

Heritage Advisory Committee
JUN 19 2012

Heritage Impact Statement

**1570 Stavebank Road
Mississauga ON L5G 2V7**

May 11, 2012

Report prepared by David W. Small

A handwritten signature in black ink, appearing to read "D. Small", written over a horizontal line.

David W. Small

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Section 1 | Introduction

Author:

David W. Small Designs Inc. is a custom home design firm that specializes in infill housing. (i.e. redevelopment of properties in existing mature neighborhoods). David Small was born to design houses as he grew up watching and learning from his Father and Grandfather who were builders and developers. Growing up with such a 'heritage of housing' David's passion for the business was ignited and this passion led him to where he is today.

Over the past decade, David W. Small Designs Inc. recognizes what heritage is and what it means because as a firm we have done our research and have been involved in the design of over 80 new homes and renovations within cultural landscapes of the area. When designing these custom homes, David takes into consideration the heritage and the cultural landscape in question. The success of the firm is largely based on developing "neighbourhood sensitive" designs that respect the integrity of the existing natural and currently constructed surroundings.

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18. 2494 Mississauga Road - April 2012

Relevance of Heritage Impact Statement:

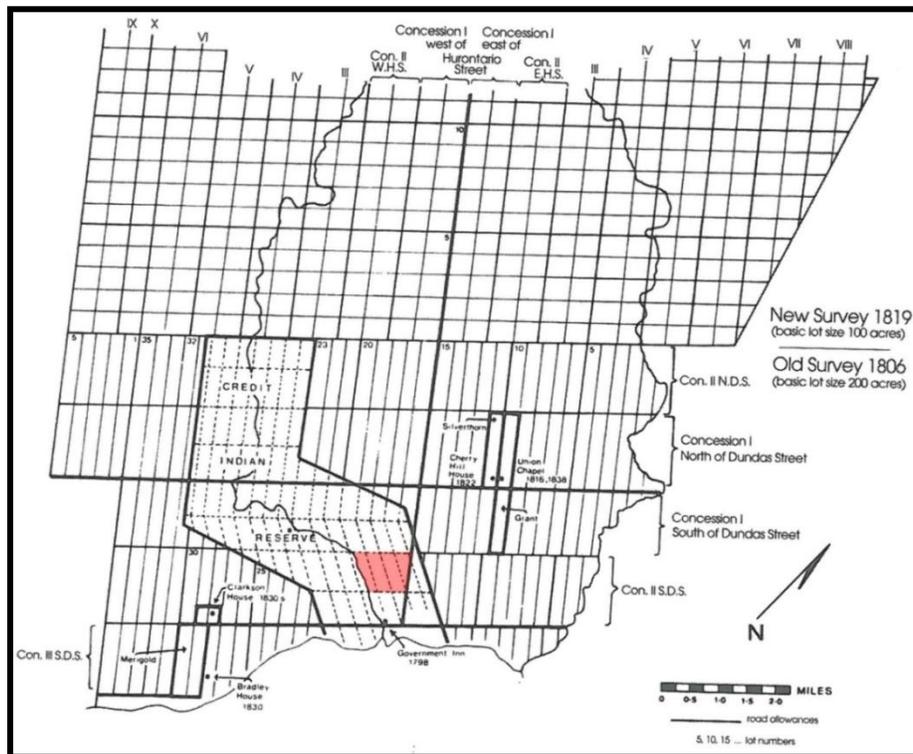
The subject property is located in the Mineola West neighbourhood otherwise known as the 'Mineola West cultural landscape'. As such, it is listed on the City of Mississauga's heritage register but it is not designated.

Section 2 | Property Overview

Mineola West Neighborhood:

The Mineola West Neighborhood is bordered on the West by the Credit River, the East by Hurontario Street (Hwy. 10), the North by the Queen Elizabeth Way and the South by the CN Rail line. It falls directly into what was previously known as the “Credit Indian Reserve” (CIR). The CIR originated as part of a land sale by the Mississauga Indians to the British Government in 1805. The sale included the lands stretching from Lake Ontario to a line 6 miles inland but excluded a strip of land one mile each side of the Credit River which was reserved for the Mississaugas. The graphic provided below indicates the area known as the Mineola West Neighborhood within the context of the Township of Toronto’s Lot Survey.

A Plan of the Township of Toronto’s Lot Survey:

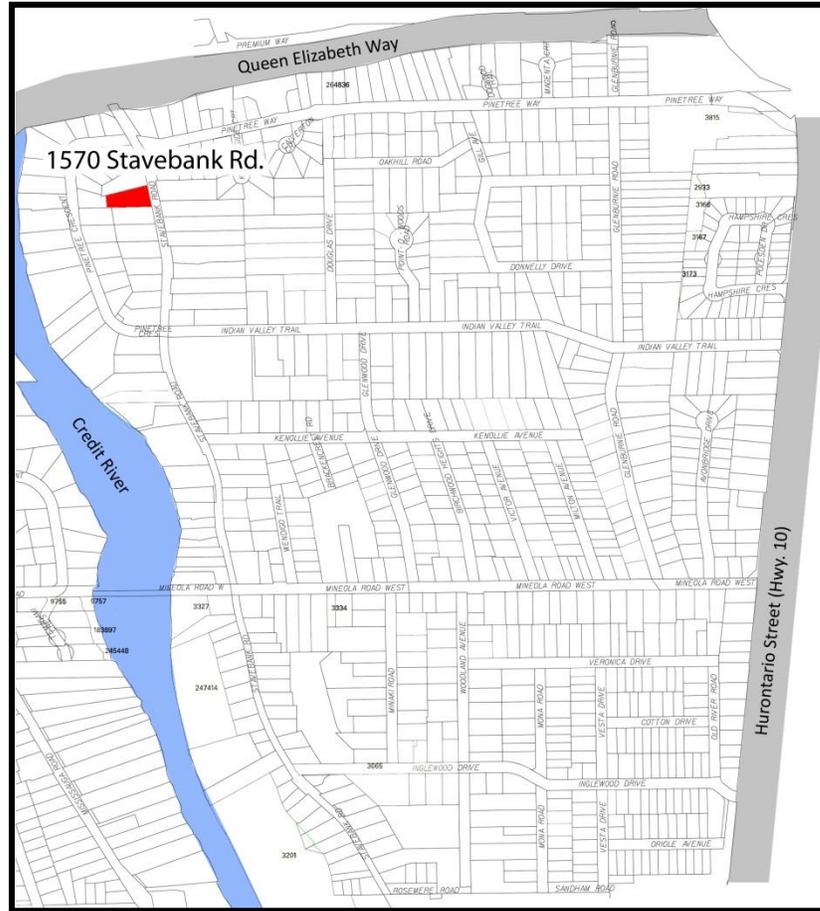


Mississauga's Heritage: The Formative Years, City of Mississauga, 1983

Current City of Mississauga Map:



Mineola West Neighbourhood Map:



Aerial Map:



| 1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 | PH 905-271-9100 | FX 905-271-9109 |

The Mineola West Cultural Landscape:

“Mineola was developed before it became standard practice to re-grade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete storm water drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.” – Excerpt from City of Mississauga Cultural Landscape Inventory L-RES-6

The Mineola West Neighbourhood is Unique in Several Ways:



Mineola West Vegetation

Vegetation: More than most neighbourhoods, Mineola West is dominated by the presence of mature trees. They are the number one physical feature that shapes one's impression as they travel through the area. Most of these trees are found along property boundaries and have been, therefore easily preserved through the years.



Narrow Roads, road side ditches and mature vegetation

Engineering Infrastructure: Unlike most neighbourhoods, Mineola West is composed of very few “Engineered Streets”. Roads are often narrow and lack the presence of curbs or sidewalks. Storm drainage is dealt with via a network of road side ditches as opposed to the more intrusive storm sewer system found throughout the city. Large trees are often in very close proximity to roads which reinforce the ‘soft’ overall impression of the neighbourhood.



Housing: As previously stated Mineola West is home to a broad range of housing sizes, configurations and styles.



Examples of broad range of housing in the Mineola West Neighbourhood

The housing stock continues to evolve as many are attracted to the neighbourhood's aforementioned attributes. Although the overall housing density has increased most homes have been assimilated successfully into their context as the imposing natural elements continue to visually dominate. Attention to architectural detail and craftsmanship have been the most important characteristics and have superseded house style and size in the redevelopment of the area. One can see numerous examples of new and original homes, large and small homes or homes of varying architectural styles coexisting comfortably.



Houses of varying architectural styles



Houses of varying architectural styles



Houses of distinct size differences



Houses both old and new

Historical Associations

The following is a brief history of the Port Credit area through a chronological overview of the people and events that shaped Mineola West neighbourhood.

In 1837 Robert Cotton emigrated from Ireland where he became a well known farmer and merchant in Toronto. Robert Cotton purchased land and had a house built in 1856, of which remnants of this log cabin still exist. The Cotton Homestead is located on 1234 Old River Rd part of range 1 of the C.I.R. Robert Cotton passed away in 1885 and before that time he had transferred the Cotton Homestead to James W. Cotton. Robert and James Cotton were brothers and to most are considered to be the “Fathers” of Port Credit. James Cotton worked along side Robert as a postmaster, storemaster and was the owner of a Wharf. The Cotton Homestead remained in the family until it was sold by Cyril E. Cotton in 1943, and now the Cotton Homestead is designated under Part IV of the Ontario Heritage Act in June 1984.

