committee, City Council can conserve properties it deems significant through designation under the OHA. A property may be designated under the OHA if it meets one or more of nine criteria divided evenly under the three headings of physical/design, historical/associative and contextual value. (The criteria are attached as Appendix 1.) Age is not a factor.

In February the City received a heritage permit application to demolish the house at 500 Comanche Road. This property is located in Ward 2 on the west bank of the Credit River, south of the Queen Elizabeth Way and east of Mississauga Road. (A location map is attached as Appendix 2.)

Renowned Mississauga builder, developer and long-time philanthropist Harold Shipp owns the property. Mr. Shipp commissioned one of his engineers to design the subject house in 1966. It was built the same year. The Shipp family resided there from 1967 to 2009.

This property is located within the Credit River Corridor Cultural Landscape. In 2005, in consultation with the Heritage Advisory Committee, Council approved the addition of approximately 60 cultural landscapes and features, containing approximately 3000 properties, to its heritage register, then known as the heritage inventory. Should a property owner wish to demolish one of these properties, they must give Council at least 60 days notice of their intention. This allows time for Council to decide whether to begin the designation process to give long term protection to the property.

COMMENTS:

A Heritage Impact Statement is required as part of the request to demolish. The subject report, by David W. Small, is attached as Appendix 3. A letter from Harold Shipp forms part of this application; it is attached as Appendix 4.

Small acknowledges the property has a "connection to a known builder." However, he states that "that alone does not provide sufficient significance for the house to be designated." Staff do not

concur with this statement. It is staff's contention that this property meets a number of the OHA criteria. A full assessment of the property's heritage value is attached as Appendix 5, with the key points summarized below.

Historical/Associative Value

This property meets the following criteria under this category:

- Has direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community; and
- Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Shipp is significant to the Mississauga community. According to Roger E. Riendeau's history of Mississauga – the first comprehensive history of the city, published in 1985 – “Shipp Corporation is one of the few businesses that can truly make the claim that it built Mississauga.” Although father Gordon Shipp founded the company, it was Harold who brought it to Toronto Township, now Mississauga. He also led the firm during this area's most intensive growth; he served as President from 1966 to 1996.

His trademark “Shipp-built” brick graces numerous houses, including the subject one. Shipp was elected President of both the Toronto and Canadian Home Builders' Associations. He has received numerous accolades including both the Queen's Silver Jubilee and Canada 125 medals. Recently, the City granted him its inaugural Civic Award of Philanthropy. He has given back to the community extensively, most notably in the form of the Harold G. and June C. Shipp Stroke Centre at Trillium's Mississauga campus.

In addition to having direct associations with a significant person and demonstrating the work of a significant builder, the property also has historical/associative value as it yields information that contributes to an understanding of mid twentieth century affluence and the area's agricultural history. Designed with entertaining in mind, the house has every amenity one could desire, including access to the Credit River, seventy-five feet below. This route was carved out by a farmer so that he could bring water to his apple orchards.

Physical/Design Value

With its blend of traditional proportions and a sixties aesthetic, the house has physical/design value because it represents the ideal 1960s home. The typical domestic form of the time was the ranch bungalow with a rambling format and ground-hugging proportions. The Shipp House takes cues from this house type with its horizontal emphasis, built-in garage and large picture window at the rear, which takes advantage of the view. The result was a sprawling residence which epitomizes the mid-twentieth century "Canadian dream" that attracted people to Mississauga. Throughout the forty years the Shipp's resided at this location, no alterations were made, suggesting that the design was so well executed that Shipp did not see the need to alter its appearance or function.

Contextual Value

The residence is physically, functionally and visually linked to its surroundings. Shipp chose the ideal location for the house in which he would raise his family. As alluded to previously, unlike other properties along the Credit River, this is one of the few lots with access from the top of bank to the valley lands below, enhancing its ties to the river. Further, the house, with its large back windows, is designed to take advantage of its siting along our city's core waterway, the Credit River Corridor, which has been identified as a significant cultural landscape.

The house is located off of Mississauga Road, and not far from the Queen Elizabeth Way. Its proximity to the highway, in a car dependent culture, that led Shipp to envision his first development in this municipality.

Staff believe the property at 500 Comanche Road is significant and meets multiple criteria outlined under the OHA. As a result, staff recommend that the property be designated under the *Ontario Heritage Act* and the request to demolish be refused.


FINANCIAL IMPACT: There is no financial impact.

CONCLUSION:

The Shipp House merits designation under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value. As such, the property should be designated and the heritage permit, requesting demolition, refused.

ATTACHMENTS:

- Appendix 1: Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest, OHA
- Appendix 2: Location Map
- Appendix 3: Heritage Impact Statement
- Appendix 4: Letter from Harold Shipp
- Appendix 5: Cultural Heritage Assessment



Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator

APR 24 2012



Corporate Report

Clerk's Files

Originator's
Files

DATE: March 27, 2012

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: April 24, 2012

FROM: Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
216 Donnelly Drive
(Ward 1)

RECOMMENDATION: That the property at 216 Donnelly Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property submitted a Site Plan application under file SPI 11/157 W1, to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Mineola West cultural landscape, noted for its original large lotting pattern, mature trees, undulating topography and overall character of early twentieth century development.

COMMENTS: The owner of the subject property requests permission to demolish the existing structure. The Heritage Impact Statement, by the Hicks Partnership, is attached as Appendix 1. It is the consultant's conclusion that the house at 216 Donnelly Drive is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues are being reviewed as part of the Site Plan review process to ensure that the project respects the character of the surrounding community.

FINANCIAL IMPACT: There is no financial impact

CONCLUSION: The owner of 216 Donnelly Drive has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report that provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

ATTACHMENTS: Appendix 1: Heritage Impact Statement



Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator



Corporate Report

Clerk's Files

Originator's
Files

Heritage Advisory Committee

APR 24 2012

DATE: April 3, 2012

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: April 24, 2012

FROM: Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
92 Pinetree Way
(Ward 1)

RECOMMENDATION: That the property at 92 Pinetree Way, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property submitted a Site Plan application under file SPI 11/88 W1, to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Mineola West cultural landscape, noted for its original large lotting pattern, mature trees, undulating topography and overall character of early twentieth century development.

COMMENTS:

The owner of the subject property requests permission to demolish the existing structure. The Heritage Impact Statement, by W.E. Oughtred Associates, is attached as Appendix 1. It is the consultant's conclusion that the house at 92 Pinetree Way is not worthy of heritage designation. Staff concurs with this opinion.

The City's current terms of reference for Heritage Impact Statements for Cultural Landscapes noted for their natural environment require an arborist report when also required as part of the Planning process. As such, an arborist report is attached as Appendix 2. The landscaping and urban design related issues are being reviewed as part of the Site Plan review process to ensure that the project respects the character of the surrounding community.

FINANCIAL IMPACT: There is no financial impact

CONCLUSION:

The owner of 92 Pinetree Way has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report that provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

ATTACHMENTS:

Appendix 1: Heritage Impact Statement

Appendix 2: Arborist Report



Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator



Corporate Report

Clerk's Files

Originator's
Files

Heritage Advisory Committee

APR 24 2012

DATE: March 27, 2012

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: April 24, 2012

FROM: Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
1527 Douglas Drive
(Ward 1)

RECOMMENDATION: That the property at 1527 Douglas Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property submitted a Site Plan application under file SPI 12/14 W1, to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Mineola West cultural landscape, noted for its original large lotting pattern, mature trees, undulating topography and overall character of early twentieth century development.

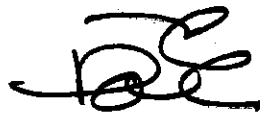
COMMENTS: The owner of the subject property requests permission to demolish the existing structure. The Heritage Impact Statement, by Strickland Mateljan Design Associates Ltd., is attached as Appendix 1. It is the consultant's conclusion that the house at 1527 Douglas Drive is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues are being reviewed as part of the Site Plan review process to ensure that the project respects the character of the surrounding community.

FINANCIAL IMPACT: There is no financial impact

CONCLUSION: The owner of 1527 Douglas Drive has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report that provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

ATTACHMENTS: Appendix 1: Heritage Impact Statement



Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator

APR 24 2012

**Memorandum**Community Services Department
Culture Division

TO: Chair and Members of the Heritage Advisory Committee

FROM: Paula Wubbenhorst, Acting Senior Heritage Coordinator

DATE: March 27, 2012

FILE: SPI 11/154 W1

SUBJECT: **Heritage Impact Statement
162 Indian Valley Trail**

The subject property is listed on the City's Heritage Register as it forms part of the Mineola West Cultural Landscape. The site plan application proposes a single family dwelling. As such, a Heritage Impact Statement was required. However, because the land was vacant, i.e. there is no request to demolish, the Heritage Impact Statement is provided for your information only.

Paula Wubbenhorst
Acting Senior Heritage Coordinator
Culture Division
905-615-3200, ext. 5385
paula.wubbenhorst@mississauga.ca

APR 24 2012

**Memorandum**Community Services Department
Culture Division

TO: Chair and Members of the Heritage Advisory Committee

FROM: Paula Wubbenhorst, Acting Senior Heritage Coordinator

DATE: April 3, 2012

FILE: SPI 11/124 W1

SUBJECT: **Heritage Impact Statement
1538 Douglas Drive**

The subject property is listed on the City's Heritage Register as it forms part of the Mineola West Cultural Landscape. The site plan application proposes a replacement single family dwelling. As such, a Heritage Impact Statement was required. However, because the house was already demolished, i.e. there is no request to demolish, the Heritage Impact Statement is provided for your information only.

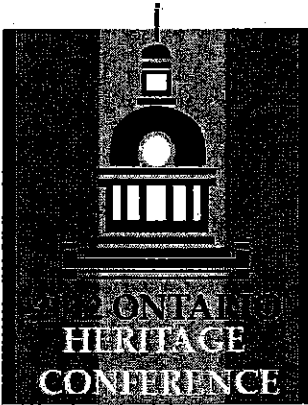
Paula Wubbenhorst
Acting Senior Heritage Coordinator
Culture Division
905-615-3200, ext. 5385
paula.wubbenhorst@mississauga.ca

Heritage Advisory Committee

MAR 20 2012

Heritage Advisory Committee

APR 24 2012



Ontario Heritage Conference 2012 in Kingston promises a satisfying get-away for enhancement of learning about heritage conservation, and entertaining side trips to historic sites.

We wanted to give you an early reminder to register at <http://heritage2012.com> for this impressive schedule of workshops, scenic tours and speakers who are accomplished in their callings.

With your full conference registration you receive two \$15. restaurant vouchers as part of your registration payment, and one of the major dinner events also is included. Registering before May 1st reduces it by 10%, \$325. to \$275.

This May 31 – June 3 conference is under the auspices of Community Heritage Ontario and the Architectural Conservancy of Ontario, and is organized by the Frontenac Heritage Foundation. The conference also is supported by the City of Kingston and many generous sponsors.

We've negotiated special accommodation rates at the new waterfront Marriott Hotel, one of the presentation venues, and within walking distance of the other venues.

Meet your friends and network with leading heritage achievers at Ontario Heritage Conference 2012. Its hub is 1841 Kingston City Hall and its elegant Memorial Hall, where Sir John A Macdonald, the first Prime Minister, observes proceedings from his 8-foot-high pose on the West Wall. The prototype of today's Ontario Heritage Act was conceived in Kingston in 1970. We look forward to welcoming you.

Yours truly,

The Committee: Floyd Patterson, Conference Chair; John Grenville; Marcus Letourneau, Kyle Gonyou, Sue Bazely, Andrew Hill, John Le Blancq,



2012 ONTARIO HERITAGE CONFERENCE

Beyond Borders: Heritage Best Practices

MAY 31- JUNE 3, 2012 KINGSTON, ONTARIO

DELEGATE DETAILS

First Name _____ Last Name _____

Title _____ Organization _____

Street Address _____

City _____ Province _____ Postal _____

Phone _____ E-mail _____

Please indicate any special dietary requirements: _____

Please visit our website for full program information: www.heritage2012.com

REGISTRATION FORM

REGISTRATION TYPE

Full Conference, Friday & Saturday, \$275
Includes: Friday Sessions, Dinner at the Marriott Hotel on Friday evening, Saturday Sessions, and two \$15 lunch vouchers

Full Conference, Friday & Saturday, Student Rate \$160
Includes: Friday Sessions, Dinner at the Marriott Hotel on Friday evening, Saturday Sessions, and two \$15 lunch vouchers
Note: Post-secondary student identification, valid up to at least December 2011 is required

Friday Only, \$225
Includes: Friday Sessions, Dinner at the Marriott Hotel on Friday evening, one \$15 lunch voucher

Saturday Only, \$225
Includes: Dinner at the Marriott Hotel on Friday evening, Saturday Sessions, one \$15 lunch voucher

Please Note: For conference registrations after April 30, 2012 pricing will increase. Full Conference \$325, single day (Friday or Saturday) \$240

THURSDAY 31 MAY

Pre-Conference Events
The following optional events are **not** included in the registration cost.

Architecture of Upper Canada Bus Tour
8:30am-4:30pm, \$75

Window Pains: Heritage Windows Workshop with Craig Sims and David White
9:00am-4:00pm, \$85

Spires, Towers, & Domes: A Walking Tour of Kingston Churches with Dr Brian Osborne
1:00pm-4:30pm, \$20

<p>FRIDAY 1 JUNE</p> <p>Morning 9:00am-12:00pm Official opening at St George's Cathedral and Dr. Hal Kalman, keynote speaker, will present.</p> <p>Afternoon Block 1: 1:30pm-3:00pm <i>please choose one</i></p> <p><input type="checkbox"/> Creating the Momentum for Change</p> <p><input type="checkbox"/> First Nations Consultation</p> <p><input type="checkbox"/> Tour of Shoal Tour (limited registration)</p> <p>Block 2: 3:30pm to 5:00pm <i>please choose one</i></p> <p><input type="checkbox"/> Cultural Heritage Landscapes</p> <p><input type="checkbox"/> Archaeology and Built Heritage</p> <p><input type="checkbox"/> Tour of Kingston's Lower Burial Ground (limited registration)</p>	<p>Friday Evening Dinner Dinner, with keynote speaker Dr Randall Mason, at the Marriott Hotel on Friday night is included in all conference registrations</p> <p><input type="checkbox"/> Please check box if you plan to attend</p> <p><input type="checkbox"/> Please check box if you would like to bring a guest to dinner? \$50 per guest</p> <p>Please indicate any special dietary requirements: _____</p>
---	--

2012 ONTARIO HERITAGE CONFERENCE

Beyond Borders: Heritage Best Practices

MAY 31- JUNE 3, 2012

KINGSTON, ONTARIO



REGISTRATION FORM

SATURDAY 2 JUNE

Morning
Block 1: 9:00am-10:30am please choose one
 Heritage Best Practices: Local Perspective
 Heritage Conservation in Canada: HCF Panel
 The Old Sydenham Heritage Area: A Walking Tour (limited registration)


Block 2: 11:00am-12:30pm please choose one
 Heritage Best Practices: National & International
 Young Professionals Forum
 Tour of Providence Manor Chapel and Print Museum (limited registration)

Afternoon
Block 3: 2:00pm-3:30pm please choose one
 Heritage Best Practices: International
 Heritage Issues in Ontario
 Tour of the Marine Museum of the Great Lakes (limited Registration)

Block 4: 4:00pm-5:30pm please choose one
 Heritage Impact Statements
 Conserving the History of Heritage
 Tour of the Pump House Steam Museum (limited registration)

Saturday Evening Dinner
 Dinner at the Yeo Hall, Royal Military College on Saturday night is **not** included in conference registrations
 Please check box if you plan to attend. \$65 per person
 Please check box if you would you like to bring a guest to dinner? \$65 per guest

Please indicate any special dietary requirements: _____



SUNDAY 3 JUNE

Annual General Meetings
 Ontario Association of Heritage Professionals Annual General Meeting
 9:00am-10:00am
 Architectural Conservancy of Ontario Annual General Meeting
 10:00am-11:00am
 Community Heritage Ontario Annual General Meeting
 11:00am-12:00am

Post-Conference Event
 Frontenac Heritage Foundation 40th Anniversary Cruise and Two-Castle Tour
 8:30am-6:00pm, \$115 per person, passport required
 Guest? \$115 per person, passport required

PAYMENT INFORMATION

Enclosed please find my registration fee in the amount of \$ _____

Full payment by **cheque** enclosed payable to Frontenac Heritage Foundation, 2-41 Hickson Avenue, Kingston, Ontario, K7K 2N7. Please write "Ontario Heritage Conference 2012" in the memo line.

Full payment by **PayPal**: please "Send Money" to ontarioheritageconference2012@cogeco.ca. Please mail us your registration at the above address.

Questions? Please contact us by e-mail: info@heritage2012.com

If the registration form is sent without a cheque, payment must be received within a month, otherwise your registration will be cancelled. Your workshop reservations cannot be guaranteed until payment is received.

Cancellation and Refunds Policy: If you need to cancel your registration, refunds less a \$50 cancellation fee are available until May 15, 2012. After this date, no refunds will be processed. You may transfer your registration to another person at anytime without penalty provided you inform us at the email above.

Please note: all registration fees include HST.

Disclaimer: The Kingston Ontario Heritage Conference Committee reserves the right to substitute speakers and provide alternative events owing to unforeseen circumstances.

STATUS OF OUTSTANDING ISSUES FROM THE HERITAGE ADVISORY COMMITTEE
 Prepared by Julie Lavertu, Legislative Coordinator, for the April 24, 2012 Heritage Advisory Committee Agenda

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
Bell Tower Meadowvale Village Hall	Oct/09	6970 Second Line West	HAC-0076-2009	Staff to report back with costing.
	Dec/09		HAC-0083-2009	Deferred for further review of possible options for funding and management of the project.
	Nov/11		Information	The Chair asked that this matter remain on the chart because staff were meeting on this matter today.
	Jan/12		Information	Ms. Wubbenhorst said that Facilities and Property Management staff were working on the Bell Tower at Meadowvale Village Hall and would assess if the roof could hold the Bell Tower.
	Mar 2/12		Information	The Chair gave an update on the Bell Tower, which is proceeding, and indicated that this matter would return to the Committee in the future. Mr. Spaziani asked about the design. Ms. Wubbenhorst responded that the design is based on his design.
Rooftop Solar Panels	Mar/10	N/A	HAC-0026-2010	Heritage staff to review and report back to HAC.
	Feb/11		Information	Ms. Burt indicated that she plans to hire a student to do research on rooftop solar panels.
	Nov/11		Information	Ms. Wubbenhorst noted that this matter was outstanding and should remain on the chart.
Dowling House	Jul/11	2285 Britannia Road West	HAC-0054-2011	That the request by the property owner to relocate the Dowling House located at 2285 Britannia Road West, which is designated under By-law 0249-2010, under Section 29 of the <i>Ontario Heritage Act</i> , be approved by the Director of Culture (or designate) in accordance with By-Law 0184-2011, the By-Law delegating authority to staff during Council's Summer Recess, pending all required approvals from the City of Mississauga for any development applications filed on the lands on which this building is currently located; and compliance, to the satisfaction of the

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
				<p>Director of Culture, with all conditions outlined in the report from the Commissioner of Community Service, dated June 29, 2011, including the de-designation of the Dowling House during relocation and re-designation following relocation.</p> <p>As a result of the above recommendation, Heritage staff must amend the Designation By-Law and de-designate the property during relocation and re-designate the property following relocation.</p>
	Nov/11		Information	<p>Ms. Wubbenhorst noted that this matter was outstanding and should remain on the chart. Mr. Wilkinson asked for an update on the property. Ms. Eigl said that she had not heard from the property owner's agents since August and that Heritage staff were monitoring the property. Mr. Spaziani stated that Mark Hall was no longer an agent for the property owner and that he had been asked to work on the file and had refused. The Chair noted disappointment about the status of the property, especially with the upcoming winter, and asked if by-laws could enforce the property's preservation. Ms. Burt said that Heritage staff would ask Planning and Building staff to visit the property and document any issues.</p>
	Jan/12		Information	<p>Ms. Wubbenhorst stated that a Building Inspector visited the Dowling House and found it secure on January 6, 2012 and that the property owner indicated that the project would proceed.</p>
	Mar 2/12		Information	<p>Committee members asked about the Dowling House and discussed the property's condition, status, and next steps. Ms. Wubbenhorst said that Heritage staff was waiting for the restoration plan. Ms. Eigl said that the property owner had complied with property standards orders. The Chair asked Heritage staff to obtain an update for the next meeting.</p>

9-2

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
Port Credit Post Office, Customs House and Armoury	Jan/11	31 Lakeshore Road East	HAC-0001-2011	That the proposed heritage designation of the Port Credit Post Office, Customs House and Armoury, 31 Lakeshore Road East, be deferred pending the owner's submission of a Heritage Impact Statement that is satisfactory to Culture Division staff.
	May/11		Information	Ms. Eigl noted that she would be meeting with the property owner's agents on May 24, 2011 about their plans for the property. The Vice-Chair requested a report from Ms. Eigl after her meeting.
	Jul/11		Information	Ms. Burt said that the property owner had met with his consultant, but that Heritage staff had not received the property's HIS.
	Nov/11		Information	Ms. Wubbenhorst said that Heritage staff had received the HIS and that the Committee would be reviewing this matter at an upcoming Committee meeting in 2012.
	Mar 2/12		Information	Committee members discussed the Port Credit Post Office, Customs House and Armoury and asked staff for an update. Ms. Wubbenhorst said that Heritage staff had not yet received anything further for this property.
Outdoor Rifle Range	Mar/11	1300 Lakeshore Road East	Information	Ms. Eigl advised that Park Planning staff are working on this matter, that she will look into this matter and update the Committee at a future meeting, and that she will organize a site visit with Councillor Tovey to clarify the location of the property.
	Oct/11		Information	Ms. Wubbenhorst requested clarification that the Rifle Range issue included the designation of the Outdoor Rifle Range and, thus, should remain on the chart. Councillor Tovey indicated that he wanted this property to be designated and that he believed that the Region of Peel supported designation.
	Nov/11		Information	Ms. Wubbenhorst said that Heritage staff would contact the Region of Peel to see if they supported designation. The Vice-Chair encouraged staff to

9-3

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
				continue working on this matter and indicated that reinstating a nearby wetland may impact the property and the Region's position. Ms. Burt said that Heritage staff would cooperate with Region staff.
	Jan/12		Information	Ms. Wubbenhorst clarified that Heritage staff needed to draft a report on the Outdoor Rifle Range before asking the Region of Peel about designation. She added that the latter was on the 2012 Workplan
Heritage Advisory Committee's 2011 Budget	Apr/11	N/A	HAC-0023-2011	That the Legislative Coordinator for the Heritage Advisory Committee, in consultation with the Director of Arts and Culture, prepare a Memorandum for the Heritage Advisory Committee's May 24, 2011 meeting regarding the Heritage Advisory Committee's draft 2011 budget and include information about budget allocations for the City of Mississauga's other Advisory Committees of Council and the Heritage Advisory Committee's budget and spending history.
	May/11		Information	Ms. Lavertu said that she would outline the Committee's budget and spending history after the budgets for the City's Advisory Committees of Council were reviewed as part of the Office of the City Clerk's 2011 Workplan.
	Nov/11		Information	Ms. Lavertu noted that the Committee's spending history would be provided in 2012 after the Office of the City Clerk's 2011 Workplan was completed. The Vice-Chair asked if Heritage staff could provide the Committee with a session about the budget for heritage at a future meeting. Ms. Burt provided a brief overview about the budget and noted that no additional money to the tax base was being requested, that more staff would be requested for 2013, as the workload of Heritage staff had increased, and that a brief session about the budget could be provided to the Committee. The Chair said that it would be useful

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
				for Heritage staff to review capital amounts for heritage grants for future budget years.
	Jan/12		Information	Ms. Lavertu briefly discussed the Committee's 2011 budget and Recommendation HAC-0023-2011 and noted that this information would be provided to the Committee once the Office of the City Clerk's 2011 Workplan had been finalized.
Heritage Advisory Committee/ Subcommittee Reviewing Preliminary Design Plans for Heritage Listed Properties	Sept/11	N/A	HAC-0077-2011	That Heritage staff follow up with Legal and Planning and Building staff about the possibility of the Heritage Advisory Committee or a Heritage Advisory Committee Subcommittee reviewing preliminary design plans for heritage listed properties in advance of approval by Heritage staff.
	Nov/11		Information	Ms. Burt noted that Heritage staff would be meeting with Planning and Building staff on this matter soon and would update the Committee in 2012.
	Jan/12		Information	Ms. Wubbenhorst said that Heritage staff is working on Recommendation HAC-0077-2011 and would have a Corporate Report at a future Committee meeting on this matter.
QEW Credit River Bridge Class Environmental Assessment Study	Mar 2/12		HAC-0020-2012	(1) That the correspondence dated February 7, 2012 from Catherine Christiani, Community Workshop Co-ordinator, Ecoplans, with respect to the QEW Credit River Bridge Class Environmental Assessment Study, Notice of Community Workshop #3 be received; and (2) That staff invite Ministry of Transportation representatives to make a deputation at a future Heritage Advisory Committee meeting with respect to the QEW Credit River Bridge Class Environmental Assessment Study.
	Mar 20/12		Information	Ms. Wubbenhorst said that Heritage staff informed the project team that the bridge and nearby properties

9-5

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
				<p>are listed. She did not know if this provincial project was subject to a heritage permit and HIS, but noted that she would look into this. Ms. Wubbenhorst noted that, to her knowledge, the Committee had not reviewed the bridge's lights and arches and that staff is working on the Committee's deputation request with the project team.</p>

13 - 1

Heritage Advisory Committee

APR 24 2012

~~Meadowvale Village Heritage Conservation District Review Committee~~

April 12, 2012

Councillor George Carlson, Ward 11
 Chair, Heritage Advisory Committee
 City of Mississauga
 300 City Centre Drive
 Mississauga, ON L5B 3C1

RE.: Meadowvale Village Heritage Conservation District Review Committee Membership

Dear Councillor Carlson:

At the Meadowvale Village Community Association's last Annual General Meeting, the following names were put forward to sit on the Meadowvale Village Heritage Conservation District Review Committee:

Jim Holmes	1045 Old Derry Road	Meadowvale Village L5W 1A1
Dave Moir	7015 Pond Street	Meadowvale Village L5W 1A1
Colleen Newmarch	7070 Old Mill Lane	Meadowvale Village L5W 1A1
Terry Wilson	7091 Pond Street	Meadowvale Village L5W 1A1

We request that the Heritage Advisory Committee (HAC) recommend the four persons above to City Council for a four-year mandate on the Meadowvale Village Heritage Conservation District Review Committee for the 2010-2014 term of office or until successors are appointed.

Please note that, at its meeting on June 27, 2011, HAC appointed Michael Spaziani and myself to the Meadowvale Village Heritage Conservation District Review Committee for the 2010-2014 term of office or until successors are appointed, as per Recommendation HAC-0049-2011 below. This recommendation was later adopted by City Council on July 6, 2011 via Resolution 0178-2011.

HAC-0049-2011

That James Holmes and Michael Spaziani be appointed to the Heritage Advisory Committee's Meadowvale Village Heritage Conservation District Review Committee for the 2010-2014 term of office or until successors are appointed.
 (HAC-0049-2011)

Should further information or comment be required, please do not hesitate to contact the writer.

Yours truly,

MEADOWVALE VILLAGE H.C.D.R.C.

Jas. P. Holmes,
 Chairman

APR 24 2012

Julie Lavertu

From: Julie Lavertu
Sent: 2012/03/16 3:10 PM
To: 'mjharrison@idirect.com'
Cc: Paula Wubbenhorst; Elaine Eigl; Susan Burt
Subject: RE: Submission to Dufferin-Peel Catholic District School Board - St. Mary's (old) Cemetery

Hello Mr. Harrison:

Thank you for your email message, dated March 16, 2012, regarding the St. Mary's (old) cemetery in Port Credit.

I wanted to advise you that I am in receipt of your correspondence and that your letter and attachments will be placed on the Heritage Advisory Committee's April 24, 2012 agenda as an information item. When I issue the April 24th agenda, I will email it to you for your information.

In closing, please do not hesitate to contact me if you have any questions or concerns.

Many thanks,
Julie

Julie Lavertu, MPPA
Legislative Coordinator, City of Mississauga Legislative Services Division, Office of the City Clerk 905-615-3200, ext. 5471 Julie.Lavertu@mississauga.ca

Visit the Office of the Clerk's page on the City of Mississauga's website to access agendas, minutes, the Council and Committees calendar, and much more!
<http://www.mississauga.ca/portal/cityhall/officeofthecityclerk>.

-----Original Message-----

From: mjharrison@idirect.com [mailto:mjharrison@idirect.com]
Sent: 2012/03/16 1:44 PM
To: Reed, Donna (Board & Committee Information Officer)
Cc: provoffice@ogs.on.ca; rlevarty@ontariohistoricalsociety.ca; michael.d'mello@ontario.ca; Info@CCAT.on.ca; Julie Lavertu
Subject: Submission to Dufferin-Peel Catholic District School Board - St. Mary's (old) Cemetery

Hello Donna:

Here is my submission to be included in the agenda for the next Board meeting.

Please let me know if you have any questions.

Thank you

Michael

Mario Pascucci (Chair) & Members
Dufferin-Peel Catholic District School Board
40 Matheson Boulevard West,
Mississauga, ON L5R 1C5

March 16, 2012

Mr. Pascucci, Chair & Members – Dufferin-Peel Catholic District School Board:

Re: St. Mary's (Old) Cemetery – Port Credit

As part of some recent research on my family history, I have discovered that the old historic St. Mary's Roman Catholic Cemetery in Port Credit had the headstones removed and paved/gravelled over to provide a surface parking area for the adjacent Roman Catholic School. My great grandparents have a family plot in this portion of the cemetery. I find it disrespectful that parking is allowed above their final resting place. I am also related to many other families buried there.

Please find attached a copy of the July 1952 Underwriters Fire Insurance Plan for this portion of Port Credit. As you can see, the cemetery extends down from the Lake Shore Road West on the west side of John Street South, all the way to Port Street West. I have also attached a cropped detailed copy of the map. Finally, I have attached a copy of the Google Map aerial view with the approximate boundaries of the cemetery outlined in red.

I wanted to ensure that the Board was aware that the cemetery was on the property so that you could take appropriate steps to ensure that the cemetery was protected and preserved in the future. As indicated on the Catholic Cemeteries website, small cemeteries such as these “..hold a great part of the Catholic tradition in the history of the Archdiocese and it is the duty of Catholic Cemeteries to provide the care and maintenance of these sacred sites as a perpetual remembrance of the Faithful Departed”.

As I understand it, the adjacent school is now closed and being used for other purposes but still owned by the Dufferin-Peel Catholic District School Board. I would ask that the portion containing the cemetery be conveyed to the Catholic Cemeteries so that the property can be restored to a more respectful condition in line with its use as a cemetery and final resting place for many early area Catholics, instead of being used as a surface parking area and gravelled parking lot.

I would not support, under any condition, the sale of the property and the closure of the cemetery (i.e. the disturbance and removal of all human remains from the site).

Can you please let me know what steps the Dufferin-Peel Catholic District School Board will be taking to ensure the preservation and protection of St. Mary's (old) cemetery in the future, and its conveyance to the Catholic Cemeteries?

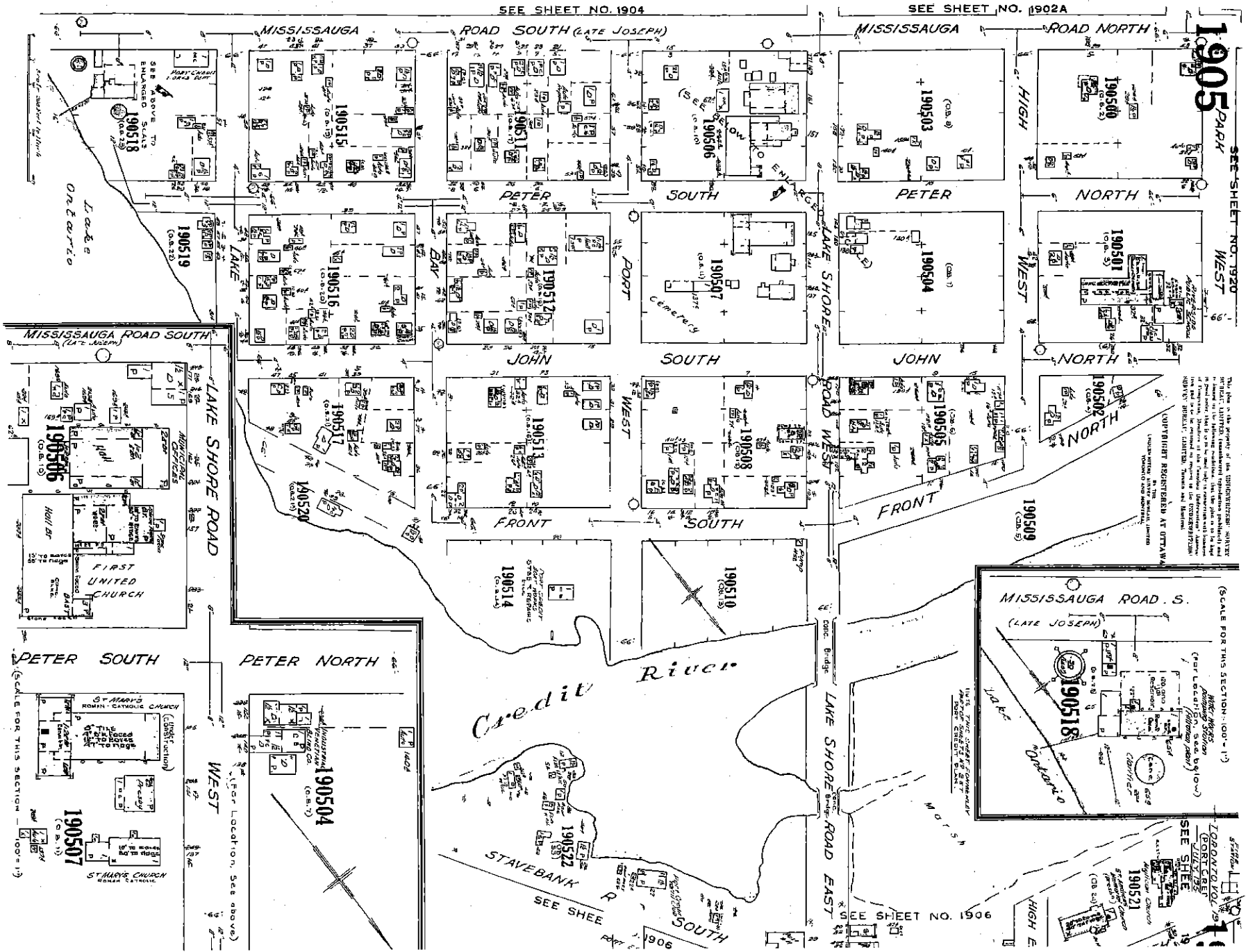
Thank you for your consideration.

A handwritten signature in black ink, appearing to read "Michael Harrison", with a large, stylized flourish at the end.

Michael Harrison
151 Garden Avenue
Toronto ON M6R 1H8

- c. Ontario Genealogical Society
Ontario Historical Society
Michael D'Mello, Registrar, Cemeteries Regulation Unit, Ministry of
Consumer Services
Catholic Cemeteries, Central Business Office
Mississauga Heritage Advisory Committee

Attachments



1905 PARK WEST

SEE SHEET NO. 1902A

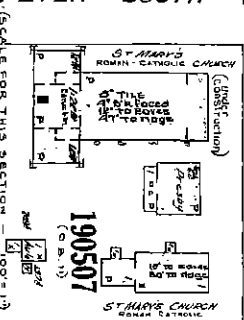
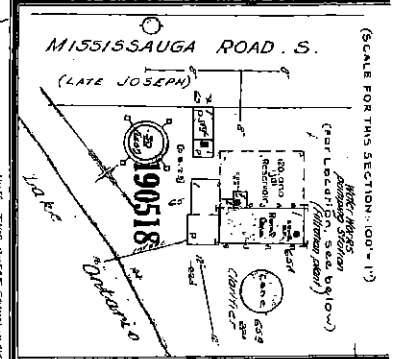
SEE SHEET NO. 1904

SEE SHEET NO. 1902A

This plan is the property of the undersigned: ARCHITECT: LARRY D. HARRIS, (residential operations prohibited) and is a legal document. It is to be used only in connection with the building of the structure shown hereon. It is not to be used for any other purpose without the written consent of the undersigned. (See also the provisions of the Copyright Act, R.S.C. (1970), Chapter C42, Section 17.)

COPYRIGHT REGISTERED AT OTTAWA

LARRY D. HARRIS ARCHITECT
1000 BROADVIEW AVENUE
OTTAWA, ONTARIO K1K 1R7



(Scale for this section - 1/8" = 1')

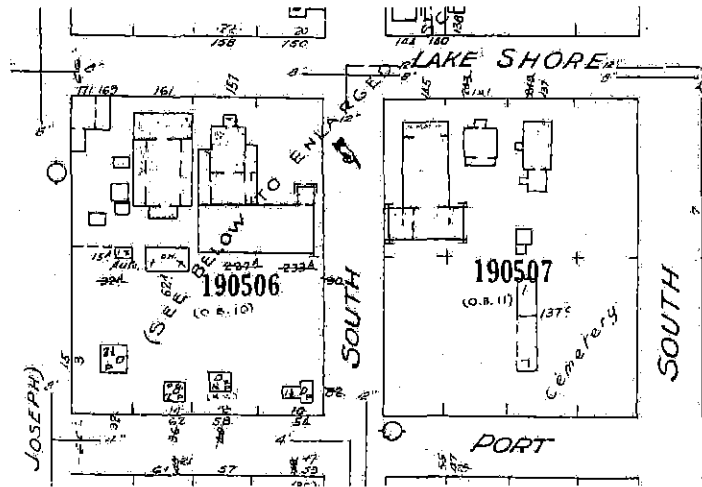
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SEE SHEET NO. 1906

SEE SHEET NO. 1906

SEE SHEET NO. 1906

(Scale for this section - 1/8" = 1')



Dr. Fealgood

W. Carson

John St

John St

St. Mary's Cemetery

Granola Mediterranean

Art's Bazaar

Mishasunga Masonic Temple

Fun School

Crack outside house

Carafic Theatre Caranique

Avlokiteshvara Kadampa Buddhist Centre

EcoSource

First United Church

Freedom Centre

Peter St

Prince Edward Masonic School

City of Halifax

Ontario Heritage Act

ONTARIO REGULATION 9/06

Heritage Advisory Committee
APR 24 2012

CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

Consolidation Period: From January 25, 2006 to the e-Laws currency date.