Section 3 | Property Details

Municipal Address	1570 Stavebank Road
Legal description	PLAN 491 PT LOTS 16, 17
Municipal Ward	1
Zoning	R1 – 2 0225-2007
Lot Frontage	39.39 m
Lot Depth	78.71 m
Lot Area	2544.06m ² (0.254ha)
Orientation	Front facing North-East
Type	Existing 1 Storey w/ basement walkout dwelling
Vegetation	Several mature trees located throughout site.
Access	Existing asphalt drive w/ paver stone border
Current Property Owner	Peter Santos and Lina Santos (416)-399-7638

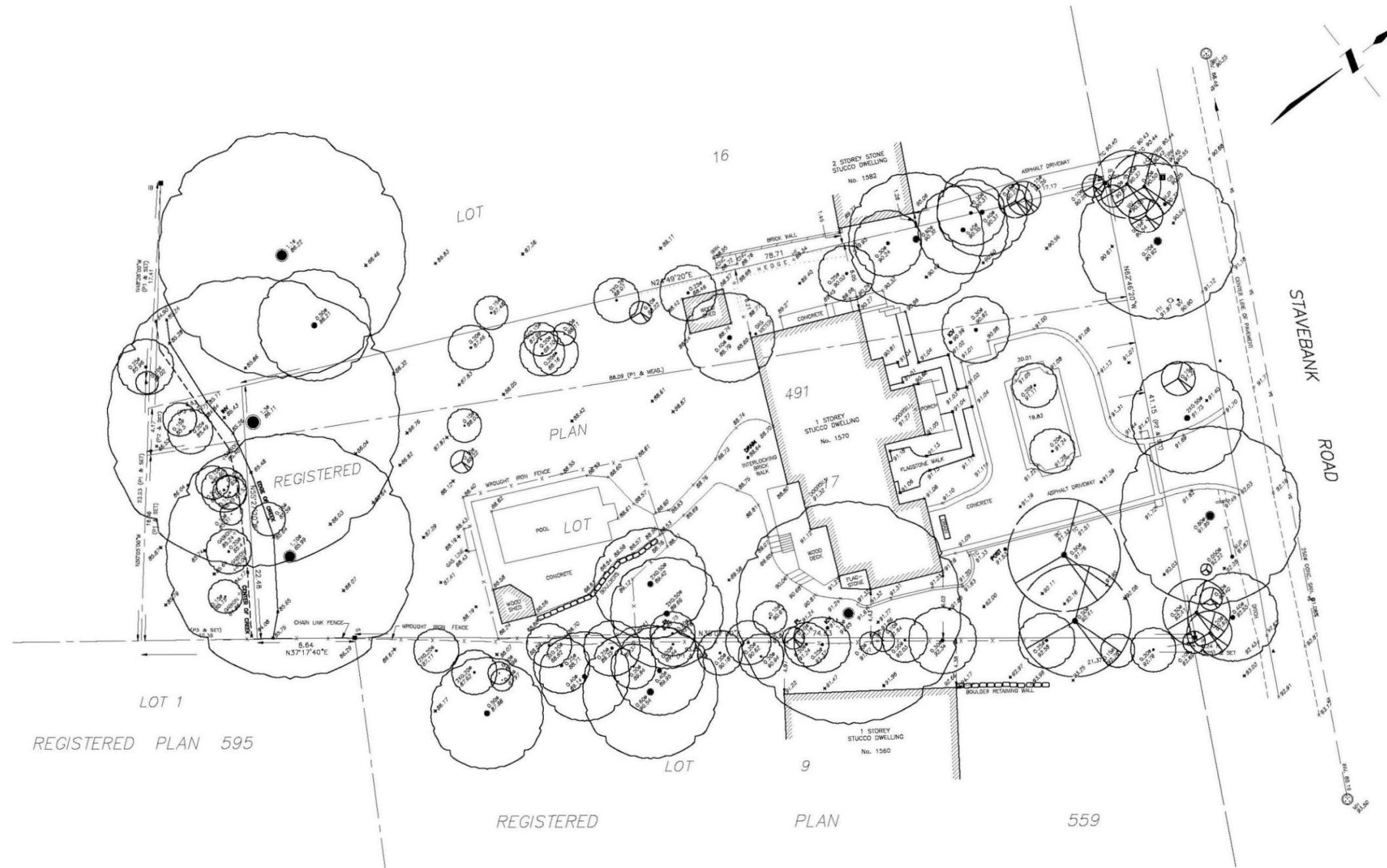
Parcel Register:

Information gathered from the Ontario Land Registry office for the Region of Peel indicates the chain of ownership from July 11, 1854 to current. The information provided has been acquired through use of microfilm archives along with current Land Title search. The following ownership transfers have taken place since the earliest records of the property on title.

1. The Crown – Granted to James Cotton C.I.R Lot 5 Range 2 (July. 11/1854)
The next transfer shows Frederick W. Jarvis transferring the land to the Bank of Upper Canada due to James Cotton being unable to pay the mortgage on the property he owned. (This information was acquired by Matthew Wilkinson from Heritage Mississauga).
2. Frederick W. Jarvis transferred to Bank of Upper Canada. (Nov.14/1865)
Frederick W. Jarvis was sheriff of York and Peel county, and his job was to notify and collect money that is due to the Bank of Upper Canada.
(The above information is taken from the Toronto township book A).
3. Bank of Upper Canada transferred to John Crickmore (Sept.06/1869)
4. John Crickmore transferred William B. Hunter (Sept.20/1869)
5. William B. Hunter transferred to Peel General Manufacturing Company (Sept.20/1869)
6. Peel General Manufacturing Company transferred to Thomas W. Hector (Oct.18/1889)
7. Thomas W. Hector transferred to John Grouinlock (Jan.06/1892)
(The above information is taken from the Toronto township book B).
8. James M. Grouinlock and Edith M. Grouinlock transferred to Gladys I. Angus (July.13/1925)

9. Gladys I. Angus transferred to Talka Construction (Oct.27/1955)
(The above information is taken from the Toronto township book C).
10. Talka Constrction transferred to Wilfred Bole and Hermine Bole (May.27/1955)
11. Wilfred Bole and Hermine Bole transferred to Kathleen Mac Garlande and James Mac Garlande
(Nov.17/1955)
12. Kathleen Mac Garlande and James Mac Garlande transferred to Howard K. Linder (Aug.30/1963)
13. Howard K. Linder transferred to Ronald J. Render (June.13/1966)
14. Ronald J. Render transferred to Raymond E. Nienbrurg and Virginia M. Nienbrurg (Aug.21/1970)
15. Raymond E. Nienbrurg and Virginia M. Nienbrurg transferred to Allan J. Campbell and Dorlores E. Campbell
(Aug.1/1972)
16. Allan J. Campbell and Dorlores E. Campbell transferred to Peter Santos and Lina Santos – Current owners
since April 3rd, 1993.

Subject Property Topographical Survey:



Section 4 | Building Details

Exterior Photos



Front Elevation



Rear Elevation

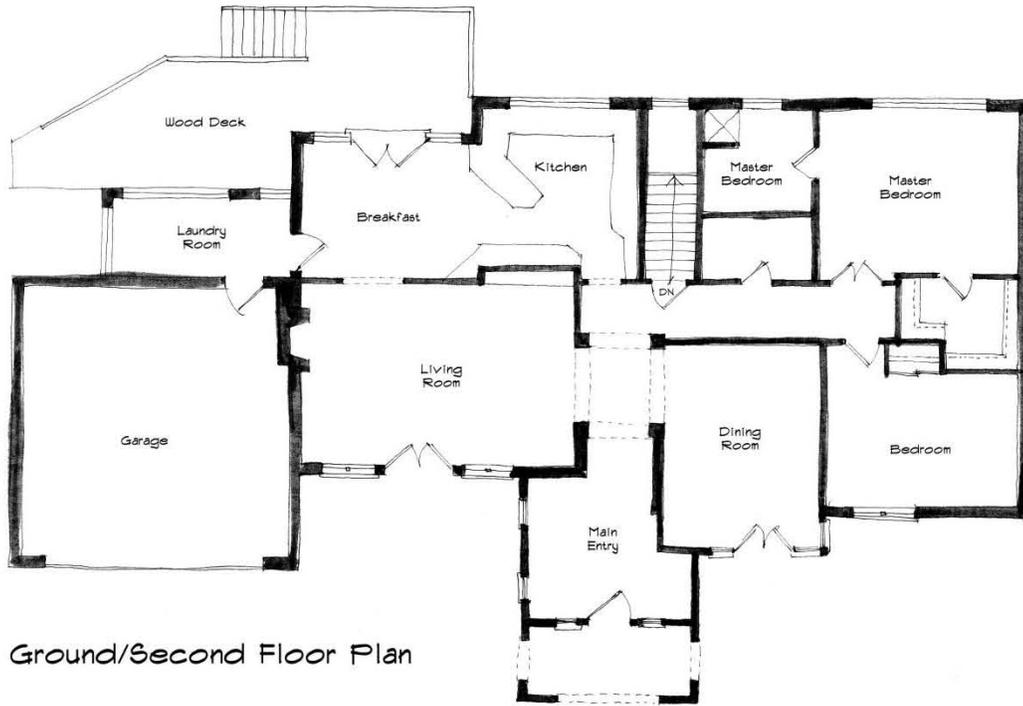


Right-Side Elevation



Left-Side Elevation

Sketch – Existing Floor Plans (not to scale)



Ground/Second Floor Plan



Basement/Walk-Out Floor Plan

Sketch - Interior Photo reference Plan (not to scale)