No amendments.

This is the English version of a bilingual regulation.

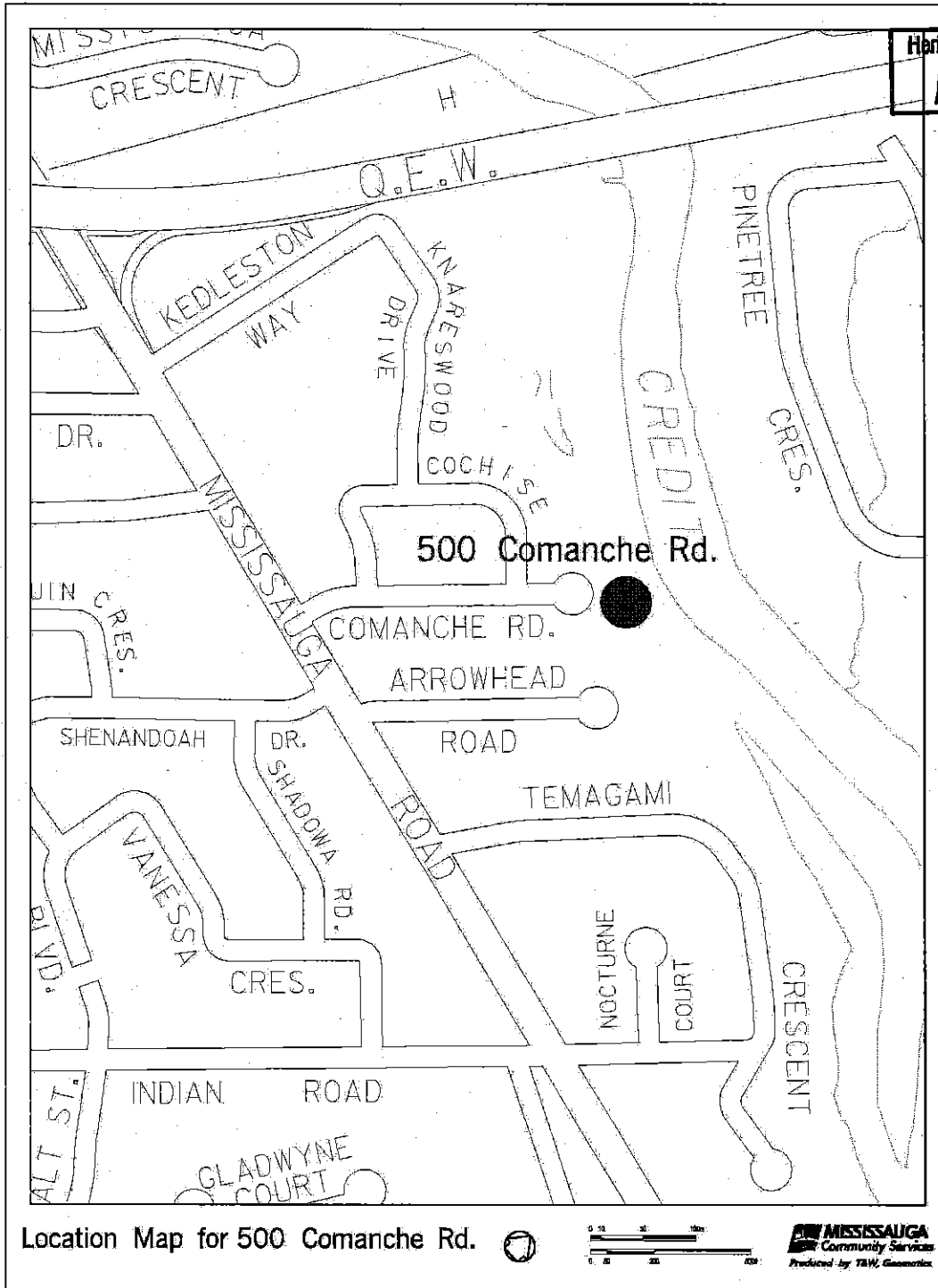
Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s. 1 (1).

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

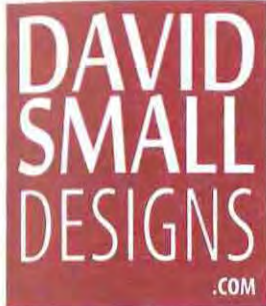
Heritage Advisory Committee
APR 24 2012



Location Map for 500 Comanche Rd.



MISSISSAUGA
Community Services
Produced by T&W Geomatics



Heritage Impact Statement

500 Comanche Road
Mississauga ON L5H 1W2

February 28, 2012

Report prepared by David W. Small

A handwritten signature in black ink, appearing to read "D. Small".

David W. Small

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Section 1 | Introduction

Author:

David W. Small Designs Inc. is a custom home design firm that specializes in infill housing. (i.e. redevelopment of properties in existing mature neighborhoods). David Small was born to design houses as he grew up watching and learning from his Father and Grandfather who were builders and developers. Growing up with such a 'heritage of housing' David's passion for the business was ignited and this passion led him to where he is today.

Over the past decade, David W. Small Designs Inc. recognizes what heritage is and what it means because as a firm we have done our research and have been involved in the design of over 80 new homes and renovations within cultural landscapes of the area. When designing these custom homes, David takes into consideration the heritage and the cultural landscape in question. The success of the firm is largely based on developing "neighbourhood sensitive" designs that respect the integrity of the existing natural and currently constructed surroundings.

The firm has successfully prepared heritage impact statements for the City of Mississauga for properties listed in numerous cultural landscapes for the last 4 years. Through the preparation of nearly 15 "H.I.S" documents David W. Small Designs has acquired a clear understanding of cultural landscape within the City of Mississauga.

David W. Small Designs Inc has successfully completed "H.I.S" documents for the following properties located in Mississauga:

1. 1285 Stavebank Road – May 2008
2. 1397 Birchwood Height Drive – July 2008
3. 1443 Aldo Drive – July 2008
4. 1524 Douglas Drive – September 2008
5. 142 Inglewood Drive – September 2008
6. 1379 Wendigo Trail – September 2008
7. 1570 Stavebank Road – October 2009

8. 224 Donnelly Drive – October 2009
9. 125 Veronica Drive – January 2010
10. 64 Veronica Drive – February 2010
11. 1248 Vista Drive – March 2010
12. 1380 Milton Avenue – April 2010
13. 1448 Stavebank Road – July 2011
14. 1362 Stavebank Road – August 2011

Relevance of Heritage Impact Statement:

The subject property is located in the Lorne Park neighbourhood and is within the “Credit River Corridor” cultural landscape. As such, it is listed on the City of Mississauga’s heritage register but it is not designated.

Section 2 | Property Overview

Credit River Corridor:

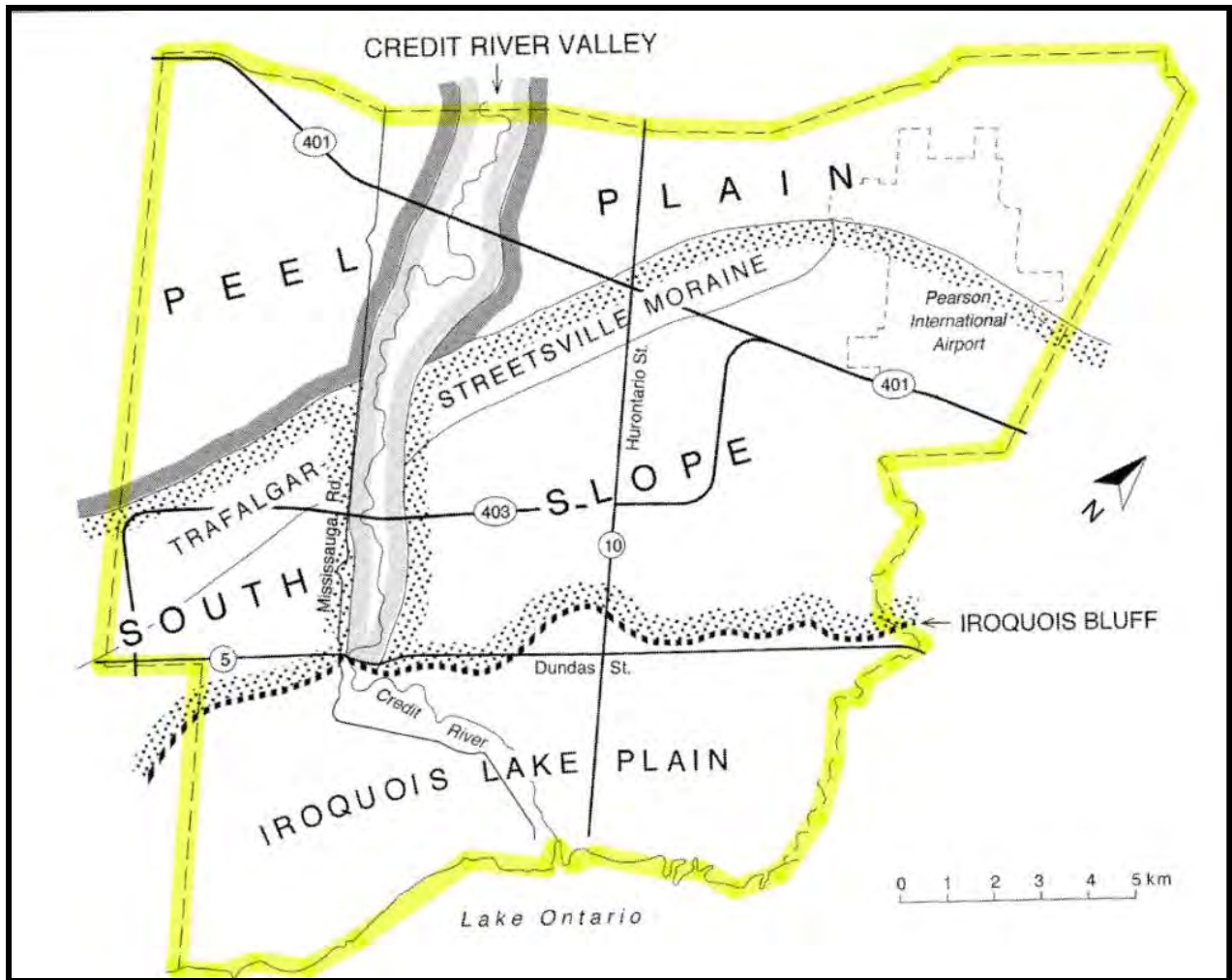
The Credit River is a river which flows from the headwaters above the Niagara Escarpment. The river runs from North to South and transects the City of Mississauga from the Brampton border to the Lake Ontario shoreline. The section of the river corridor being discussed falls into what was previously known as the “Credit Indian Reserve” (C.I.R).



P.Long

The CIR originated as part of a land sale by the Mississauga Indians to the British Government in 1805. The sale included the lands stretching from Lake Ontario to a line 6 miles inland but excluded a strip of land one mile each side of the Credit River which was reserved for the Mississauga’s. The graphic below indicates what is known as the City of Mississauga, which clearly identifies the Credit River in relationship to the City.

Physiographic units of Mississauga:

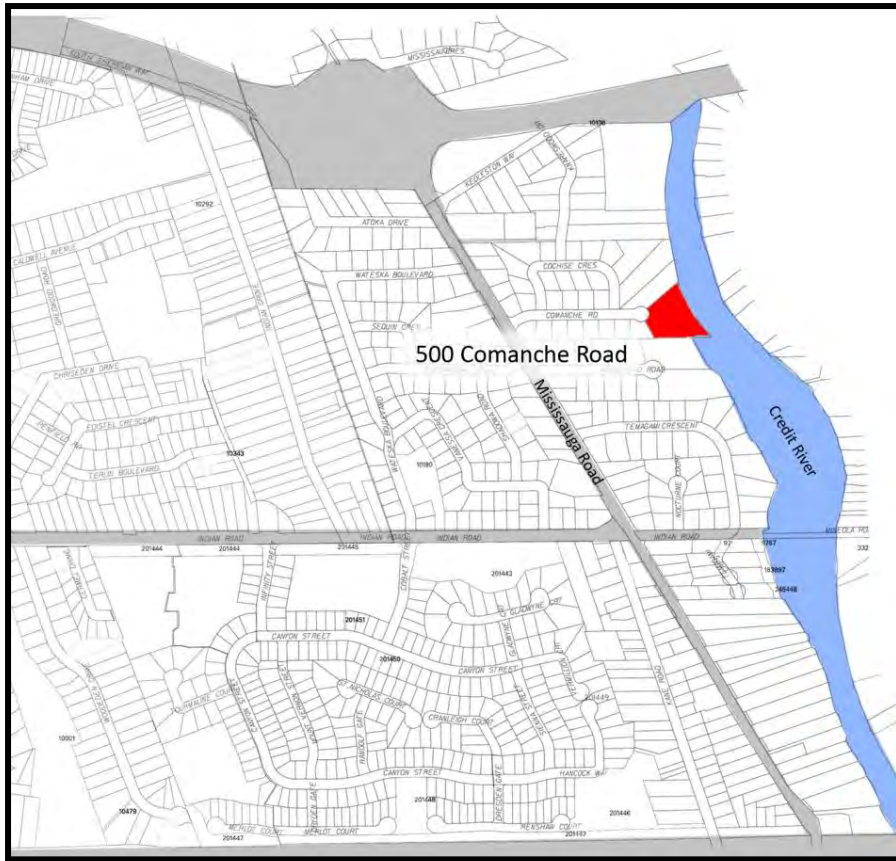


Mississauga's Heritage: The Formative Years, City of Mississauga, 198320

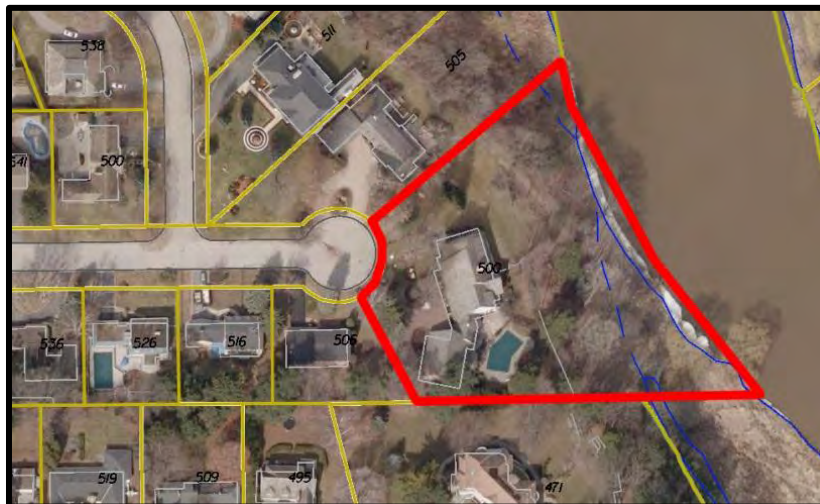
Current City of Mississauga Map:



Property Base Map of South of QEW West of Credit River:



Aerial Map:



The Credit River Corridor Cultural Landscape:

“The Credit River is 58 miles long in total and has a drainage area of 328 square miles. From south of Georgetown to Erindale, the river cuts through the boulder till of the Peel Plain and in some areas exposes the underlying Paleozoic bedrock of shales and sandstones. The River flows through a wide alluvial terrace at Meadowvale where its banks are gentle and tree covered. As it approaches the old Shoreline of glacial Lake Iroquois at Erindale it cuts deeper and deeper into the Peel Plain creating steep valley walls in excess of 75 feet deep.



CVC B. Morber

In several locations, such as on the former Bird property north of Burnhamthorpe, intermediate benches were formed as the water levels of the glacial lakes receded. These benches and alluvial terraces provide wonderful natural and recreational settings for trails and other recreational activities. South of the Iroquois shoreline the River cuts through the sands and boulder till of the Iroquois Plain. The last mile of the River is drowned and marshy. The wave action of Lake Ontario continues in its efforts to build a bar across the mouth of the river which is periodically removed by dredging. Despite its size, the River has had significant impact on the settlement of

the area. At one time, Erindale had a mill and for a short while a small hydroelectric generating station. At Streetsville, four flour mills operated some of which remain today as modern mills. Two sawmills and a carding mill were built in Meadowvale. The banks of the River continue to be developed for attractive residential neighborhoods, parks and special uses such as the University of Toronto Erindale campus. The River provides the residents of Mississauga with a variety of recreational and educational opportunities. The Credit River Valley is the most significant natural feature remaining in the City of Mississauga.” – Excerpt from *Physiography of Southern*

Ontario Cultural Landscape Inventory L-NA-2

The Credit River Corridor is Unique in Several Ways:

Vegetation: The Credit River Corridor is home to some of the City’s most significant naturalized areas with an abundance of mature vegetation. Although approximately 20-40% of the watershed of the Credit River has been developed, this does not change the significance of what the corridor bares from a vegetation standpoint. Provincial “Natural Area Surveys” (NAS) designations have been put in place to ensure that future development within the watershed does not compromise the future or the corridor.



Allen McGregor

Wildlife Habitat: The Credit River Corridor inhabits a very diverse ecosystem; from both a botanical (as previous noted) and wildlife standpoint. Recent studies state that much of the untouched woodland associated with the corridor is home to marten, wild turkey, fisher, wolverine, timber wolf, Canada lynx and American elk. Much of the River Corridor associated with the presence of wildlife is located outside of the urban environment Mississauga provides to the corridor.



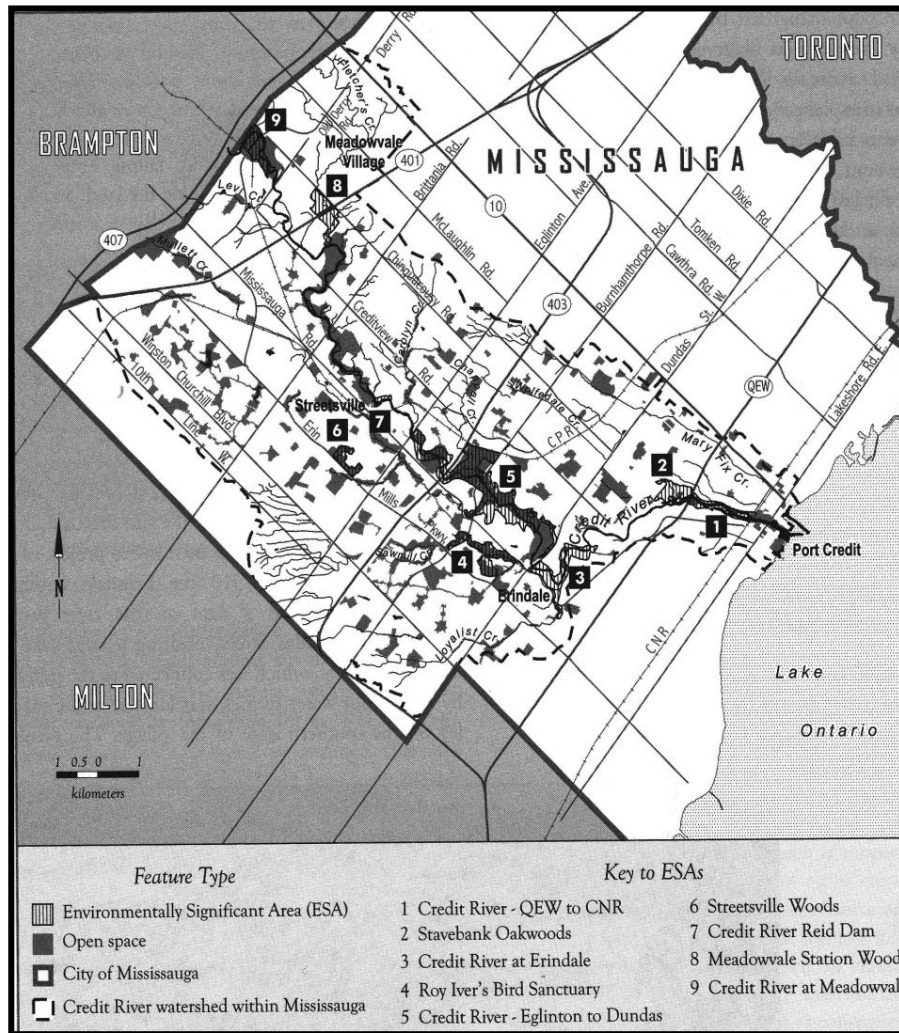
Allen McGregor



P.Long

Topography:

The topography of the Credit River Corridor varies extensively throughout its length. The watershed of the Credit River is approximately 1000 square km. Specifically as it relates to the City of Mississauga, the River runs 24 km dropping 91 m in elevation from Meadowvale to Lake Ontario. The River Valley becomes very narrow and steep in the Northern stretches of the City. In the Erindale area the valley has been cut in depths of approximately 30 m. With the rise of Lake Ontario, the Southern stretches of the river have been drowned out creating a wide and flat corridor.



Allen McGregor

Historical Associations

In 1854 James W. Cotton took ownership of Lot 7 Range 2 C.I.R from the Crown. The change of ownership is unclear from James W. Cotton in 1854 to Frederick W. Jarvis in 1866. Between 1866 to 1959 there were very few parties who were transferring land. In 1959 Herbert S. Bedford transferred land to John Pallet secretary of Credit Valley Investments Limited, John Pallet later in 1962 was granted plan 667 subdivision part of Lot 7, Range 2 C.I.R. In 1969 John Pallet of Credit Valley Investments Limited, transferred Lot 15 and part of Block A from registered plan 667 to Shipp Corporation Limited. Gordan G. Shipp founded Shipp Corporation in 1923, which specialized in the development of building homes in the Toronto area. The son of Gordan S. Shipp, Harold G. Shipp began working with his father when he turned 18 and on April 1st, 1947 the company name was changed to Gordon S. Shipp & Son Limited.



Harold G. Shipp with his father Gordan S. Shipp.

Kathleen A. Hicks

The Shipp's built subdivisions on the South and North side of Queen Elizabeth Way. The developers completed their first phase of Applewood Acres in 1951. The Shipp's mainly built single-family dwellings in all their Applewood subdivisions, they also built the Applewood Village Shopping center in 1955 and then in 1967. The Shipp's then constructed their first high-rise building called Applewood Hills. In 1981 Gordon S. Shipp passed away at the age of 89. Harold G. Shipp carried on, he has 2 daughters, Catherine and Victoria and his son Gordon who is president of Shipp Corporation Limited since 1996.

Harold G. Shipp recalls that he purchased the subject property in 1966, however according to the land registry it indicates that property was purchased in 1969 and later in 1970 Shipp Corporation Limited transferred the subject property to June C. Shipp; Harold's wife. By 1967, the dwelling had been built and was occupied. June C. Shipp died October 2001, and Harold G. Shipp lived in the house until 2009. The subject property is now owned by The June C. Shipp Trust and its trustees.



Kathleen A. Hicks – Harold's S. Shipp's Children

Section 3 | Property Details

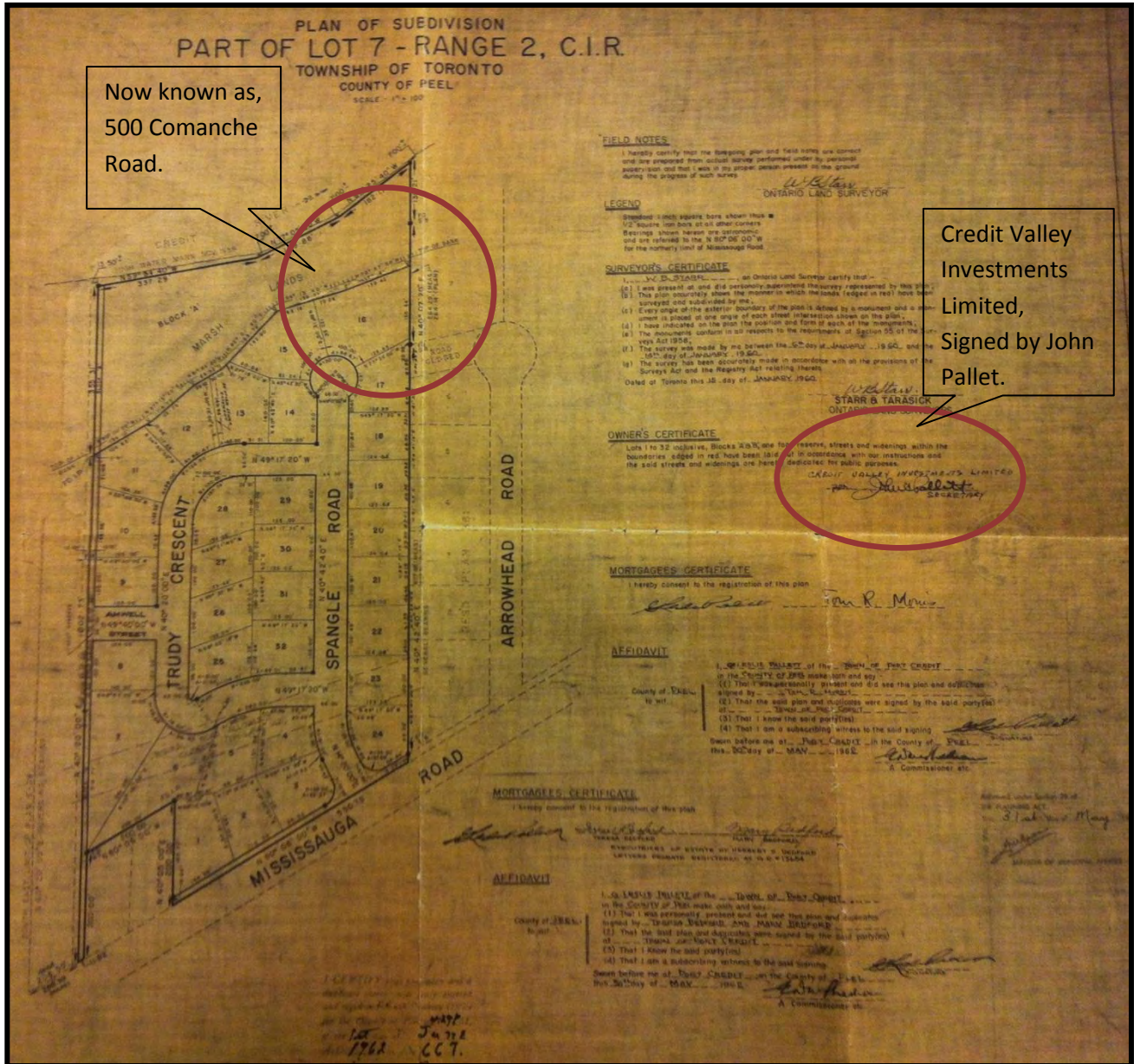
Municipal Address	| 500 Comanche Road
Legal description	| PLAN 677 L 7 PT 15 BLK A
Municipal Ward	| 2
Lot Area	| 7987.65m ² (0.798 ha)
Orientation	| Front facing South
Type	| 2 Storey single family dwelling
Vegetation	| Several mature trees located throughout site.
Access	| Existing curved interlock driveway.
Current Property Owner	| Harold G. Shipp, Thomas E. McDonnell, Stephen W. Bowman, John P. Hilborn and Catherine J. Shipp. - "The June C. Shipp trust and its trustees".

Parcel Register:

Information gathered from the Ontario Land Registry office for the Region of Peel indicates the chain of ownership from July 11, 1854 to the present. Information provided has been acquired through the use of microfilm archives along with a current Land Title search. The following ownership transfers have taken place since the earliest records of the property on title.

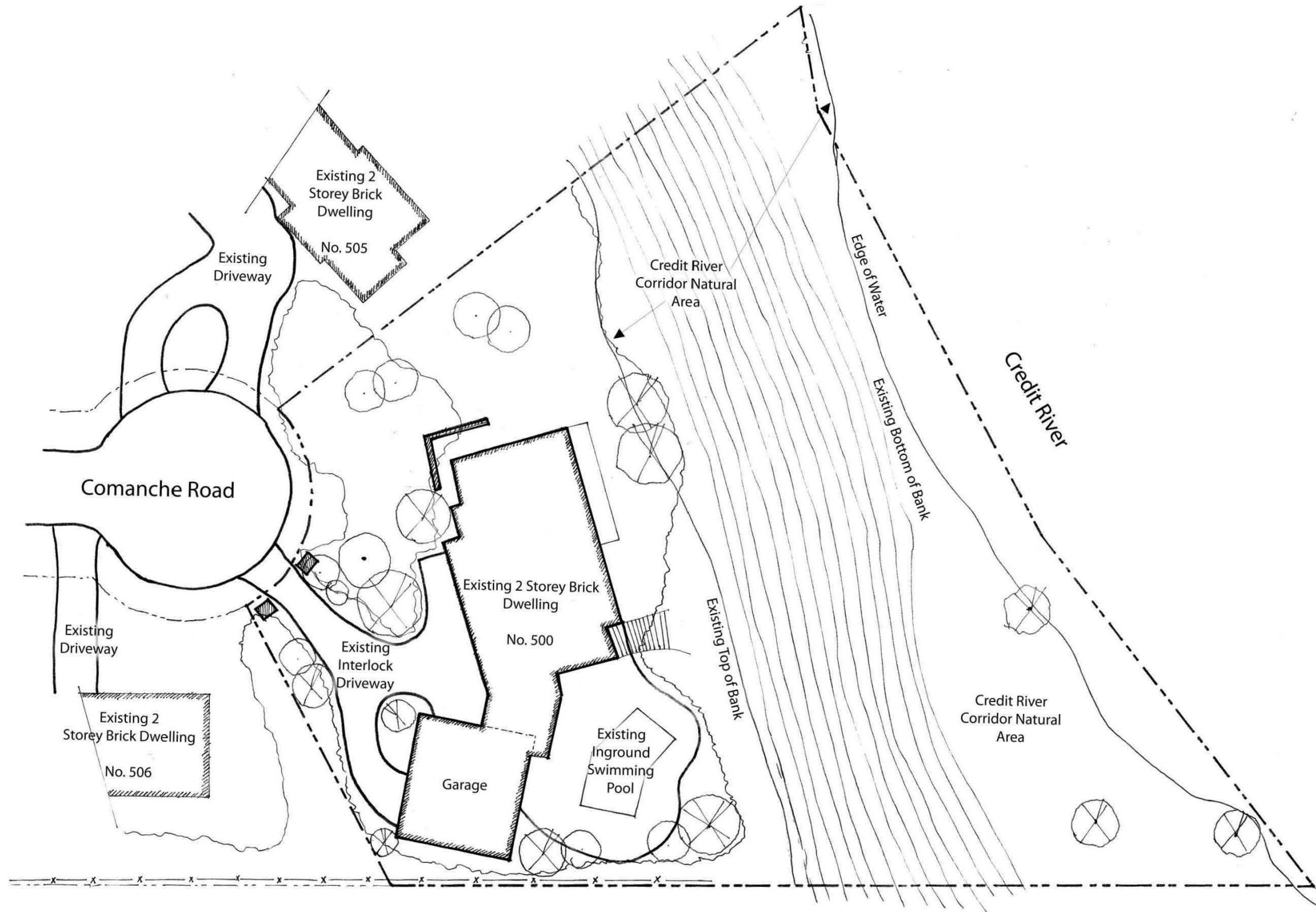
1. The Crown – Granted to James Cotton C.I.R Lot 7 Range 2 (July. 11/1854)
2. Frederick W. Jarvis transferred to Richard S. Wood. (Feb.2/1866)
Frederick W. Jarvis was sheriff of York and Peel county, and his job was to notify and collect money that is due to the Bank . There is no indication from the achives that we have collected that shows land being transferred to Frederick W. Jarvis.
3. Richard S. Wood transferred to Henry Fowler (July.28/1869)
(The above informaton is taken from the Toronto township book A).
4. Henry Fowler transferrred to Peel General Mfg. Co. (Sept.27/1869)
5. Peel General Mfg. Co. transferred to Thomas W. Hector (Oct.18/1889)
6. Thomas W. Hector transferred to Catherine Bedford (Nov.28/1896)
(The above was taken from the Toronto township book B).
7. John J. Bedford Admr. Of Catherine Bedford transferred to Herbert S. Bedford (Jun.9/1910)
(The above was taken from the Toronto township book C).
8. Herbert S. Bedford transferred to Credit Valley Investments Limited (John Pallet) (May.19/1959)
9. Credit Valley Investments Limited (John Pallet) was granted Plan 667 Part of Lot 7 – Range 2, C.I.R. (Jun.1/1962)
10. Credit Valley Investments Limited (John Pallet) transferred to Shipp Corporation Lintied (Jun.16/1969)

- 11. Shipp Corporation Limited transferred to June C. Shipp (Mar.9/1970)
 - 12. June C. Shipp transferred to the Trustess of "The June C. Shipp Trust" – Harold G. Shipp, Thomas E. Mc Donnell, Stephen W. Bowman, John P. Hilborn and Catherine J. Shipp (Sept.2/2009)
- (The above was taken from the Toronto township book D).



Plan taken from Land Registry, Brampton.

Existing Property Survey:



Section 4 | Building Details

Exterior Photos – Front Elevations



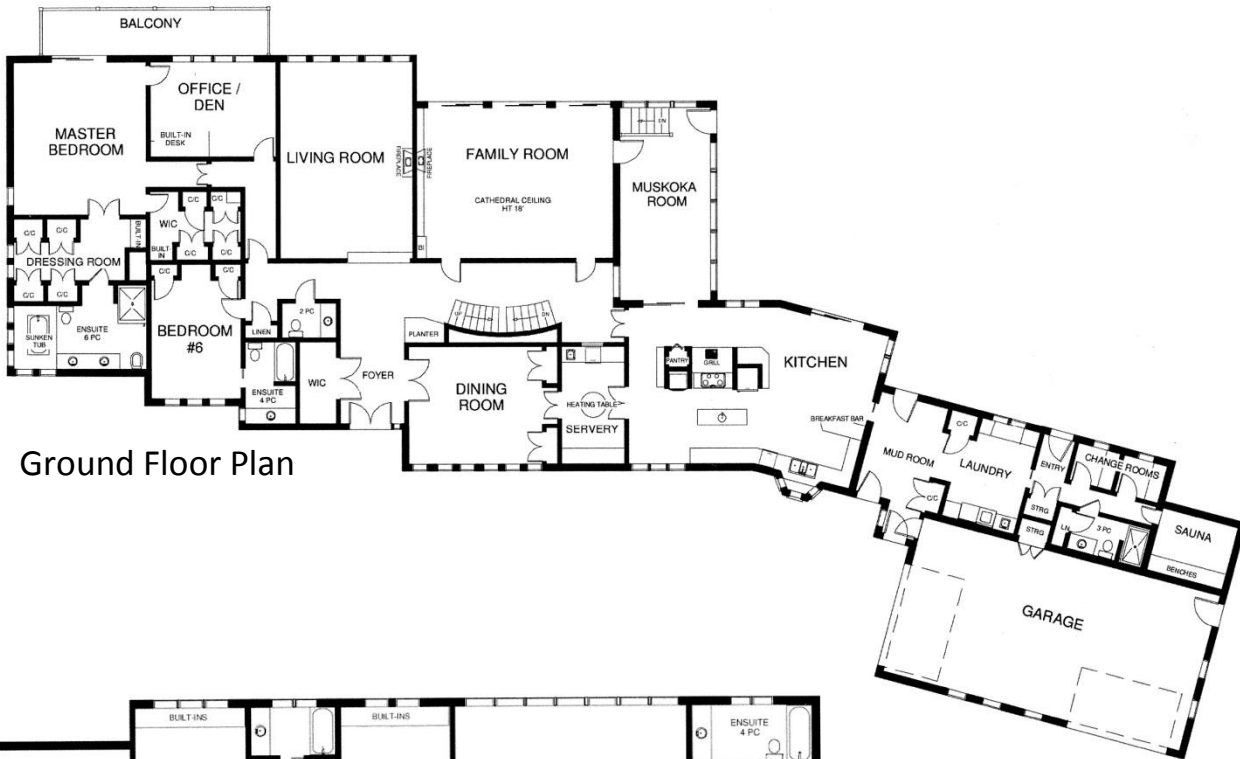
Exterior Photos – Rear Elevations



Exterior Photos – Right and Left-Side Elevations



Existing Floor Plans



Ground Floor Plan

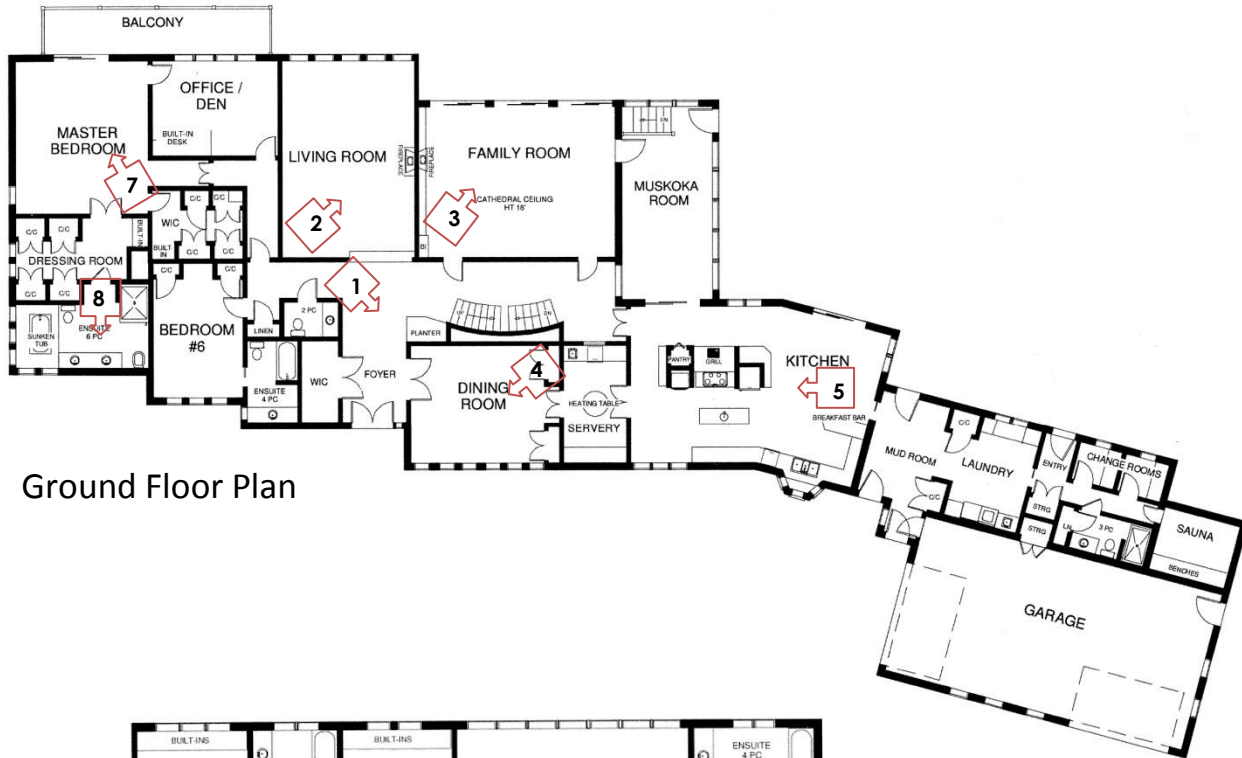


Second Floor Plan



Basement Floor Plan

Interior Photo reference Plan



Ground Floor Plan



Second Floor Plan



Basement Floor Plan

Interior Photos



Interior Photo 1 - Foyer



Interior Photo 2 – Living Room



Interior Photo 3 – Dining Room



Interior Photo 4 – Great Room



Interior Photo 5 – Kitchen



Interior Photo 6 – Billiards Area



Interior Photo 7 – Master Bedroom



Interior Photo 8– Master Ensuite

House Description:

Construction Date	|	1967
Size	|	Approx.7850 sf including attached garage
Building Type	|	2 Storey single family dwelling (w/ walkout lower level)
Wall Construction	|	Wood frame
Exterior Cladding	|	Brick & Aluminum siding
Roofing Material	|	Asphalt Shingles

Alterations to the Original House

The original home, built in 1967, is a 2 Storey dwelling with a lower level walkout. We have made reference to the City of Mississauga permitting records and the city has no record of any alterations to the existing dwelling.

App Number	Address	Scope	Issue Date
App Date	Description	Type Description	Status
HCC 84 211976	500 COMANCHE RD		
1984-11-22	FURNACE REPLACEMENT CODE: 3925 PERMIT		HISTORY COMMENT PERMIT
HCC 76 213134	500 COMANCHE RD		
1976-10-13	PLUMBING PERMIT #1246		HISTORY COMMENT PERMIT
HCC 76 213133	500 COMANCHE RD		
1976-09-29	SAN PERMIT #0996		HISTORY COMMENT PERMIT
HCC 70 213132	500 COMANCHE RD		
1970-04-01	DRAIN PERMIT #12398		HISTORY COMMENT PERMIT
HCC 67 213131	500 COMANCHE RD		
1967-02-08	DRAIN PERMIT #32522		HISTORY COMMENT PERMIT
HCC 66 213130	500 COMANCHE RD		
1966-12-07	DRAIN PERMIT #31846		HISTORY COMMENT PERMIT
HCC 66 213129	500 COMANCHE RD		
1966-12-06	PLUMBING PERMIT #31775		HISTORY COMMENT PERMIT
HCC 66 213128	500 COMANCHE RD		
1966-11-04	DRAIN PERMIT #30900		HISTORY COMMENT PERMIT
HCC 66 213127	500 COMANCHE RD		
1966-10-31	POOL PERMIT #24168		HISTORY COMMENT PERMIT
HCC 66 213126	500 COMANCHE RD		
1966-09-02	SINGLE FAMILY DWELLING PERMIT #23785		HISTORY COMMENT PERMIT

Analysis of Existing Structure

The existing home is representative of circa 1960's vernacular 2 Storey dwelling with attached garage. The home does not display any outstanding degree of technical achievement and has only moderate artistic merit.

The existing home is not known to represent any significance in relation to theme, event, activity, or institution in the community. The home does however have relation to Harold G. Shipp as this house was commissioned for construction in the 1960's to be the residence of Harold G. Shipp and the late June C. Shipp. In July of 1966 (as Harold G. Shipp recalls) Harold and June commenced discussions with two separate registered architects for the design of the residence.

After being frustrated by the "lack of design features" requested by the Shipp Family, Mr. Shipp requested the services of a staff member within the Shipp Corporation Limited. With no architectural background, Mr. Wolfgang Arther Noack designed a new home to the Shipp's specifications, which he had copies of in ten days and took advantage of the site overlooking the Credit River. Within the next two weeks, the design plans were finalized and construction began in September 1966. It is interesting to note that all the trees on the top lands were planted after the home was occupied on May 17, 1967. (Harold G. Shipp, 2012)

Although the house was one of few personal residences of Harold G. Shipp, the architectural relevance of this dwelling does not represent a high level of significance. With regards to the surrounding landscape, the current dwelling does not provide any added benefit as it relates to the Credit River Corridor. As stated above, the majority of foliage located in the subject property were planted and provides only moderate impact to the Credit River Corridor.

The dwelling has only modest contextual value as far as its support of the character of the area. Its physical, functional, visual, and historic link to the surroundings does not make it a landmark.

The existing home plays a moderately significant role in its support of the character of the area, as its massing and scale are similar to the adjacent homes on Comanche Road.

Section 5 | Conclusion

The existing home located at 500 Comanche Road does not play a defining role within the cultural landscape known as the Credit River Corridor. The proposal for removal of this existing dwelling does not contravene the definitions of maintaining the cultural landscape. It is understood that the existing dwelling has connection to a known builder within the City, however that alone does not provide a sufficient amount of significance to the dwelling; as required for the house to be designated as a historic landmark.

As stated in the previous section of this report, the house was conceived in a short time and did not represent any architectural achievements in either design or technology.

Please accept the enclosed letter provided by Harold G. Shipp and the June C. Shipp Trustee's (current owners of the property) which requests permission for the removal of the proposed dwelling.

Summary Statement and Conservation Recommendations:

The existing 2-storey dwelling located at 500 Comanche Road has not been designated under the Ontario Heritage Act; however, the property has been listed on the register under the Credit River Corridor Cultural landscape. As such, the significance of the existing dwelling does not merit conservation measures. The impact of the removal of the current dwelling has been taken into consideration and has been displayed in this Heritage Impact Statement. The existing dwelling is set back from the River at a significant distance and associated vegetation within proximity of the house will not be disturbed in the removal of the existing dwelling. For the aforementioned reasons we are certain that conservation measures are not appropriate for the subject property.

Mandatory Recommendation:

As per criteria set out in Regulation 9/06 of the Ontario Heritage Act the following reasons are why the subject property is not worthy of heritage designation and does not meet such criteria stated in Regulation 9/06.

1. *Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*

The property itself has been listed on the heritage register under the Credit River Corridor Cultural Landscape; however the existing dwelling has not been designated. The existing house does not meet criteria set out in Regulation 9/06, Ontario Heritage Act.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated why it does not.*

The existing home is not known to represent significance related to theme, event, belief, person, activity, or institution in the community. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. The property has only modest contextual value as far as its support to the character of the area. It's physical, functional, visual, and historic link to the surroundings does not make it a landmark.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?*

The property has been listed on the register and does warrant conservation as per the Credit River Corridor Cultural landscape. The proposed removal does not contravene the cultural landscape to which this property belongs. As stated above the existing dwelling does not warrant conservation as per Ontario Regulation 9/06, Ontario Heritage Act or the Provincial Policy Statement.

Section 6 | Bibliography

Dieterman, Frank A. Mississauga The first 10,000 Years. The Mississauga Heritage Foundation Inc., 2002

Shipp, Harold G. Chairman of Shipp Corporation Limited., 2012

City of Mississauga Cultural Landscape Inventory L-NA-2 Community Services Department January 2005

City of Mississauga Services Online – eMaps [http://www6.mississauga.ca/eMaps/\(lafipz55wrpwqa55adxyff55\)/default.aspx](http://www6.mississauga.ca/eMaps/(lafipz55wrpwqa55adxyff55)/default.aspx)

Wikipedia. Harold Shipp., 2011 http://en.wikipedia.org/wiki/Harold_Shipp

Hicks, Kathleen A. Port Credit: Past to Present., 2007



SHIPP CORPORATION LIMITED

Heritage Advisory Committee

APR 24 2012

Office of the
Chairman
February 15, 2012

Heritage Committee
City of Mississauga
300 City Centre Drive
Mississauga, Ontario
L5B 3C1

Dear Sirs:

Re: HERITAGE ASSESSMENT ON 500 COMANCHE ROAD, Mississauga, ON

LOT 16: SITE PURCHASED APRIL 1966

LOTS 15, 14, 13, 12: PURCHASED JUNE 1966 (BLOCK A & K), were resubdivided
SOMETIME SUMMER 1966

Summary:

Two separate architect firms were selected by myself and my late wife to design the home incorporating all the features we wished into the design, taking advantage of the features of the lot on which the home was to be built. After weeks of frustration with these architects as no progress had been made as they did not grasp the suggested design that we had expressed to have done.

I sought the services of a young man in our Engineering Department of Shipp Corporation, who had no professional designation in engineering but undertook what turned out to be the design and floor plan, encompassing all the design features and room sizes and locations taking advantage of the views at the rear of the house and the results are the house that currently is built there today. This was all accomplished within two weeks. Within a month we had a full scale model of the house. By the end of September, the foundation was in and they started the first floor framing.

Construction of house was completed, pool in and landscaping on street level all done before occupancy May 17th, 1967 (Canada's Centennial Year). All the trees and landscaping on the street level were planted before occupancy.

A Family Owned Enterprise Since 1923

The title of the property was always held by June C. Shipp. The Title held since June C. Shipp's demise in October 2001 by June C. Shipp Trust (Estate of June C. Shipp). Harold G. Shipp continued to occupy home until October 2009.

Home has been listed for sale since June 2009. Three qualified listing agents have listed since June 2009. The most recent one being Len Howell of Remax.

Presently priced at \$3,999,000 (originally listed at \$6,495,000.00).

The living room has 9 ft. Ceilings, a large den/family room with a cathedral ceiling reaching 16 – 20 ft. all on the main floor. The second floor are 8 ft. Ceilings in height. The remainder of the home has 8 ft. Ceilings throughout the home.

In comparison, many new homes in this price range have 10-20 ft. ceilings on the main floor rooms and over 9 ft. or more on the second floor rooms. It would appear we are losing a lot of potential buyers of homes in this price range to homes more recently built.

We understand many of the potential purchasers look at the home as a "tear down" because of its age and design in the current housing market, but appreciate the lot and the uniqueness of the site and location. However potential purchasers are not willing to enter into a purchase contract, once they are aware of the process of getting Heritage Assessment Approval and not having any assurances if it will be approved and how long it might take.

In my opinion, in acting for the Trustees and beneficiaries of the June C. Shipp Trust, I am not willing to 'TIE UP' the completion of the sales contract for 30-60 days or more, and miss the sale of a purchaser that will buy it for its own value and design, notwithstanding, the interests of anyone who might buy the present home "AS IS" in without removal of the Heritage Assessment Approval designation, but similarly in future years because of the passing of this, any new owner of this property, when his heirs or beneficiaries have the need to offer the home on a resale WITHOUT ANY RESTRICTIONS.

Furthermore, I am still very concerned that a Heritage designation like this should have been placed on this address of mine, or any others, without written notification that this "blight" should be placed on a residential property. Why should it have been necessary for me/us to have to plead for relief "from being chosen" just because I had the insight to purchase this property some 45 years ago?

Len Howell relates that because of its age of 45 years prospective purchasers are aware that the home is built on perhaps the most ideal site on the Credit River, even being 75 ft. below the

table top of the bank and having approximately 400 ft of frontage at the water's edge as well as riparian rights to the Credit river. The lot width at the top of the bank is about 300 ft.

It is unique that the 300 ft at the top of the bank has a 'old roadway' down from the N.E. end of the bank to the lower terrain that was owned by the original farmer to provide him the access of his tractor and water wagon to get water from the Credit River to water the trees in his orchard.

This is as I know – one of the few lots providing walking or traversing from top of bank to valley lands below as comparison to most lots adjoining the bank who have a 45 degree angle making it impossible to traverse.

So "enough said" about the site and view time from all rooms, lower, main floor or second floor rooms and certainly the vista up and down the river from the pool deck and patio.

Please expedite the approval of this request now. Perhaps some unexpected buyer might appear to own this home! But I don't think I should be faced to wait.

Yours very truly,

A handwritten signature in cursive script, appearing to read "Harold G. Shipp". The signature is written in dark ink and is positioned above the typed name.

Harold G. Shipp
For and on behalf of the
Trustees of the
June C. Shipp Estate

Heritage Advisory Committee

APR 24 2012



Harold Shipp House

Cultural Heritage Assessment

500 Comanche Road

Heritage Planning
Community Services
April 2012

Executive Summary

A property merits designation under the *Ontario Heritage Act* if it meets one or more of the criteria in Regulation 9/06. There is no doubt that the Harold Shipp House merits designation for its historical/associative value. Harold Shipp has made a significant contribution to the community of Mississauga and beyond. Shipp was a pioneer developer in this municipality, completely transforming large swaths of land into residential subdivisions, condominiums and office towers.

Because Shipp Corporation erected the house, it also has historical/associative value since it was built by a significant builder. Moreover, the estate, designed for entertaining, with every amenity one could desire, yields information that contributes to an understanding of the mid twentieth century executive lifestyle. The rambling house also has physical/design value because it represents the ideal sixties family home, i.e. not too cutting edge – it was not designed by an architect – yet modern. The residence blends sixties trends with traditional domestic form.

The property also has contextual value as it is physically, functionally and visually linked to its surroundings. Located off Mississauga Road, an area synonymous with the well-to-do, just south of the Queen Elizabeth Way, it is connected to these transportation routes, in addition to, of course, the Credit River. With four hundred feet of shoreline, a large picture window and riverside walk-outs, the house is certainly connected to this historic waterway and recognized cultural landscape.

Finally, although the river is seventy-five feet below, this lot is unique because it has an access route to the water. A preceding owner carved it out for agricultural purposes. This imbues the property with additional historical/associative value connected to the apple orchards that once graced the area.

Historical/Associative Value

The Shipp House has historical/associative value because it has direct associations with, and demonstrates the work of, Harold Gordon Shipp (b. 1926), someone who is significant to the community both as a builder and person at large. (See figures 1 and 2 for images of the house.) The property also yields information that contributes to an understanding of mid twentieth century affluence and Mississauga's agricultural history.

According to what is commonly thought to be the first comprehensive history of Mississauga, published in 1985, "Shipp Corporation is one of the few businesses that can truly make the claim that it built Mississauga."¹ Shipp built large swaths of the city. He is responsible for Applewood Acres, Applewood Heights and Applewood Hills. He also developed property in other areas of Mississauga, including Streetsville. In the late 1960s he started building up. Many condominiums bear Shipp's signature "Applewood" name. His empire extended to commercial high rises in the 1970s, including the Mississauga Executive Centre, and Shipp Centre in Etobicoke. Shipp also lays claim to international developments.

Shipp always prefers that his corporation be recognized for its longevity rather than the extent of its work. His father Gordon started the business in 1923 and Harold joined in 1945, becoming partner a year later.² (For an image of the pair, see figure 3.) The name changed from G.S. Shipp & Son to Shipp Corporation in 1960; Harold was president from 1966 to 1996.³ He currently serves as Chair.

It was Harold that had the foresight to forge west of Etobicoke. For his 25th birthday he sought a loan to develop what would become the south portion of Applewood Acres. Prudential, the company's usual lender, denied the loan because it thought the site too far from Toronto. Canada Life put up the money, but only on the condition that attached garages be included.⁴

Shipp made Applewood Acres work due to his keen business sense and innovation. (The *Toronto Star* recently featured him as an "industry innovator."⁵) Shipp took out full page ads in newspapers, a first for residential developers,⁶ and employed a little "panic"⁷ to quickly sell homes by announcing when each of the lots was purchased, on opening day. A helicopter towed a banner reading "Visit Applewood Acres" over Toronto for two hours a day on the Friday and

¹ Roger E. Reindeau, "Shipp Corporation," *Mississauga: An Illustrated History*, Windsor Publications: 1985, 139.

² Kathleen A. Hicks, "Harold Shipp: Proud to Identify Homes," *A Very Interesting Person and Me*, July 3, 1974, from Peel Biography, Mississauga Library. Note: The Small report erroneously states that Shipp became partner in 1947.

³ John Stewart, "Shipp Corporation begins new era," *Mississauga News*, January 24, 1996, from Peel Biography, Mississauga Library.

⁴ "An Interview with Harold G. Shipp," *Oral History Project*, transcript, Heritage Mississauga, August 21, 1997, transcribed September 9, 1997, p. 3.

⁵ Pat Brennan, "Special Report: Industry Innovators: Building success brick by brick," *Toronto Star*, March 17, 2012, H20.

⁶ "An Interview," p. 6.

⁷ Dave LeBlanc, "Showman Shipp: master housing marketer," *Globe and Mail*, July 29, 2005, from Peel Biography, Mississauga Library.

Appendix 5

Saturday of the inaugural weekend.⁸ (See figures 4 and 5 for images from the opening.) Shipp achieved record sales.

When promoting Applewood Heights, Shipp parked cars on top of three model homes.⁹ Not only did this create a sensational media buzz, as far away as Japan (“Crazy Canadians Park Car on Roof”), it aided him in another of his endeavours.¹⁰ The diverse businessman also sold cars, beginning in 1959.¹¹ His Applewood Motors would later anchor the Erin Mills auto campus.¹²

Shipp’s other promotional tactics included installing mannequins in a model home, also at Applewood Heights, so that it would be the talking point at day’s end.¹³ Similarly, he took advantage of the mid-century interest in space by dubbing his Streetsville homes “Space Shipp.”¹⁴

Despite the wonderful publicity stunts, Shipp offered a solid product, which he stood behind, so much so that, in order to differentiate Shipp Corporation from other builders, he stamped each house with his family’s name, beginning in 1959.¹⁵ A glazed brick that reads “Shipp Built” (see figure 6) is installed near the front door of every house. To this day, people revel in their “Shipp-built” homes. For Shipp, the reputation left behind is paramount.

Of course this brick is included in the subject house. In a sales video for the property, while pointing to the brick, Shipp says: “That’s what makes me proud of this home. It makes it very unique and I hope that whoever buys it does not ever have a wish to remove it.”¹⁶

But Shipp was more than just a developer. The *Canadian Who’s Who* lists him as a “community builder.”¹⁷ Indeed his subdivision plans boasted more than just houses. Applewood Acres included a shopping centre and school. The neighbourhood is one of the largest – if not the largest – planned communities in Canada.¹⁸

Shipp’s national status as “community builder” transcends bricks and mortar though. He has been extremely active, to the extent that he was proclaimed Citizen of the Year, in 1988, a local award named for his late father. He also received the Rotary Club’s highest honour, the Paul Harris Award for community service, in 1984. He has led charity fundraising campaigns, helped establish the Mississauga Board of Trade, and in 1978 was proclaimed “Mississauga Man” for saving the City festival, that year dubbed “Fritterfest,” from its demise.¹⁹

⁸ Dave Cook, *Apple Blossoms and Satellite Dishes: Celebrating the Golden Jubilee of Applewood Acres*, Mississauga, 2004, p. 25.

⁹ “But How Do You Get It Down?” *Toronto Daily Star*, Friday, October 7, 1960, front page of “Metro Edition.”

¹⁰ “An Interview,” p. 5.

¹¹ “An Interview,” p. 4.

¹² Shipp Corp. marks its 75th anniversary of building housing and a solid reputation” *Mississauga News*, May 13, 1998, from Heritage Mississauga files.

¹³ LeBlanc.

¹⁴ LeBlanc.

¹⁵ Hicks.

¹⁶ Michael Parsons, “500 Comanche Rd. Mississauga,” *YouTube*, July 20, 2010.

¹⁷ Elizabeth Lumley, ed., *Canadian Who’s Who*, University of Toronto Press, 2010, p. 1190.

¹⁸ “An Interview,” p. 5.

¹⁹ Gregory Snow, “Harold Shipp,” *Mississauga Times*, January 25, 1978, from Peel Biography.

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On the Corporation's 75th anniversary, Shipp remarked: "I honestly believe that we are not just a builder in the community, but we have to be a builder of the community and that means giving something back."²⁰ Shipp has given to countless charitable causes. For example, he raised almost one million dollars for the Untied Way in 1977.²¹ Recently he pledged six million dollars for a regional stroke centre at Trillium hospital; it is named for he and wife June.²² Shipp has served on the boards of both sites since the early 1970s and the couple raised funds for years.²³ Shipp won the City of Mississauga's inaugural Civic Award of Philanthropy on April 10, 2012.²⁴

Shipp has held many leadership posts. For example, he was named President of the Toronto and Canadian Home Builders' Associations in 1954 and 1971 respectively.²⁵ He has received numerous accolades, including the Queen's Silver Jubilee Medal (1977) and the Canada 125 Medal (1992).²⁶ He has been nominated by both the Toronto and Canadian Home Builders Halls of Fame.²⁷ He has been named both Mississauga and Etobicoke business person of the year.²⁸ Shipp recently received the lifetime achievement award from the National Association of Industrial and Office Properties.²⁹ He was the first Canadian elected as honorary trustee of the Urban Land Institute.³⁰

Such accolades are the mark of success, but so is his 1.8 acre estate, which yields information that contributes to an understanding of mid twentieth century affluence and the executive lifestyle. The house has all the amenities that one could desire, and were popular in the sixties, including an in-ground pool, a four-car attached heated garage, a sauna, an enormous kitchen with a BBQ range, a sun room and a "great room" with a roaring fireplace that, in the words of one realtor, is reminiscent of a Swiss lodge.³¹ When mentioning the inclusion of the butler's pantry to *Globe and Mail* columnist Carolyn Ireland, Shipp recalled how his wife studied "*House & Garden* and all the magazines."³² This home surely rivalled those that graced the pages of these publications.

The house was designed with entertaining in mind; one can almost hear the clink of martini glasses when contemplating this sixties space. Shipp reminisced about the "frequent parties" to

²⁰ "Shipp Corp. Marks 75th."

²¹ Snow.

²² Andrew Chung, "The Hospital Shipp's Built," *Toronto Star*, April 28, 2005, from Peel Biography, Mississauga Library.

²³ Chung.

²⁴ Jan Dean, "Shipp Lauded for Philanthropy," *Mississauga News*, April 11, 2012.

²⁵ Pat Brennan, "Shipping into a new era," *Toronto Star*, January 20, 1996; and "Shipp Named Head of Builders' Association," February 13, 1971, *Mississauga News*, both from Peel Biography, Mississauga Library.

²⁶ Lumley.

²⁷ Brennan, "Shipping."

²⁸ Brennan, "Shipping."

²⁹ Karen Bridson-Boyczuk, "Shipp is honoured for lifelong service," *Mississauga Business Times*, February 20, 2004, and Albert Warson, "Developer Shipp fêted by peers," *Globe and Mail*, February 10, 2004, both from Peel Biography, Mississauga Library.

³⁰ "Shipp, family honoured by peers," *Mississauga News*, May 10, 1989, from Peel Biography, Mississauga Library.

³¹ Len & Stephanie Howell, "500 Comanche Road, Mississauga, Ontario," *Blog by Mississauga Real Estate*, <http://www.mississaugarealestate.com/Blog.php/500-comanche-road-mississauga-on>, accessed March 5, 2012.

³² Carolyn Ireland, "Developer saved the best for himself," *Globe and Mail*, June 30, 2011.

the *Globe*. Cocktails were enjoyed in the sun room or on the pool deck. “Then the guests would be led back in to the foyer, where the Shipp’s would ceremoniously open the doors to the formal dining room and say ‘dinner is served.’”³³ However, for “more solemn guests,” the bar could also be hidden from view behind sliding stained glass doors because, in Shipp’s words, “you don’t want to offend your church people.”³⁴

In addition to speaking to this area’s modern history, the property yields information that contributes to an understanding of Mississauga’s agricultural roots. A previous owner to Harold Shipp, presumably Herbert Bedford³⁵ who owned the property from 1910 to 1959, had carved out an access to the Credit River, seventy-five feet below, so that he could obtain water for his apple orchards along the banks. This route is what prompted Shipp to select the subject lot out of five that he initially purchased along the historic waterway.³⁶ The “gentle slope still provides access” and makes the property “unique,” in Shipp’s words.³⁷

This lot has considerable historical/associative value. It is associated with Harold Shipp, a person that is significant to Mississauga and beyond. It also demonstrates the work of his company, Shipp Corporation, a builder that is noteworthy to the GTA, at minimum, and the building community at large. Finally, it yields information that contributes to an understanding of Toronto Township’s agricultural history and, more generally, mid twentieth century affluence.

Physical/Design Value

The property has physical/design value as it represents the ideal 1960s family home. Shipp hired one of his engineers to design the house in 1966. It was built the same year. His family lived there from 1967 to 2009.

At first glance, with its pleasing proportions, unassuming demeanour and steeply pitched cedar shingle roofs, the house looks like the subject of an idyllic Thomas Kinkade painting. In this sense it is very traditional and conservative. There was a resurgent interest in traditional design in the late sixties.³⁸ The designer employed the archetypal dwelling form – consisting of a simple rectilinear box topped by a gable roof – like building blocks to create a sprawling retreat. Rather than dominate, the low, long profile became part of the landscape.

The rambling format and ground-hugging proportions are another hallmark of the 1960s. The home is vast in size, 7850 square feet on the main and second floors, and another 2950 square feet in the basement.³⁹ However, the word “mansion” seems inappropriate because the edifice is broad and expansive rather than tall and imposing. In fact the second storey is not all that apparent, as it is hidden beneath the steeply pitched roofs. Shipp remarked in a sales video that it

³³ Ireland.

³⁴ Ireland.

³⁵ David W. Small, *Heritage Impact Statement: 500 Comanche Road, Mississauga, ON L5H 1W2* (February 28, 2012), 16.

³⁶ Ireland.

³⁷ Ireland and Parsons.

³⁸ Virginia & Lee McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 2005), 487.

³⁹ Ireland.

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is “deceiving;” “it would appear as if this was a long rambling ranch type of home but there are four bedrooms and four baths upstairs.”⁴⁰

Sprawling homes were a by-product of this era’s reliance on cars.⁴¹ Accordingly, the typical domestic form of the time was the ranch bungalow. The Shipp House takes cues from this house type with its horizontal emphasis, built-in garage and large picture window at the rear. The roof over this large gable window continues beyond the edifice’s wall and is supported by piers. However, whereas this roof/window feature is shallowly pitched and held aloft by metal posts in the more avant-garde homes, here the roof is relatively steep and supported by brick piers.

The residence’s wide chimneys and plain windows are also telltale signs of the dwelling’s date. In her profile on the house, Ireland comments that it “has kept its 1960s vibe, from the pink fixtures in the master bathroom to the perfectly preserved metallic wallpaper in the living room.”⁴² Many other elements have a sixties feel including the simple curving staircases, the large basement bar, and the panelling on the interior of the front doors. The inclusion of a sauna is certainly fitting for this decade as well.

As mentioned previously, the house sports everything one could hope for from a home at this time. However, it has withstood the test of time. Despite trying to downplay the building’s physical/design value by noting that its auteur Wolfgang Arther (sic.) Noack had “no architectural background,” the Small report also points out that Shipp made no alterations.⁴³ Shipp himself reported to the *Globe* that “he can’t think of anything about the house he would have done differently.”⁴⁴ The design was so well executed that Shipp has not seen the need to alter its appearance or function since it was built.

The fact that June Shipp was an avid reader of *House and Home* and other such magazines lends support to the fact that this residence was the ideal home of its time. With its horizontal emphasis, architectural features and amenities typical of the late 1960s, the house is representative of this time period. The Shipp family celebrated Canada’s centennial by moving into a self-designed house that represents the Canadian dream.

Contextual Value

The property has contextual value because it is physically, functionally and visually linked to its surroundings. The property was initially listed on the City’s Heritage Register because it forms part of the Credit River corridor. All of the properties along the Credit River are included in this cultural landscape, extending from Lake Ontario in the south to the Brampton border in the north.

⁴⁰ Michael Parsons, “500 Comanche Rd. Mississauga,” *YouTube*, July 20, 2010.

⁴¹ McAlester, 479.

⁴² Ireland.

⁴³ Small, 28-29.

⁴⁴ Ireland.

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According to the Official Plan, “Mississauga recognizes the Credit River valley as a heritage corridor with both prehistoric and historical significance.”⁴⁵ Moreover, the Credit River is currently being considered for national designation as a Canadian Heritage River.

The Credit’s history as a source of food, water and transportation for the Mississaugas of the New Credit, as well as the European pioneers who settled along its banks, is well known. However, the Credit River’s more recent history, as a source of recreation, relaxation and leisure, is also important. At the turn of the (nineteenth to twentieth) century, Toronto Township (Mississauga) was cottage country and a recreation haven for many wealthy Torontonians. However, by the early twentieth century, many began to make their homes here. In addition to Lake Ontario, the Credit River attracted people to its shores.

As mentioned previously, Shipp specifically chose the subject property because it provided access to the Credit River. The family canoed and skated on the river: Shipp remarked that he still had a canoe “down there” in 2011.⁴⁶ The property has four hundred feet of shoreline.⁴⁷ The large “Swiss lodge” window faces this historic waterway; i.e. the house’s design, as David Small says, in his Heritage Impact Statement, “took advantage of the site.”⁴⁸

Not only is the house physically and visually linked to the Credit River, it is also linked to other important transportation routes. Comanche Road, originally “Spangle Road,”⁴⁹ runs off of Mississauga Road, what some consider this municipality’s “millionaire’s row.” Moreover, it is in close proximity to the Queen Elizabeth Way, an important feature of this suburban area with its reliance on the automobile. This highway’s existence is what led Shipp to develop Applewood Acres where he did.

The property is functionally linked to the Credit River by virtue of its agricultural history, i.e. the access route that allowed the farmer to bring water to his apple orchards in the area. Shipp mentions that “the farmer could go down and pump water from the river and take it up to water his trees.”⁵⁰ As such, the property has an important literal connection to one of Mississauga’s most significant natural features.

While this property was listed on the City’s Heritage Register simply because of its location along the Credit River, further evaluation reveals that it is truly linked to it. It is ironic that the source of this connection, apple orchards, are what came to define Shipp Corporation; an apple is its logo. The property at 500 Comanche Road is also linked to this municipality’s other important transportation routes, Mississauga Road and the Queen Elizabeth Way. For these reasons, the property has contextual value, as defined by the *Ontario Heritage Act*.

⁴⁵ Mississauga Plan 3.20.2.10

⁴⁶ Ireland.

⁴⁷ Len and Stephanie Howell, MLS W2227134,

<http://www.realtor.ca/PropertyDetails.aspx?PropertyID=11256941&PidKey=-775484840>, accessed March 30, 2012.

⁴⁸ Small, 29.

⁴⁹ Small, 17.

⁵⁰ Ireland.

Conclusion

There is no denying that Harold Shipp is an important part of Mississauga's history. He pioneered twentieth century development here over sixty years ago and has been an active citizen ever since. He is also an important philanthropist to Mississauga. Because he stood behind his work, words like "legendary" and "beloved" come to mind when describing this true community builder.⁵¹ It is significant that Shipp chose Mississauga as home. His estate illustrates the 1960s dream. While the property's historical/associative value is key, its physical/design and contextual value both contribute to this important piece of Mississauga's irreplaceable modern history.

⁵¹ Parsons.

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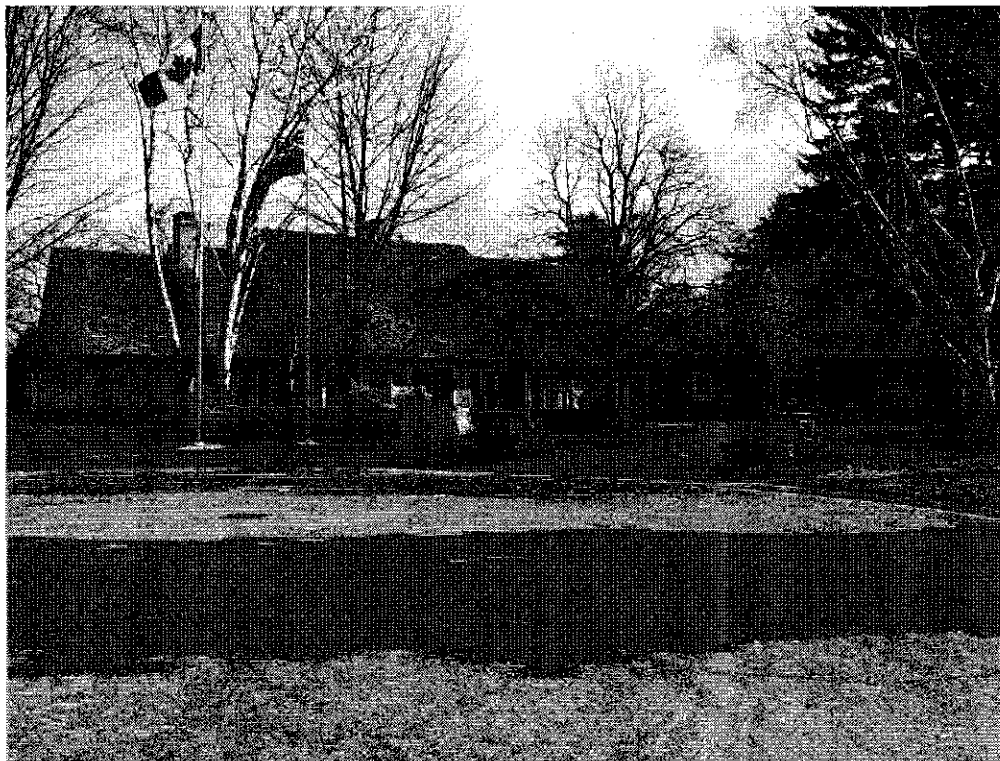


Figure 1: Harold Shipp House, 500 Comanche Road, March 2012. Photo: City of Mississauga

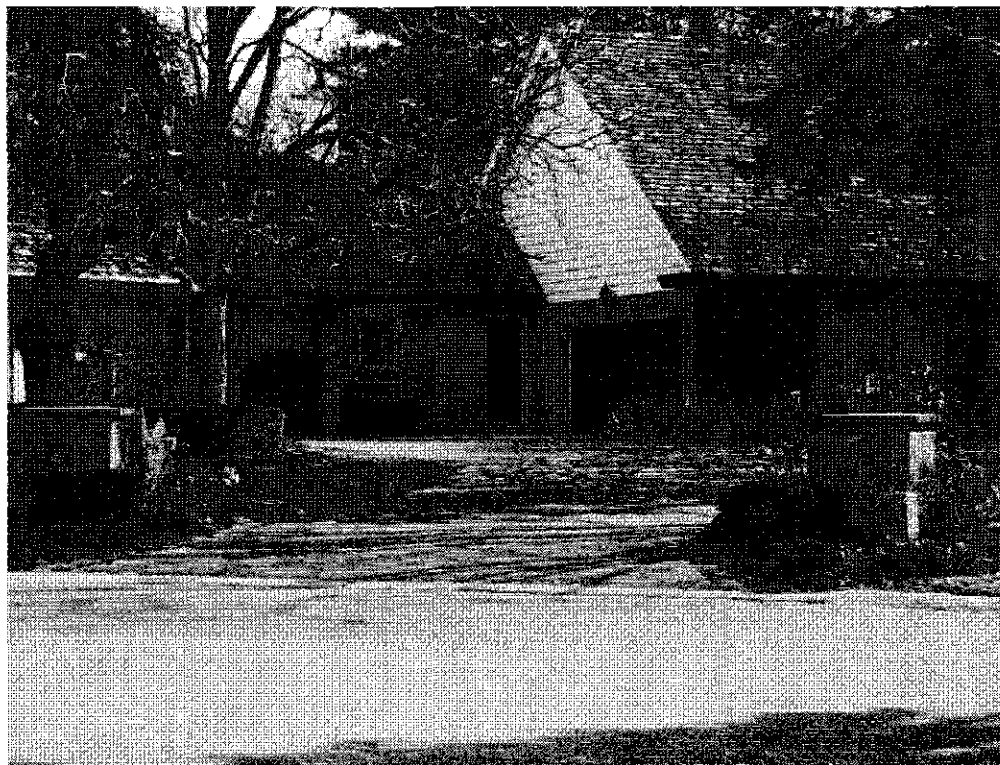


Figure 2: Detail of Harold Shipp House, 500 Comanche Road, March 2012. Photo: City of Mississauga



Figure 3: Gordon S. Shipp, left, with son Harold, stand in front of the Applewood Landmark and Applewood Place in 1977, Photo: Shipp Corporation. Courtesy of Dave Cook.



Figure 4: A sales pavilion. Courtesy of Dave Cook.