Ground/Second Floor Plan



Basement/Walk-Out Floor Plan

Interior Photos



Interior Photo 1 - Entrance



Interior Photo 2 – Dining Room



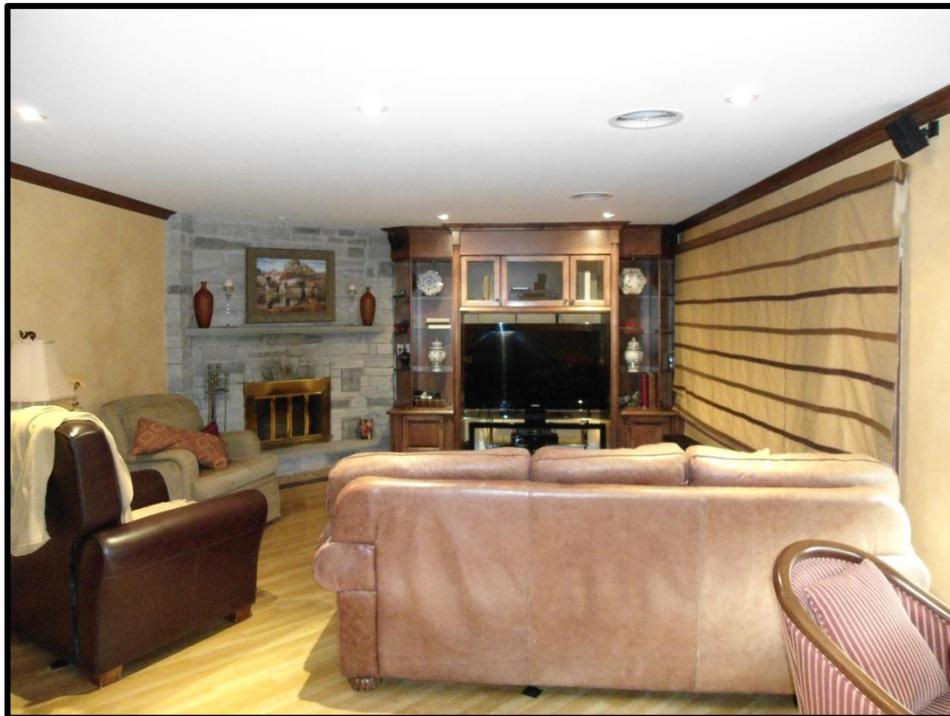
Interior Photo 3 – Living Room



Interior Photo 4 – Master Bedroom



Interior Photo 5 – Kitchen



Interior Photo 6 – Family Room

House Description:

Construction Date		Early 1960's
Size		Approx.3800sf + 520sf attached garage
Building Type		1 Storey dwelling w/ walkout basement
Wall Construction		Wood Frame and Concrete Block
Exterior Cladding		Stucco
Roofing Material		Asphalt Shingles
Setbacks		Front Yard – 19.83 m
		Right Side – 6.05 m
		Left Side – 4.43 m
		Rear Yard – 45.40 m

Alterations to the Original House

The original home, built in the early 1960's, is a 1 Storey dwelling with a walkout basement. We have made reference to the City of Mississauga permitting records and the city has records that there were alterations made to the existing building in 1986 and 1993, also an addition to the existing building in 1997.

<ul style="list-style-type: none"> App Number App Date 	<ul style="list-style-type: none"> Address Description 	<ul style="list-style-type: none"> Scope Type Description 	<ul style="list-style-type: none"> Issue Date Status
BP 9ALT 97 1293 1997-03-12	1570 STAVEBANK RD ADDITION	ADDITION TO EXIST BLDG DETACHED DWELLING	1997-04-23 ISSUED PERMIT
BPC 93 4281 P 1993-10-27	1570 STAVEBANK RD SEWER CONVERSION	ALTERATION TO EXIST BLDG DETACHED DWELLING	1993-10-27 COMPLETED -ALL INSP SIGNED OFF
BPC 86 4748 1986-03-10	1570 STAVEBANK RD	ALTERATION TO EXIST BLDG DETACHED DWELLING	1986-04-10 ISSUED PERMIT
HCC 74 241216 1974-02-19	1570 STAVEBANK RD HEATING PERMIT 20043		HISTORY COMMENT PERMIT

Analysis of Existing Structure

The existing home is representative of circa 1960's vernacular 1 Storey dwelling with walkout basement and attached garage. The home does not display any outstanding degree of craftsmanship, technical achievement and has only moderate artistic merit.

The existing home is not known to represent significance related to theme, event, belief, person, activity, organization or institution in the community. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. The property has only modest contextual value as far as its support of the character of the area. There is no link to its physical, functional, visual or historic surroundings.

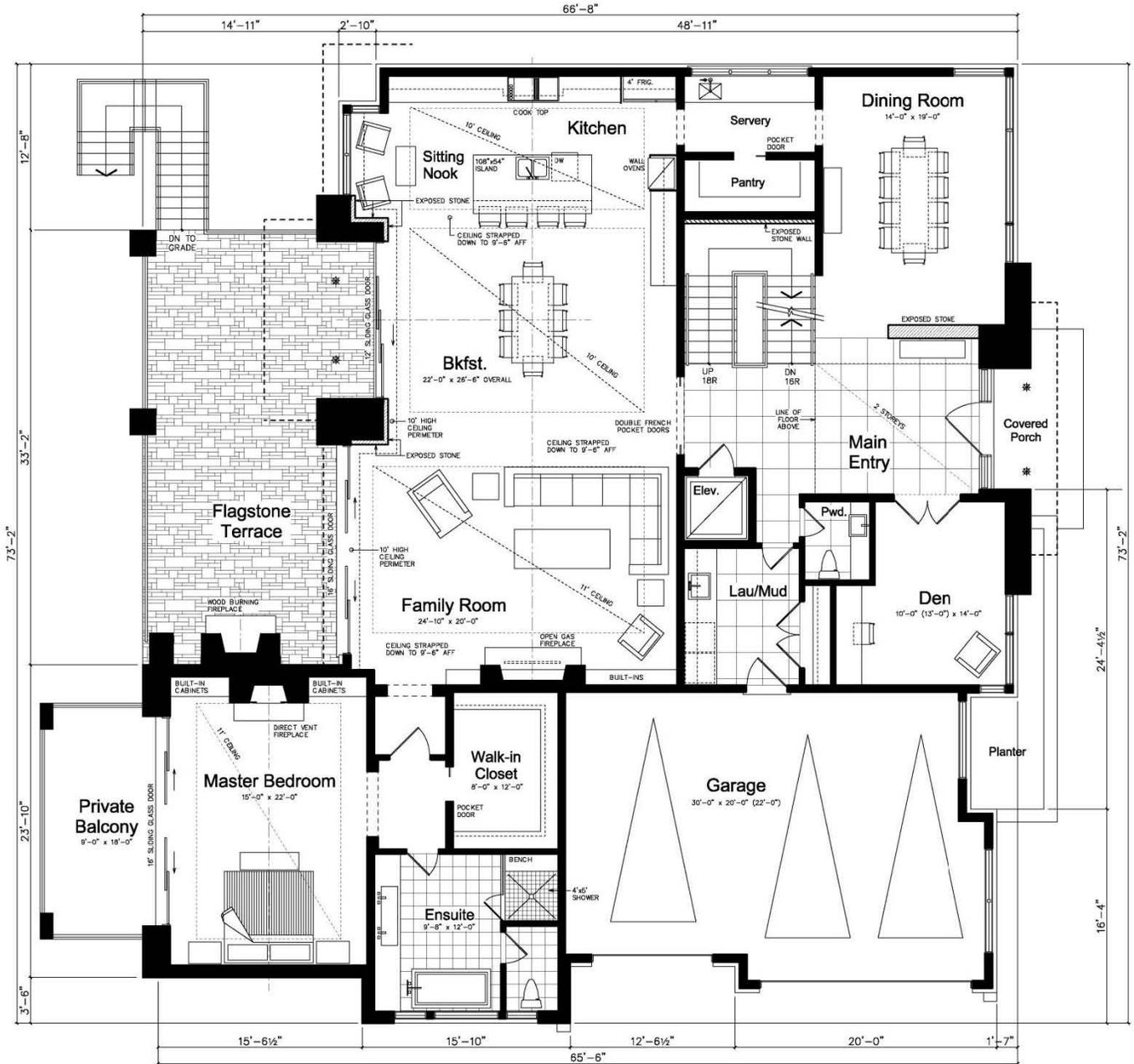
The existing home plays a moderately significant role in its support of the character of the area as its massing and scale are similar to the adjacent homes on Stavebank Road.

Section 5 | Development Proposal

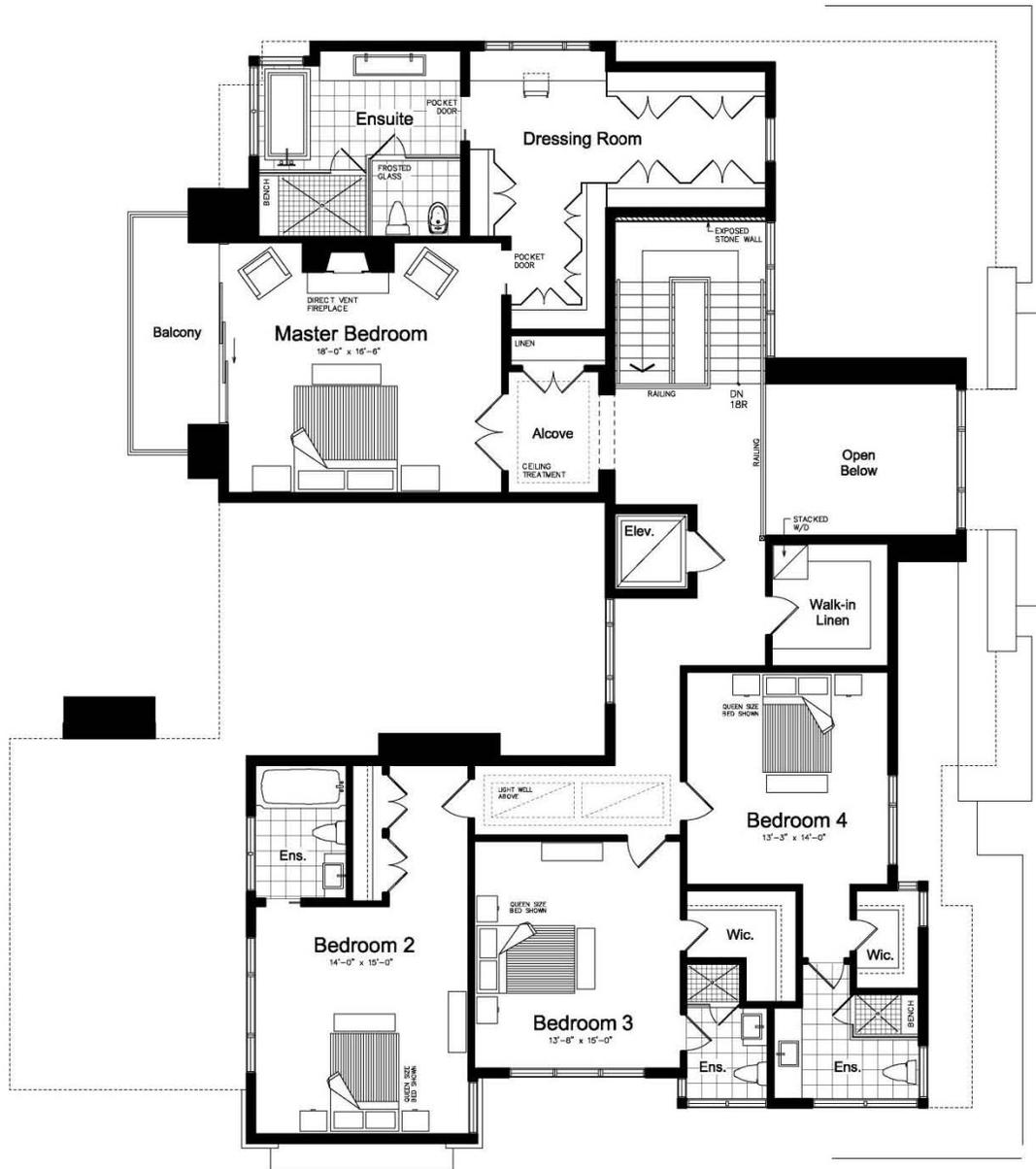
Site Development Plan



Proposed Ground Floor Plan:



Proposed Second Floor Plan



Proposed Elevations:



Section 6 | Conclusion

The proposed home at 1570 Stavebank Road has been designed with similar massing characteristics of other homes on Stavebank Road and adjacent streets throughout the neighborhood. Although the massing of the proposed home does not represent the immediate adjacent neighbors the house has been designed in a manner in which it can successfully cohabitate with the existing dwellings.



View of house adjacent to 1570 Stavebank Road

The scale of the proposed dwelling is similar to other dwellings located throughout the neighborhood. As seen on the streetscape sketch in Section 5 of this report this area is home to mature foliage throughout the property. This provides screening between the proposed dwelling and the immediate adjacent structures.



View of existing front, but remaining driveway

The majority of existing mature trees have been preserved through the development with the exclusion of trees in direct conflict with the plan. The driveway entry location and width has been maintained on Stavebank Road.



Photo 1 – View from street looking South



Photo 2 – View from street looking West



Photo 3 – View from street looking East



Photo 4 – View from street looking North



Photo Reference Plan

The proposed home respects the Mineola West Cultural Landscape’s characteristics and is consistent with all planned redevelopment efforts throughout the area.

Summary Statement and Conservation Recommendations:

The existing 1 storey dwelling located at 1570 Stavebank Road has not been designated under the Ontario Heritage Act; however, the property has been listed on the register under the Mineola West Cultural landscape. As such the significance of the existing dwelling does not merit conservation measures. The impact of the proposed development has been taken into consideration when designing both the proposed home and the natural preservation of streetscape presence. The proposed dwelling has been designed to respect the front yard setbacks and adjacent properties. The proposed dwelling has been designed in such a manner that the frontage represents a 2-storey dwelling with mixed massing and scale which helps lower the impact on adjacent properties. The proposal does not contravene the intentions of the Mineola West Cultural Landscape listing. For the aforementioned reasons we are certain that conservation or alternative development measures are not appropriate for the subject property.

Mandatory Recommendation:

As per criteria set out in Regulation 9/06 of the Ontario Heritage Act the following reasons are why the subject property is not worthy of heritage designation and does not meet such criteria stated in Regulation 9/06.

1. *Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*

The property itself has been listed on the heritage register under the Mineola West Cultural Landscape; however the existing dwelling has not been designated. The existing house does not meet criteria set out in Regulation 9/06, Ontario Heritage Act.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated why it does not.*

The existing home is not known to represent significance related to theme, event, belief, person, activity, organization or institution in the community. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. The property has only modest contextual value as far as its support of the character of the area. There is no link to its physical, functional, visual or historic surroundings.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?*

The property has been listed on the register and does warrant conservation as per the Mineola West Cultural landscape. The proposed development proposes conservation methods of the cultural landscape of the property as a whole. As stated above the existing dwelling does not warrant conservation as per Ontario Regulation 9/06, Ontario Heritage Act or the Provincial Policy Statement.

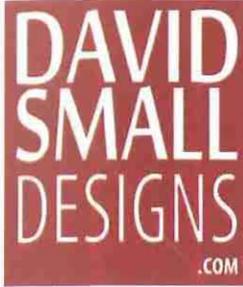
Section 7 | Bibliography

Dieterman, Frank A. Mississauga The first 10,000 Years. The Mississauga Heritage Foundation Inc., 2002

City of Mississauga Cultural Landscape Inventory L-RES-6 Community Services Department January 2005

City of Mississauga Services Online – eMaps [http://www6.mississauga.ca/eMaps/\(lafipz55wrpwqa55adxvff55\)/default.aspx](http://www6.mississauga.ca/eMaps/(lafipz55wrpwqa55adxvff55)/default.aspx)

Wilkinson, Matthew. Historian. Heritage Mississauga, 2012



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Heritage Impact Statement

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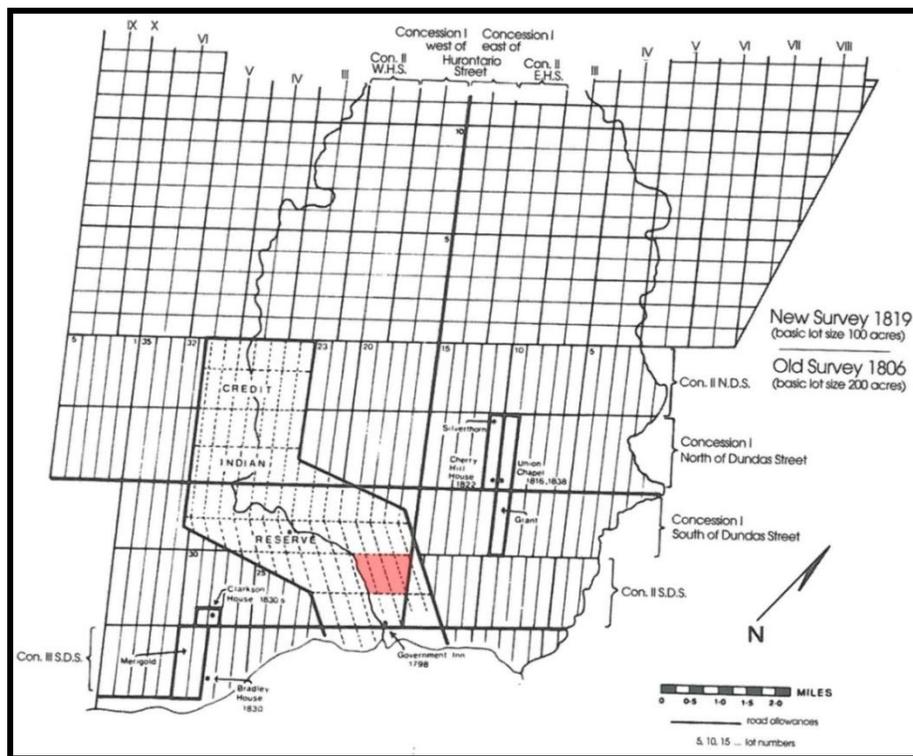
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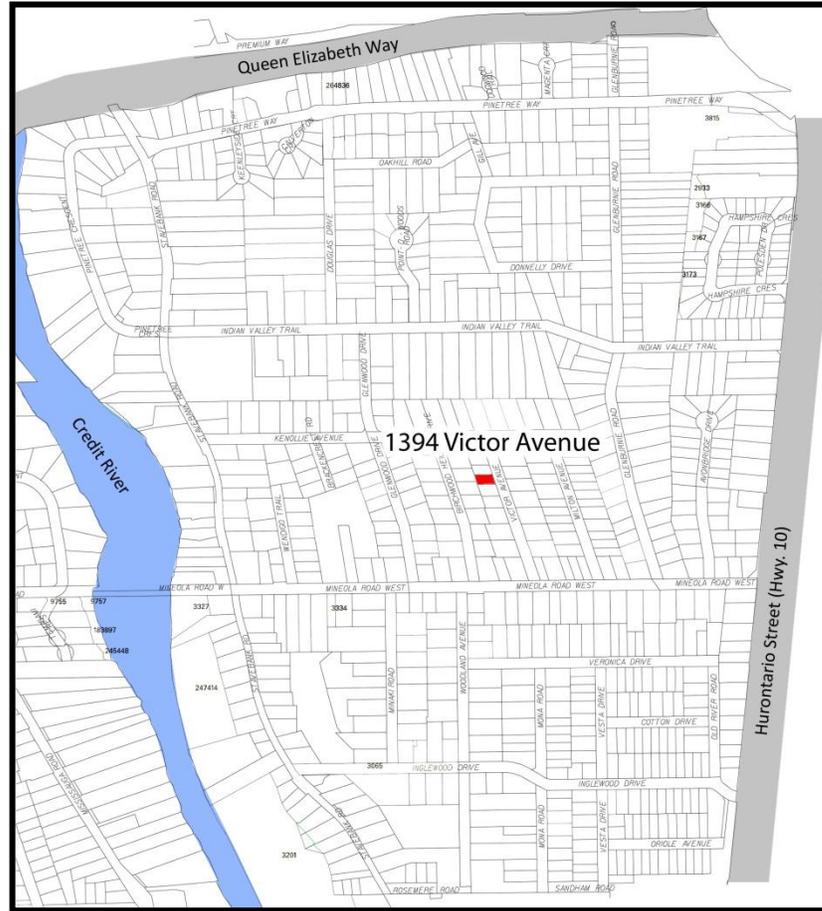


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Aerial Map:



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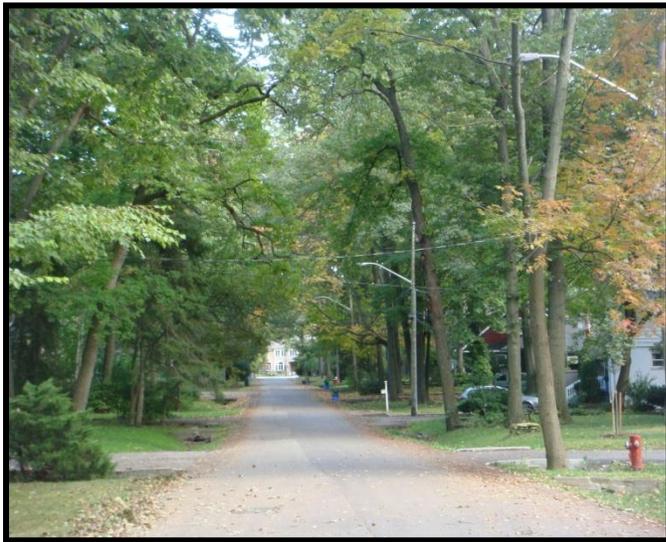
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In 1854 James W. Cotton took ownership of the S.W part of lot 3 Range 2 C.I.R from the Crown. In 1869 Frederick Chase Capreol purchased a great amount of land on the S.W of the C.I.R from John Crickmore. Frederick’s plan was to open a Peel General Manufacturing Company along the Port Credit River, but in the end Frederick did not have the financial backing to build his company and in 1888 he sold what was left to Thos. W. Hector. In 1888 to 1903 different parts of the land was being bought and sold between individuals, and in 1908 Kenneth Skinner purchased 60% of the S.W land from George W. Payne and Ellen O’Brien Payne. The land that Kenneth purchased is shown on page 16 outlined in red. Kenneth Skinner’s name appears on the land registry numerous times between 1908 and 1950. It is believed he and his sons, Victor and Milton, were involved in the purchase and sale of several land parcels in the area during this time.

The Skinner Family - 1893

KENNETH SKINNER CAME to Port Credit in 1893. He had been born in Schomberg, Ontario, on August 2, 1865, to George and Christina MacDonald Skinner. George had emigrated from Yorkshire, England, in 1844, and Christina from Scotland. On April 2, 1894, Kenneth bought an acre (0.4 ha) of land from Margaret Graham.

It had a small house on it, 18 feet by 24 feet (5 m x 6.4 m), which he relocated to the river side of his property. Also on the same date, he purchased eight acres (3.2 ha) from Edwin Crickmore. This acreage was part of Lot 3, Range 2, of the former Mississauga Indian Reserve.

Kenneth married Mary Ann South on June 2, 1897. Mary Ann, who was called Ollie, had been born on Upper Middle Road (now the Queensway) on March 13, 1866, to Edwin and Elizabeth Morris South. Edwin came to Canada from England and Elizabeth from Ireland in the 1850s. Kenneth and Mary Ann had two sons, Victor Kenneth on October 5, 1899, and Milton Douglas on April 3, 1902.



▲ Kenneth Skinner, 1870



▲ The Kenneth Skinner Family

As his family grew, he added onto the house until it had five bedrooms, a large living room, a kitchen, parlour and pantry. It also had a wrap-around veranda. Their address became 1372 Stavebank Road.

Port Credit: Past to Present

In 1909, Kenneth Skinner purchased 60 acres of land between Mineola Road and Kenollie Road and East of the Credit River to Hurontario. He purchased this farmland from George Washington Payne, and from then on, he began to subdivide his land into properties, and with his two sons Victor Skinner and Milton Skinner they designed and built 38 homes within their property.

Owning his own large property and being a builder, he had the chance to name streets after him and his wife Mary Ann South (Ollie) as Kenollie, and after his sons Victor and Milton. It is believed that the Skinner Family built the exiting home on the subject property. Kenneth and his wife lived at 1372 Stavebank Road until 1962. Since this time, their original house has been demolished and new development has taken place.

Section 3 | Property Details

Municipal Address	1394 Victor Avenue
Legal description	PLAN E13 LOT 67 PART LOT 66
Municipal Ward	1
Zoning	R2-1 (0225-2007)
Lot Frontage	17.50 m
Lot Depth	33.46 m
Lot Area	585.40 m ² (0.058 ha)
Orientation	Front facing North - East
Type	Existing 1.5 Storey Dwelling
Vegetation	Several mature trees located throughout site
Access	Existing liner asphalt driveway
Current Property Owner	John Kuzyk and Claudio Scarelli (416) 262-3466

Parcel Register:

Information gathered from the Ontario Land Registry office for the Region of Peel indicates the chain of ownership from July 11, 1854 to current. The information provided has been acquired through use of microfilm archives along with current Land Title search. The following ownership transfers have taken place since the earliest records of the property on title.

1. The Crown – Granted to James Cotton C.I.R Lot 5 Range 2 (July. 11/1854)
The next transfer shows Frederick W. Jarvis transferring the land to the Bank of Upper Canada due to James Cotton being unable to pay the mortgage on the property he owned. (This information was aquired by Matthew Wilkinson from Heritage Mississauga).
2. Frederick W. Jarvis transferred to Bank of Upper Canada. (Nov.14/1865)
Frederick W. Jarvis was sheriff of York and Peel county, and his job was to notify and collect money that is due to the Bank of Upper Canada.
(The above informaton is taken from the Toronto township book A).
3. Bank of Upper Canada transferred to John Crickmore (Sept.06/1869)
4. Edwin Crickmore transferred to Kenneth Skinner (Apr.2/1894)
In 1869 John Crickmore purchased land from Bank of Upper Canada and the next transfer shows Edwin Crickmore’s name, it is believed that John Crickmore and Edwin Crickmore were related and could have been working together
5. Kenneth Skinner transferred to Milton D. Skinner (Feb.24/1945)

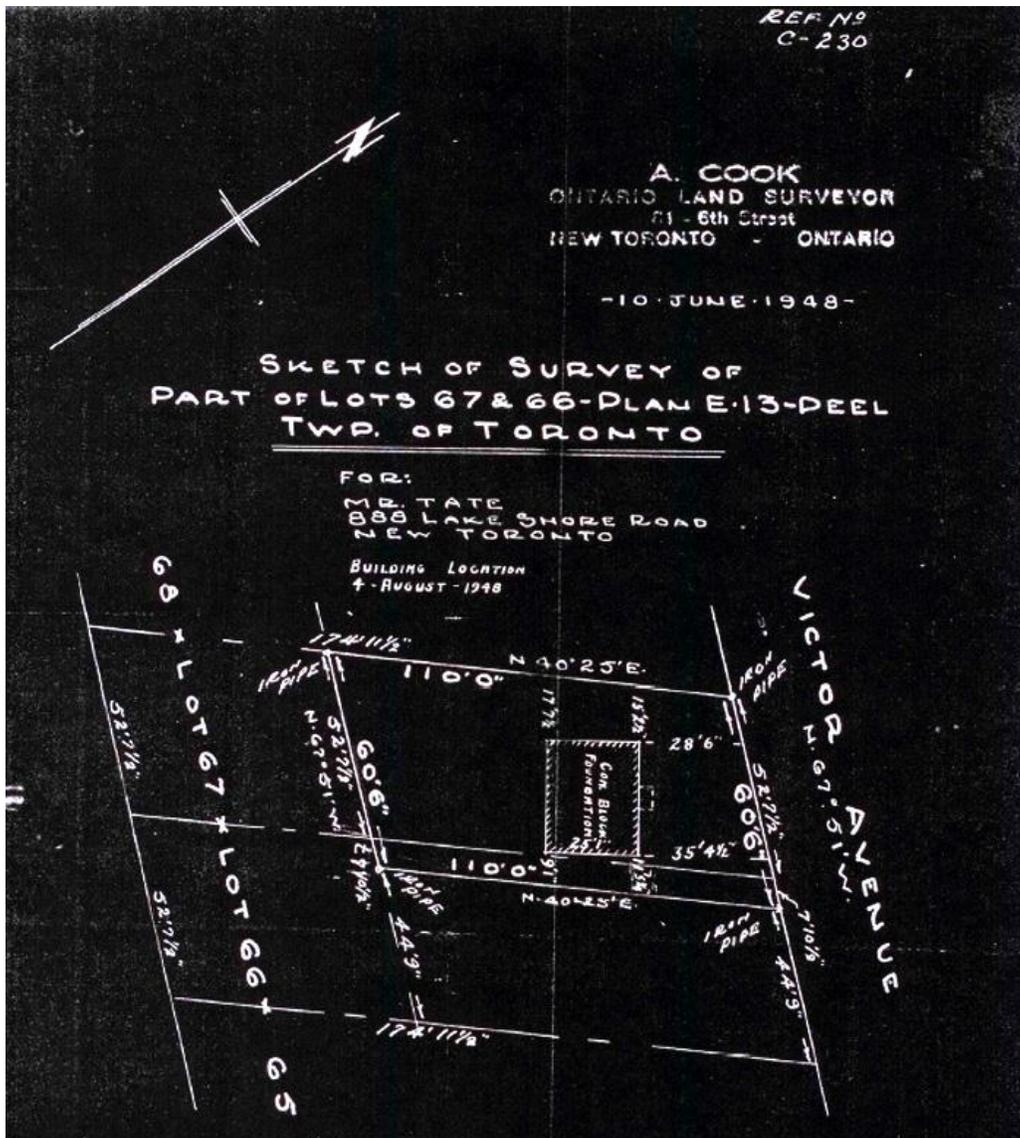
6. Milton D. Skinner transferred to Robert Tait and Ruth Tait (June.9/1948)

Robert and Ruth Tait purchased land from Milton D. Skinner son of Kenneth Skinner in 1948. Robert and Ruth had their home built in 1948 and in the same year two other homes with the same floor plans were built as well. The two other homes on the same street are 1384 Victor Avenue and 1408 Victor Avenue, 1394 Victor Avenue added a second floor and 1408 Victor Avenue extended their house out six feet. Robert and Ruth were the only people who lived in their home for 62 years. They were married for 65 years and have two daughters Diane Cole and Kathy Favrin, both are married and have children. Robert was a member of the Royal Canadian Air Force during WWII and worked as an employee at Loblaws for 49 years. Robert at the age of 88 passed away at the Trillium Health Centre in 2009. Ruth Tait was a stay at home mom and wife, she now lives at The Regency retirement home in Mississauga.