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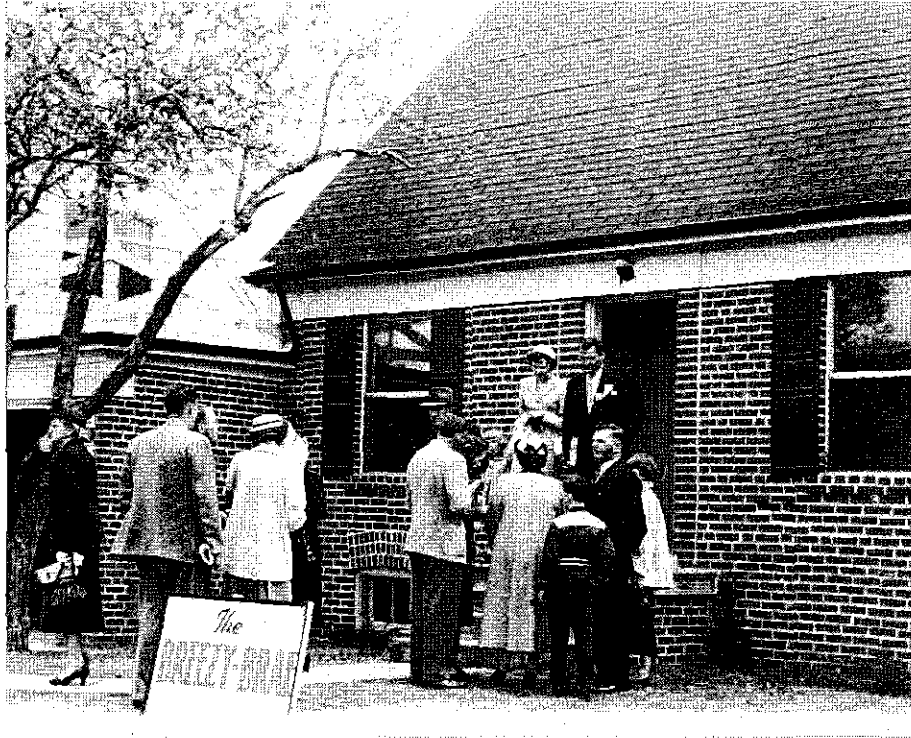


Figure 5: Mother's Day, Prospective customers tour the model homes. Courtesy of Dave Cook.



Figure 6: "Shipp Built" brick. Courtesy of Dave Cook.

Appendix 5

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Designation Statement

The Harold Shipp House is a two-storey sprawling home, located at the foot of Comanche Road in Mississauga.

Statement of Cultural Heritage Value or Interest

The Shipp House has historical/associative value because it is associated with Harold Shipp who is significant to Mississauga. Shipp is an important community builder and philanthropist. The house also demonstrates his work; Shipp Corporation is a nationally, if not internationally, significant builder. The property additionally yields information about mid twentieth century affluence and the area's agricultural history.

The Shipp House has physical/design value because it represents the ideal 1960s home.

The Shipp House has contextual value because it is physically, functionally and visually linked to its surroundings, the Credit River.

Description of Heritage Attributes

Key attributes that reflect the Shipp House's historical/associative value:

- Its "Shipp Built" brick and its location near the main entrance, a clear indication that the house was built by Shipp Corporation
- Its sound construction
- The Shipp Corporation logos on the entry posts
- The access route to the Credit River

Key attributes that reflect the Shipp House's physical/design value:

- The large gable window with its overhanging roof and the brick piers that support it
- The shape, form and light toned brick material of the house, including the cedar shingle roofing
- The shape, form and location of the chimneys
- The windows, their simple shape and form, and their placement

Key attributes that reflect the Shipp House's contextual value:

- Its location and physical relationship to the Credit River
- The views from the house to the Credit River and open views to Comanche Road
- The extensive use of windows and walk-outs on the river side

Heritage Advisory Committee
APR 24 2012

HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.

March 7, 2012



**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**

AUTHOR

Hicks Partnership Architects Inc. is an architectural design firm that has been in practice since 1980 under different partnership forms. The firm's area of specialty is infill housing in very sensitive areas within Mississauga and Oakville area for the most part. In addition, the firm is renowned for its work with designing golf club clubhouses throughout North America.

William Hicks has been practicing as an architect for over 32 years and has designed over 1200 new infill homes across the general GTA area. The firm is known for its design excellence and it has won awards for over 15 different projects including a number of heritage sensitive projects.

The firm prides itself in its ability to design houses which fit the scale and character of the neighbourhood and the firm has designed more than 30 to 40 houses in this immediate area.

The firm has completed heritage impact studies for a number of homes and commercial properties within the Oakville area and we have worked with the Heritage Advisory Committee and the City of Mississauga on some projects in Historic Meadowvale Village and Port Credit. William Hicks was one of the original owners of the Wilcox Hotel on Front Street in Port Credit which was restored by a predecessor firm in the 80's.

THE MINEOLA WEST NEIGHBOURHOOD/ CULTURAL LANDSCAPE

Mineola was developed before it became practice to re-grade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete storm water drainage system artificially. In Mineola, a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of anew vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the road which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.

MINEOLA WEST NEIGHBOURHOOD UNIQUE ASPECTS

The neighbourhood of Mineola is known for a number of unique attributes including in summary the following:

Vegetation

The area is dominated with mature landscaping and large trees that create a canopy over the road in many areas thus adding to the unique charm of the area. A number of the properties have boundary landscaping planted many years ago that help to define the neighbourhood properties and thus add to the character.

Engineering Infrastructure

The area does not consist of engineered streets with curbs and gutters, but instead it is made up out of simple paved roads with ditches and a large number of mature trees within the road right of way unlike newer sub-divisions developed elsewhere within the City of Mississauga. There is a quaint charm to the streets.

Housing Variety

The area has a wide variety of housing types ranging from Historic homes to bungalows', to large scale homes of every size. One of the things that make it unique, is that this wide variety of housing types and configurations exist, thus adding to the character and diversity. All the homes coexist comfortably in the neighbourhood in large part because of the retained landscaping versus the actual style of the house.

HISTORICAL ASSOCIATIONS

The following is a brief history of the Port Credit area through a chronological overview of the people and events that shaped Mineola West neighbourhood.

In 1387, Robert Cotton emigrated from Ireland where he became a well-known farmer and merchant in Toronto.

Robert Cotton purchased land and had a house built in 1856, of which remnants of this log cabin still exist. The Cotton Homestead is located at 1234 Old River Road, of range 1 of the C.R.R. Robert Cotton passed away in 1885 and before that time, he had transferred the Cotton Homestead to James W. Cotton. Robert and James Cotton brothers and to most are considered to be the "Fathers" of Port Credit. James Cotton worked alongside Robert as a Postmaster, Store-master and was the owner of a Wharf. The Cotton Homestead remained in the family unit until it was sold by Cyril El Cotton in 1943, and now the Cotton Homestead is designated under Part IV of the Ontario Heritage Act in June 1984.

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**

PROPERTY DETAILS

Municipal Address	216 Donnelly Drive
Legal Description	Lot 12, Block J, Plan B-09 r plan 344
Municipal Ward	Ward 1
Zoning	R2-4
Lot Frontage	31.01m
Lot Depth	West side is 72.63m
Lot Area	2,172.73 M2
Orientation	South side of Donnelly Drive
Existing house type	Single Family Bungalow
Existing Vegetation	Substantial trees in front and back yards
Current Property owners	Rashmi Khosla 2115 Stavebank Rd Mississauga, ON L5C 1T3 905-270-1654

Construction date for house 1950's

HISTORY OF OWNERSHIP

The following data has been gathered from the Ontario Land registry Office.

Original Plan of subdivision for this lot appears to have been in 1948 as per the attached documents.

- The Crown Granted to James Cotton C.I.R. Lot 4 Range 2 July 11, 1854
- Fredrick W. Jarvis transferred to Bank of Upper Canada Nov 14, 1865
- Bank of Upper Canada transferred to Robert Cotton April 27, 1870
- Robert Cotton Transferred to Susan Cotton Dec 30, 1886
- Dixie Cotton transferred to Wm. Bowbeer June 1, 1915
- Through various owners until the time of the land subdivision in 1948
- Martha Gill and Clarence Gill in 1950
- Martha Gill transferred to Marrti Ahonen September 13, 1968
- Marrti Ahonen transferred to Rasmi Khosla in 2011

See Appendix L attached for documentation.

EXISTING BUILDING DETAILS

CONSTRUCTION

The house is constructed on a concrete block foundation with a mix of wood frame exterior, walls clad with brick and wood siding and some areas are concrete block with brick facing which was typical for this period of construction.

Windows are generally wood frame and aluminum frame subject to which area of the house is considered. They are large openings punched through the brick exterior wall and they have no architectural importance or integrity. The roof is finished in asphalt shingles.

There are no meaningful architectural elements within the existing house that are worthy of preservation. Baseboards are minimal as are window casings and trim detailing in general.

The interior finishes are drywall, wood flooring in some areas, vinyl flooring in others.

There are no details of any particular character or interest within the house and it appears it has remained as built for at least 40 years with ongoing maintenance and upgrades as required over the years.

The history of the most recent additions and building permits are attached herewith.

See Appendix A for the lot location.

See Appendix B for the current lot survey.

EXISTING FLOOR PLANS

See attached floor plans which represent the current state of the house upon acquisition by the Khosla's. See Appendix I attached herewith for copies of these floor plans.

The home is built on one floor with a full basement. The area of the existing finished house is approximately 1,300 sq. ft.

See appendix M for drawings of existing house main floor.

EXTERIOR PHOTOS

The exterior photos were taken on January 30, 2012 and they depict the current state of the existing house. See Photos in the attached Appendix. E

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**

INTERIOR PHOTOS

Refer to Photos of the interior on attached Appendix F. There are no remarkable characteristics of the home interior and certainly nothing worthy of preservation for any reason.

PROPOSED DEVELOPMENT DETAILS

Proposed Development

The owners' intent is to demolish the existing house and construct a new house generally in a similar location to the existing house. Refer to Appendix C showing the proposed new house footprint on lot and its relationship to the two new houses located on either side.

The owner is maintaining most of the trees on the lot. There is one large tree on the front lawn that needs to be removed as it is split and held together with some bolts and rods and it is showing the signs of age and it will not survive the construction period of the new house. There are a substantial number of trees in the rear yard being maintained as well as mature vegetation on the property boundary lines.

There was an arborist report submitted as part of the redevelopment plan and it is attached herewith as appendix H.

Proposed Streetscape

Refer to Appendix D to show the new house from the street in relation to the two new houses on either side. It should be noted that all houses will be the same height. Refer to proposed landscape plan which is found under Appendix J.

Refer to Appendix K for a complete set of the site plan submission drawings.

AREA DESCRIPTION

The Mineola area in which this property is found has been designated as a cultural landscape area and as such, the requirement exists to submit a Heritage Impact Statement report to justify the removal of the existing house on the property which has been recently occupied as a single family home by one owner for 40 years.

The area is not designated as a Heritage District under the Act but the city reviews applications generally in accordance with the rules of The Ontario Heritage Act.

The specific area in which this property is located has undergone extensive redevelopment in the past few years and is currently continuing to be redeveloped. See Photos in Appendix G which represent new homes on the same street built within the past three years. The new owners of the property intend to demolish and reconstruct a new one storey single family home as per the drawings that are attached.

The property was acquired by the current owners in 2011 after it had been lived in by two owners for the past 60 years. The house was constructed in the mid 1950's to early 60's and is but one example of a traditional ranch style bungalow which was predominant in the area.

There have been a number of additions and renovations to the existing building over the past 40 years including additions on the back of the house and a large deck structure at the back of the house.

The building does not have any specific architectural interest as it was most likely one of a number of similar or identical houses built in that period from standard developers and builders plans that were available at that time.

CONCLUSIONS

There are certain specific criteria laid out in the Official Plan for the area which note the reasons for the area being designated as a Cultural Heritage Area.

EVALUATION CRITERIA

The Mineola neighbourhood has been included in the Cultural Landscape Inventory within the City of Mississauga. It is included for its neighbourhood character versus being of any specific heritage interest.

The inventory describes the areas of specific interest within the neighbourhood which should be reviewed. These include the following:

Landscape Environment

- Scenic and Visual Quality
- Natural Environment
- Landscape Design

Historical Association

- Styles, Trends and Patterns
- Social and Physical Development

Built Environment

- Aesthetic / Visual Quality
- Scale of Built Features

**LANDSCAPE ENVIRONMENT
SCENIC AND VISUAL QUALITY**

The scenic quality of Mineola West is enhanced by the rolling nature of the lots and the heavily treed streets. The transition between street and front yard is minimal thus making the street landscape part of the individual homes.

The proposed development maintains this relationship between the new home and the street which is consistent with the neighbourhood which while having undergone substantial redevelopment in past years it has maintained its character of place.

The proponent intends to maintain a large specimen tree on the site and to remove some trees which are in question due to past practices including bolting and wiring the trees. The new landscape plan intends to replace these lost trees with an interesting and full landscape plan. Thus in the opinion of the author of this report, neither the removal of the existing house or the proposed new development, will alter negatively the scenic and visual quality of the neighbourhood. In fact in our opinion, it will be enhanced.

NATURAL ENVIRONMENT

The trees on site are being retained. The back of the lot is heavily forested on the edge and this will be retained. There will be no impact on the natural environment caused by removal of the house or the construction of the new home.

LANDSCAPE DESIGN

As noted in the attached landscape plan, the proposed development includes a very rich landscape plan that reinforces both the character of the lot and of the neighbourhood as a whole. The resulting new house and landscape will be an enhancement to the area and it will preserve the character of the Mineola west neighbourhood.

**HISTORICAL ASSOCIATIONS
STYLE AND PATTERN**

The existing neighbourhood has a wide variety of lots, shapes and patterns but they are consistent in the way they address the road with a seamless landscape from asphalt to front door. The pattern of the existing immediate neighbourhood includes buildings of varying setbacks and depths of lots.

The proposed new house maintains this sense of style and pattern and it inserts a new home that meets all of the design intent of the Urban Design Policies implemented as part of the site plan process.

PHYSICAL DEVELOPMENT

The removal of the existing home and the creation of the new house do not affect the strong history and or character of the area. Mineola West remains a wonderful example of a unique development in the City.

AESTHETIC AND VISUAL QUALITY

The existing modest house does not represent a rare or unique example of a particular style or type or construction methodology. There is no evidence of a high degree of craftsmanship or artistic merit in the existing structure. Its removal will not impact on the aesthetic or visual quality of the neighbourhood.

SCALE

The existing street has a wide variety of house types on it but the predominant character of the area might be described as one of 1.5 and 1 storey houses. The existing house is a bungalow which has been substantially modified. The proposed new home is a 1.5 storey house which fits in with the context of the site and streetscape. It has been designed so as to be able to cohabitate with the existing dwellings in the area.

It is the conclusion of the writer, that while this property is listed on the register under the Mineola West Cultural Landscape, the existing house has not been designated and does not merit conservation measures of any kind.

The impact of the proposed new home has taken into consideration the surrounding neighbourhood, and the preservation of streetscape character. The new home matches the existing front yard setback of the original house and thus is appropriate in terms of impact on the street scape.

Thus it is the conclusion that the proposed demolition and new construction do not contravene the intentions of the Mineola West Cultural Landscape Listing.

ONTARIO REGULATIONS 9/06

Under Ontario regulation 9/06 which is part of the Ontario Heritage Act, one must consider the criteria for determining if the specific property is of cultural value or Interest. There are nine criteria for this evaluation including the following:

- 1.i Is it a rare example that is unique or representative of a style or expression or a unique construction method. Certainly this house when it was built was one of many typical to the area and was considered to be a subdivision type house with little or no interest from an architectural perspective. While the house is listed on the heritage register under the Mineola West Cultural landscape, the existing dwelling has not been specifically designated. The existing house does not meet the general or specific criteria set out in Regulation 9/06
- 1.ii The house does not represent or display a high degree of craftsmanship or artistic merit in the opinion of the writer there is nothing unique about the architectural expression or detailing found in this home. The house is not known to represent any significance related to theme, events, beliefs, persons, activities or organizations or institutions in the community.
- 1.iii The house certainly does not display, nor is it representative, of a high degree of technical or scientific achievement. It is built following traditional construction methodologies of that period with a brick and frame construction.
- 2.i The specific house through its history, has not been associated with any particular event or owner or institution, that is significant to the community.
- 2.ii The house does not hold any clues to a better understanding of the community or culture within which it is located.
- 2.iii The house is not known to be designed by an architect and was a typical plan type built in that period as part of a new plan of subdivision. It is not attributed to an architect, builder or designer that is significant to the community.
- 3.i The architecture does not define the character of the area and I would suggest does not support the current character of the area which is in a state of transition.
- 3.ii The house is not physically, functionally or visually linked to its surroundings.

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**

3.iii The house can certainly not be considered a landmark in the community.

Based on the 9 criteria noted above, the house is certainly not of cultural or heritage value or interest and is appropriate for demolition. The existing dwelling does not warrant conservation.

FINAL CONCLUSION

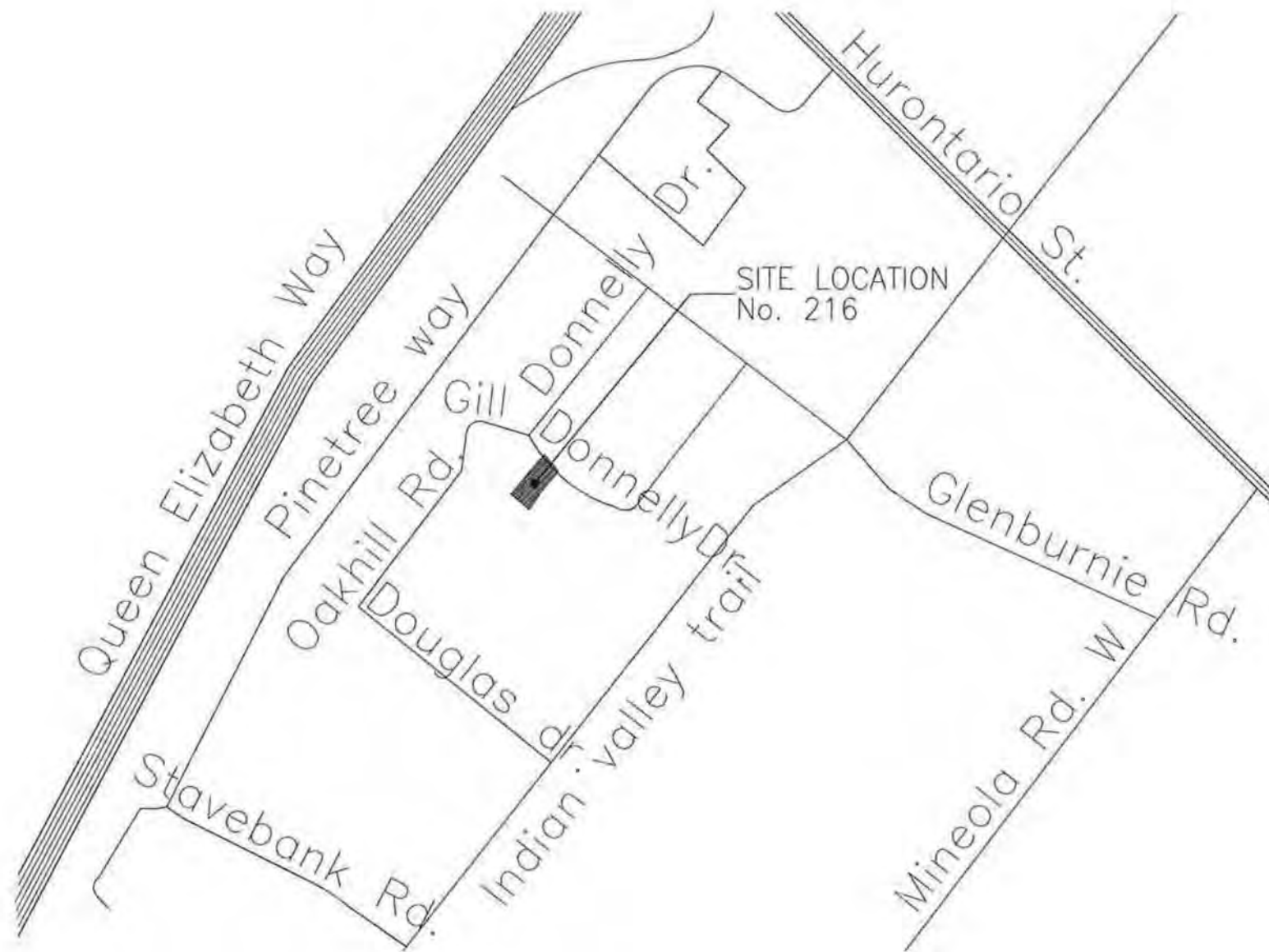
The removal of the house will have no impact on the Mineola West Cultural Landscape. It is in fact, desirable to remove it as it poses a danger at this time. As noted under Section 9/06 the existing structure does not meet any of the prescribed criteria for evaluation and preservation.

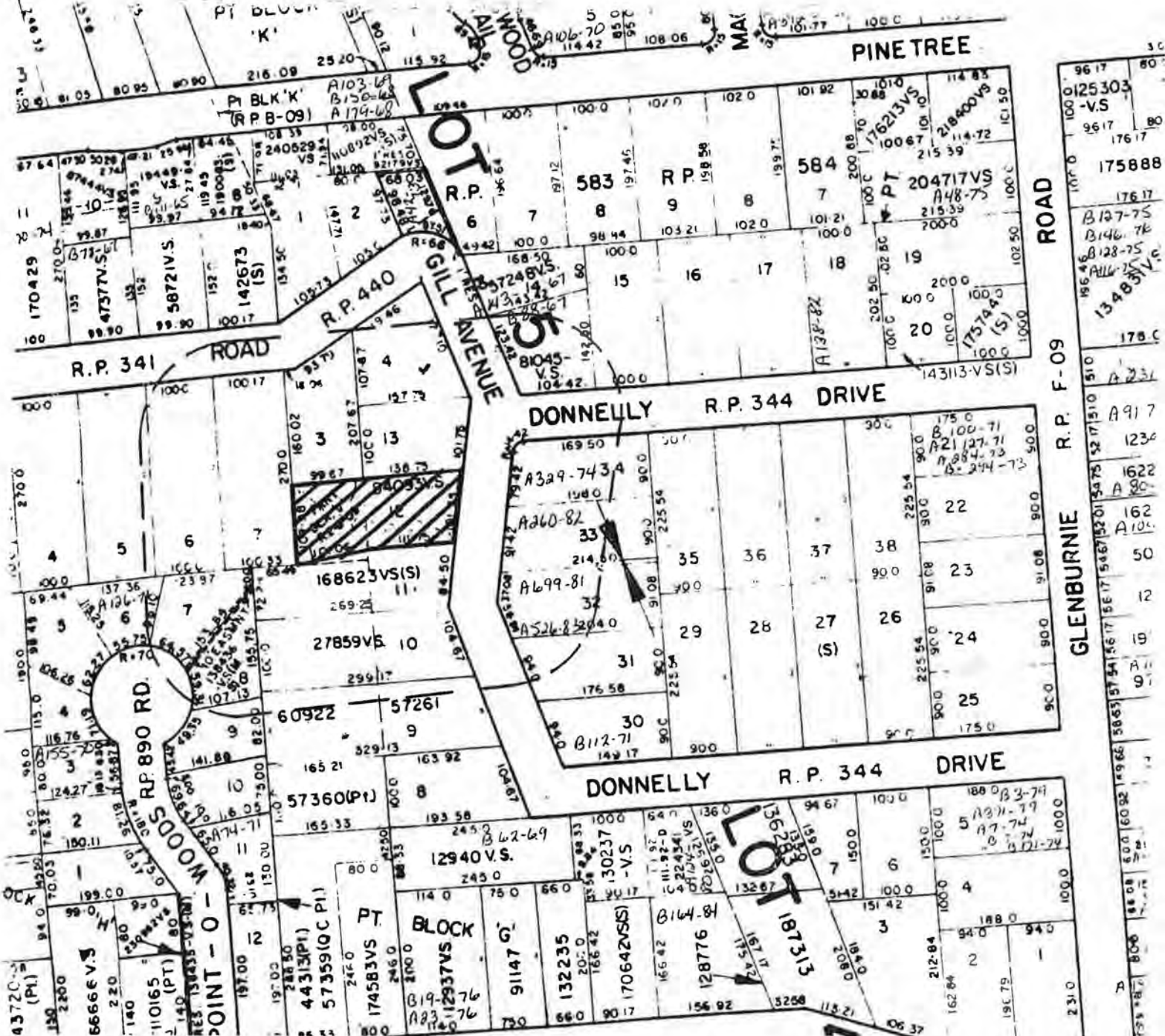
Thus, it is recommended that the existing structure be removed and the new structure is an appropriate and desirable addition to the context of the neighbourhood.

Report prepared by:
The Hicks Partnership Inc.



**William R Hicks
B. Arch. MRAIC., OAA, AIBC, NSAA, MAA,
NYSAA, NBAA**





COMMITTEE OF ADJUSTMENT

ASSESSED OWNER SANDRA & MARTTI AHONEN
 APPLICANT/OWNER (SAME) TEL. NO. 278-4083
 MAILING ADDRESS 216 DONNELLY DR. MISSISSAUGA L5G 2M4
 AGENT (IF Any) N/A TEL. NO. _____
 MAILING ADDRESS N/A

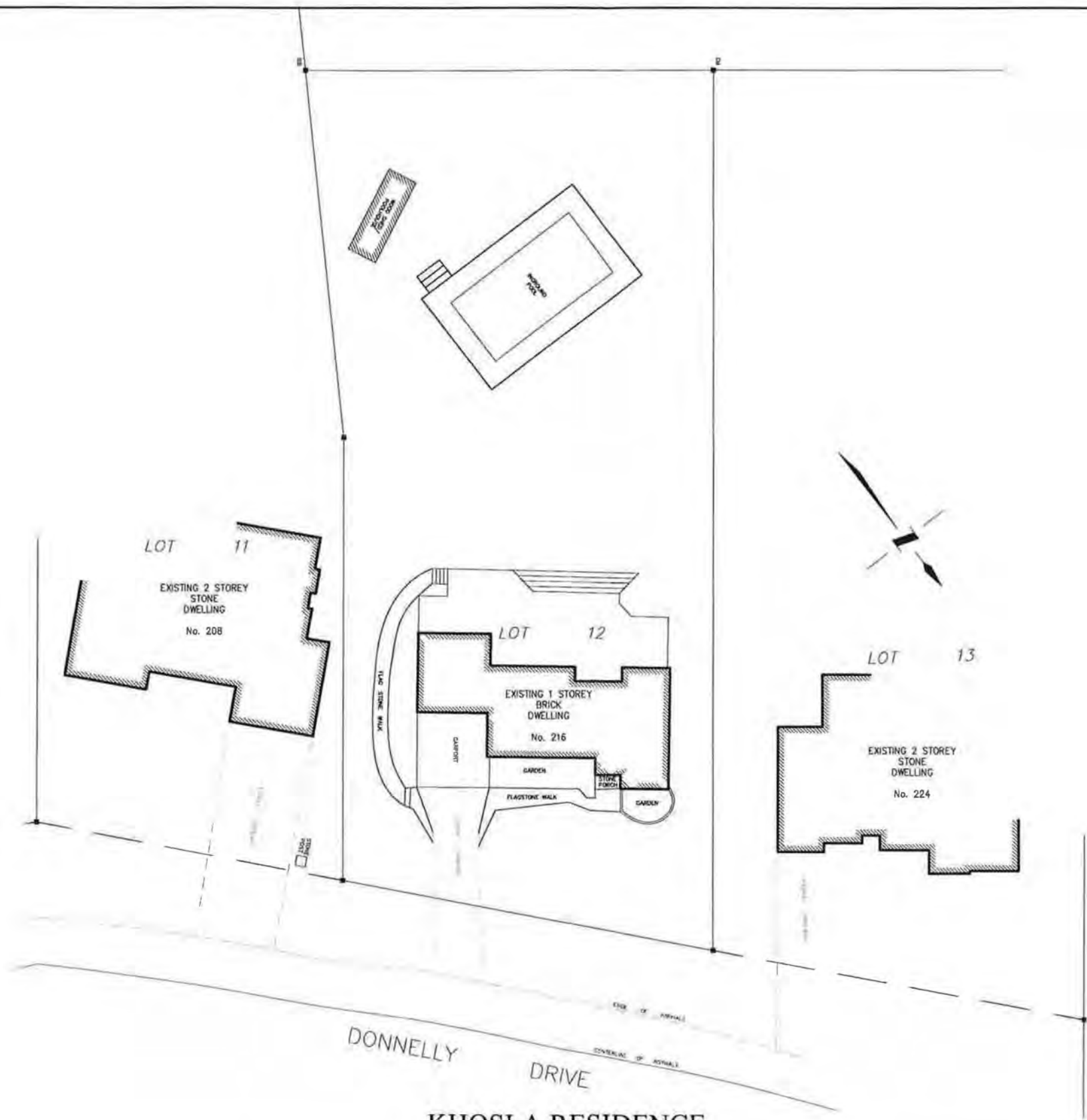
IN ACCORDANCE WITH SECTION 42 (1) OR (2) OF THE PLANNING ACT OF ONTARIO, AN APPLICATION FOR MINOR VARIANCE OR PERMISSION

FOR A FRONT YARD SETBACK RELIEF

LOCATION OF LANDS 216 DONNELLY DRIVE WARD 1 ASSESSMENT ROLL NO 010-018-068
 LEGAL DESCRIPTION _____ MUNICIPAL SERVICES _____ ZONE DESIGNATION R2
 LOT LOT 12 WATER YES NO
 REG. PLAN 344 SANITARY SEWERS YES NO
 CONC./RANGE _____ WIDTH OF STREET 20.12 SECTION (IF Any) _____
 "B" MAP 10 "Z" MAP 8

DIMENSIONS OF LAND
 EXISTING FRONTAGE 13.02m ± PROPOSED FRONTAGE N/A REMAINING FRONTAGE N/A
 AREA 2184m² ± AREA _____ AREA _____

FILE NO. "A" 581/86



DONNELLY DRIVE

KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA, ON.

LOT PLAN
APPENDIX B Existing Condition

FEB 28 2012

1:400



PLAN OF SURVEY OF
LOT 12 - REGISTERED PLAN 344
 AND PART OF
BLOCK J - REGISTERED PLAN B-09
 CITY OF MISSISSAUGA
 REGIONAL MUNICIPALITY OF PEEL
 SCALE: 1"=30'
 C. PEAT, O.L.S.
 1986

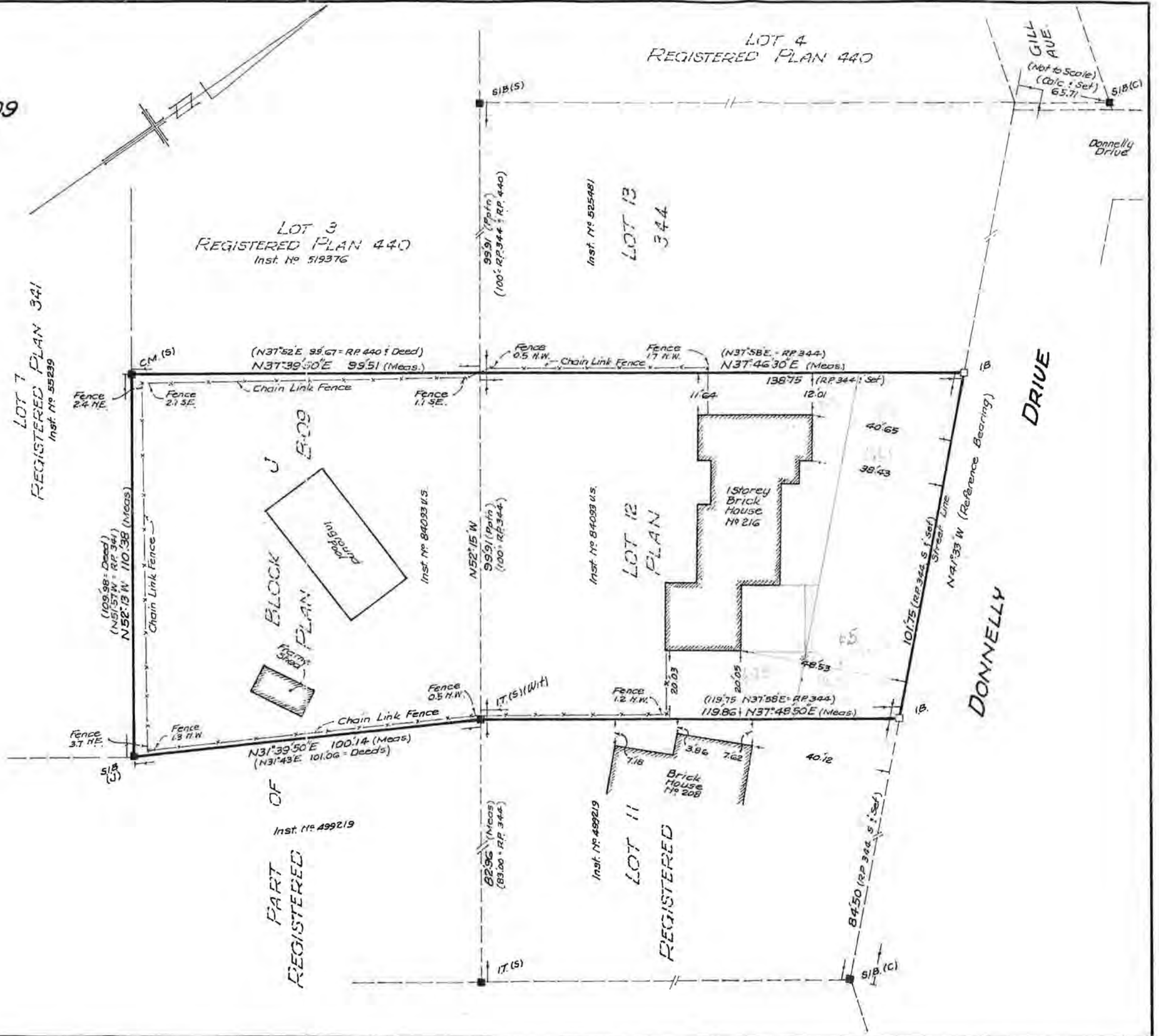
NOTE:
 Bearings are astronomic and are referred to the southwesterly limit of Donnelly Drive on a course of N41°33'W according to Registered Plan 344.

LEGEND:

■	Denotes	survey monument found
□	"	survey monument planted
SIB	"	standard iron bar
IB	"	iron bar
IT	"	iron tube
Wit	"	witness
J	"	D.D. James, O.L.S.
S	"	H. Sewell, O.L.S.
C	"	H. Cook, O.L.S.
Deed	"	Inst. No. 84093 U.S.
Meas	"	Measured
Ppfn	"	Proportion
R.P.	"	Registered Plan

SURVEYOR'S CERTIFICATE
 I certify that the field survey represented on this plan was completed on the 25th day of March, 1986

C. Peat
 C. PEAT
 Ontario Land Surveyor
 2468 Edenhurst Drive
 Mississauga, Ontario
 L5A 2K9 277-8551
 Date: March 31, 1986





LOT PLAN

APPENDIX C Proposed Site Development

KHOSLA RESIDENCE
 216 DONNELLY DRIVE, MISSISSAUGA, ON.

FEB 28 2012

SCALE 1:400



hicks partners
 DISTINCTIVE ARCHITECTURE



208 Donnelly dr.

property line



216 Donnelly dr.

property line



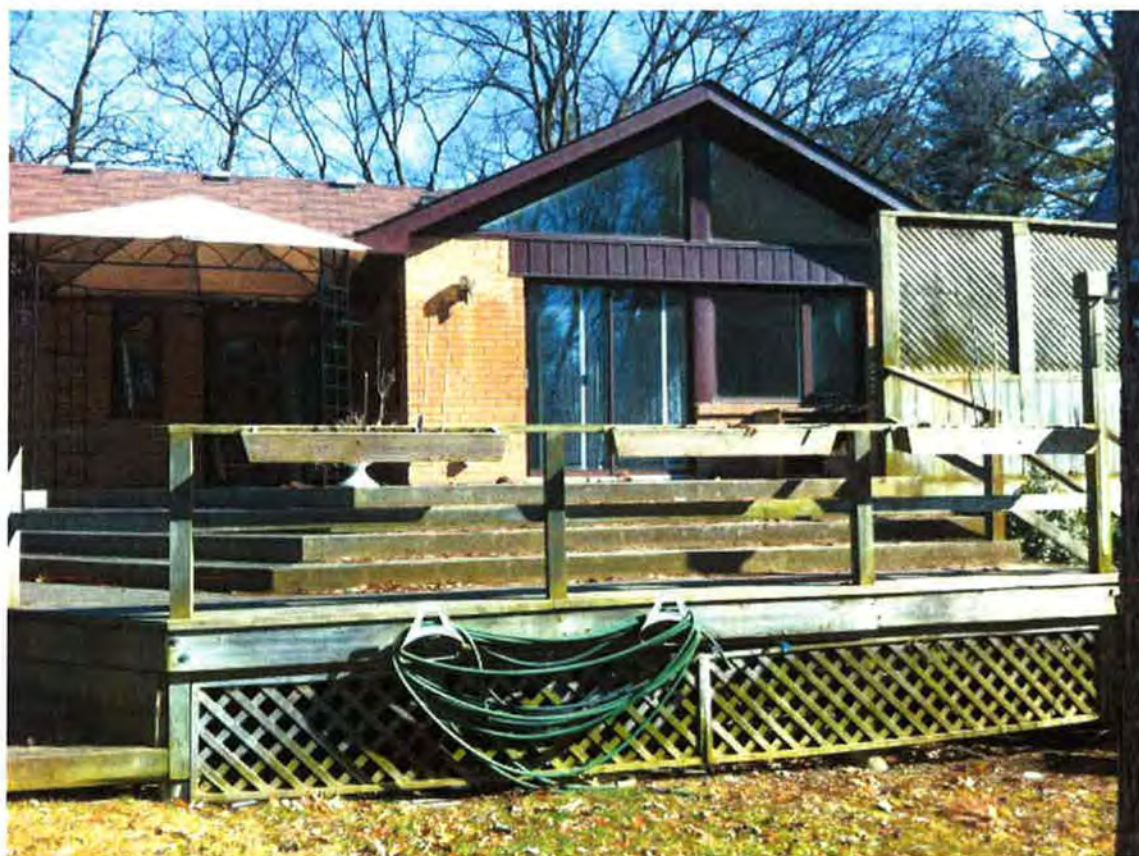
224 Donnelly dr.