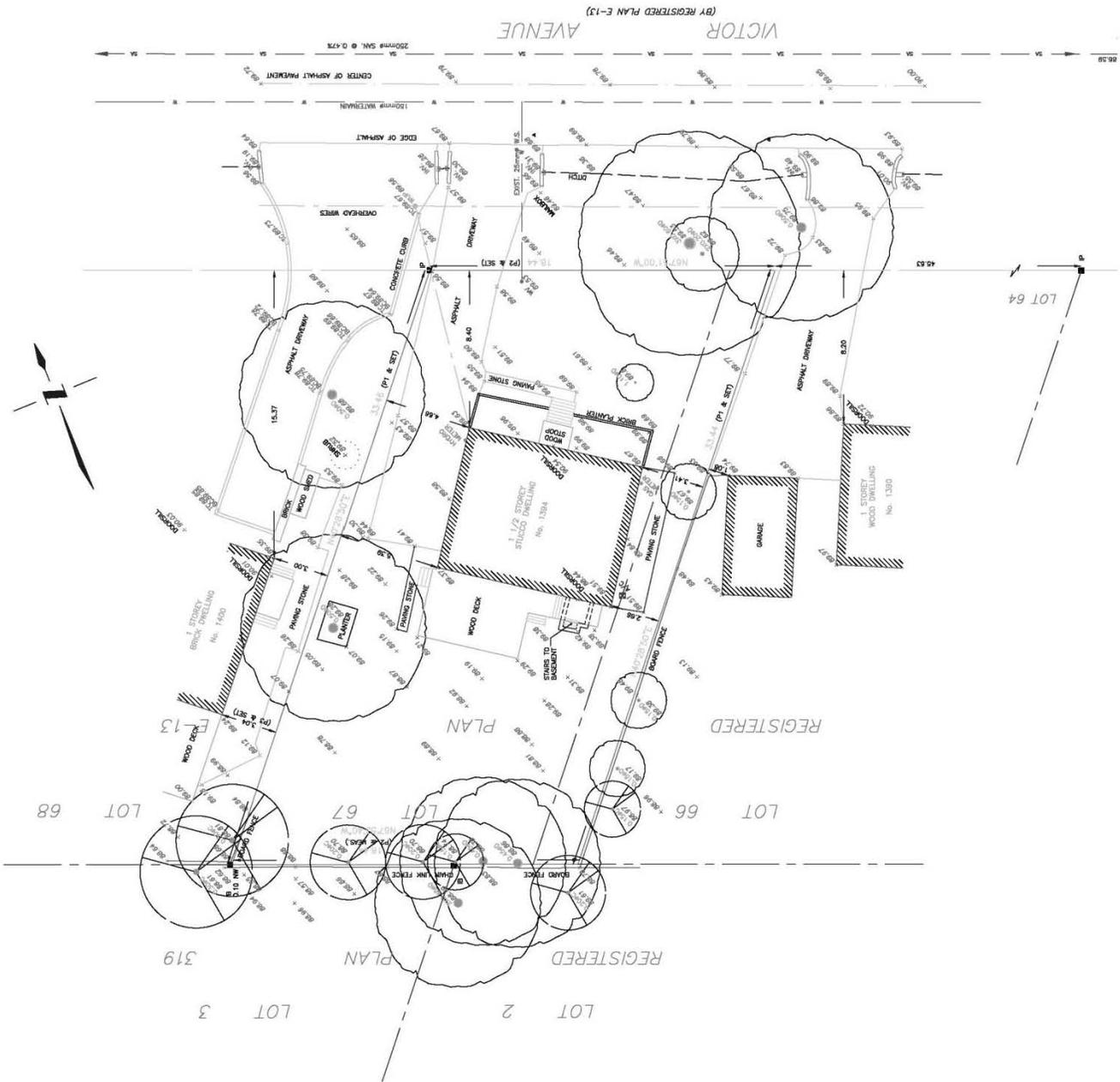
(Below is a sketch of survey for Robert Tait showing the footprint of their home – Taken from Land Registry Office)

(This information was acquired from a good friend named Roy of Robert and Ruth Tait who still lives next door at 1390 Victor Avenue)

7. Ruth Tait transferred to current owners John Kuzyk and Claudio Scarelli (May.30/2012)



Subject Property Topographical Survey:



Section 4 | Building Details

Exterior Photos



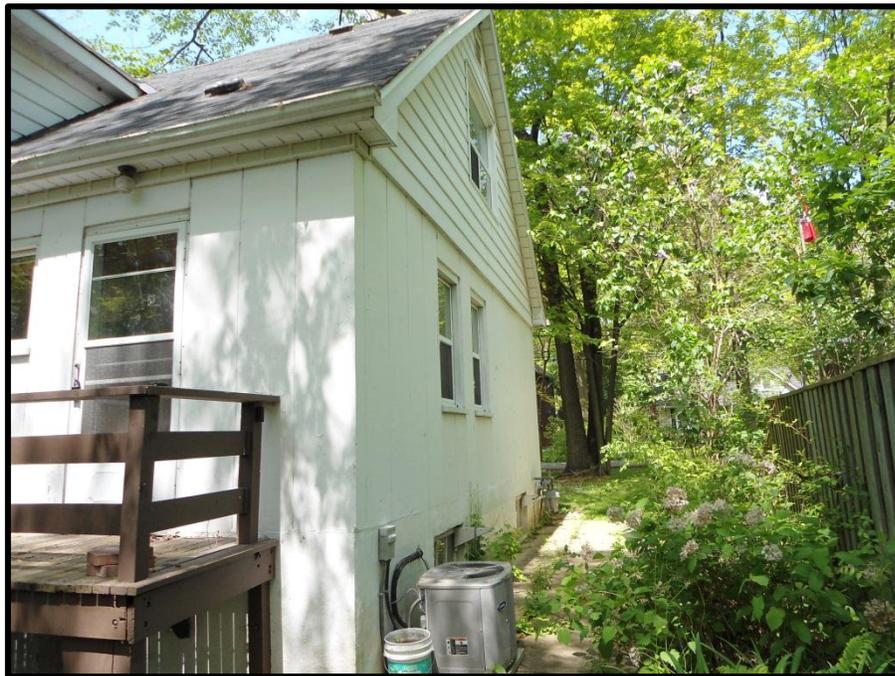
Front Elevation



Rear Elevation

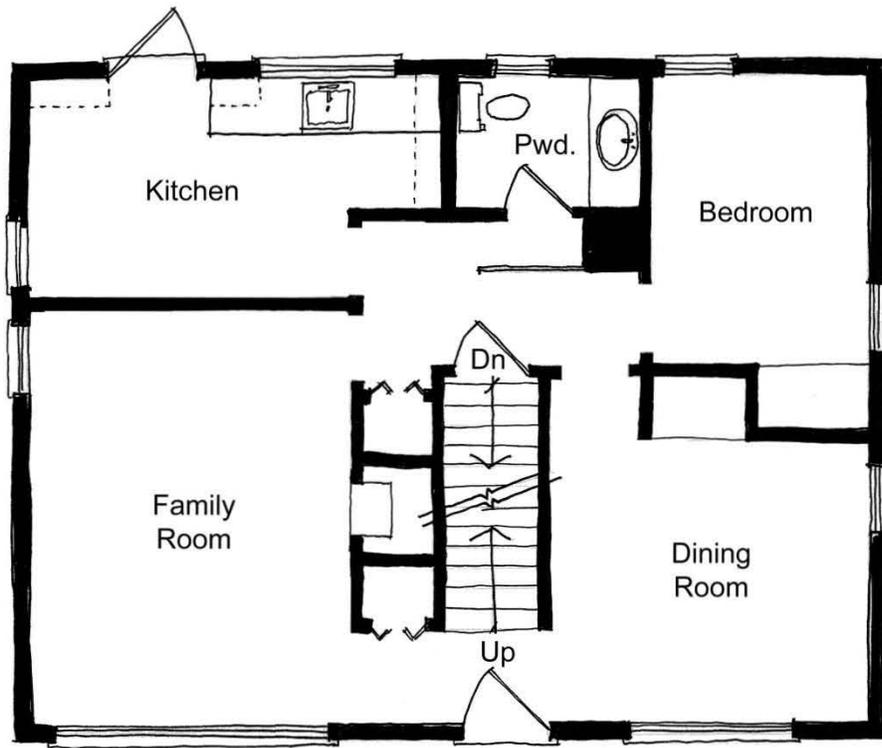


Right-Side Elevation

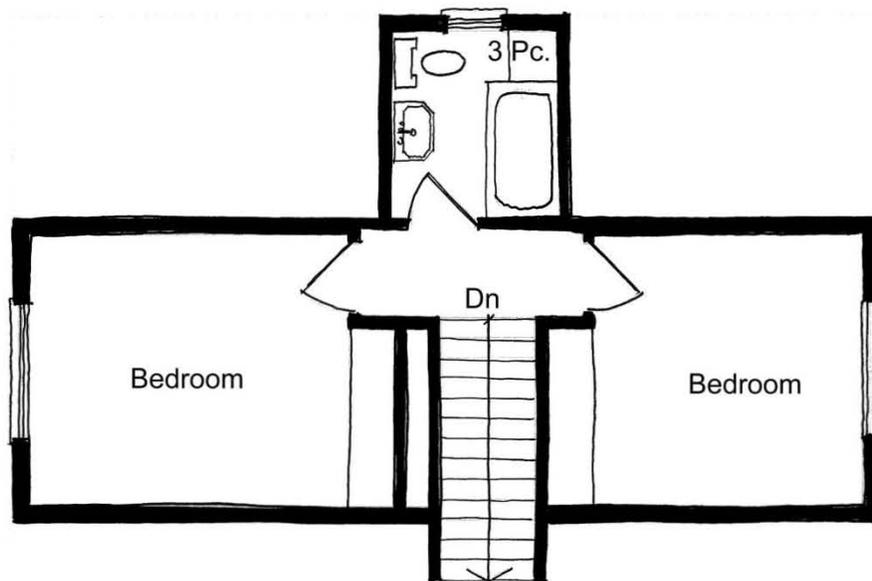


Left-Side Elevation

Sketch – Existing Floor Plans (not to scale)

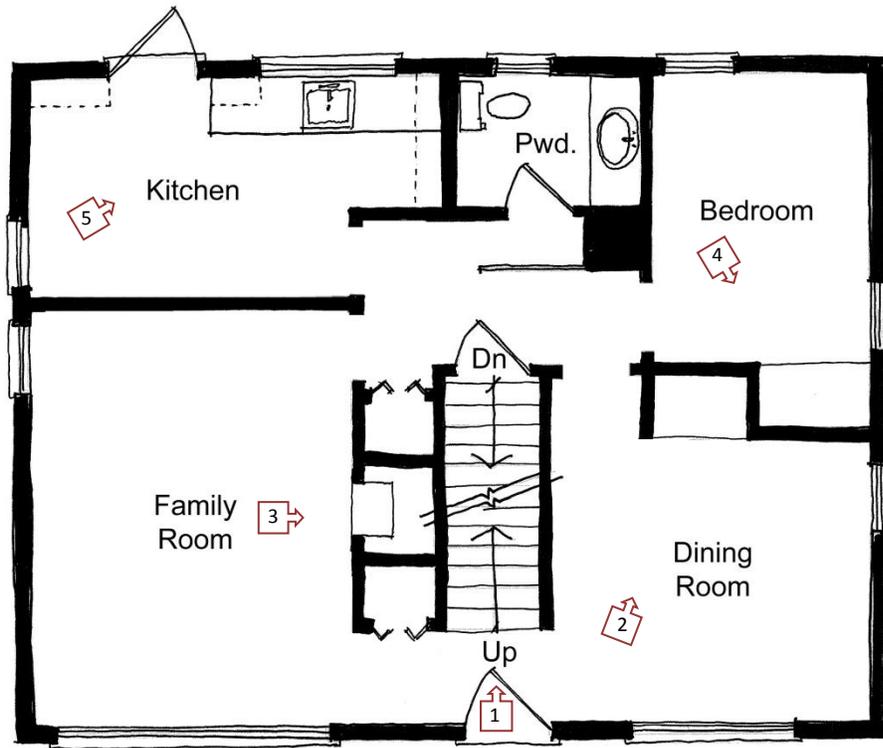


Ground Floor Plan

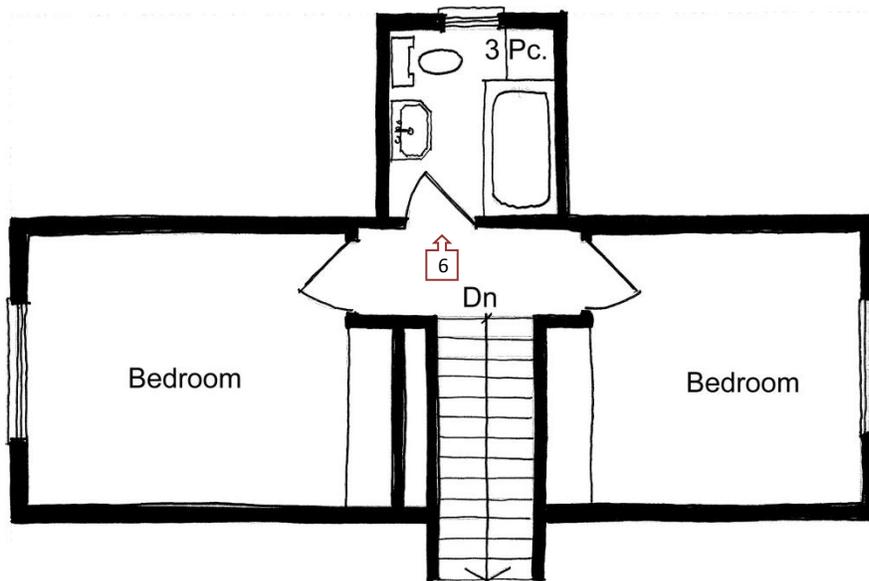


Second Floor Plan

Sketch - Interior Photo reference Plan (not to scale)

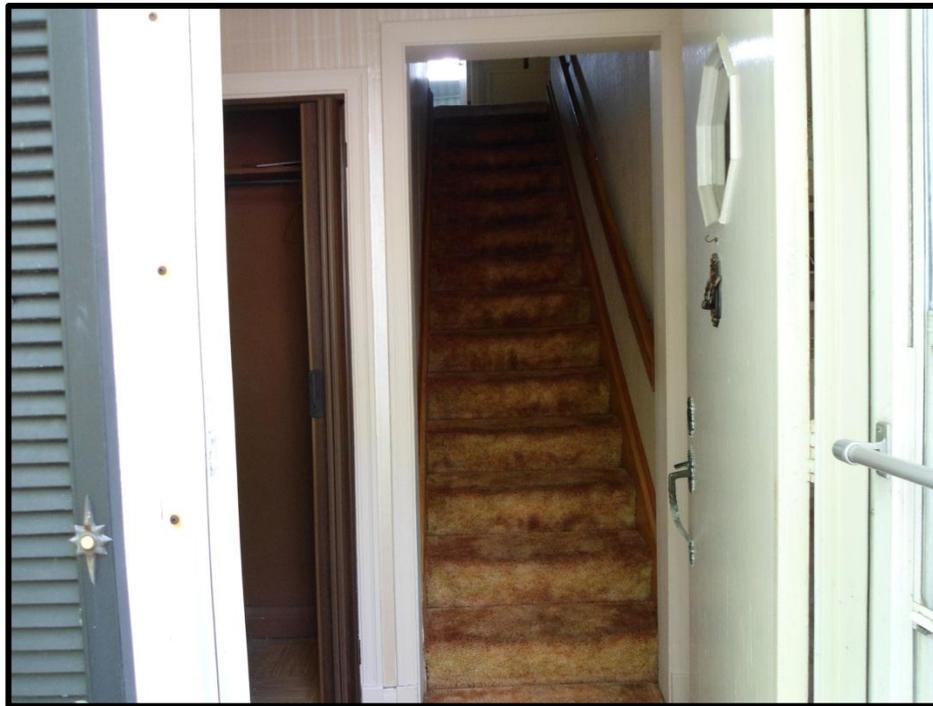


Ground Floor Plan



Second Floor Plan

Interior Photos



Interior Photo 1 - Entrance



Interior Photo 2 – Dining Room



Interior Photo 3 – Living Room



Interior Photo 4 – Master Bedroom



Interior Photo 5 – Kitchen



Interior Photo 6 – Family Room

House Description:

Construction Date		1948
Size		Approximately 1170 sf
Building Type		1.5 Storey dwelling
Wall Construction		Wood Frame and Concrete Block
Exterior Cladding		Wood Siding
Roofing Material		Asphalt Shingles
Setbacks		Front Yard – 8.40 m
		Right Side – 4.66 m
		Left Side – 2.66 m
		Rear Yard – 13.87 m

Alterations to the Original House

The original home, built in 1948, is a 1.5 Storey dwelling. We have made reference to the City of Mississauga permitting records and the city has records that there was a dormer addition in 1974.

□ App Number	□ Address	□ Scope	□ Issue Date
□ App Date	□ Description	□ Type Description	□ Status
BP 9NEW 12 1132 2012-05-01	1394 VICTOR AVE NEW CUSTOM SFD WITH FINISHED BASEMENT	NEW BUILDING DETACHED DWELLING	APPLICATION IN PROCESS
HC 74 379952 1974-07-02	1394 VICTOR AVE PLG. PERM., ROBERT TAIT, FIX. 3		HISTORY COMMENT PERMIT
HC 74 379951 1974-03-13	1394 VICTOR AVE DORMER ADDITION - CODE: 4673		HISTORY COMMENT PERMIT
HC 69 379953 1969-08-27	1394 VICTOR AVE R. TAIT - INSIDE SAN.		HISTORY COMMENT PERMIT
HC 69 379954 1969-08-27	1394 VICTOR AVE S. SCAMURRA - SAN.		HISTORY COMMENT PERMIT
HC 69 379957 1969-08-27	1394 VICTOR AVE R. CHRISTENSEN - STACK CHANGE		HISTORY COMMENT PERMIT

Analysis of Existing Structure

The existing home is representative of circa 1948 vernacular 1.5 Storey dwelling. The home does not display any outstanding degree of craftsmanship, technical achievement and has only moderate artistic merit.

The existing home is not known to represent significance related to theme, event, belief, person, activity, organization or institution in the community. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. The property has only modest contextual value as far as its support of the character of the area. There is no link to its physical, functional, visual or historic surroundings.