APPENDIX E

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**



EXISTING HOUSE REAR ELEVATION



EXISTING HOUSE BACK ELEVATION

APPENDIX E

HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.



EXISTING HOUSE REAR TERRACE



EXISTING BACK TERRACE

APPENDIX E

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**



EXISTING FRONT ELEVATION OF HOME

APPENDIX F

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**



EXISTING HOUSE INTERIOR



EXISTING HOUSE KITCHEN

APPENDIX F

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**



EXISTING INTERIOR VIEW



EXISTING LIVING ROOM

APPENDIX F

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**



EXISTING BASEMENT



EXISTING WALL CONSTRUCTION FOUNDATION

APPENDIX F

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**



EXISTING FURNACE SYSTEMS



EXISTING KITCHEN

APPENDIX F

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**



MAIN FLOOR BATHROOM



BASEMENT UNFINISHED ROOM

APPENDIX G

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**



NEW HOUSE NORTH SIDE OF DONNELLY



NEW HOUSE NORTH SIDE OF DONNELLY

APPENDIX G

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**



EXISTING HOUSE SOUTH SIDE OF DONNELLY



NEW HOUSE NORTH SIDE OF DONNELLY

APPENDIX G

**HERITAGE IMPACT STATEMENT / KHOSLA RESIDENCE
216 DONNELLY DRIVE, MISSISSAUGA
THE HICKS PARTNERSHIP INC.**



NEW HOUSE NORTH SIDE OF DONNELLY



NEW HOUSE NORTH SIDE OF DONNELLY

December 14, 2011

The Hicks Partnership Inc.
345 Lakeshore Road East, Suite 400
Oakville, ON L6J 1J5

Attention: Ms. Angie Maiato

**RE: Tree Preservation Plan
216 Donnelly Drive - Mississauga**

I have been retained by Ms. Angie Maiato of *The Hicks Partnership Inc.*, to provide an arborist consulting report concerning the above subject site. The purpose of this report is to provide a tree preservation plan, with recommendations, regarding all regulated trees affected by the proposed development.

History and Definition of Assignment:

I have been advised by Ms. Maiato that the above subject site is scheduled for development, which includes demolition of the existing dwelling and pool as well as the construction of a new two-storey dwelling as per the "Tree Preservation Plan" in Appendix I. There is one (1) city-owned tree involved with this project.

The assignment is as follows:

1. Survey all regulated trees that will be affected by the proposed project, assess their condition and determine if they are suitable for preservation.
2. Provide recommendations for tree preservation.
3. Determine if proposed construction will adversely affect the health of such trees.

Assumptions and Limiting Conditions:

See Appendix II:

Tree Identification and Location:

See “Tree Protection Plan” in Appendix I for tree location and Table #1 for species identification, condition, and recommendations.

Table #1: 216 Donnelly Drive - Mississauga

Tree #	Species	DBH ¹ (cm)	Condition ²	Category ³	Comments	Suitability ⁴ for Conservation	Recommend -ation	TPZ (M)
1744	Austrian Pine <i>Pinus nigra</i>	53	Fair	1	- 30% LCR - in conflict with proposed grading	Moderate	Remove	
1745	Austrian Pine <i>Pinus nigra</i>	42	Fair	1	- 25% LCR - in conflict with proposed grading	Moderate	Remove	
1746	Austrian Pine <i>Pinus nigra</i>	35	Fair	1	- 20% LCR - in conflict with proposed grading	Moderate	Remove	
1747	Austrian Pine <i>Pinus nigra</i>	47	Fair	1	- 30% LCR - in conflict with proposed grading	Moderate	Remove	
1748	Norway Spruce <i>Picea abies</i>	37	Fair	1	- clear of proposed construction	Good	Preserve	
1749	Norway Spruce <i>Picea abies</i>	27	Fair	1	- clear of proposed construction	Good	Preserve	
1801	Scots Pine <i>Pinus sylvestris</i>	43	Fair	1	- in conflict with proposed grading	Good	Remove	

¹ **DBH** – Diameter at Breast Height is a measurement in centimeters, using a caliper tape, of the tree stem at 1.37 meters above existing grade.

² **Condition** – A rating of Poor/Fair/Good/ Excellent was determined for each tree by visually assessing all the above ground components of the tree, using acceptable arboricultural procedures as recommended in the “*Guide for Plant Appraisal*”, prepared under contract by the “*Council of Tree & Landscape Appraisers (CTLA)*”, an official publication of the *International Society of Arboriculture (I.S.A.)*, 9th Edition, 2000”.

³ **Category #:**

1. Trees with diameters of 15 cm or more, situated on private property on the subject site.
2. Trees with diameters of 15 cm or more, situated on private property, within 6 m of the subject site.
3. Trees of all diameters situated on City owned parkland within 6 m of the subject site.
4. Trees of all diameters situated within the Municipal road allowance adjacent to the subject site.

⁴ **Suitability for Conservation** – A rating of Poor/Moderate/Good is assigned to each tree taking in to account four factors which include, 1) Tree health 2) Structural integrity 3) Species response and 4) Tree Age and longevity, as recommended in the “*For Tree Care Operation – Trees, Shrubs, and Other Woody Plant Maintenance Standard Practice*” prepared as part of the “*ANSI A300 Standards.*”

⁵ **TPZ** – Minimum tree protection zone distance as mandated by the Consulting Arborist.

Tree #	Species	DBH (cm)	Condition	Category	Comments	Suitability for Conservation	Recommendation	TPZ (M)
1802	Red Oak <i>Quercus rubra</i>	45	Fair	4	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	3.0
1803	White Mulberry <i>Morus alba</i>	68	Poor	1	- large cavity in trunk - fungus evident, previously cabled - not a suitable candidate for preservation	Poor	Remove	
1804	Norway Spruce <i>Picea abies</i>	56	Fair	1	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	3.6
1805	Red Oak <i>Quercus rubra</i>	100	Fair	1	- clear of proposed construction - shall maintain existing root structure - suitable candidate for preservation	Good	Preserve	6.0
1806	Norway Spruce <i>Picea abies</i>	31	Fair	1	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
1807	Norway Spruce <i>Picea abies</i>	44	Fair	1	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	3.0
1808	Norway Spruce <i>Picea abies</i>	26	Fair	1	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
1809	Norway Spruce <i>Picea abies</i>	42	Fair	1	- encroached upon by proposed construction - suitable candidate for preservation	Good	Preserve	3.0
1810	Norway Spruce <i>Picea abies</i>	34	Fair	1	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
A	Silver Maple <i>Acer saccharinum</i>	117	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	6.0
B	Silver Maple <i>Acer saccharinum</i>	67	Fair	2	- dual stem - clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	4.2
C	Norway Spruce <i>Picea abies</i>	34	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
D	Sugar Maple <i>Acer saccharum</i>	45	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	3.0
E	Norway Maple <i>Acer platanoides</i>	36	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
F	Red Oak <i>Quercus rubra</i>	42	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	3.0
G	Red Oak <i>Quercus rubra</i>	31	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
H	Red Oak <i>Quercus rubra</i>	34	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
I	White Oak <i>Quercus alba</i>	51	Fair	2	- some deadwood - clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	3.6

Tree #	Species	DBH (cm)	Condition	Category	Comments	Suitability for Conservation	Recommendation	T P Z (M)
J	Red Maple <i>Acer rubrum</i>	49	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	3.0
K	Sugar Maple <i>Acer saccharum</i>	38	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
L	Sugar Maple <i>Acer saccharum</i>	58	Fair	2	- bark stripped, poor union - clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	3.6
M	Shagbark Hickory <i>Carya ovata</i>	38	Fair	2	- dual stem, lots of deadwood - clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
N	Norway Spruce <i>Picea abies</i>	27	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
O	Norway Spruce <i>Picea abies</i>	43	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	3.0
P	Norway Spruce <i>Picea abies</i>	20	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
Q	Scots Pine <i>Pinus sylvestris</i>	27	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4
R	Norway Spruce <i>Picea abies</i>	19	Fair	2	- clear of proposed construction - shall maintain prescribed TPZ - suitable candidate for preservation	Good	Preserve	2.4

Site Notes and Comments:

City Owned Trees:

- As listed above, thirty-four (34) regulated trees are involved with this project, one (1) of which is City owned, being tree no. 1802. Tree no. 1802 is clear of proposed development, shall retain its prescribed TPZ, and as such, will not be disturbed during construction.

Privately Owned Trees That Are Situated within 6.0 m of the Subject Site:

- There are eighteen (18) regulated trees situated on private property within 6.0 metres of the subject site (being trees "A-R"). All neighbouring trees are clear of proposed construction, shall retain their prescribed tree preservation zones without disturbance to roots or canopy and, as such, will not be disturbed by proposed construction.

Privately Owned Trees Located on the Subject Site:

1. There are fifteen (15) regulated trees located on the subject site that are involved with this project, being trees no. 1744-1749, 1801 and 1803-1810. Trees 1748, 1749, 1804, 1806-1808 and 1810 are clear of proposed construction shall retain their prescribed TPZ and as such, will not be disturbed during construction.
2. Tree no. 1805 is situated adjacent to an existing structure, being the existing asphalt driveway. With the above in mind, proposed construction will not infringe on the existing root structures of this tree and if protected by hoarding, as outlined in the Tree Protection Plan, will not adversely affect the tree's current condition.
3. Tree no. 1809 is encroached upon by the proposed driveway by 9%. Such encroachment is located outside of the critical root zone along the outer edge of the tree preservation zone. Roots disturbed within this area are likely to be no larger than 2-3cm in diameter and can easily be ameliorated by retaining a qualified arborist to supervise excavation, root prune as required and fertilize to promote root regeneration. This tree is healthy and vigorous and has an excess of stored energy (carbohydrates) to easily recover from this minor disturbance. Pursuant to the Private Tree By-law the client will submit a permit application to injure one tree.
4. Trees no. 1744-1747 and 1801 are in conflict with proposed grading and as such are to be removed. In addition, tree no. 1803 is in conflict with the proposed driveway and as such, is also to be removed. Pursuant to the Private Tree By-law the client will submit a permit application to remove two (2) trees.
5. To further protect each tree scheduled for preservation from the potential of construction disturbance, it is recommended that the below listed tree preservation recommendations are implemented. Details for each recommendation are listed in the *Tree Preservation Specification* schedule in Appendix IV.
 - Erect all hoarding prior to construction and ensure no materials, equipment or personnel are allowed within TPZ during construction.
 - Apply a one-year, slow release, deep root, high phosphorus and potassium fertilizer, such as an 8-30-30, to stimulate and promote root development. Avoid using a high nitrogen based fertilizer, which are designed to stimulate shoot and foliar growth, which can expose the tree to unwanted insect infestations.
 - Retain a Project Consulting Arborist (PCA), throughout the entire construction process, to observe and ensure that all above recommendations are being followed.

Conclusions:

As listed above, thirty-four regulated trees are involved with this project, one of which is City owned. Six trees located on the subject site are in conflict with proposed construction and require removal. Furthermore, one tree located on the subject site cannot maintain 100% of its prescribed TPZ. Pursuant to the Private Tree By-law the client will submit a permit application to remove two trees and injure one. All remaining trees found on or within 6.0 metres of the subject site are clear of the proposed development, shall maintain their existing root structure, and as such, will not be disturbed during the construction. Finally, with the above in mind, it's the consultant's opinion that if the above tree preservation recommendations are implemented, which includes installing tree protection hoarding as outlined in this report, proposed construction will not adversely affect the long-term health, safety and/or existing condition of all trees recommended for preservation.

Trusting this report meets your needs. For further information, please do not hesitate to contact me directly at 905-469-1717.

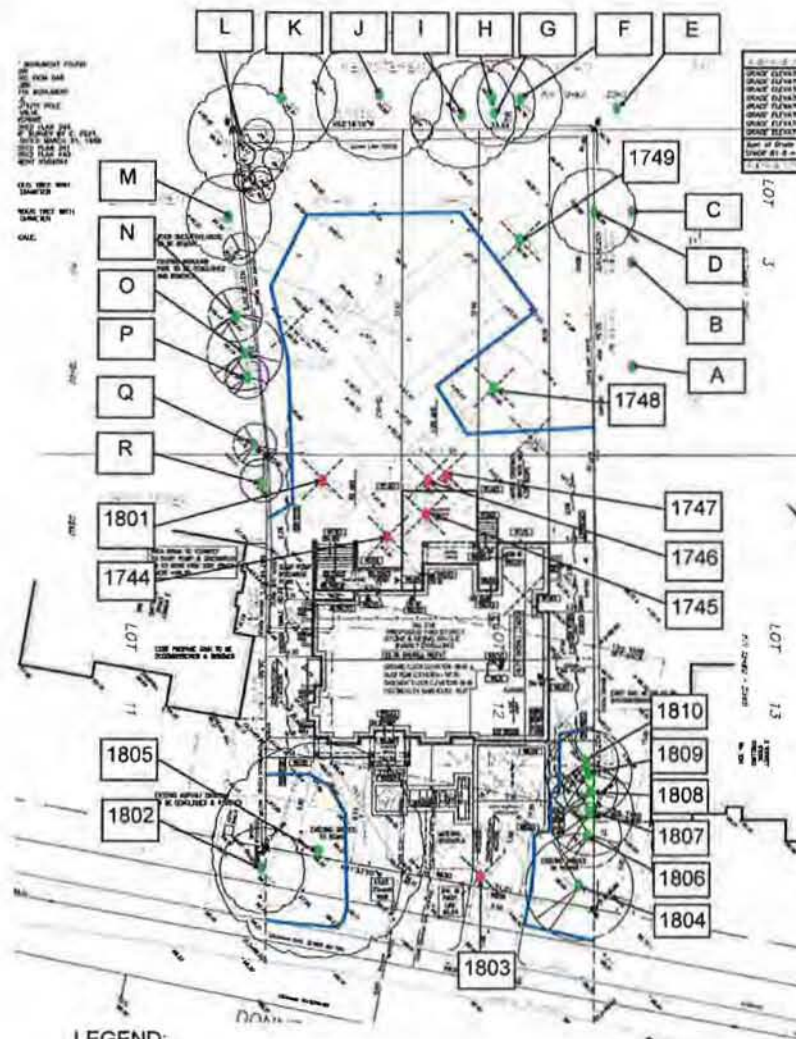
Yours truly,



Davide P. Carnevale *H.B.Sc.F.*
President/Consulting Arborist ASCA #370

Appendix I: Tree Preservation Plan

TREE PRESERVATION PLAN
216 Donnelly Drive
Mississauga, ON
SCALE : NTS



LEGEND:

- Tree to be preserved
- Tree to be removed
- Proposed tree protection hoarding

Appendix II:

ASSUMPTIONS AND LIMITING CONDITIONS

1. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however *The Tree Specialists, Inc.* can neither guarantee nor be responsible for the accuracy of information provided by others.
2. Unless otherwise required by law, possession of this report or a copy thereof does not imply right of publication or use for any purpose in whole or in part by any other than the person to whom it is addressed, without the prior expressly written or verbal consent of the author or his company.
3. Excerpts or alterations to the report, without the authorization of the author or his company invalidates its intent and/or implied conclusions. This report may not be used for any expressed purpose other than its intended purpose and alteration of any part of this report invalidates the report.
4. **Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflect the condition of those items at the time of inspection; and 2) the inspection was made using accepted arboricultural techniques and is limited to visual examination of accessible items without climbing, dissection, probing or coring and detailed root examination involving excavation. While reasonable efforts have been made to assess trees outlined in this report, there is no warranty or guarantee, expressed or implied, that problems or deficiencies with the tree(s) or any part(s) of them may not arise in the future. All trees should be inspected and re-assessed periodically.**
5. The determination of ownership of any subject tree(s) is the responsibility of the owner and any civil or common-law issues, which may exist between property owners with respect to trees, must be resolved by the owner. A recommendation to remove or maintain tree(s) does not grant authority to encroach in any manner onto adjacent private properties

Appendix III:

DIGITAL IMAGES



**1) Trees no. 1744-1747 to be removed.
(Direction – north)**

**2) Trees no. 1748-1749 to be preserved.
(Direction – west)**



Davide P. Carnevale - Consulting Arborist

Appendix IV:

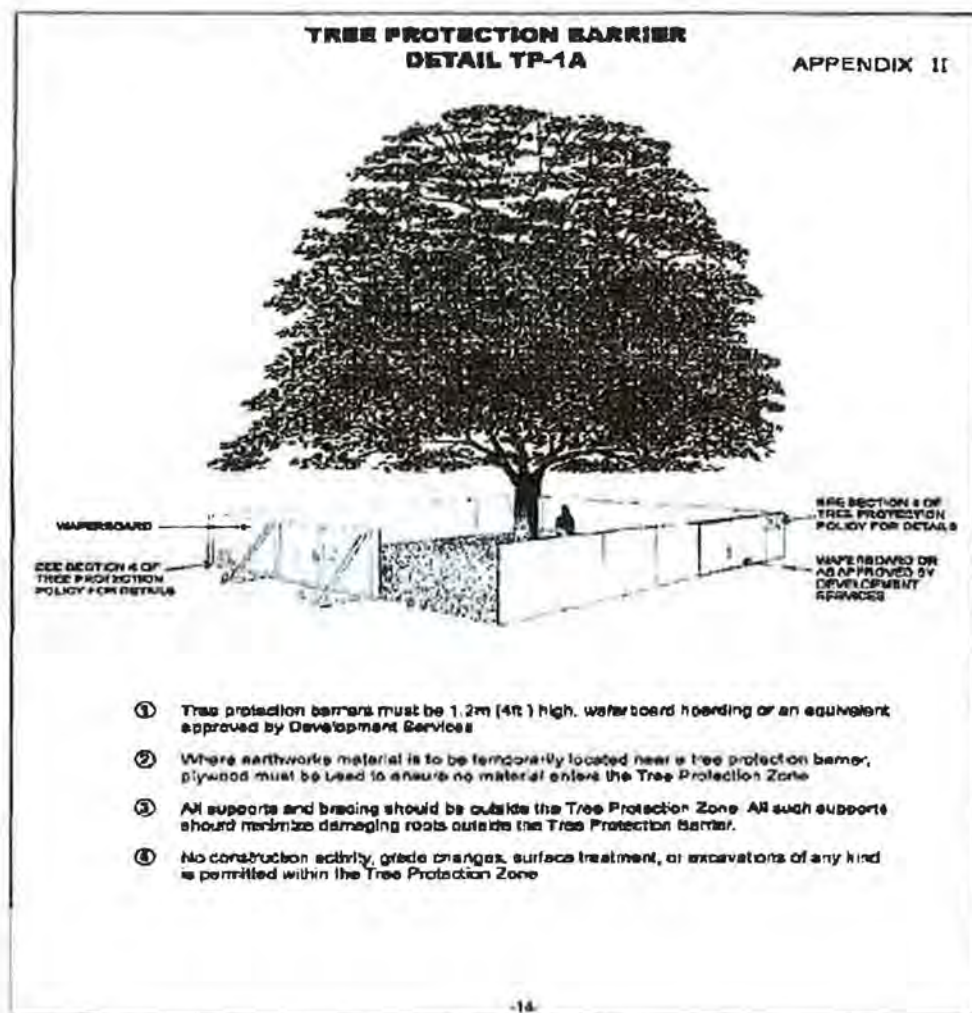
Tree Preservation Specification Details.

1.0 ESTABLISH TREE PROTECTION ZONE

The purpose of the tree protection zone (TPZ) is to prevent root damage, soil compaction and soil contamination. Workers and machinery shall not disturb the tree protection zone in any way. To prevent access, the following is required:

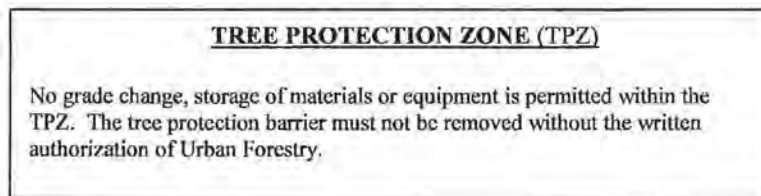
1.1 Install hoarding as per attached Tree Protection Plan in Appendix I.

1.2 Hoarding shall consist of the following:



1.3 When visibility is a consideration and **upon approval from the City**, 1.2 meter high orange plastic web snow fencing on a 2"X4" frame is recommended.

- 1.4 **Upon approval from the City of Mississauga, substitute wooden and/or orange plastic web snow fencing hoarding with a page wire fence supported by T-bars.**
- 1.5 No fill, equipment or supplies are to be stored within the tree protection zone.
- 1.6 Activities, which are likely to injure or destroy tree(s), are not permitted within the TPZ.
- 1.7 No objects may be attached to tree(s) within the TPZ.
- 1.8 Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place in good condition throughout the entire duration of the project.
- 1.9 Once all tree/site protection measures have been installed you must notify Urban Forestry staff to arrange for an inspection of the site and approval of the site protection requirements.
- 1.10 All Hoarding shall not be removed until all construction activity is complete.
- 1.11 A sign that is similar to the illustration below must be mounted on all sides of a tree protection barrier for the duration of the project. The sign should be a minimum of 40cm X 60cm and made of white gator board, laminates or equivalent material.



2.0 ROOT PRUNING

Where possible, hand dig areas closest to each tree to prevent any unnecessary tearing or pulling of roots. Removal of roots that are greater than 2.5 centimetres in diameter or roots that are injured or diseased should be performed as follows:

- 2.1 Preserve the root bark ridge (similar in structure to the branch bark ridge). Directional Root Pruning (DRP) is the recommended technique and should be used during hand excavation around tree roots. Roots are similar to branches in their response to pruning practices. With DRP, objectionable and severely injured roots are properly cut to a lateral root that is growing downward or in a favorable direction.
- 2.2 All roots needing to be pruned or removed shall be cut cleanly with sharp hand tools, by a Certified Arborist or by the PCA.
- 2.3 No wound dressings/pruning paint shall be used to cover the ends of each cut.
- 2.4 All roots requiring pruning shall be cut using any of the following tools:

- Large or small loppers
- Hand pruners
- Small hand saws
- Wound scribes

2.5 Avoid prolonged exposure of tree roots during construction - keep exposed roots moist and dampened with mulching materials, irrigation or wrap in burlap if exposed for longer than 4 hours.

3.0 ESTABLISH MAINTENANCE PROGRAM

All maintenance work must be completed by the approved Project Consulting Arborist.

Pre-Construction:

3.1 Prune trees to remove deadwood, objectionable limbs while maintaining crown form.

During- Construction:

3.2 Irrigate tree preservation zones during drought conditions, June – September, to reduce drought stress.

3.3 Inspect the site every month to ensure that all hoarding is in place and in good condition. Inspect the trees to monitor condition.

Post-Construction:

3.4 Inspect the trees two times per year – May and September – to monitor condition for a minimum of 2 additional years.

4.0 LANDSCAPING

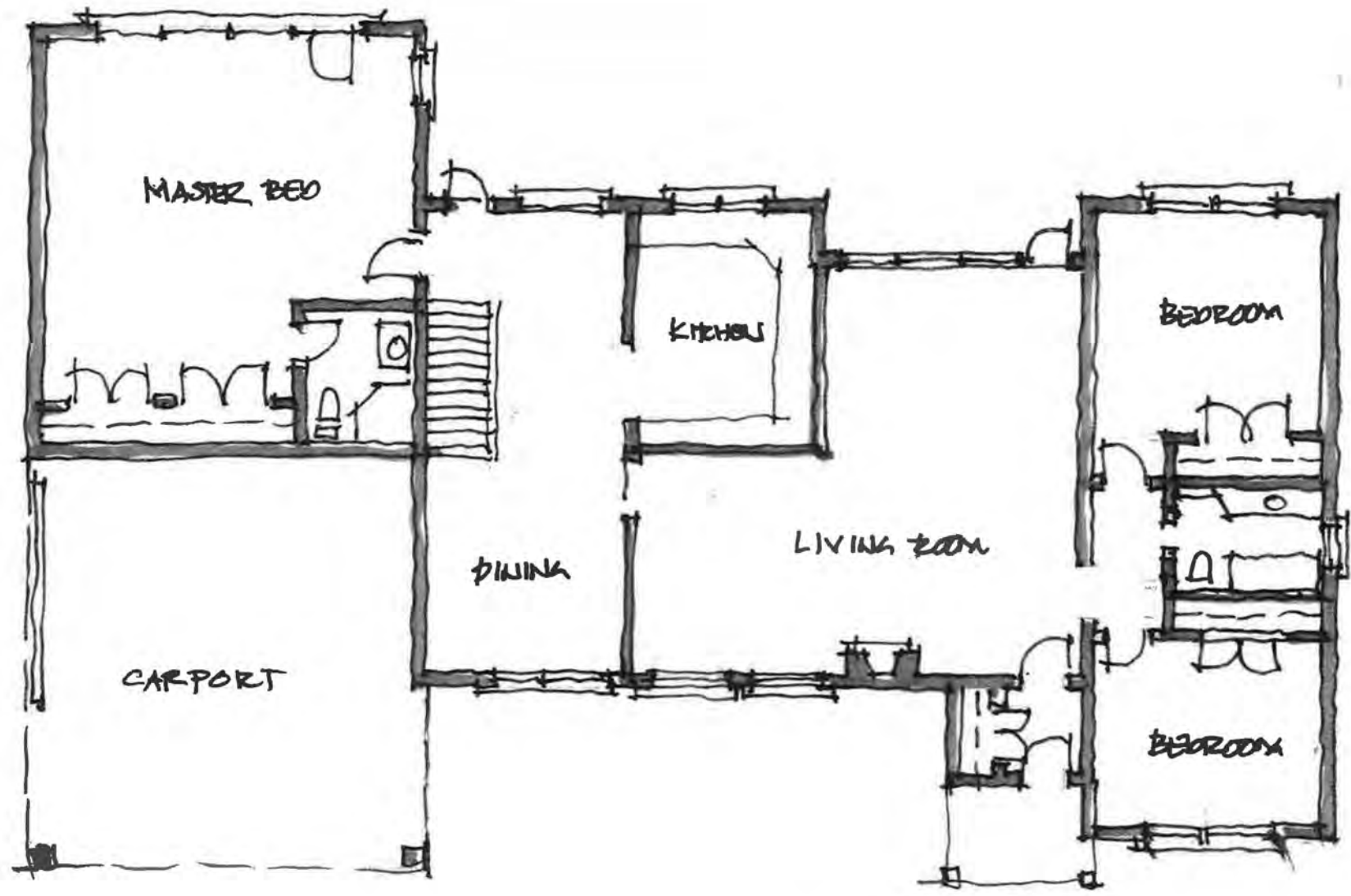
Any landscaping completed within the tree preservation zones, after construction is completed and hoarding has been removed, can not cause damage to any of the trees or their roots. The trees must be protected for the same reasons listed above but without using hoarding.

4.1 **No grade changes** are permitted which include adding and/or removing soil.

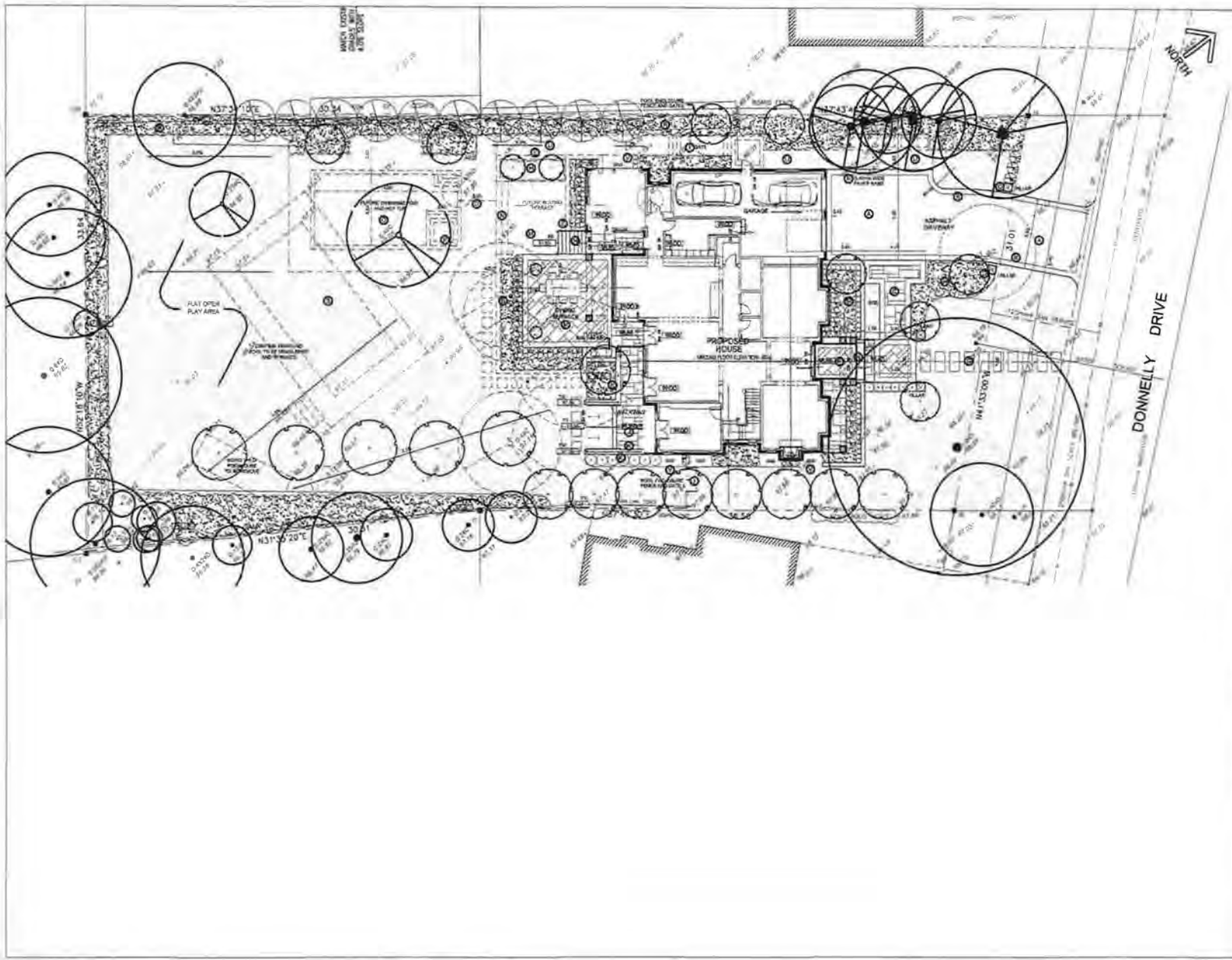
4.2 **No excavation** is permitted that can cause damage to the roots of the tree.

4.3 **No heavy equipment** can be used to compact the soil within the tree preservation zone.

4.4 Any hard -surface sidewalks, paths, etc. should be constructed using permeable products such as interlocking stone, etc.



EXISTING MAIN FLOOR PLAN



KEY PLAN (N.T.S.)

- Legend**
- A Proposed Asphalt Driveway
 - B Flower Driveway Banding
 - C Flagstone Entrance Walkway
 - D Stone Clad Entry Pillars
 - E Garden Stone Retaining Wall
 - F Flagstone Clad Footh
 - G Resealing Stone Entry Wall
 - H Proposed Planting Beds
 - I Pool Enclosure & Metal Deck
 - J Lower Walkout Area
 - K Retaining Wall with Railing
 - L Flagstone Clad Dining Terrace
 - M Flagstone Clad Seating Area
 - N Stone Clad Slope
 - O Future Swimming Pool Deck
 - P Future Hot Tub
 - Q Future Swimming Pool
 - R Existing Property Line Vegetation to Remain
 - S Existing Swimming Pool to be Removed
 - T Open Bermed Area
 - U Side Entrance Walkway (Pavers)
 - V Window Wells

NO.	DATE	REVISIONS



DESIGNED BY THE
MDP LANDSCAPE CONSULTANTS LIMITED
1000 SHEPPARD AVENUE EAST, SUITE 100
 AURORA, ONTARIO L4G 1V7
 TEL: 905.709.1000 FAX: 905.709.1004

PROJECT:
KHOSLA RESIDENCE
 214 DONNELLY DRIVE
 MISSISSAUGA ONTARIO

LANDSCAPE PLAN

DATE:	NOV 2011	SCALE:	1" = 10'-0"
PROJECT NUMBER:	11-001	DATE:	SEP 09 11
PROJECT NAME:	KHOSLA RESIDENCE	PROJECT NO.:	L.1

APPENDIX 1.

OWNER:
 RASHMI KHOSLA
 2115 STAVEBANK RD.
 MISSISSAUGA, ON, L5C 1T3
 905-270-1654

ARCHITECT:
 HICKS PARTNERS INC.
 345 LAKESHORE ROAD EAST SUITE 400
 OAKVILLE, ONTARIO L6L 1J5
 ATTENTION: WILLIAM R. HICKS
 PH: 905-339-1212 EXT. 222
 FX: 905-339-1214

APPLICANT:
 HICKS PARTNERS INC.
 ATTENTION: GREG CALLAGHAN
 PH: 905-339-1212 EXT. 233

SITE STATISTICS

ADDRESS: 216 DONNELLY DRIVE
 MISSISSAUGA, ONTARIO
 L5G 2M4
LEGAL DESCRIPTION: LOT 12 Pt. of Block J Plan B-09 REG PLAN 344
ZONING: R2- 4

	%	METRIC	IMPERIAL
LOT AREA:		2172.73	23387.84
LOT FRONTAGE:			
AT STREET		31.01	101.74
AS PER DEFINITION		31.01	101.74
(7.5 M BACK FROM PROPERTY LINE)			

		METRIC	IMPERIAL
LOT COVERAGE:			
(INCLUDES PORCHES & DECKS MORE THAN 10SQ.M. & MORE THAN 0.6M ABOVE GRADE)			
PERMITTED	30	651.819	7016
PROPOSED HOUSE (INCL. GARAGE)	15.31	332.663	3580.873
PROPOSED PORCHES & TERRACE	5.04	109.466	1178.326
TOTAL PROPOSED COVERAGE	20.35	442.130	4759.199

GROSS FLOOR AREA:	TOTAL	TOTAL
PERMITTED: (20% OF LT. AREA +190 SQ.M)	624.546	6722.777

PROPOSED:		
GROUND FLOOR AREA:	266.696	2870.790
SECOND FLOOR AREA:	264.661	2848.877
PROPOSED GARAGE AREA:	65.967	710.083
TOTAL GFA	597.324	6429.750

GARAGE AREA PERMITTED	75.000	807.320
PROPOSED GARAGE AREA:	65.967	710.083

TOTAL BASEMENT	275.239	2962.742
FINISHED AREA	231.570	2492.678
UNFINISHED AREA	43.669	470.064

SIDE YARD SETBACK CALCULATIONS		
TWO-STOREY		
REQUIRED SIDE YARD SETBACK = 27% OF LENGTH OF FRONTAGE AT	8.37	27.47

PROPOSED SIDE YARD SETBACK	8.51	27.92
4.2M+4.31M		

MAXIMUM HEIGHT TO ROOF RIDGE:		
PERMITTED	9.500	31'-2"
PROPOSED	9.500	31'-2"

MAXIMUM HEIGHT TO U/S OF ROOF EAVES:		
PERMITTED	6.400	21'-0"
PROPOSED	6.350	20'-10"

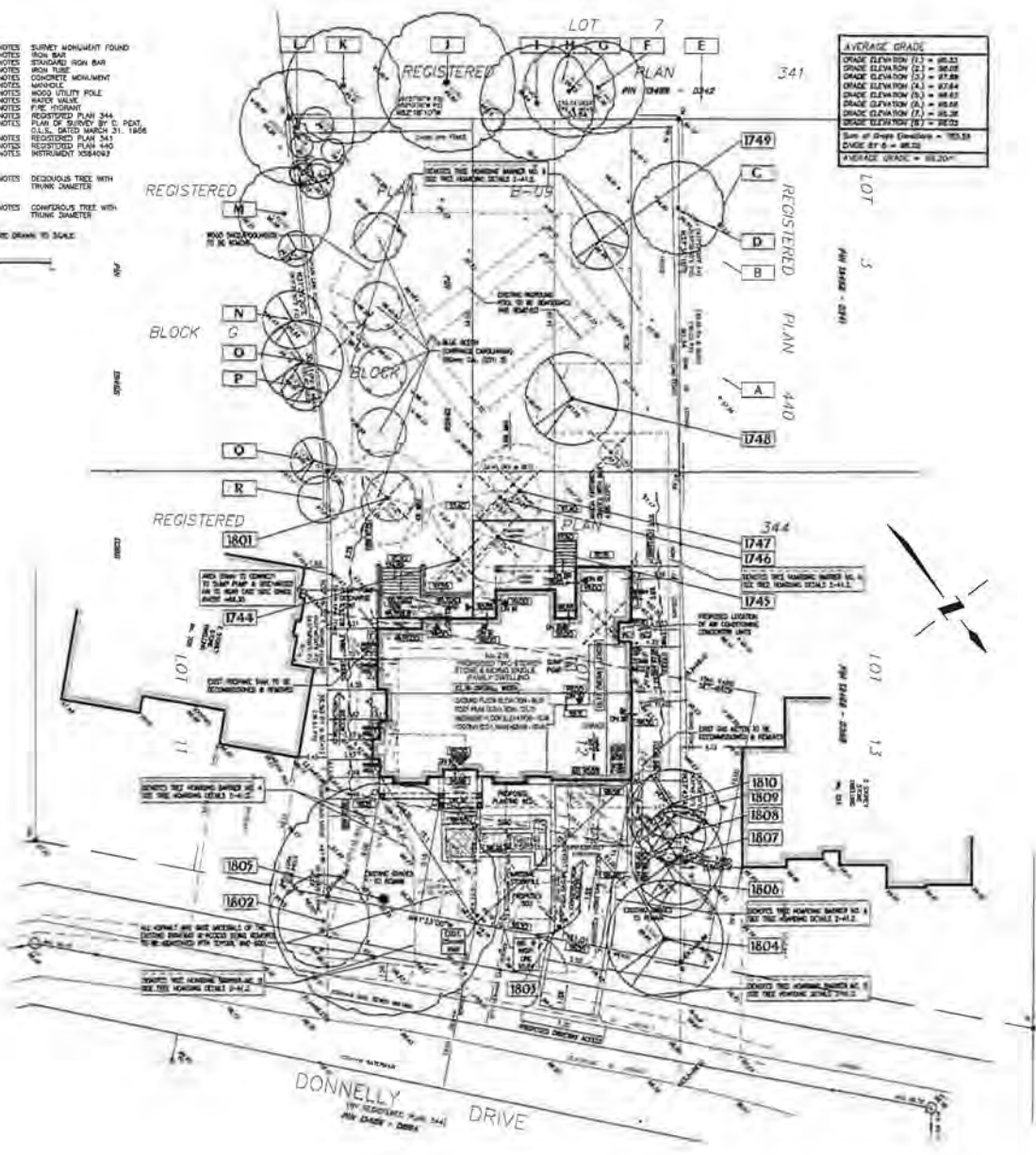
MAXIMUM BUILDING DEPTH:		
PERMITTED	20	65' 7-1/2"
PROPOSED	18.77	61'-7"

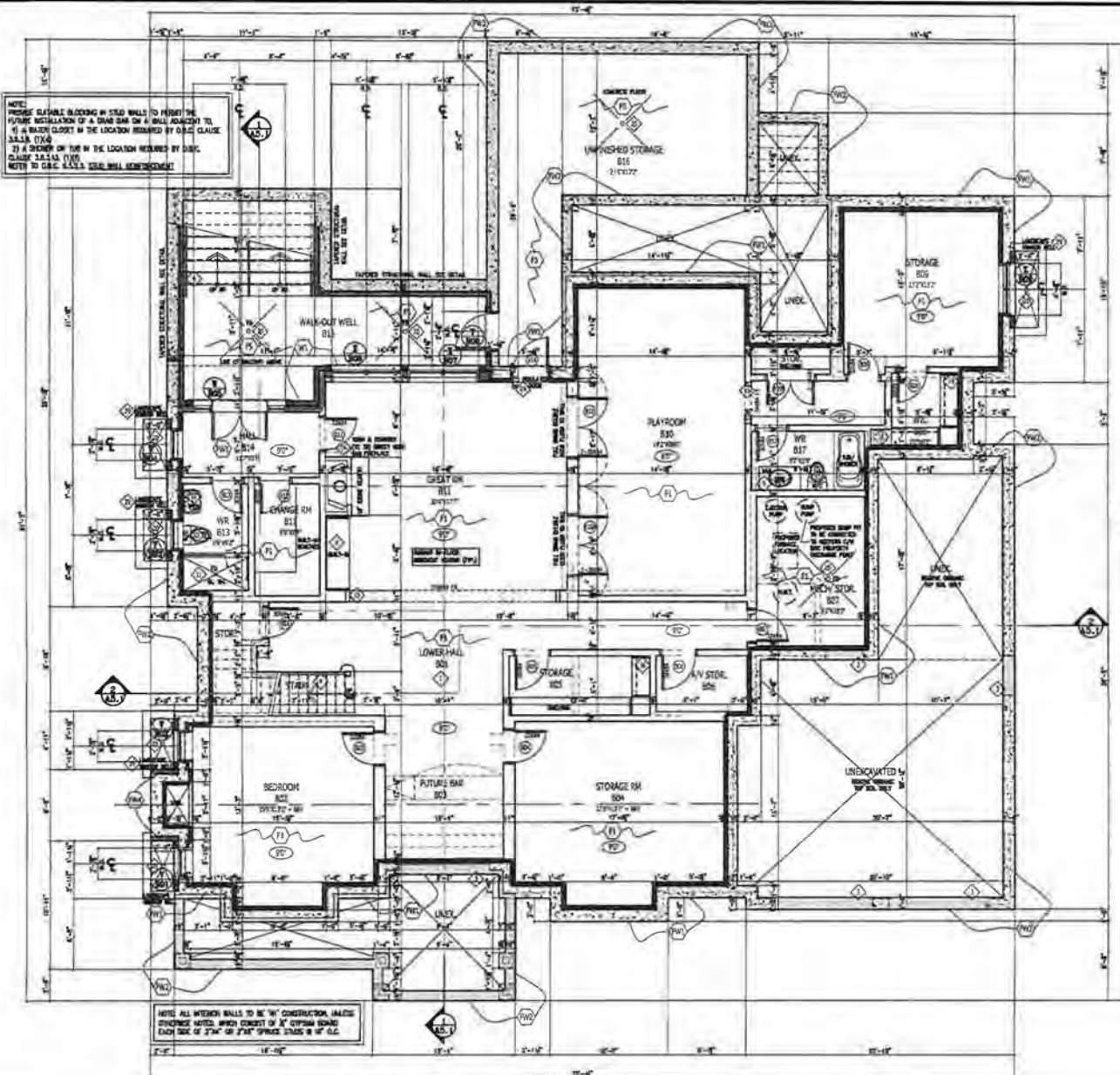
- LEGEND**
- ⊕ DENOTES SURVEY MONUMENT FOUND
 - ⊖ DENOTES IRON BAR
 - ⊙ DENOTES STAINLESS IRON BAR
 - ⊚ DENOTES IRON TUBE
 - ⊛ DENOTES CONCRETE MONUMENT
 - ⊜ DENOTES WOOD PILE
 - ⊝ DENOTES WOOD UTILITY POLE
 - ⊞ DENOTES WATER VALVE
 - ⊟ DENOTES PIPE JOINT
 - ⊠ DENOTES REGISTERED PLAN 344
 - ⊡ DENOTES PLAN OF SURVEY BY C. DEAT
 - ⊢ DENOTES D.L.S. DATED MARCH 31, 1926
 - ⊣ DENOTES REGISTERED PLAN 341
 - ⊤ DENOTES REGISTERED PLAN 440
 - ⊥ DENOTES INTERMOUNT 1084693

- 0.20M DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
- ⊗ 0.20M DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

TREE DIMENSIONS ARE DRAWN TO SCALE.
 SCALE 1" = 30'
 0' 10' 20' 30'

AVERAGE GRADE	
GRADE ELEVATION (1)	= 88.53
GRADE ELEVATION (2)	= 88.58
GRADE ELEVATION (3)	= 87.89
GRADE ELEVATION (4)	= 87.84
GRADE ELEVATION (5)	= 88.57
GRADE ELEVATION (6)	= 88.58
GRADE ELEVATION (7)	= 88.58
GRADE ELEVATION (8)	= 88.52
Sum of Grade Elevations = 703.53	
GRADE BY 5 = 140.70	
AVERAGE GRADE = 88.20	





Drawings must NOT be marked. Contractors must check and verify all dimensions, specifications and conditions on site and report any discrepancies to the architect prior to proceeding with any of the work.



- 3 10/01/11 ISSUED FOR CONTRACT REVIEW
- 2 10/01/11 ISSUED FOR SETBACK APPROVAL
- 1 10/01/11 ISSUED FOR CLIENT REVIEW
- REV. DATE: DESCRIPTION
- REVISIONS / REFINANCE

hicks partners
 DISTINCTIVE ARCHITECTURE

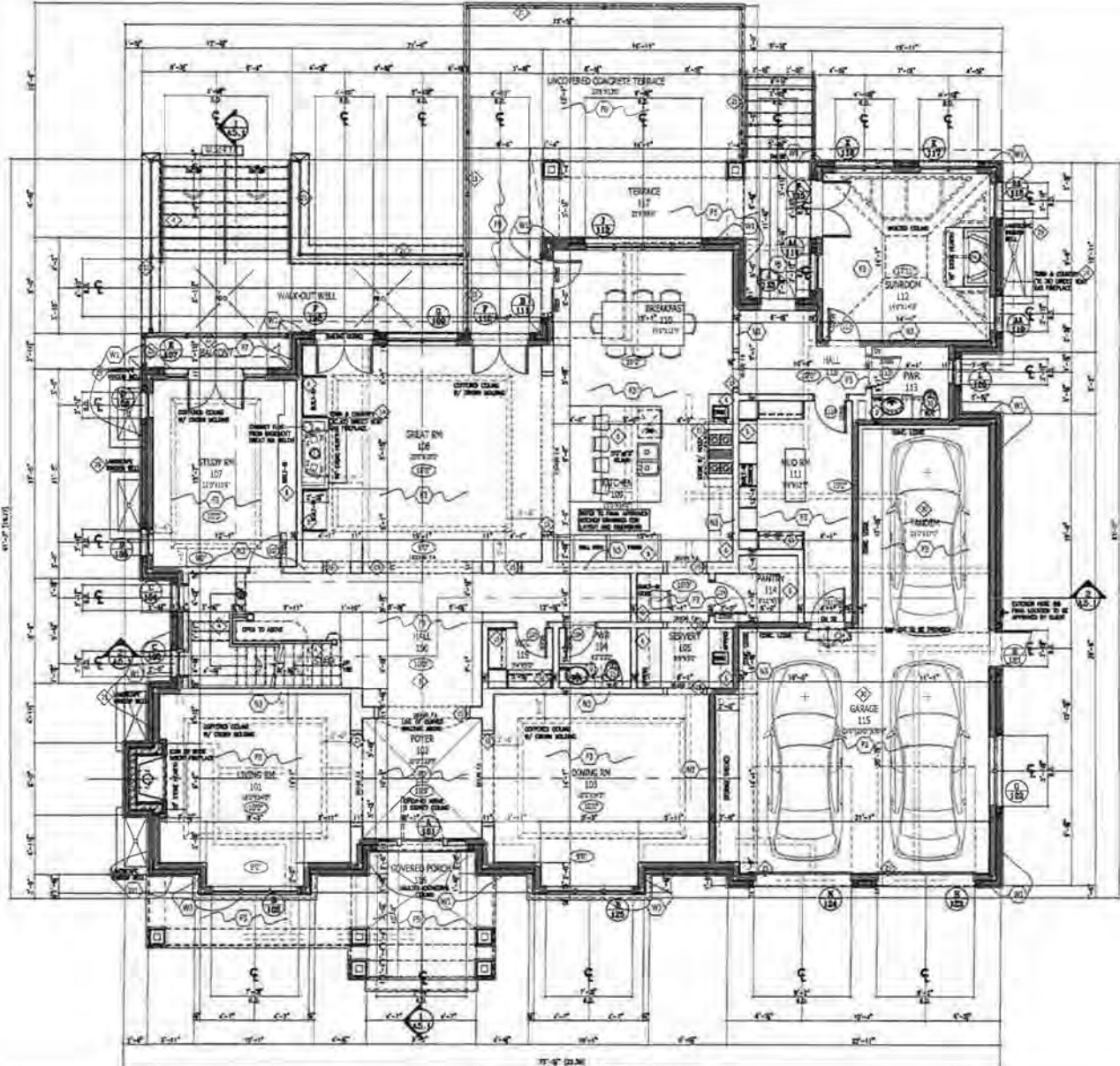
CLIENT:
KHOSLA RESIDENCE

ADDRESS: 310 DONNELLY DRIVE
 MISSISSAUGA, ONTARIO

DRAWING TITLE:
BASEMENT FLOOR PLAN

DRAWN BY: [blank]
 DATE: 8.17.2011 SCALE: 1/4" = 1'-0"
 JOB NUMBER: 1806-11 SHEET NUMBER: A3.1

APPENDIX A



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

CONSTRUCTION NORTH



- 3/ 12/08 (2) ISSUED FOR CONTRACT REVIEW
- 7/ 12/08 (11) ISSUED FOR SITE PLAN APPROVAL
- 1/ 10/11 (11) ISSUED FOR CLIENT REVIEW
- 02/ 20/11 (10) REVISION

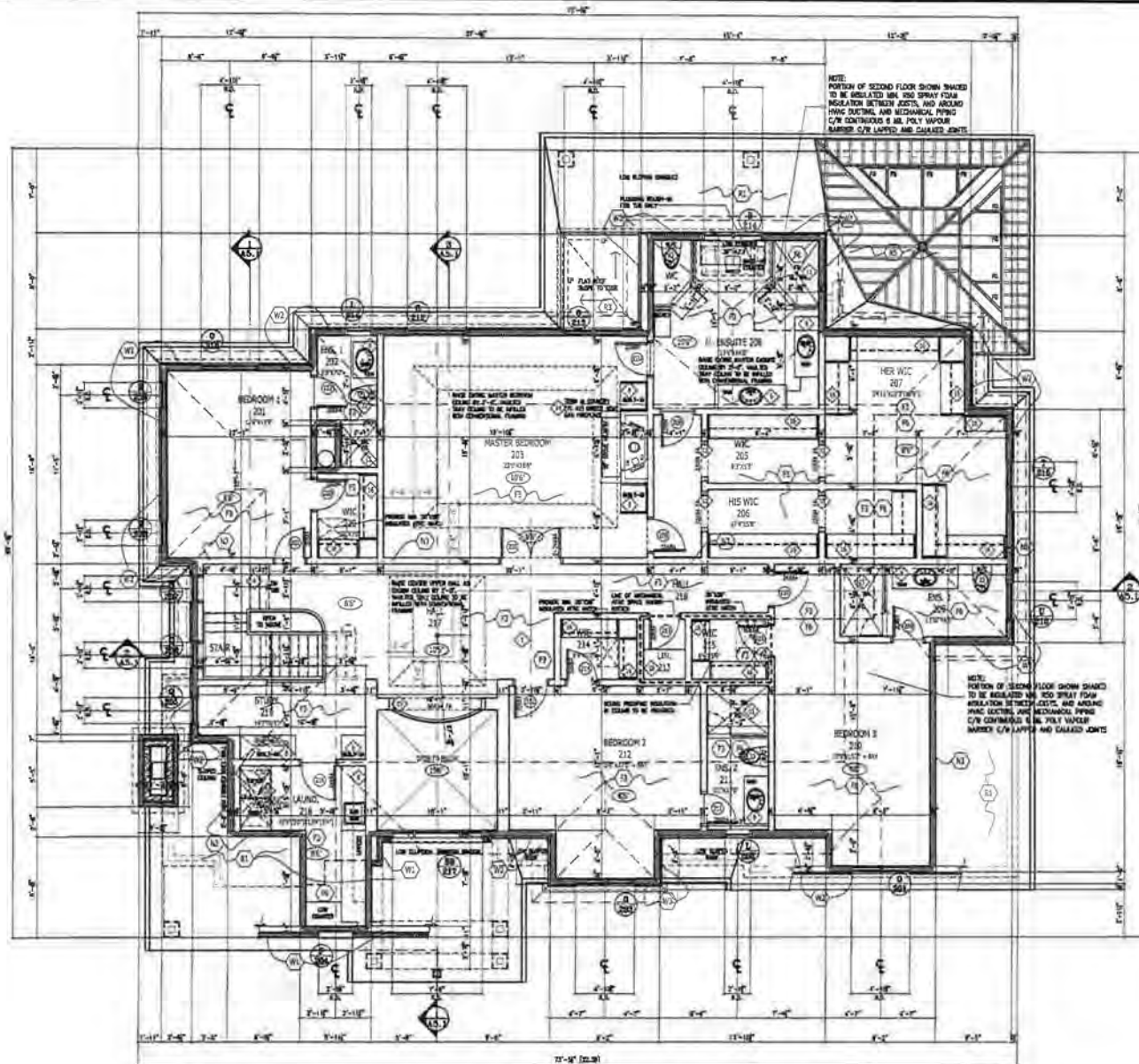
hicks partners
DISRUPTIVE ARCHITECTURE

For more information visit:
www.hickspartners.com
www.disruptivearchitecture.com

CLIENT:
KNOSLA RESIDENCE

ADDRESS: 216 DONNELLY DRIVE
CITY: MISSISSAUGA, ONTARIO
DRAWING TITLE:
GROUND FLOOR PLAN

DRAWING NO:
DATE: 03/21/2011 SCALE: 1/4" = 1'-0"
JOB NUMBER: 04-887 NUMBER:
1806-11 A3.2



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



- 01 10/04/11 ISSUED FOR CONTRACT REVIEW
- 02 12/01/11 ISSUED FOR PERMIT APPROVAL
- 03 06/01/12 ISSUED FOR CLIENT REVIEW
- 04 06/01/12 ISSUED FOR CLIENT REVIEW
- 05 06/01/12 ISSUED FOR CLIENT REVIEW
- 06 06/01/12 ISSUED FOR CLIENT REVIEW
- 07 06/01/12 ISSUED FOR CLIENT REVIEW
- 08 06/01/12 ISSUED FOR CLIENT REVIEW
- 09 06/01/12 ISSUED FOR CLIENT REVIEW
- 10 06/01/12 ISSUED FOR CLIENT REVIEW
- 11 06/01/12 ISSUED FOR CLIENT REVIEW
- 12 06/01/12 ISSUED FOR CLIENT REVIEW

hicks partners
DISTINCTIVE ARCHITECTURE

100 KING EDWARD AVENUE, SUITE 100
TORONTO, ONTARIO M5G 1C5
TEL: 416-924-2000
WWW.HICKSPARTNERS.COM

CLIENT:
KHOSLA RESIDENCE

ADDRESS: 216 DONNELLY DRIVE
MISSISSAUGA, ONTARIO

DRAWING TITLE:
SECOND FLOOR PLAN

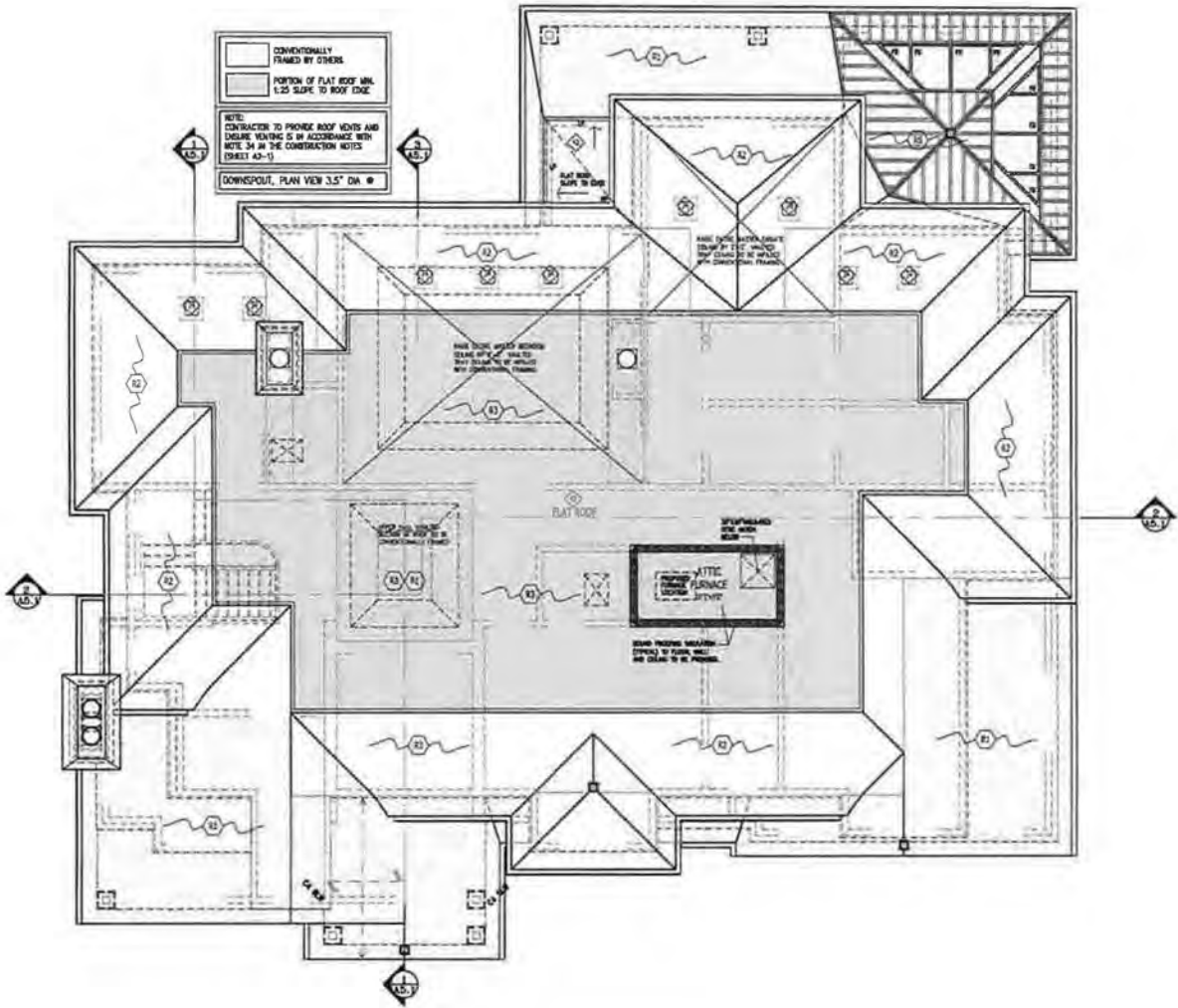
DRAWN BY:
DATE: 6/17/2011 **SCALE:** 1/4" = 1'-0"

FOR NUMBER: **1806-11** **SHEET NUMBER:** **A3.3**



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

CONSTRUCTION NORTH



CONVENTIONALLY FRAMED BY OTHERS
 PORTION OF FLAT ROOF WITH 1:25 SLOPE TO ROOF EDGE

 NOTE:
 CONTRACTOR TO PROVIDE ROOF MOISTS AND ENSURE VENTING IS IN ACCORDANCE WITH NOTE 34 IN THE CONSTRUCTION NOTES (SHEET A3-1)
 DOWNSPOUT, PLAN VIEW 3.5" DIA.

3	10/01/12	ISSUED FOR CONTRACT REVIEW
2	10/20/11	ISSUED FOR SEPERAL APPROVAL
1	10/01/11	ISSUED FOR CLIENT REVIEW
REV	DATE	DESCRIPTION



CLIENT:
KHOSLA RESIDENCE

 ADDRESS: 215 DONNELLY DRIVE
 CITY: MISSISSAUGA, ONTARIO
 DRAWING TITLE:
ROOF PLAN

DRAWN BY:
 DATE: 8/17/2011 SCALE: 1/4" = 1'-0"
 JOB NUMBER: SHEET NUMBER:
1806-11 A3.4



Drawings must NOT be sealed. Contractors must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

- 3.1 (A) (B) ISSUED FOR CONTRACT REVIEW
- 3.1 (C) (D) ISSUED FOR PERMIT APPROVAL
- 1. (B) (C) (D) ISSUED FOR CLIENT REVIEW
- REV. DATE DESCRIPTION
- REVISIONS / ISSUANCE:

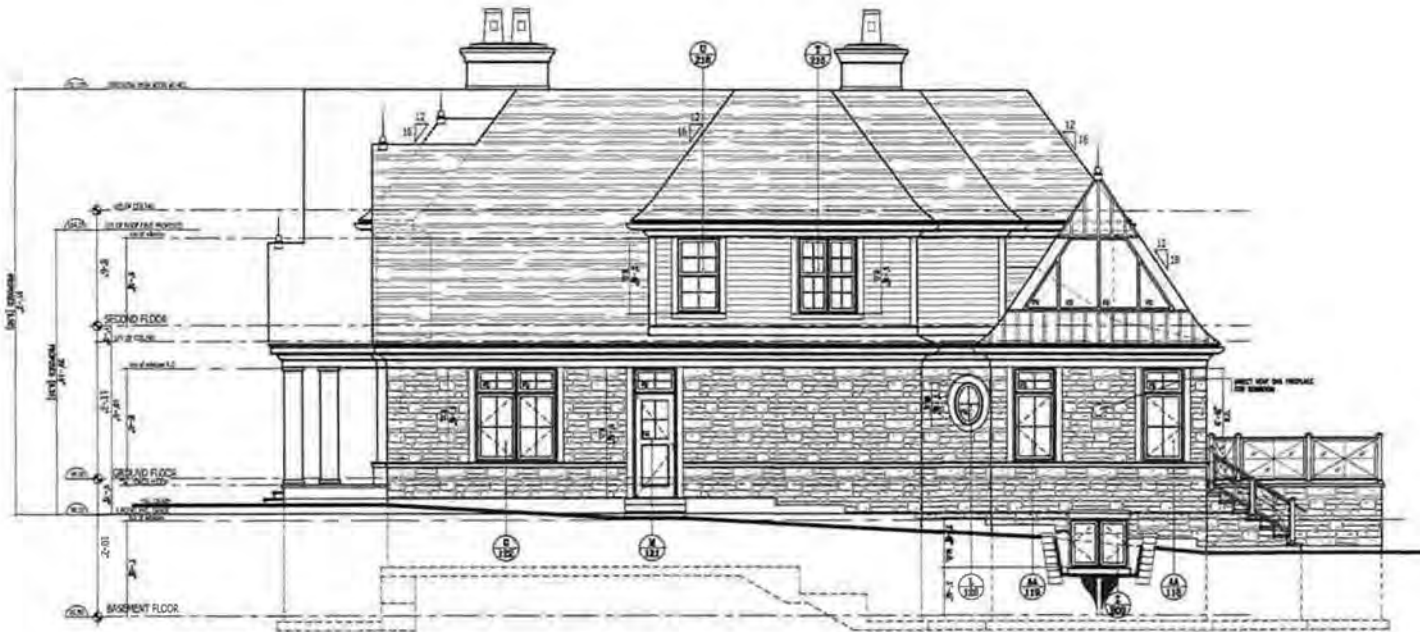


CLIENT:
KHOSLA RESIDENCE

ADDRESS: 218 DONNELLY DRIVE
 CITY: MISSISSAUGA, ONTARIO

DRAWING TITLE:
FRONT ELEVATION

DRAWN BY:
 DATE: 01/17/2011 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 1806-11 SHEET NUMBER: **A4.1**



Drawings must NOT be scaled. Contractors must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

- 3 01/21/17 (SEED) FOR CONTRACT REVIEW
- 2 03/22/17 (SEED) FOR BY-LAW APPROVAL
- 1 02/21/17 (SEED) FOR CLIENT REVIEW

REV. DATE: DESCRIPTION:
REVISIONS / DISCREPANCY:

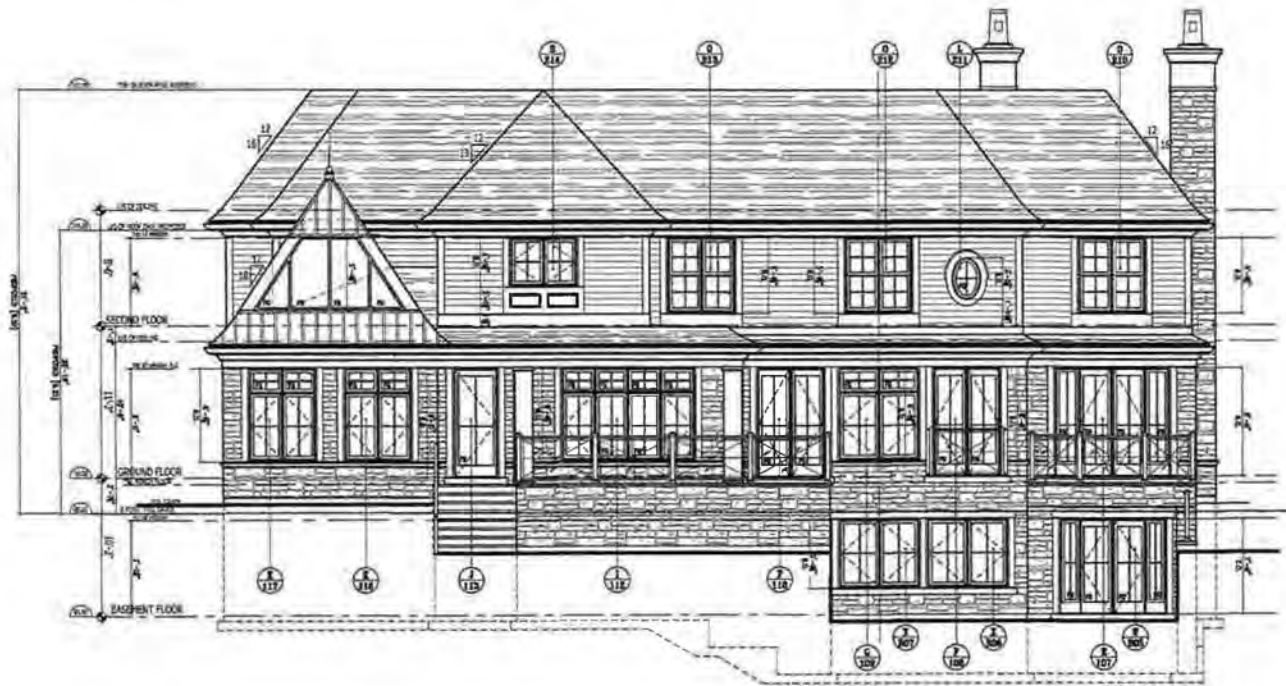


CLIENT:
KHOSLA RESIDENCE

ADDRESS: 318 DONNELLY DRIVE
CITY: MISSISSAUGA, ONTARIO

DRAWING TITLE:
RIGHT SIDE ELEVATION

DRAWN BY: RJ
DATE: 07/20/17 SCALE: 1/8" = 1'-0"
JOB NUMBER: 1806-11 SHEET NUMBER: **A4.4**



Drawings shall NOT be scaled. Contractors must check all details, dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

2.2 (1) (a) (2) ISSUED FOR CONTRACT REVIEW
 2.2 (1) (a) (1) ISSUED FOR PRELIMINARY APPROVAL
 1.1 (1) (a) (1) ISSUED FOR CLIENT REVIEW
 001 DETAIL DESCRIPTION
 REVISIONS / RESUBMISSION



CLIENT:
KHOSLA RESIDENCE

ADDRESS: 378 DONNELLY DRIVE
 CITY: MISSISSAUGA, ONTARIO

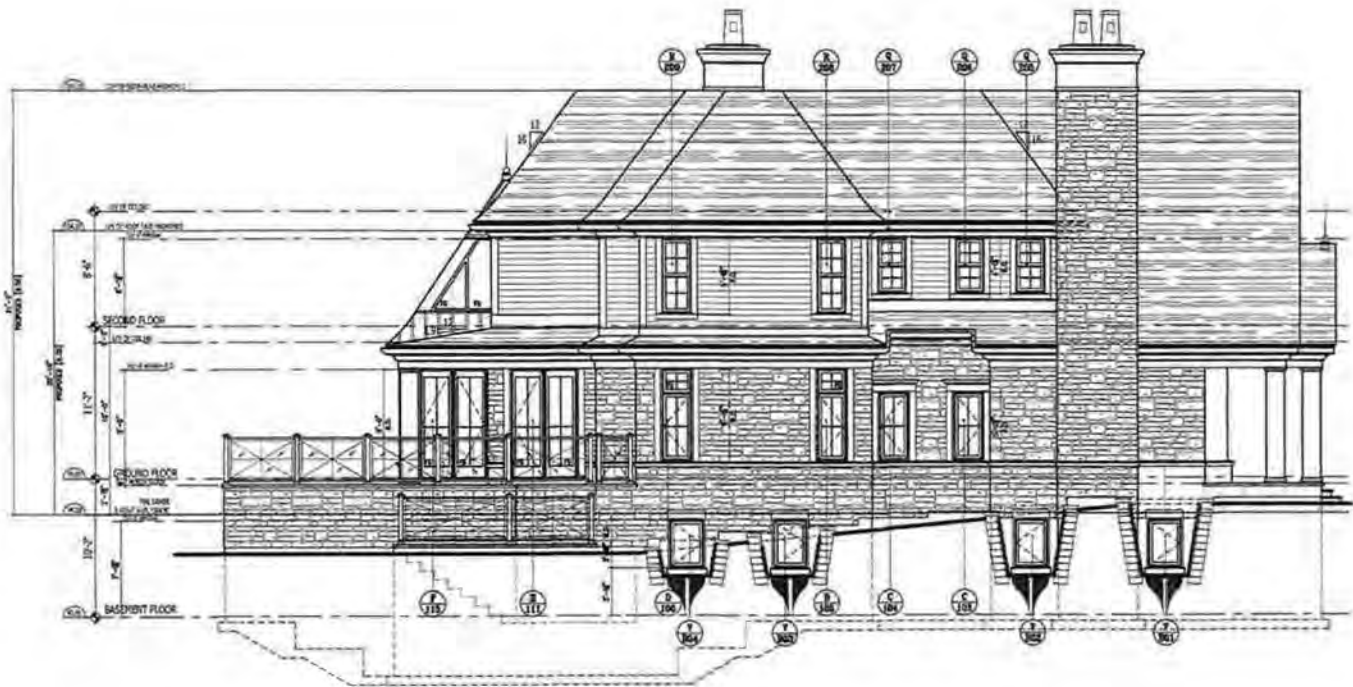
DRAWING TITLE:
REAR ELEVATION

DRAWN BY:
 DATE: 8.17.2011 SCALE: 1/2" = 1'-0"

FOR PLANS: SHEET NUMBER:
1806-11 A4.3



Drawings that NOT be sealed. Contractors must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



11 15.08.11 ISSUED FOR CONTRACT REVIEW
 12 16.25.11 ISSUED FOR SITEPLAN APPROVAL
 13 16.07.11 ISSUED FOR CLIENT REVIEW
 14 SITE DISCUSSION
 REVISIONS / RESILANCE:



CLIENT:
KHOSLA RESIDENCE

ADDRESS: 215 DONNELLY DRIVE
 CITY: MISSISSAUGA, ONTARIO
 DRAWING TITLE:
LEFT SIDE ELEVATION

DRAWN: RJ
 DATE: 8.17.2011 SCALE: 1/4" = 1'-0"
 JOB NUMBER: 1806-11 SHEET NUMBER:
A4.2

Search

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Store

0 item(s) in Cart



Checkout



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Password

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BUSINESS

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HELP & FEEDBACK

Services Online

Plan & Build eServices Centre

Property Information

Building Permit App Status

Development App Status

Enter Development App Comments

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Digital Downloads

Order History

Portable Sign Permits

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Property Information

The Building Permit page displays a listing of all Building Permits associated with the property. Since properties may contain multiple buildings, you may see different addresses than originally requested in your lookup.

Building permit data is displayed in order of Application Date with the most recent application appearing first in the list below. You can change the sort order by clicking on the App Date or Issue Date link. If you have any questions about the building permit data displayed below, please contact our Building Division at (905) 896-5619.

- Property Details
- Zoning Information
- Building Permits**
- Development Applications
- Committee of Adjustment
- Heritage
- Map It

PROPERTY BUILDING PERMITS

[View Another Property](#)

Address: 216 DONNELLY DR
 Legal Description: RANGE 2 CIR PT LT 5, PL 344 LT 12
 Roll Number: 21-05-010-018-06800-0000

Building Permits

8 Permit(s) found Page: 1 of 1

App Number	Address	Scope	Issue Date
App Date	Description	Type Description	Status
BPC 88 1799	216 DONNELLY DR	ALTERATION TO EXIST BLDG	1988-04-11
1988-03-07		DETACHED DWELLING	ISSUED PERMIT
BPC 87 553	216 DONNELLY DR	ADDITION AND ALTER	1988-02-25
1987-10-13		DETACHED DWELLING	ISSUED PERMIT
HCC 74 240633	216 DONNELLY DR		
1974-10-07	SHED CODE 7378/74 PERMIT 6322		HISTORY COMMENT PERMIT
HCC 74 240632	216 DONNELLY DR		
1974-08-12	SUPERIOR PROPANE POOL HEATER PERMIT 21730		HISTORY COMMENT PERMIT
HCC 74 240631	216 DONNELLY DR		
1974-03-28	SWIMMING POOL & FENCE CODE 4883 PERMIT 3853		HISTORY COMMENT PERMIT
HCC 68 240630	216 DONNELLY DR		
1968-10-21	DRAIN PERMIT 3724		HISTORY COMMENT

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IS YOUR PROPERTY SUBJECT TO SITE PLAN CONTROL?



Save time when making a building permit application for residential

construction/renovation by first checking to see if the property is subject to Site Plan Control.

[Development Application - Site Plan](#)

PERMIT

HCC 68 240629 216 DONNELLY DR

1968-10-17 PLUMBING PERMIT 3625

HISTORY COMMENT
PERMIT

HCC 68 240628 216 DONNELLY DR

1968-09-20 ADDITION PERMIT 68-
1932

HISTORY COMMENT
PERMIT

8 Permit(s) found Page: 1 of 1

Mississauga.ca



City of Mississauga
300 City Centre Drive, Mississauga, Ontario, Canada L5B 3C1
General Inquiries: Call 3-1-1 or 905-896-5000

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Indian Reserve LOT No. 1.

2 Range CONCESSION on R. Credit

Year	Interest	In Date	Date of Release	GRANTOR	GRANTEE	QUANTITY OF LAND	CONSIDERATION OR AMOUNT OF MORTGAGE	REMARKS
------	----------	---------	-----------------	---------	---------	------------------	-------------------------------------	---------

1856	Patent	12/27	12 May 1857	17/16/1860 The Crown Frederick W Lewis	Bank of Upper Canada	All	£ 1015	
------	--------	-------	-------------	--	----------------------	-----	--------	--

Lot No 2 2 Range

1856	Patent	12/27	12 May 1857	17/16/1860 The Crown Frederick W Lewis	Bank of Upper Canada	All	£ 1015	
------	--------	-------	-------------	--	----------------------	-----	--------	--

S.W. pt Lot No 3 2 Range

1856	Patent	11 July 1854	12 May 1857	17/16/1860 The Crown Frederick W Lewis	James Cotton Bank of Upper Canada	All		
------	--------	--------------	-------------	--	--------------------------------------	-----	--	--

N.E. pt Lot No 3 2 Range

Patent	12/16/1856	The Crown	James Cotton Bank of Upper Canada	All		
--------	------------	-----------	--------------------------------------	-----	--	--

Lot No 11 2 Range

1856	Patent	11 July 1854	12 May 1857	17/16/1860 The Crown Frederick W Lewis	James Cotton Bank of Upper Canada	All	£ 1215	
------	--------	--------------	-------------	--	--------------------------------------	-----	--------	--

APPENDIX 'L'

S.W. pt Lot No 3:

2 Range

Patent 11 July 1854
13561 G.P. 13 May 1865 17 Nov 1865 The Crown
Frederick W. Jarvis

James Cotton
Bank of Upper Canada

500 H
All

N.E. pt Lot No 3

2 Range

Patent 12 Nov 1861 The Crown

Elizabeth Plakby
James Cotton

59 1/2 ac
All

Lot No 4

2 Range

Patent 11 July 1854
13561 G.P. 13 May 1865 17 Nov 1865 The Crown
Frederick W. Jarvis

James Cotton
Bank of Upper Canada

All

4015 VOL

TOWNSHIP OF TORONTO

Lot No. 4 In the SECOND RANGE CONGRESSIONAL C.I.R.

No. of Instrument	Instrument	In Date	Date of Registration	GRANTOR	GRANTEE	Consideration or Amount of Mortgage	
340	B.&S.	15May1869	6 Sep1869	Bank of Upper Canada	John Crickmore	\$7000.00	All
351	B.&S.	12Jul1869	20Sep1869	John Crickmore et ux	Wm. B. Hunter	25000.00	All
352	B.&S.	20Jul1869	20Sep1869	Wm. B. Hunter et ux	Peel General Mfg. Co.	14000 shares	
519	B.&S.	25Nov1868	27Apr1870	Bank of Upper Canada	Robert Cotton	742.00	Par
1996		1 Sep1876	23Sep1876	Peel General Mfg. Co.	S. S. Lee et al	20000.00	Par
2158		28Nov1876	4 Apr1877	S. S. Lee et al	Canada Life Assce. Co.	5.00&C.	Par
3134		1 Apr1880	24Jul1880	Peel General Mfg. Co.	Canada Life Assce. Co.	6000.00	Par
5507	Will	28Oct1885	30Dec1885	Robert Cotton	Susan Cotton et al		Par
5677	Release	25Mar1886	14May1886	Canada Life Assce. Co. et al	Peel General Mfg. Co.	6000.00	All
6948	E.&S.	1 Oct1888	18Oct1889	Peel General Mfg. Co.	Thos. W. Hector et al	9180.00	Par
9610	B.&S.	15Jun1891	26Jun1891	Thos. W. Hector et al	Wm. Andrew	2000.00	Par
7763	B.&S.	10Dec1891	6 Jan1892	Thos. W. Hector et ux <i>Edwin Crickmore et ux</i>	John Goodnlock	2464.90	Pa:
8446	B.&S.	7 Feb1894	13Feb1894	William Andrew et ux	Janet Wingfield	1225.00	Pa:
9262	B.&S.	25May1896	30Oct1896	Edwin Crickmore et ux	Thos. W. Hector	1.00&C.	Un
9303	B.&S.	12Nov1896	28Nov1896	Thos. W. Hector et ux	Catherine Bedford	1500.00	Pa
9317	B.&S.	11Nov1896	4 Dec1896	Thos. W. Hector et ux	Fred. T. D. Hector	1.00&C.	Pa
9963	B.&S.	13May1899	15May1899	Fred. T. D. Hector	David A. Boyd	981.00	Pa
12738	B.&S.	24Jul1907	27Jul1907	David A. Boyd et ux	John E. Hall	2625.00	Pa
12903	B.&S.	4 Feb1908	7 Feb1908	Susan A. Cotton sur.Extr. Robert Cotton Estate.	Dixie C. Cotton	1.00	Pa
13193	Deed	15Oct1908	21Oct1908	Susan A. Cotton sur.Extr. Robert Cotton Est.	Dixie Cotton	1.00	To of

TO BOOK "C"

Lot No. 4

Second Range

Concession Credit Indian Res

No. of INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	RES
B'09	Plan	23Sep1908	14Jan1909	D.C. Cotton	Subdivision of part of lot 4			
E'09	Plan	27Jan1909	5May1909	Subdivision of parts 4, 5, 7, & 8	John E. Hall Owner			
13546	Grant	12Jul1909	28Jun1909	Dixie Cox Cotton et ux	Charlotte E.E. Swift	pt Plan B'09	1375.00	pt B1
13547	M.	12Jul1909	28Jul1909	Charlotte E.E. Swift	Dixie Cox Cotton	same lands	1000.00	not reg.
14020	Grant	10Jan1910	9Jun1910	John J. Bedford admr of Catherine Bedford	Herbert S. Bedford	25.1/100	2000.00	pts lots -ion of Mortgage for \$5000.00
14022	Grant	1Apr1910	9Jun1910	Herbert S. Bedford unmarried	Allen E. Taylor	pt 6	2500.00	pts lots 4
14023	M.	12May1910	9Jun1910	Allen E. Taylor unmarried	Herbert S. Bedford	pt 6	1750.00	" "
18647	M.	15Aug1918	23Aug1918	Adelaide Gouinlock et ux	Eliza C. Yelland Wm. G. Yelland exrs G.F. Yelland		1500.00	pt 16/4
18688	Grant	3Jun1918	30Oct1918	Walter T. Gouinlock et ux	James M. Gouinlock et al 19 1/2	1. etc		pt & C.L.
18714	Grant	3Jan1918	30 Oct1918	James M. Gouinlock et al	Adelaide Gouinlock	1.		pt
19884	Grant	30Apr1920	12May1920	Toronto General Trust Corporation Exrs of John H. Eyer	Alfred D. Morrow	pt	14500.00	pt & C.L.
20602	Grant	10Dec1920	14Jan1921	Allen E. Taylor et ux	Wm. T. Taylor		1.	pt & C.L.
21176	M.	24Jun1921	25Aug1921	Adelaide Gouinlock	Margaret World		800.00	pt
21295	Grant	26Sep1921	13Oct1921	Alfred D. Morrow et ux	Wm. J. Burns		17000.00	pt & C.L.
21396	M.	18Oct1921	13Oct1921	Wm. J. Burns et ux	Alfred D. Morrow		8000.00	pt & C.L.
See Deposit 147								
21460	M.	24Apr1921	27May1921	Wm. G. Yelland exr	Wm. A. Yelland		1.	assign 18
25677	Grant	20Dec1924	21Jan1925	Adelaide Gouinlock	James M. Gouinlock & Edith M. Gouinlock	pt	10. etc	pt
25774	M.	19Feb1925	16Feb1925	Margaret World	Adelaide Gouinlock et ux	pt		Assign. 21
26391	Grant	13Jun1925	13Jul1925	James M. Gouinlock et ux Edith M. Gouinlock	Gladys I. Angus	17.24/100	10 etc	pt & C.L.

Indian Reserve LOT No. 5

2 Range CONCESSION on R. 6661

No. of Lottery	Interest	In Date	Year of Expiry	GRANTOR	GRANTEE	Quantity of Land	Consideration or Amount of Mortgage	REMARKS
1871	Patent 11 July 1854 S.P.	11 July 1854	11 July 1854	His Grace Archbishop of Toronto	James Cotton Earl of Upper Canada	All	\$14000	R.R.

Lot No 6

2 Range

1175	Patent 11 July 1854 S.P.	11 July 1854	11 July 1854	His Grace James Cotton	James Cotton Peter & Anderson	All P		
18221	S.P.	11 July 1854	11 July 1854	Archbishop of Toronto	Richard S. Wood			1/2000
18222	S.P.	11 July 1854	11 July 1854	Richard S. Wood et al	Henry Fowler			1/2000

Lot No 7

2 Range

1175	Patent 11 July 1854 S.P.	11 July 1854	11 July 1854	His Grace James Cotton	James Cotton Peter & Anderson	All P		\$ 5000
18221	S.P.	11 July 1854	11 July 1854	Archbishop of Toronto	Richard S. Wood			1/2000
18222	S.P.	11 July 1854	11 July 1854	Richard S. Wood et al	Henry Fowler			1/2000

Lot No 8

2 Range

1175	Patent 11 July 1854 S.P.	11 July 1854	11 July 1854	His Grace James Cotton	James Cotton Peter & Anderson	All P		
18221	S.P.	11 July 1854	11 July 1854	Archbishop of Toronto	Richard S. Wood			1/2000
18222	S.P.	11 July 1854	11 July 1854	Richard S. Wood et al	Henry Fowler			1/2000

Indian Reserve LOT No. 5 2 Range CONCESSION on R. Credit

No. of INSTRUMENT.	INSTRUMENT	Its DATE	DATE OF REGISTRY	GRANTOR.	GRANTEE.	QUANTITY OF LAND.	CONSIDERATION OR AMOUNT OF MORTGAGE.	REMARKS.
19261	Patent G.P.	11 July 1854	17.1.1866	The Crown Frederick W. Jarvis	James Cotton Bishop of Upper Canada	All	\$4075	PL

Lot No 6 2 Range

4478	Patent G.P.	11 July 1854	1. Dec 1857	The Crown James Cotton	James Cotton Pense & Anderson	All		
19291	G.P.	12 Jan 1861	5 Feb 1863	Frederick W. Jarvis	Richard S. Wood		\$1500.00	
19292	G.P.	3 Aug 1864		The Earl of Wood & Co	Henry Fowler		\$500.-	

TOWNSHIP OF TORONTO

Lot No. 5

In the

SECOND RANGE

Township of C. T. R.

No. of Instrument	Instrument	Date	Date of Registration	GRANTOR	GRANTEE	Consideration or Amount of Mortgage	REMARKS
340	B.&S.	15May1869	6 Sep1869	Bank of Upper Canada	John Crickmore	\$7000.00	All and O.L.
351	B.&S.	12Jul1869	20Sep1869	John Crickmore et ux	Wm. B. Hunter	25000.00	All and O.L.
352	B.&S.	20Jul1869	20Sep1869	Wm. B. Hunter et ux	Peel General Mfg. Co.	14000 shares.	All and
519	B.&S.	25Nov1868	27Apr1870	Bank of Upper Canada	Robert Cotton	742.00	All and O.L.
1996		1 Sep1876	23Sep1876	Peel General Mfg. Co.	S. S. Lee et al	20000.00	All and O.L.
2158		28Nov1876	4 Apr1877	S. S. Lee et al	Canada Life Assce. Co.	5.00&C.	All and O.L.
3134		1 Apr1880	24Jul1880	Peel General Mfg. Co.	Canada Life Assce. Co.	6000.00	All and O.L.
5507	Will	28Oct1884	30Dec1885	Robert Cotton	Susan Cotton et al		All and O.L.
5677	Release	25Mar1886	14May1886	Canada Life Assce. Co. et al	Peel General Mfg. Co.	6000.00	All and O.L.
6948	B.&S.	1 Oct1888	18Oct1889	Peel General Mfg. Co.	Thos. W. Hector et al	9180.00	Part and O.
7742	B.&S.	10Dec1891	17Dec1891	Thos. W. Hector et al	James J. Kenny	2410.30	18.47 ac.
7763	B.&S.	10Dec1891	6 Jan1892	Thos. W. Hector et al	John Couinlock	2464.90	Part and O.L.
9213		22Jul1896	6 Aug1896	Edwin Crickmore et ux	George Gooderham	2500.00	Part and O.L.
9254		16Oct1896	26Oct1896	Edwin Crickmore et ux	Robert A. F. Hallifax	3000.00	Part and O.L.
9262	B.&S.	23May1896	30Oct1896	Edwin Crickmore et ux	Thomas W. Hector	1.00&C.	Parts and O.
9317	B.&S.	11Nov1896	4 Dec1896	Thos. W. Hector et ux	Fred. T. D. Hector	1.00&C.	Part and O.L.
9788	B.&S.	1 Nov1898	10Nov1898	George Gooderham	William F. Ardagh	2810.00	Part and O.L.
9963	B.&S.	13May1899	15May1899	Fred. T. D. Hector	David A. Boyd	981.00	Part and O.L.
10497	B.&S.	24Apr1901	26Apr1901	Wm. F. Ardagh (unmarried)	Fred. G. D. Durnford	4700.00	Part and O.L.
10498		24Apr1901	26Apr1901	Fred. G. D. Durnford	Wm. F. Ardagh	4200.00	Part and O.
11117		20Apr1903	4 May1903	Fred. G. D. Durnford et ux	Edward A. Laver	3349.58	Part and O.
11118		5 May1903	6 May1903	Fred. G. D. Durnford et ux	William Laidlaw	5.00&C.	Part and
11209	Release	15Jun1903	8 Oct1903	Fred G. D. Durnford et ux Edward A. Laver & Wm. Laidlaw	Wm. F. Ardagh	1.00	Part and O. Release of Redemption, reserves al against the under cover Mortgage.

TO BOOK "C"

TOWNSHIP OF TORONTO

In the SECOND RANGE CONCESSION C. I. B.

Date of Registration	GRANTOR	GRANTEE	Consideration or Amount of Mortgage	REMARKS
59 6 Sept 1869	Bank of Upper Canada	John Crickmore	\$7000.00	All and O.L.
59 20 Sept 1869	John Crickmore et ux	Wm. B. Hunter	25000.00	All and O.L.
59 20 Sept 1869	Wm. B. Hunter et ux	Peel General Mfg. Co.	14000 shares.	All and O.L.
58 27 April 1870	Bank of Upper Canada	Robert Cotton	742.00.	All and O.L. <i>ac. lying East of Slave Bank Road.</i>
76 23 Sept 1876	Peel General Mfg. Co.	S. S. Lee et al	20000.00	All and O.L. <i>except pt. conveyed by Cert. of Oppn. Class. Co. No. 519.</i>
76 4 April 1877	S. S. Lee et al	Canada Life Assee. Co.	5.00&C.	All and O.L. <i>Ac. lying West of Slave B. Road.</i>
80 24 July 1880	Peel General Mfg. Co.	Canada Life Assee. Co.	6000.00	All and O.L. <i>rec'd by title dated 1 Sept 1876.</i>
84 30 Dec 1885	Robert Cotton	Susan Cotton et al		All and O.L.
86 14 May 1886	Canada Life Assee. Co. et al	Peel General Mfg. Co.	6000.00	All and O.L. <i>rec'd by title dated 1 Sept 1876.</i>
88 18 Oct 1889	Peel General Mfg. Co.	Thos. W. Hector et al	9180.00	Part and O.L. <i>lying West of Slave B. Rd.</i>
91 17 Dec 1891	Thos. W. Hector et al	James J. Kenny	2410.30	18.47 ac.
91 6 Jan 1892	Thos. W. Hector et al	John Gouinlock	2464.90	Part and O.L.
96 6 Aug 1896	Edwin Crickmore et ux	George Gooderham	2500.00	Part and O.L.
96 26 Oct 1896	Edwin Crickmore et ux	Robert A. P. Hallifax	3000.00	Part and O.L.
96 30 Oct 1896	Edwin Crickmore et ux	Thomas W. Hector	1.00&C.	Parts and O.L. Undivided $\frac{1}{2}$
96 4 Dec 1896	Thos. W. Hector et ux	Fred. T. D. Hector	1.00&C.	Part and O.L.
98 10 Nov 1898	George Gooderham	William F. Ardagh	2810.00	Part and O.L. 24.5 ac.
99 15 May 1899	Fred. T. D. Hector	David A. Boyd	981.00	Part and O.L. 21.8 ac.
901 26 Apr 1901	Wm. F. Ardagh (unmarried)	Fred. G. D. Durnford	4700.00	Part and O.L.
901 26 Apr 1901	Fred. G. D. Durnford	Wm. F. Ardagh	4200.00	Part and O.L.
903 4 May 1903	Fred. G. D. Durnford et ux	Edward A. Laver	5349.58	Part and O.L. 24.5 acres. (note- wife does not sign)
903 6 May 1903	Fred. G. D. Durnford et ux	William Laidlaw	505.00&C.	Part and O.L. 24.5 ac.
903 8 Oct 1903	Fred. G. D. Durnford et ux Edward A. Laver & Wm. Laidlaw	Wm. F. Ardagh	1.00	Part and O.L. 24.5 ac. Release of Equity of Redemption. The said Laver reserves all his right etc. against the said Durnford under covenants in his Mortgage.

TO BOOK "C"

554

Lot No. 5

Second Range

CONCESSION: Credit Reserve.

S. E. Hart & Co. Limited 23553

NO. OF INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
11510	Grant	4Dec1903	9Dec1903	Susan Cotton sole surviving Exrix of Robert Cotton deceased Dixie C. Cotton unmarried man	The Toronto & Niagara Power Co. Ltd.	1.48	222.00	pt
11638	Grant	1Jun1904	13Jun1904	Wm. F. Ardagh	Wm. T. Jennings	pt 12.5/10	5500.00	pt see plan attached & O.L.
11698	Grant	1May1904	6Aug1904	James J. Kenny et ux	Toronto & Niagara Power Co.	pt .5.43	814.50	pt
12058	Grant	20Oct1905	21Oct1905	Susan A. Cotton Surviving Exrix of Robert Cotton deceased Dixie Cox Cotton unmarried man	Toronto & Niagara Power Company	485/1000	72.75	pt see sketch on deed
12504	Grant	3Dec1906	10Dec1906	James J. Kenny et ux	Henry W. Frink	pt 13.4/100	1000.00	subject to the easements reserved in the deed thereof to the party of the first part, and subject also to a mtge. to the Union Life Insurance Co. to secure \$1500.00 and interest as therein set out which Mtge. the party of the third part hereby assumes & covenants to pay off.
12690	Grant	21May1907	22May1907	The Southern Light & Power Co. Ltd. John Mackay Liquidator	The Stark Telephone Light & Power Co. Ltd.	pt 87	47500.00	pt & O.L.
12691	M.	21May1907	22May1907	The Stark Telephone Light & Power Co. Ltd.	John MacKay Liquidator of the Southern Light & Power Co.	pt 87	40500.00	pt & O.L. not reg. in full
12738	Grant	24Jul1907	27Jul1907	David Abner Boyd et ux	John E. Hall	pt 21.6	2625.00	pt & O.L.
12805	Grant	4Feb1908	7Feb1908	Susan A. Cotton Exr of Robert Cotton Deceased	Dixie Cox Cotton	104 & O.L.	1. & the premises	pt & O.L.
13193	Con't. Deed	19Oct1908	21Oct1908	Susan Amelia Cotton Sold Exe of Robert Cotton Deceased	Dixie Cox Cotton			1. & the premises pt & O.L.
B'09	Plan	23Sep1908	14Jan1909	D.C. Cotton	Subdivision			pt & O.L.
E'09	Plan	27Jan1909	5May1909	John E. Hall	Subdivision			pt & O.L.
14745	Grant	12Dec1911	6Jan1912	Henry W. Frink et ux	Marion Kenny	pt 13.4/100	1000.00	& assumption of Mtge
16080	Grant	28Oct1913	5Nov1913	Marion Bailey	Samuel P. Biggs	0.49	1200.00	pt
17715	Grant	23Jan1916	20Jan1916	Marion Bailey	Samuel P. Biggs	0.49	1200.00	pt

THE ADJUTANT GENERAL'S OFFICE

DATE PLAN REGISTERED 14 Jan. 1909
 OWNERS D.C. Cotton

TOWNSHIP OF TORONTO

SHEET NO 1
 LOT NO Block "D"
 STREET
 PLAN NO 5-7

LOTS SUBDIVIDED Pt. 4 & 5, B2, C.I.R.

NUMB	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
17143	B.S.	20 May 1915	1 June 1915	Dixie C. Cotton, Etux	Wm. A. Dowbeer	\$485.00	Part & C.L.
17144	B.S.	21 May 1915	1 June 1915	Wm. A. Dowbeer, Etux	Dixie C. Cotton	\$385.00	Part & C.L. 20/9, 1732
17146	C.M.	21 May 1915	2 June 1915	Canada Permanent Mortgage Corp.	Dixie C. Cotton		discharge No. 13172 Feb. 20, 1930
17148	B.S.	2 Nov. 1915	2 Nov. 1915	Wm. A. Dowbeer, Etux	Elizabeth Dowbeer	\$1100.00	Part & C.L. Feb. 20, 1930
17227	B.S.	31 Aug. 1916	25 Oct. 1916	Wm. A. Dowbeer, Etux	George W. Bayly	\$10500.00	Part & C.L.
17235	B.S.	27 Sep. 1916	26 Oct. 1916	Elizabeth Dowbeer	Wm. A. Dowbeer		discharge No. 13258 Feb. 20, 1930
17236	B.S.	14 Oct. 1916	26 Oct. 1916	Geo. W. Bayly, Etux	Wm. A. Dowbeer	\$2025.00	Part & C.L. Nov. 20, 1930
18066	C.M.	11 Apr. 1917	11 Apr. 1917	Dixie C. Cotton, Etux	Canada Permanent Mortgage Corp.	\$1500.00	Part & C.L. Feb. 20, 1930
18081	C.M.	21 Apr. 1917	26 Apr. 1917	Canada Permanent Mortgage Corp.	Dixie C. Cotton		discharge No. 13272 Feb. 20, 1930
18794	C.M.	11 Apr. 1920	17 Apr. 1920	Canada Permanent Mortgage Corp.	Dixie C. Cotton		discharge No. 14066 FEB. 26, 1930
20348	MTG OF MORTGAGE	15 Oct. 1920	15 Oct. 1920	Wm. A. Dowbeer	London & Canadian Loan & Agency Co.	\$1.00	Part & C.L. Oct. 2, 1930
20379	MTG OF MORTGAGE	16 Oct. 1920	27 Oct. 1920	London & Canadian Loan & Agency Company	Wm. A. Dowbeer	\$1.00	Part & C.L. Oct. 2, 1930
20409	B.S.	2 Nov. 1920	4 Nov. 1920	Wm. A. Dowbeer	Geo. W. Bayly		discharge No. 14336 Nov. 21, 1930
20665	B.S.	28 May 1921	24 Nov. 1922	Dixie C. Cotton	Wm. A. Dowbeer		discharge No. 14346 Nov. 21, 1930
23236	B.S.	15 May 1923	16 May 1923	Geo. W. Bayly, Etux	Mary J. Hamlin	\$10500.00	Part & C.L.
23238	B.S.	15 May 1923	16 May 1923	Mary J. Hamlin	Geo. W. Bayly	\$8500.00	Part & C.L. 20/10, 11/4
24913	Grant	15 May 1924	30 June 1924	George W. Bayly	Adeline M. Bayly	\$1.00	Part & C.L.
24914	MTG OF MORTGAGE	15 May 1924	30 June 1924	George W. Bayly	Adeline M. Bayly	\$1.00	Part & C.L. Dec. 10, 1931
27225	Agmt. for Excluding Mast.	11 May 1926	10 June 1926	Adeline M. Bayly	Mary J. Hamlin	\$1.00	Part & C.L. 4/6/26
28993	Grant	5 May 1927	1 June 1927	Adeline M. Bayly	Eveline M. Tombs	\$1.00	Part. 2nd. 30.L. 1st Mtge \$7250.00
32723	Grant	15 May 1926	16 May 1930	Mary J. Hamlin	James Cassina	\$2750.00	Part & C.L.
32724	Grant	1 May 1930	6 May 1930	James Cassina, Etux	William Tuck	Mtge. \$6250.00 \$2750.00	Part & C.L.
34521	B.S.	5 Oct. 1931	7 Oct. 1931	William Tuck	Elizabeth Tuck	\$5000.00	Part & C.L. 14/1/32
34522	B.S.	9 Oct. 1931	10 Oct. 1931	Adeline M. Bayly	William Tuck		discharge No. 14522 same land as in 14521
34523	B.S.	1 Nov. 1931	1 Nov. 1931	William Tuck	Robert Parker & Nellie Parker	\$750.00	Part & C.L. 14/1/32
34524	B.S.	16 Nov. 1931	18 Nov. 1931	John T. Tuck, Etux	William Tuck		discharge No. 14524
37423	B.S.	11 Sep. 1936	30 Oct. 1936	Eveline M. Tombs, Etux	Bessie Thomson	\$5000.00	Part & C.L.
41659	Grant	15 Apr. 1942	17 Apr. 1942	Adeline M. Bayly	Albert Joe. Hurst	\$3750.00	Part & C.L. See -14 G for desc.
41660	B.S.	15 Apr. 1942	17 Apr. 1942	Albert J. Hurst, Etux	Adeline M. Bayly	\$2750.00	Part & C.L. 13/1/42 14/1/42
41745	Grant	10 July 1942	30 July 1942	Albert J. Hurst, Etux	John G. Reid, To Use of Fred J. Telgmann	\$1.00	Part & C.L. as in No. 41659

DATE PLAN REGISTERED 14 Jan, 1909
 OWNERS D.C. Cotton

SHEET NO 2
 LOT NO Block 4
 STREET
 PLAN NO B-09

TOWNSHIP OF TORONTO

LOTS SUBDIVIDED Pt. 4 & 5, R2, C.I.R.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
43975	D.M.	27 June 1942	13 Nov. 1942	Robert Parker	Mr. Tuck		discharge No. 37296. - Three - Comment Attached. <i>1/1/62</i>
43923	Grant	17 June 1943	30 Aug. 1943	Dixie C. Cotton	Olive M. Cotton	\$1.00	& N.L.S. Wly 632'4" & O.L.
43985	Grant	28 Mar. 1944	19 Apr. 1944	Olive M. Cotton	Chas. B. Jacobs	\$3500.00	Wly 632'4" & O.L.
44312	Grant	30 June 1944	29 June 1944	Eveline M. Tombs	Belden W. Fox	\$1,000.00	Part & O.L. See blk G for desc.
44713	Grant	30 June 1944	29 June 1944	Belden W. Fox, Etux	Velma P. Wilson	\$5500.00	Part & O.L. See blk G. for desc.
44355	D.M.	1 June 1944	5 July 1944	Madelaine M. Thompson, Etal Admrs. Jessie Thompson	Eveline M. Tombs		discharge No. 37108 (concepts to Mr. Cover)
45439	Grant	12 Apr. 1945	28 Apr. 1945	Chas. B. Jacobs	Mr. E. Jones	\$1000.00	Part. Restrictions. 100' X 270' Sketch Attached (Lot 4 on Sketch)
46504	Grant	6 Nov. 1945	16 Nov. 1945	Mr. E. Jones, Etux	Robert G. Canton & Janet M.C. Canton, as joint tenants	\$1500.00	Part as in No. 45439
46654	RESTRICTION	10 Dec. 1945	21 Dec. 1945	Fred J. Teigmann	The Sterling Trusts Corp.	\$3500.00	Part & O.L. See lot G for desc. <i>1/1/62</i>
46739	RESTRICTION	10 Dec. 1945	8 Jan. 1946	Fred J. Teigmann & John G. Reid	The Sterling Trusts Corp.	\$2500.00	Part & O.L. as in No. 46654 <i>1/1/62</i>
46875	Grant	23 Jan. 1946	1 Feb. 1946	Chas. B. Jacobs, Etux	Ernest D.A. Dickson & Lorna Dickson, as joint tenants	\$1200.00	Part. Restrictions. See Sketch Attached. Same as SS angle Block C, Thence N 43° to pt. called the <u>loft</u> , Thence E 100' x lot "A" angles 77° to SE limit of Cadillac, x 1200' x S 270' to porch. <i>(Complete)</i>
46876	D.M.	1 Jan. 1946	1 Feb. 1946	The Sterling Trusts Corp.	Fred J. Teigmann		discharge No. 46654 <i>1/1/62</i>
46975	D.M.	21 Jan. 1946	1 Feb. 1946	Adeline M. Bayly	Fred J. Teigmann		discharge No. 41660 <i>1/1/62</i>
47197	Grant	19 Mar. 1946	2 Apr. 1946	Chas. B. Jacobs, Etux	Joy Stanfield & Jack Stanfield, as joint tenants	\$1150.00	Part & O.L. See Sketch Attached. Restrictions. (lot 10 on sketch)
47193	Grant	27 Mar. 1946	2 Apr. 1946	Chas. B. Jacobs, Etux	Glen M. McWhirter	\$1150.00	Part & O.L. Restrictions. Lot 9 on Sketch
47222	RESTRICTION	1 Apr. 1946	1 Apr. 1946	John M. Dwyer, Etux	Chas. B. Jacobs	\$800.00	Part & O.L. as in No. 47285 <i>1/1/62</i>
47285	RESTRICTION	1 Apr. 1946	1 Apr. 1946	Chas. B. Jacobs, Etux	John M. Dwyer	\$1200.00	Part & O.L. Restrictions (lot 12 on Sketch)
47286	RESTRICTION	2 Apr. 1946	1 Apr. 1946	Charles B. Jacobs, Etux	Chas. B. Jacobs	\$3000.00	Part 14' in No. 47287 <i>1/1/62</i>
47287	RESTRICTION	2 Apr. 1946	1 Apr. 1946	Chas. B. Jacobs, Etux	Chas. B. Jacobs	\$400.00	Part. Wly 70' lot 2, 38' lot 3, on sketch. Restrictions.
47338	Grant	1 Apr. 1946	1 May 1946	Charles B. Jacobs, Etux	Edwin J. Conroy	\$1200.00	Part. lot 3 & Wly 10' of lot 2 on Sketch. Restrictions.
47410	Grant	7 Apr. 1946	2 May 1946	Chas. B. Jacobs, Etux	James M. Huron	\$600.00	Part. Wly 70' lot 1 on Sketch. Restrictions.
47434	RESTRICTION	11 Apr. 1946	1 Apr. 1946	Charles B. Jacobs, Etux	Charles B. Jacobs	\$800.00	Part & O.L. lot 13 on Sketch.

29 x 10

32 x 10

Index No.	Character	Effective Date	Release Date	Grantor	Grantee	Consideration	Remarks
4326	G.M.	27 June 1945	28 Nov. 1945	Robert E. Fox	See sketch		Discharging No. 17236. Taxes, Consent Attached. 1/11/46
43225	Grant	17 April 1945	30 Apr. 1945	Elicie C. Fortson	Oliver M. Outson	\$1.00	Part of N.E. 1/4, W/4 332' x 0.1.
43285	Grant	28 Mar. 1945	15 Apr. 1945	Oliver M. Outson	Chas. B. Jacobs	\$200.00	W/4 332' x 0.1.
43370	Grant	30 March 1945	29 June 1945	Dr. Edgar M. Jones	Edward M. Fox	\$1.00	Part of O.L. See Blk G for desc.
43713 T.P. 10/29/51 44352	Grant G.M.	30 June 1944 15 July 1944	29 June 1944 1 July 1944	Erden M. Fox, Mary Margaret M. Thompson, Etal	Yelma S. Wilson Eyring M. Jones	\$3500.00	Part of O.L. See Blk G. for desc. discharging No. 37100 (Consent to NoCover)
45139	Grant	12 Apr. 1945	28 Apr. 1945	Chas. B. Jacobs	Mr. E. Jones	\$1000.00	Part. Restrictions. 100' x 270' Sketch Attached (Lot 4 on Sketch)
45504	Grant	6 Nov. 1945	16 Nov. 1945	Mr. E. Jones, Etux	Robert S. Gaston &	\$1200.00	Part as in No. 45439
45444		18 Dec. 1945	21 Dec. 1945	Fred J. Tolpman	Janet M.C. Gaston, as joint tenants		
45456		10 Dec. 1945	21 Dec. 1945	Fred J. Tolpman	The Sterling Trusts Corp.	\$2000.00	Part of O.L. See Lot 9 for desc. 1/11/46
45757		10 Dec. 1945	9 Jan. 1946	Fred J. Tolpman & John G. Reid	The Sterling Trusts Corp.	\$2000.00	Part of O.L. as in No. 16654 1/11/46
46673	Grant	23 Jan. 1946	1 Feb. 1946	Chas. B. Jacobs, Etux	Ernest D.A. Hickman & Lorna Dickson, as joint tenants	\$1200.00	Part. Restrictions. See Sketch Attached. Cont. at SE angle Block J, Thence S 1/2' to po. called the E.P.B. Thence E. 100' x Nat. rd. angles 270' to SE 1/4 of Section 34, x W 100' x S 270' to po. (6 copies).
46778	G.M.	14 Jan. 1946	1 Feb. 1946	The Sterling Trusts Corp.	Fred J. Tolpman		Discharging No. 45688 1/11/46
46779	G.M.	6 Jan. 1946	1 Feb. 1946	Adeline M. Boyl	Fred J. Tolpman		Discharging No. 45688 1/11/46
47157	Grant	19 Mar. 1946	2 Apr. 1946	Chas. B. Jacobs, Etux	Joy Stanfield & Jack Stanfield, as joint tenants	\$1150.00	Part & O.L. See Sketch Attached. Restrictions. (Lot 10 on Sketch)
47158	Grant	27 Mar. 1946	2 Apr. 1946	Chas. B. Jacobs, Etux	Glen H. McWhirter	\$1150.00	Part & O.L. Restrictions. Lot 9 on Sketch
47281		3 Apr. 1946	15 Apr. 1946	John M. Dyke, Etux	Chas. B. Jacobs	\$200.00	Part & O.L. as in No. 47285 1/11/46
47285	Grant	29 Mar. 1946	13 Apr. 1946	Chas. B. Jacobs, Etux	John M. Dyke	\$1200.00	Part & O.L. Restrictions (Lot 12 on Sketch)
47356		2 Apr. 1946	13 Apr. 1946	Chas. B. Jacobs, Etux	Chas. B. Jacobs	\$200.00	Part as in No. 47287 2/11/46
47387	Grant	2 Apr. 1946	13 Apr. 1946	Chas. B. Jacobs, Etux	Chas. L. Mackenzie	\$1200.00	Part. W/4 20' Lot 1, 890' Lot 2, on Sketch. Restrictions.
47390	Grant	9 Apr. 1946	1 May 1946	Charles B. Jacobs, Etux	Edwin J. Shipp	\$1200.00	Part. Lot 3 & W/4 10' of Lot 2 on Sketch. Restrictions.
47410	Grant	29 Mar. 1946	3 May 1946	Chas. B. Jacobs, Etux	James B. Duncan	\$650.00	Part. W/4 70' Lot 1 on Sketch. Restrictions.
47411		11 May 1946	18 May 1946	Charles B. Jacobs, Etux	Charles B. Jacobs	\$200.00	Part & O.L. Lot 12 on Sketch. 2/11/46

DATE PLAN REGISTERED 14 Jan. 1909
OWNERS D.J. Cotton

TOWNSHIP OF INGHAM

LOCAL SUBDIVISION Pt. 1 & 5, R2, C.I.R.

Block 10
Sheet
1909

NO.	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	DESCRIPTION
47555	Grant	9 Apr. 1946	18 May 1946	Chas. R. Jacobs, Esq.	Gordon L. Dyke	\$1200.00 Part of C.I.L. Lot 13 on 12th St. subj. to restrictions.
48123	U.H.	25 July 1946	31 July 1946	Chas. R. Jacobs	John N. Dyke	discharge; No. 47524
48280	Grant	25 July 1946	21 Aug. 1946	John N. Dyke, Esq.	The Director, The Veterans Land Act	\$1,000.00 Part of C.I.L. 25 in No. 47525
481	Plan	27 July 1946	5 Feb. 1947	John N. Dyke, Esq.		A subdivision of part of C.I.L.
49455	Grant	13 Feb. 1947	19 Feb. 1947	Fred'k J. Tolgmann	W. Wesley Davis	\$2000.00 Part of C.I.L. See Block 9 for desc.
49447	U.G.	18 Feb. 1947	21 Feb. 1947	John G. Reid, Esq.	Fred'k J. Tolgmann	\$1,000.00 Part of C.I.L. as in No. 47527
50250	U.H.	25 June 1947	3 July 1947	The Sterling Trust Corp.	Fred'k J. Tolgmann	discharge; No. 49455
504	Plan	7 July 1947	8 July 1947	Fred'k J. Tolgmann, Esq.		subdivision of Part of C.I.L.
50955	U.H.	27 Sep. 1947	29 Sep. 1947	J. W. Gray Davis	Fred'k J. Tolgmann	discharge; No. 49455
57459	U.G.	6 Nov. 1947	6 Nov. 1947	Evadne J. Cook	Volva F. Wilson	\$1,000.00 Part of D.L. Co. in NE limit of blk G 38' 10" NE of S angle, thence NS 165' 4" x NW 87' 12" x S 2' 100' x S E 211' 5" x S W 65' 4" x SE 659' 1" to pole.
57190	Grant	1 Nov. 1948	8 Dec. 1948	Volva F. Wilson	Clarence G. Gill	\$2000.00 Part of C.I.L. See blk G, for desc.
566	BYLAW	12 OCT. 49	JULY 50	RE SUBDIV. CONTROL		
57111	Grant	1 Nov. 1948	8 Dec. 1948	Volva F. Wilson	Clarence G. Gill	\$2000.00 Part of C.I.L. Co. in NE limit of Donnelly Dr. at S angle of 14 Plan 344, thence S. 37' 52" x 324' 4" x NW 126' 6" x NW 131' 6" x NE 60' 8" x NE 241' 9" x S W along NE 1/4 341' to pole.
57112	Grant	1 Nov. 1948	8 Dec. 1948	Volva F. Wilson	Clarence G. Gill	\$2,000.00 Part of C.I.L. Co. in NE limit of Donnelly Dr. at S angle of 14 Plan 344, thence S. 37' 52" x 324' 4" x NW 126' 6" x NW 131' 6" x NE 60' 8" x NE 241' 9" x S W along NE 1/4 341' to pole.
57113	Grant	20 Feb. 1949	8 Mar. 1949	Clarence G. Gill, Esq.	Donald F. Chapman	\$1,000.00 Part of C.I.L. North Attached. Comm. on NW 1/4 of Plan 344 at S angle thence S 89' to S angle 204' 21' x NW 144' 10" x NW 72' 10" to S 1/4 19' x NE 97' 10" x NE 102' 10" to pole.
426	BYLAW	1 JUNE 54	5 JULY 54	RE SUBDIV. CONTROL		

Handwritten notes and signatures:
1909...
1962 1967
Dreasman's Consent
Clarence G. Gill Esq.
July 22 3 93pm 1940. Thence S 89' 2" x S E 109' 11" x NW 101' 24" x NW 101' 24" to pole.

REEF NO.
 DIST NO. 2225
 AREA
 FILE NO. 200

NO.	CLASS	DATE	BY	FOR	REMARKS
17100	Grant	11/10/54	12/24/54	Wm. P. Wilson	\$1200.00 Part & O.L. lot 12 on sheet adj. to 17100
17101	Grant	11/10/54	12/24/54	Wm. P. Wilson	17101
17102	Grant	11/10/54	12/24/54	Wm. P. Wilson	17102
17103	Grant	11/10/54	12/24/54	Wm. P. Wilson	17103
17104	Grant	11/10/54	12/24/54	Wm. P. Wilson	17104
17105	Grant	11/10/54	12/24/54	Wm. P. Wilson	17105
17106	Grant	11/10/54	12/24/54	Wm. P. Wilson	17106
17107	Grant	11/10/54	12/24/54	Wm. P. Wilson	17107
17108	Grant	11/10/54	12/24/54	Wm. P. Wilson	17108
17109	Grant	11/10/54	12/24/54	Wm. P. Wilson	17109
17110	Grant	11/10/54	12/24/54	Wm. P. Wilson	17110
17111	Grant	11/10/54	12/24/54	Wm. P. Wilson	17111
17112	Grant	11/10/54	12/24/54	Wm. P. Wilson	17112
17113	Grant	11/10/54	12/24/54	Wm. P. Wilson	17113
17114	Grant	11/10/54	12/24/54	Wm. P. Wilson	17114
17115	Grant	11/10/54	12/24/54	Wm. P. Wilson	17115
17116	Grant	11/10/54	12/24/54	Wm. P. Wilson	17116
17117	Grant	11/10/54	12/24/54	Wm. P. Wilson	17117
17118	Grant	11/10/54	12/24/54	Wm. P. Wilson	17118
17119	Grant	11/10/54	12/24/54	Wm. P. Wilson	17119
17120	Grant	11/10/54	12/24/54	Wm. P. Wilson	17120
17121	Grant	11/10/54	12/24/54	Wm. P. Wilson	17121
17122	Grant	11/10/54	12/24/54	Wm. P. Wilson	17122
17123	Grant	11/10/54	12/24/54	Wm. P. Wilson	17123
17124	Grant	11/10/54	12/24/54	Wm. P. Wilson	17124
17125	Grant	11/10/54	12/24/54	Wm. P. Wilson	17125
17126	Grant	11/10/54	12/24/54	Wm. P. Wilson	17126
17127	Grant	11/10/54	12/24/54	Wm. P. Wilson	17127
17128	Grant	11/10/54	12/24/54	Wm. P. Wilson	17128
17129	Grant	11/10/54	12/24/54	Wm. P. Wilson	17129
17130	Grant	11/10/54	12/24/54	Wm. P. Wilson	17130
17131	Grant	11/10/54	12/24/54	Wm. P. Wilson	17131
17132	Grant	11/10/54	12/24/54	Wm. P. Wilson	17132
17133	Grant	11/10/54	12/24/54	Wm. P. Wilson	17133
17134	Grant	11/10/54	12/24/54	Wm. P. Wilson	17134
17135	Grant	11/10/54	12/24/54	Wm. P. Wilson	17135
17136	Grant	11/10/54	12/24/54	Wm. P. Wilson	17136
17137	Grant	11/10/54	12/24/54	Wm. P. Wilson	17137
17138	Grant	11/10/54	12/24/54	Wm. P. Wilson	17138
17139	Grant	11/10/54	12/24/54	Wm. P. Wilson	17139
17140	Grant	11/10/54	12/24/54	Wm. P. Wilson	17140
17141	Grant	11/10/54	12/24/54	Wm. P. Wilson	17141
17142	Grant	11/10/54	12/24/54	Wm. P. Wilson	17142
17143	Grant	11/10/54	12/24/54	Wm. P. Wilson	17143
17144	Grant	11/10/54	12/24/54	Wm. P. Wilson	17144
17145	Grant	11/10/54	12/24/54	Wm. P. Wilson	17145
17146	Grant	11/10/54	12/24/54	Wm. P. Wilson	17146
17147	Grant	11/10/54	12/24/54	Wm. P. Wilson	17147
17148	Grant	11/10/54	12/24/54	Wm. P. Wilson	17148
17149	Grant	11/10/54	12/24/54	Wm. P. Wilson	17149
17150	Grant	11/10/54	12/24/54	Wm. P. Wilson	17150
17151	Grant	11/10/54	12/24/54	Wm. P. Wilson	17151
17152	Grant	11/10/54	12/24/54	Wm. P. Wilson	17152
17153	Grant	11/10/54	12/24/54	Wm. P. Wilson	17153
17154	Grant	11/10/54	12/24/54	Wm. P. Wilson	17154
17155	Grant	11/10/54	12/24/54	Wm. P. Wilson	17155
17156	Grant	11/10/54	12/24/54	Wm. P. Wilson	17156
17157	Grant	11/10/54	12/24/54	Wm. P. Wilson	17157
17158	Grant	11/10/54	12/24/54	Wm. P. Wilson	17158
17159	Grant	11/10/54	12/24/54	Wm. P. Wilson	17159
17160	Grant	11/10/54	12/24/54	Wm. P. Wilson	17160
17161	Grant	11/10/54	12/24/54	Wm. P. Wilson	17161
17162	Grant	11/10/54	12/24/54	Wm. P. Wilson	17162
17163	Grant	11/10/54	12/24/54	Wm. P. Wilson	17163
17164	Grant	11/10/54	12/24/54	Wm. P. Wilson	17164
17165	Grant	11/10/54	12/24/54	Wm. P. Wilson	17165
17166	Grant	11/10/54	12/24/54	Wm. P. Wilson	17166
17167	Grant	11/10/54	12/24/54	Wm. P. Wilson	17167
17168	Grant	11/10/54	12/24/54	Wm. P. Wilson	17168
17169	Grant	11/10/54	12/24/54	Wm. P. Wilson	17169
17170	Grant	11/10/54	12/24/54	Wm. P. Wilson	17170
17171	Grant	11/10/54	12/24/54	Wm. P. Wilson	17171
17172	Grant	11/10/54	12/24/54	Wm. P. Wilson	17172
17173	Grant	11/10/54	12/24/54	Wm. P. Wilson	17173
17174	Grant	11/10/54	12/24/54	Wm. P. Wilson	17174
17175	Grant	11/10/54	12/24/54	Wm. P. Wilson	17175
17176	Grant	11/10/54	12/24/54	Wm. P. Wilson	17176
17177	Grant	11/10/54	12/24/54	Wm. P. Wilson	17177
17178	Grant	11/10/54	12/24/54	Wm. P. Wilson	17178
17179	Grant	11/10/54	12/24/54	Wm. P. Wilson	17179
17180	Grant	11/10/54	12/24/54	Wm. P. Wilson	17180
17181	Grant	11/10/54	12/24/54	Wm. P. Wilson	17181
17182	Grant	11/10/54	12/24/54	Wm. P. Wilson	17182
17183	Grant	11/10/54	12/24/54	Wm. P. Wilson	17183
17184	Grant	11/10/54	12/24/54	Wm. P. Wilson	17184
17185	Grant	11/10/54	12/24/54	Wm. P. Wilson	17185
17186	Grant	11/10/54	12/24/54	Wm. P. Wilson	17186
17187	Grant	11/10/54	12/24/54	Wm. P. Wilson	17187
17188	Grant	11/10/54	12/24/54	Wm. P. Wilson	17188
17189	Grant	11/10/54	12/24/54	Wm. P. Wilson	17189
17190	Grant	11/10/54	12/24/54	Wm. P. Wilson	17190
17191	Grant	11/10/54	12/24/54	Wm. P. Wilson	17191
17192	Grant	11/10/54	12/24/54	Wm. P. Wilson	17192
17193	Grant	11/10/54	12/24/54	Wm. P. Wilson	17193
17194	Grant	11/10/54	12/24/54	Wm. P. Wilson	17194
17195	Grant	11/10/54	12/24/54	Wm. P. Wilson	17195
17196	Grant	11/10/54	12/24/54	Wm. P. Wilson	17196
17197	Grant	11/10/54	12/24/54	Wm. P. Wilson	17197
17198	Grant	11/10/54	12/24/54	Wm. P. Wilson	17198
17199	Grant	11/10/54	12/24/54	Wm. P. Wilson	17199
17200	Grant	11/10/54	12/24/54	Wm. P. Wilson	17200

426 BY-LAW 1 JUNE/54 9 JUNE/54 RE SUBDIV CONTROL

1145500 Sub. 1/24/54 12/24/54
 171427 Sub. 1/24/54 11/24/54
 Insurance Contract
 Joe Shephard &
 Jack Shephard

William Tuck Little
 The Signature, The Insurance
 Special Act
 No 117529 Sub.
 1/24/54 Sub. 1/24/54
 drawn on at limit of 1/24/54
 substituted by 1/24/54 of 1/24/54. Three
 per 1/24/54 in 1/24/54 per 1/24/54
 1/24/54 Sub. 1/24/54
 Sub. 1/24/54

171427 Sub. 1/24/54 11/24/54
 Insurance Contract
 Clarence S. Gill
 Sub. 1/24/54 11/24/54

DATE PLAN REGISTERED 14 Jan. 1909
 OWNERS D.C. Cotton

TOWNSHIP OF TORONTO

SHEET NO 2
 LOT NO Block "J"
 STREET
 PLAN NO B-09

LOTS SUBDIVIDED Pt. 4 & 5, 22, C.I.R.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
10000	10000	10000	10000	Martha Hill, & Estor of a parcel of land in Township of York	Martha F. Johnson Sandra J. Johnson as joint tenants	2000	Part of Lot 10000
10000	10000	10000	10000	Martha Hill	Martha F. Johnson Sandra J. Johnson	2000	Part of Lot 10000
10000	10000	10000	10000	James G. Chapman	Donald W. Chapman	2000	Part of Lot 10000
1036536	Grant	19 Mar 1971	30 Apr 1971	Donald W. Chapman	James A. Wood	2000	Part of Lot 10000
1050495	1050495	14 Sept 1971	24 Sept 1971	Ray S. Buck	Industrial Enterprises Limited	2000	Part of Lot 10000
1050495	1050495	27 Dec 1971	10 Feb 1972	James A. Wood	The Home Bank of Canada	2000	Part of Lot 10000
109921	Grant	1 Aug 1978	4 Dec 1978	James A. Wood	Constance J. Wood	2000	Part of Lot 10000
109921	109921	10 Dec 1978	10 Dec 1978	James A. Wood	John F. Smith Eva C. Smith as joint tenants	2000	Part of Lot 10000
109921	109921	10 Dec 1978	10 Dec 1978	John F. Smith Eva C. Smith as joint tenants	Bank of Montreal Branch of the City of Toronto	2000	Part of Lot 10000
Discharge	593366	29 Oct 81	29 Oct 81	John P Eva C	Bank	2000	Part of Lot 10000
593100	Grant	29 Oct 81	29 Oct 81	John P Eva C	Bank	2000	Part of Lot 10000
591811	Grant	26 Oct 81	26 Oct 81	John P Eva C	Bank	2000	Part of Lot 10000
885536	Mortgage	12 Feb 82	12 Feb 82	AMONEN, Martti Frederick AMONEN, Sandra Jacqueline	IBM Toronto Employees Credit Union - Limited	100,000.00	Part of Lot 10000
892482	Grant	18 11 88	18 11 88	SMITH, John Paul SMITH, Eva Christine	MACKAY, Eleanor Margaret	100,000.00	Part of Lot 10000
890471	Mortgage	03 03 86	03 03 86	AMONEN, Martti Frederick AMONEN, Sandra Jacqueline	IBM TORONTO EMPLOYEES CREDIT UNION LIMITED	133,000.00	Part of Lot 10000

18718	Grant	1 July	13 Sept	1870	1867	Wm. L. ...	...	...	...
18719	Grant	1 July	13 Sept	1868	1865	...	...	...	...
18720	Grant	1 July	13 Sept	1869	1866	...	...	...	...
18721	Grant	1 July	13 Sept	1870	1867	...	...	...	...
18722	Grant	1 July	13 Sept	1871	1868	...	...	...	...
18723	Grant	1 July	13 Sept	1872	1869	...	...	...	...
18724	Grant	1 July	13 Sept	1873	1870	...	...	...	...
18725	Grant	1 July	13 Sept	1874	1871	...	...	...	...
18726	Grant	1 July	13 Sept	1875	1872	...	...	...	...
18727	Grant	1 July	13 Sept	1876	1873	...	...	...	...
18728	Grant	1 July	13 Sept	1877	1874	...	...	...	...
18729	Grant	1 July	13 Sept	1878	1875	...	...	...	...
18730	Grant	1 July	13 Sept	1879	1876	...	...	...	...
18731	Grant	1 July	13 Sept	1880	1877	...	...	...	...
18732	Grant	1 July	13 Sept	1881	1878	...	...	...	...
18733	Grant	1 July	13 Sept	1882	1879	...	...	...	...
18734	Grant	1 July	13 Sept	1883	1880	...	...	...	...
18735	Grant	1 July	13 Sept	1884	1881	...	...	...	...
18736	Grant	1 July	13 Sept	1885	1882	...	...	...	...
18737	Grant	1 July	13 Sept	1886	1883	...	...	...	...
18738	Grant	1 July	13 Sept	1887	1884	...	...	...	...
18739	Grant	1 July	13 Sept	1888	1885	...	...	...	...
18740	Grant	1 July	13 Sept	1889	1886	...	...	...	...
18741	Grant	1 July	13 Sept	1890	1887	...	...	...	...
18742	Grant	1 July	13 Sept	1891	1888	...	...	...	...
18743	Grant	1 July	13 Sept	1892	1889	...	...	...	...
18744	Grant	1 July	13 Sept	1893	1890	...	...	...	...
18745	Grant	1 July	13 Sept	1894	1891	...	...	...	...
18746	Grant	1 July	13 Sept	1895	1892	...	...	...	...
18747	Grant	1 July	13 Sept	1896	1893	...	...	...	...
18748	Grant	1 July	13 Sept	1897	1894	...	...	...	...
18749	Grant	1 July	13 Sept	1898	1895	...	...	...	...
18750	Grant	1 July	13 Sept	1899	1896	...	...	...	...
18751	Grant	1 July	13 Sept	1900	1897	...	...	...	...

ABSTRACT INDEX
 LOT BLOCK S PLAN B-09

PAGE NO. 3

REGISTRATION NUMBER	INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
RD 102995	Mort	93 02 01	AHREN, Martti Frederick AHREN, Sandra Jacqueline	IBM Toronto Employees Credit Union Limited	60,000.00	Part as in No. 84093
RD 1050024	Charge	94 05 17	MACRAY, Eleanor Margaret	Davank Investments Limited	100,000.00	2ndly - Pt & CL as in No. 49213 & CL
RD 1089578	Transfer	95 04 13	MACRAY, Eleanor by her Attorney MACRAY, David P of A No. RD 1089577 Reg 94/04/12	TACCONA, Judy	2.00 M/LA	2ndly - Pt & CL as in No. 87208
RD 1089685	Charge	95 05 03	TACCONA, Judy	Bank of Montreal	150,000.00	2ndly: Part & CL as in No. RD 1089578.
RD 1089666	Charge	95 05 03	TACCONA, Judy	Bank of Montreal	65,000.00	2ndly: Part & CL as in No. RD 1089578.

NOTICE
 All Document/Instruments
 submitted to
 MAR 19 1997
 are recorded in the published abstract
 index and in subsection 27(1) of the
 REGISTRY ACT

CONTINUED ON PAGE 4

25x10 32x10

DATE PLAN REGISTERED July 24th, 1947.

OWNERS E. J. Telgmann, et al.

TOWNSHIP OF TORONTO

LOTS SUBDIVIDED Part of Block J, Plan B.J.V.

SHEET NO 1
 LOT NO 12
 STREET Donnelly St
 PLAN NO 344

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
50414	192 m.	6 Sept 1947	24 Oct 1947	Fredk. J. Telgmann	Fredk. J. Telgmann	\$100	discharge of all restrictions
50420	192 m.	6 Sept 1947	24 Oct 1947	Fredk. J. Telgmann	Fredk. J. Telgmann	\$100	discharge of all restrictions
50921	192 m.	6 Sept 1947	24 Oct 1947	Fredk. J. Telgmann	Clarence S. Gill & Martia Gill as joint tenants	\$2400	All restrictions
50935	192 m.	11 Sept 1947	24 Oct 1947	Fredk. J. Telgmann	Fredk. J. Telgmann		discharge of all restrictions
50936	192 m.	11 Sept 1947	24 Oct 1947	Fredk. J. Telgmann	Fredk. J. Telgmann		discharge of all restrictions
52258	192 m.	27 April 1948	29 April 1948	Clarence S. Gill & Martia Gill	North American Life Insurance Co.	\$6500.00	All restrictions
52635	192 m.	27 April 1948	29 April 1948	Clarence S. Gill & Martia Gill	North American Life Insurance Co.		discharge of all restrictions
366	BY LAW	12 OCT. 49	3 JULY 50	RE SUBDIV. CONTROL			
464	192 m.	16 Oct 1948	18 Oct 1948	Clarence S. Gill & Martia Gill	North American Life Insurance Co.		discharge of all restrictions
476	BY LAW	1 JUNE 54	9 JUNE 54	RE SUBDIV. CONTROL			
583100	192 m.		29 Oct 81	All + OS			
83500	Mort		15 Oct 88	AHONEN, Martti Frederick AHONEN, Sandra Jacqueline	IBM Toronto Employees Credit Union - Limited.	\$100,000.00	All + O.L.
930420	Mortgage		90 03 06	AHONEN, Martti Frederick AHONEN, Sandra Jacqueline	IBM TORONTO EMPLOYEES CREDIT UNION LIMITED	\$130,000.00	A11 & O.L.
NO 1029953	Mort		93 02 01	AHONEN, Martti Frederick AHONEN, Sandra Jacqueline	IBM Toronto Employees Credit Union Limited	60,000.00	A11 & O.L.

FEB 10 1961
 MICROFILMED

of Block J, Plan B.09.

LOT NO.
 STREET Donnelly Drive.
 PLAN NO. 344

DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
<p data-bbox="115 259 357 430"> NOTICE All Document Instruments registered in MAR 11 1997 <i>11/06/97</i> a record of the registered abstract does not exist in subsection 2(1b) of the REGISTRY ACT </p>					



COUNTY OF YORK

City of Toronto

In the

TO WIT:

County of Peel

make oath and say:

1. THAT I was personally present and did see the within or annexed Instrument and a duplicate thereof duly signed, sealed and executed by MARTHA GILL

one of the parties thereto.

2. THAT the said Instrument and duplicate were executed by the said party at the City of Toronto.

3. THAT I know the said party.

4. THAT I am a subscribing witness to the said Instrument and duplicate.

SWORN before me at the City of Toronto

of Peel

this 26th day of July

A.D. 1968

George Grant Baker

A Commissioner for taking Affidavits, etc.

OF the County of Peel

in the County of Peel

TO WIT:

make oath and say:

1. THAT I was personally present and did see the within or annexed Instrument and a duplicate thereof duly signed, sealed and executed by

of the parties thereto.

2. THAT the said Instrument and duplicate were executed by the said party at the

3. THAT I know the said party

4. THAT I am a subscribing witness to the said Instrument and duplicate.

SWORN before me at the

of in the County of Peel

this A.D. 19

A Commissioner for taking Affidavits, etc.

MISSISSAUGA 84093 19 68
Dated July 9th

MARTHA GILL

4970

TO

MARTTI FREDERICK AHONEN

- and -

SANDRA JACQUELINE AHONEN

Address: 216 Donnelly Dr

65 Deed of Land

SITUATE All of Lot 12, Plan No. 344, Town of Mississauga, County of Peel.

Printed in the Legal Publisher

RYAN & HOGAN

RETURN TO

TAYLOR, JOY & MCKAGHIE, Barristers & Solicitors, 112 King Street West, TORONTO 1, Ontario.

Ryan & Hogan

84993

MISSISSAUGA

SEP 13 11 15

84093-554
I certify that the within instrument is stored in the Registry Office for the Registry Division of the County of Peel.

MISSISSAUGA

3:16 o'clock P.M. of the 13 SEP 1968 A.D.

Mera Foster Registrar

Entered 344

8-09

THIS INSTRUMENT IS THE PROPERTY OF THE REGISTRY OFFICE FOR THE COUNTY OF PEEL

DEPARTMENT OF
NATIONAL REVENUE TAXATION

ESTATE TAX ACT



CANADA

B 1018620
MINISTÈRE DU
REVENU NATIONAL IMPÔT

LOI DE L'IMPÔT
SUR LES BIENS TRANSMIS PAR DÉCÈS

CONSENT TO THE TRANSFER OF PROPERTY

PERMIS DE DISPOSER DE BIENS

DISTRICT TAXATION OFFICE BUREAU DE DISTRICT D'IMPÔT TORONTO	DATE Dec. 20, 1967
ESTATE OF SUCCESSION OF Clarence S. Gill	DATE OF DEATH DATE DU DÉCÈS Oct. 3, 1967

Consent is hereby given to the transfer, delivery, or
payment over of the following property:

Il est par les présentes permis de céder, livrer ou
remettre les biens indiqués ci-après.

Real Estate - One half interest in 216 Donnelly Drive, Port Credit,
Ontario, being composed of Lot No. 12 according to registered Plan
No. 344 for the Township of Toronto. Title registered jointly in
the name of the deceased and his wife Martha Gill.///

Any lien in respect of the aforesaid property cre-
ated under the provisions of Section 43 of the Estate
Tax Act is hereby discharged.

Est par les présentes libéré tout privilège sur les
biens susdits créé en vertu des dispositions de l'article 43
de la loi de l'impôt sur les biens transmis par décès.

The description of the property covered by this
Consent is followed by three typed oblique strokes.
Any addition, alteration or erasure renders this
Consent null and void.

D. H. SHEPPARD
DEPUTY MINISTER
SOUS-MINISTRE

Three typed oblique strokes in a machine a écrire
suivent la description des biens visés par le
présent permis. Toute addition, modification ou
rature rend le présent permis nul et de nul effet.

ORIGINAL

DEPARTMENT OF
NATIONAL REVENUE TAXATION



B1058647
MINISTÈRE DU
REVENU NATIONAL IMPÔT
LOI DE L'IMPÔT
SUR LES BIENS TRANSMIS PAR DÉCÈS

ESTATE TAX ACT Amended

CONSENT TO THE TRANSFER OF PROPERTY

PERMIS DE DISPOSER DE BIENS

DISTRICT TAXATION OFFICE BUREAU DE DISTRICT D'IMPÔT	DATE
Toronto	July 22, 1968
ESTATE OF - SUCCESSION DE Clarence S. Gill	DATE OF DEATH - DATE DU DÉCÈS Oct. 3, 1957

Consent is hereby given to the transfer, delivery, or payment over of the following property:

Il est par les présentes permis de céder, livrer ou remettre les biens indiqués ci-après:

Real Estate: all and singular that certain parcel or tract of land and premises situate, lying and being in the Town of Mississauga in the County of Peel, and being composed of part of Block J according to a Plan filed in the Reg. Off. for the Reg. Div. of the County of Peel as No. BC9; Commencing at the most W'ly angle of lot 12, according to Plan 444 filed in the said Reg. Off. being the most E'ly angle of lot 3 according to Plan 440 filed in the said Reg. Off.; Thence South W'ly along the South E'ly limit of the said lot 3, Plan 440, 99 feet 8 inches more or less to the most S'ly angle of the said lot 3 being a point in the North E'ly limit of lot 7 acc. to Plan 341 filed in the said Reg. Off.; Thence South E'ly along the North E'ly limit of the said lot 7, Plan 341, 109 feet 11-3/4 inches more or less to a point in the South E'ly limit of the said Block J; Thence North 31 degrees 43 minutes East 101 feet 1/2 inches more or less to the most S'ly angle of (continue)

Any lien in respect of the aforesaid property created under the provisions of Section 43 of the Estate Tax Act is hereby discharged.

Est par les présentes libéré tout privilège sur les biens susdits créé en vertu des dispositions de l'article 43 de la Loi de l'impôt sur les biens transmis par décès.

The description of the property covered by this Consent is followed by three typed oblique marks. Any addition, alteration or erasure renders this Consent null and void.

D. H. SHEPPARD
DEPUTY MINISTER
SOUS-MINISTRE

Trois traits obliques font à la machine à écrire suivre la désignation des biens visés par le présent permis. Toute addition, modification ou rature rend le présent permis nul et de nul effet.

ORIGINAL

mh

THIS INDENTURE made (in duplicate) the 9th day of July, one thousand nine hundred and sixty-eight.

IN PURSUANCE OF THE SHORT FORMS OF CONVEYANCES ACT

B E T W E E N

MARTHA GILL, of the Town of Mississauga, in the County of Peel, Widow, as Executrix of the Estate of Clarence S. Gill, late of the Town of Port Credit in the County of Peel; and in her personal capacity,

hereinafter called the Grantor

OF THE FIRST PART.

- and -

MARTTI FREDERICK AHONEN, and SANDRA JACQUELINE AHONEN, his wife, both of the said Town of Mississauga, in the County of Peel, as joint tenants and not as tenants in common,

hereinafter called the Grantees

OF THE SECOND PART.

WHEREAS the lands hereinafter firstly described are registered in the names of Clarence S. Gill and the said Martha Gill as joint tenants and not as tenants in common.

AND WHEREAS the lands hereinafter secondly described are registered in the name of the said Clarence S. Gill.

AND WHEREAS the said Clarence S. Gill died on or about the 3rd day of October, 1967.

AND WHEREAS Probate of the Last Will and Testament of the said Clarence S. Gill was granted to the said Martha Gill on the 19th day of December, 1967, a copy of which probate was registered in the Registry Office for the Registry Division of the County of Peel on the 1st day of February, 1968, as Number 54432 VS.

AND WHEREAS the certificate of the Treasurer of the Province of Ontario for the lands firstly described is registered in the said Registry Office as Number 64433VS.

AND WHEREAS the certificate of the Treasurer of the Province of Ontario for the lands secondly described is registered in the said Registry Office as Number GR- 79723 VS

AND WHEREAS the consents under the Estate Tax Act are attached hereto.

WITNESSETH that in consideration of other good and valuable consideration and the sum of THREE THOUSAND AND FOUR HUNDRED -----(\$3,400.00)-----DOLLARS of lawful money of Canada now paid by the said Grantees to the said Grantor (the receipt whereof is hereby by her acknowledged), the said Grantor DOETH GRANT unto the said Grantees as joint tenants and not as tenants in common.

ALL AND SINGULAR those certain parcels or tracts of land and premises



situate, lying and being in the Town of Mississauga in the County of Peel, and being composed of:

FIRSTLY

All of Lot No. 12 according to a Plan filed in the Registry Division of the County of Peel as No. 344.

SECONDLY

Part of Block J according to a Plan filed in the Registry Office for the Registry Division of the County of Peel as Number B09, more particularly described as follows;

COMMENCING at the most Westerly angle of Lot 12, according to Plan 344 filed in the said Registry Office, being the most Easterly angle of Lot 3 according to Plan 440 filed in the said Registry Office;

THENCE SOUTHWESTERLY along the southeasterly limit of the said Lot 3, Plan 440, 99 feet 8 inches more or less to the most Southerly angle of the said Lot 3 being a point in the North-easterly limit of Lot 7 according to Plan 341 filed in the said Registry Office;

THENCE SOUTHEASTERLY along the Northeasterly limit of the said Lot 7, Plan 341, 109 feet 11 $\frac{1}{2}$ inches more or less to a point in the Southeasterly limit of the said Block J;

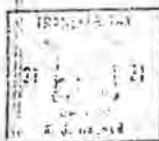
THENCE NORTH 31 degrees 43 minutes East 101 feet $\frac{1}{2}$ inches more or less to the most Southerly angle of the said Lot 12, Plan 344;

THENCE NORTHWESTERLY along the Southwesterly limit of the said Lot 12, Plan 344, 100 feet more or less to the Point of Commencement.

To have and to hold unto the said Grantees as joint tenants and not as tenants in common their heirs and assigns, to and for their sole and only use for ever, RESERVING to the Grantor the right of ~~RESERVING to the Grantor the right of~~

occupation for the period of her natural life as more particularly set out in an agreement between the parties hereto of even date herewith.

SUBJECT NEVERTHELESS to the reservations, limitations, provisos and conditions, expressed in the original grant thereof from the Crown.



The said Grantor **Covenants** with the said Grantees **That** she has the right to convey the said lands to the said Grantees notwithstanding any act of the said Grantor.

And **That** the said Grantees shall have quiet possession of the said lands, free from all encumbrances, save as aforesaid.

And the said Grantor **Covenants** with the said Grantees that she will execute such further assurances of the said lands as may be requisite.


And the said Grantor **Covenants** with the said Grantees that she has done no act to encumber the said lands.

And the said Grantor **Releases** to the said Grantees all her claims upon the said lands, save as aforesaid.

In Witness Whereof the said parties hereto have hereunto set their hands and seals.

Signed, Sealed and Delivered
In the presence of





AFFIDAVIT AS TO LEGAL AGE ~~AND INTEREST~~

Strike out words and parts not applicable and initial

If Attorney see footnote

PROVINCE OF ONTARIO } 1/402 MARTH GILL
COUNTY OF } of the TOWN of Mississauga

To Wit: I in the County of Peel

in the within instrument named, make oath and say that at the time of the execution of the within instrument,

1. I was of the full age of twenty-one years;

~~EXHIBIT~~

~~XX~~

~~XX~~

~~XX~~

SWORN before me at the City of Toronto of the County of York in this 14 day of July A.D. 1968

Martha Gill

[Signature]
A Commissioner for taking Affidavits, etc.

NOTE: If Attorney, substitute in space provided "I am Attorney for..." (State name) one of the parties named therein and he/she was of the full age of twenty-one years."

Affidavit and Transfer Tax Act

Dye & Deffen Company, 40 Somerset Street West, Toronto, Canada
Law and Commercial Stationers
Form No. 44B

Affidavit, Land Transfer Tax Act
IN THE MATTER OF THE LAND TRANSFER TAX ACT

PROVINCE OF ONTARIO
COUNTY OF YORK

I, JOHN HOWARD RYAN
of the CITY OF TORONTO
in the County of YORK, SOLICITOR for the GRANTEE

To Wit: named in the within (or annexed) transfer make oath and say:

This affidavit may be made by the purchaser or vendor or by any one acting for them under power of attorney or by an agent accredited in writing by the vendor or the purchaser or by the holder of either of them.

- 1. I am SOLICITOR FOR THE GRANTEE named in the within (or annexed) transfer.
- 2. I have a personal knowledge of the facts stated in this affidavit.
- 3. The true amount of the monies in cash and the value of any property or security included in the consideration is as follows:

(a) Monies paid in cash	\$ 3,400.00
(b) Property transferred in exchange: Equity value	\$
Encumbrances	\$ \$.NIL.
(c) Securities transferred to the value of	\$ \$.NIL.
(d) Balances of existing encumbrances with interest owing at date of transfer	\$ \$.NIL.
(e) Monies secured by mortgage under this transaction	\$ \$ 2,645.00
(f) Liens, annuities and maintenance charges to which transfer is subject	\$ \$ 24.856.80
Total consideration	\$ 24,856.80
- 4. If consideration is nominal, is the transfer for natural love and affection? Nil
- 5. If so, what is the relationship between Grantor and Grantee? Nil
- 6. Other remarks and explanations, if necessary: Nil

AN Affidavit must be filed in.

Sworn before me at the CITY of TORONTO in the County of YORK this 14 day of September

A.D. 1968

[Signature]

[Signature]
A Commissioner, etc.

[Signature]
Lynette J. Amadio 26th 1970

49772
49770

situate, lying and being in the Town of Mississauga in the County of Peel, and being composed of:

FIRSTLY

All of Lot No. 12 according to a Plan filed in the Registry Division of the County of Peel as No. 344.

SECONDLY

Part of Block J according to a Plan filed in the Registry Office for the Registry Division of the County of Peel as Number B09, more particularly described as follows;

COMMENCING at the most Westerly angle of Lot 12, according to Plan 344 filed in the said Registry Office, being the most Easterly angle of Lot 3 according to Plan 440 filed in the said Registry Office;

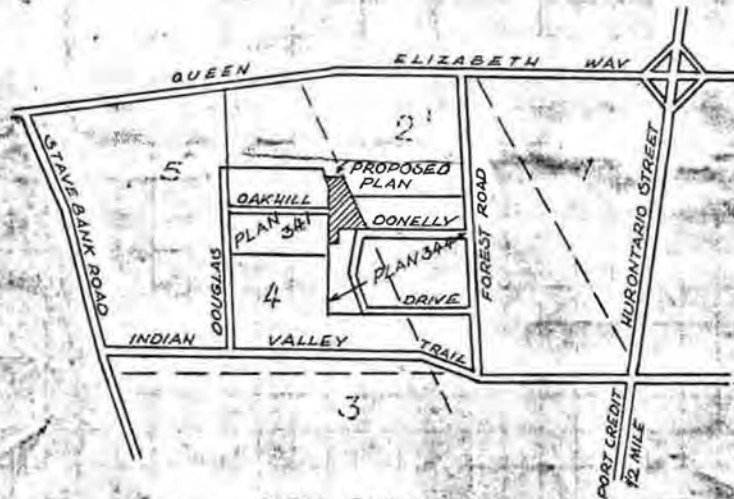
THENCE SOUTHWESTERLY along the southeasterly limit of the said Lot 3, Plan 440, 99 feet 8 inches more or less to the most Southerly angle of the said Lot 3 being a point in the North-easterly limit of Lot 7 according to Plan 341 filed in the said Registry Office;

THENCE SOUTHEASTERLY along the Northeasterly limit of the said Lot 7, Plan 341, 109 feet $11\frac{3}{4}$ inches more or less to a point in the Southeasterly limit of the said Block J;

THENCE NORTH 31 degrees 43 minutes East 101 feet $\frac{3}{4}$ inches more or less to the most Southerly angle of the said Lot 12, Plan 344;

THENCE NORTHWESTERLY along the Southwesterly limit of the said Lot 12, Plan 344, 100 feet more or less to the Point of Commencement.

PLAN OF SUBDIVISION
PART OF BLOCKS J&K PLAN B 09
containing part of Lots 4 & 5, Range 2, C-1-R
TOWNSHIP OF TORONTO
PEEL
scale 1"=100'



KEY PLAN
Scale: 1" = 1000'

SURVEYOR'S CERTIFICATE

H.O. Sewell, an Ontario Land Surveyor, certify that —
 (a) I was present at and did personally superintend the survey represented by this plan;
 (b) this plan accurately shows the manner in which the lands (edged in red) have been surveyed and subdivided by me;
 (c) Every angle of the exterior boundary of the plan is defined in the survey thereof by a monument and a monument is placed at one angle of each street intersection shown on the plan;
 (d) I have indicated on the plan the position and form of each of the monuments;
 (e) the monuments conform in all respects to requirements of section 13 of The Surveys Act;
 (f) the survey was made by me between the 19 day of Sept. and the 21 day of Sept. 1951;
 (g) the survey has been accurately made in accordance with all the provisions of The Surveys Act and The Registry Act relating thereto.

Dated at OKAYVILLE the 19 day of Sept. A. D. 1951
H.O. Sewell
 Ontario Land Surveyor

REGISTRAR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN WAS EXAMINED AND RECORDED IN THE REGISTRY OFFICE FOR THE COUNTY OF _____ THIS _____ DAY OF _____ O'CLOCK A.M. P.M.

AHO

NOTES:

BEARINGS ARE REFERRED TO IN 31° 55' W
OF INE 1/4 PART OF PLAN 341

4 FOOT IRON BARS SHOWN THUS B.I.B.
CONCRETE MONUMENTS SHOWN THUS C.C.M.

OWNER'S CERTIFICATE

LOTS 1-4 AND THE ROADS SHOWN HEREON
OUTLINED IN RED ARE LAID OUT ACCORDING
TO MY INSTRUCTIONS.
THE SAID ROADS ARE HEREBY DEDICATED
AS PUBLIC HIGHWAYS.

[Handwritten Signature]

AFFIDAVIT OF ATTESTATION

County, *Pauline* Name in full, *Emery G. Souther*
of the *County of Pauline* State of *Mississippi*
do hereby *make oath and say:*
1. That I was personally present and did see this Plan and
Duplicates duly signed by *Emery G. Souther*
2. That the said Plan and Duplicates were signed by the said
party (ies) *Emery G. Souther*
3. That I know the said party (ies)
4. That I am a subscribing witness to the said signing

Sworn before me at *Pauline*
in the County of *Pauline* State of *Mississippi*
This *20* day of *October*, 1947 *Emery G. Souther*
[Signature]
Signature
A Commissioner, Etc.