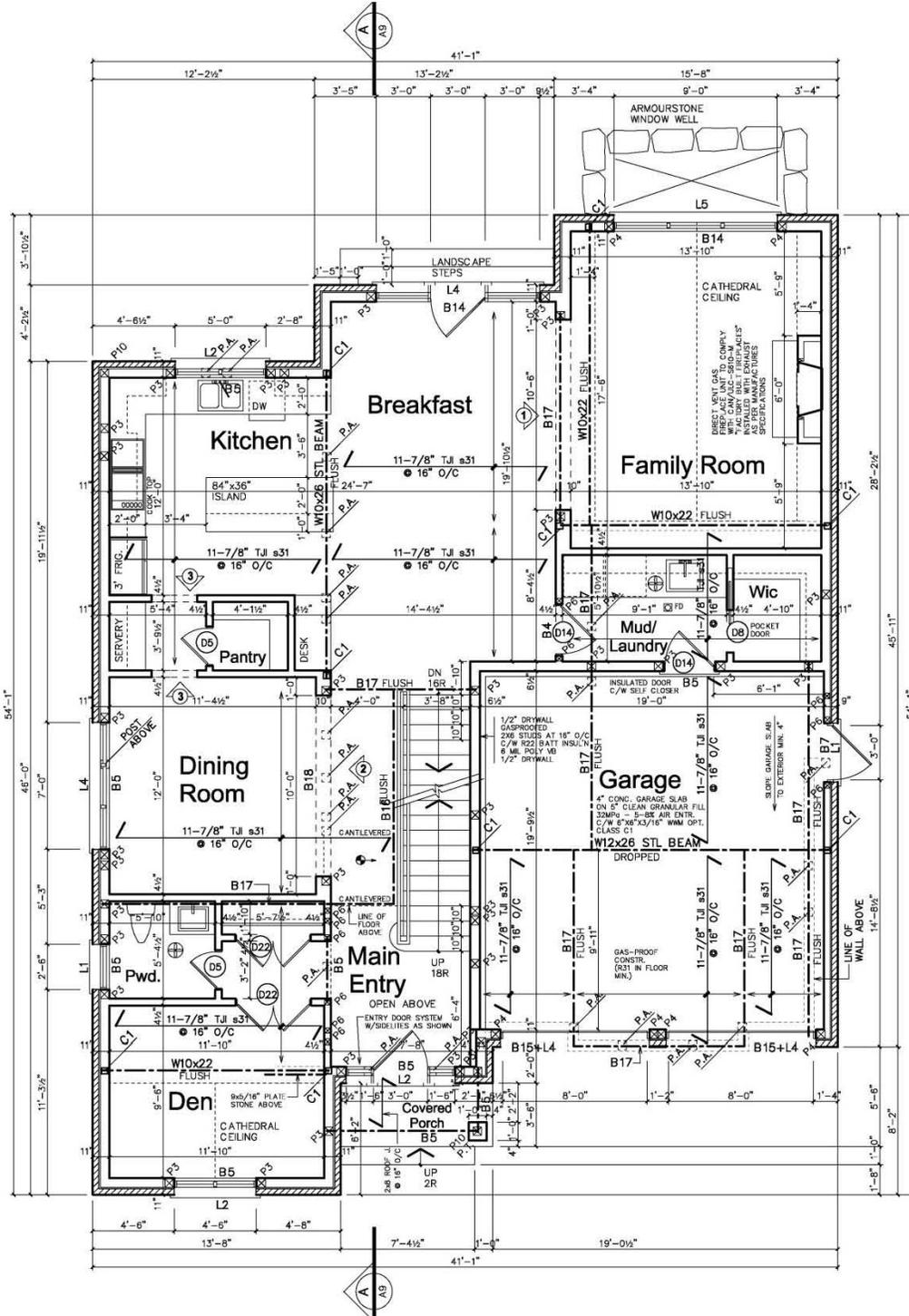
The existing home plays a moderately significant role in its support of the character of the area as its massing and scale are similar to the adjacent homes on Victor Avenue.

Section 5 | Development Proposal

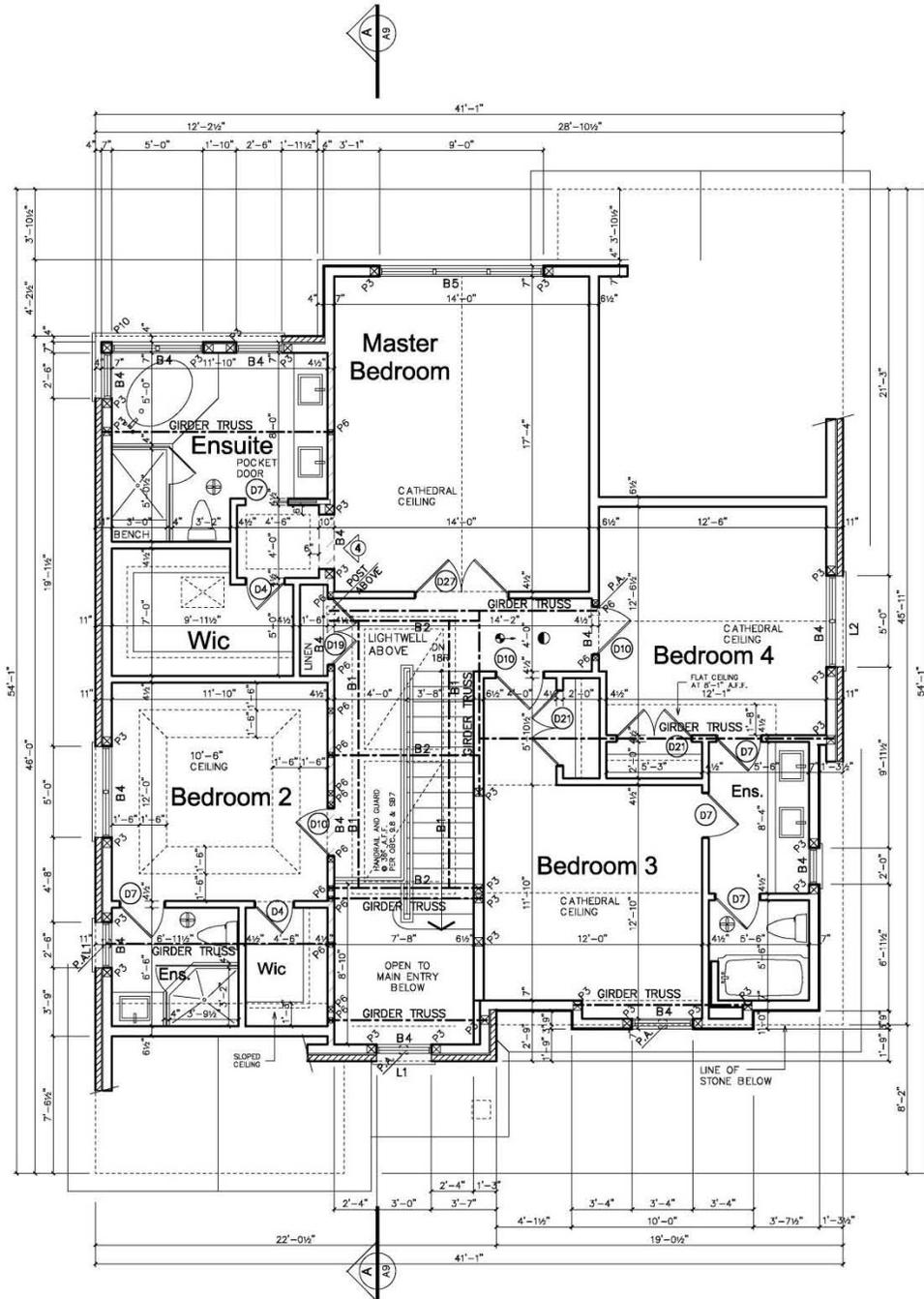
Site Development Plan



Proposed Ground Floor Plan:



Proposed Second Floor Plan



Proposed Elevations:



1390 Victor Avenue

1394 Victor Avenue
Streetscape Elevation

1400 Victor Avenue



Left - Side Elevation

Rear Elevation

Right - Side Elevation

Section 6 | Conclusion

The proposed home at 1394 Victor Avenue has been designed with similar massing characteristics of other homes on Victor Avenue and adjacent streets throughout the neighborhood. Although the massing of the proposed home does not represent the immediate adjacent neighbors the house has been designed in a manner in which it can successfully cohabitate with the existing dwellings.



View of house adjacent to 1394 Victor Avenue

The scale of the proposed dwelling is similar to other dwellings located throughout the neighborhood. As seen on the streetscape sketch in Section 5 of this report this area is home to mature foliage throughout the property.



View of where driveway location is being maintained

The majority of existing mature trees have been preserved through the development with the exclusion of trees in direct conflict with the plan. The driveway has been reconfigured however it maintains the same access to Victor Avenue.



Photo 1 – View from street looking East



Photo 2 – View from street looking West



Photo 3 – View from street looking North



Photo 4 – View from street looking South



Photo Reference Plan

The proposed home respects the Mineola West Cultural Landscape’s characteristics and is consistent with all planned redevelopment efforts throughout the area.

Summary Statement and Conservation Recommendations:

The existing 1.5 storey dwelling located at 1394 Victor Avenue has not been designated under the Ontario Heritage Act; however, the property has been listed on the register under the Mineola West Cultural landscape. As such the significance of the existing dwelling does not merit conservation measures. The impact of the proposed development has been taken into consideration when designing both the proposed home and the natural preservation of streetscape presence. The proposed dwelling has been designed to respect the front yard setbacks and adjacent properties. The proposed dwelling has been designed in such a manner that the frontage represents a 2-storey dwelling with mixed massing and scale which helps lower the impact on adjacent properties. The proposal does not contravene the intentions of the Mineola West Cultural Landscape listing. For the aforementioned reasons we are certain that conservation or alternative development measures are not appropriate for the subject property.

Mandatory Recommendation:

As per criteria set out in Regulation 9/06 of the Ontario Heritage Act the following reasons are why the subject property is not worthy of heritage designation and does not meet such criteria stated in Regulation 9/06.

1. *Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*

The property itself has been listed on the heritage register under the Mineola West Cultural Landscape; however the existing dwelling has not been designated. The existing house does not meet criteria set out in Regulation 9/06, Ontario Heritage Act.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated why it does not.*

The existing home is not known to represent significance related to theme, event, belief, person, activity, organization or institution in the community. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. The property has only modest contextual value as far as its support of the character of the area. There is no link to its physical, functional, visual or historic surroundings.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?*

The property has been listed on the register and does warrant conservation as per the Mineola West Cultural landscape. The proposed development proposes conservation methods of the cultural landscape of the property as a whole. As stated above the existing dwelling does not warrant conservation as per Ontario Regulation 9/06, Ontario Heritage Act or the Provincial Policy Statement.

Section 7 | Bibliography

Dieterman, Frank A. Mississauga The first 10,000 Years. The Mississauga Heritage Foundation Inc., 2002

City of Mississauga Cultural Landscape Inventory L-RES-6 Community Services Department January 2005

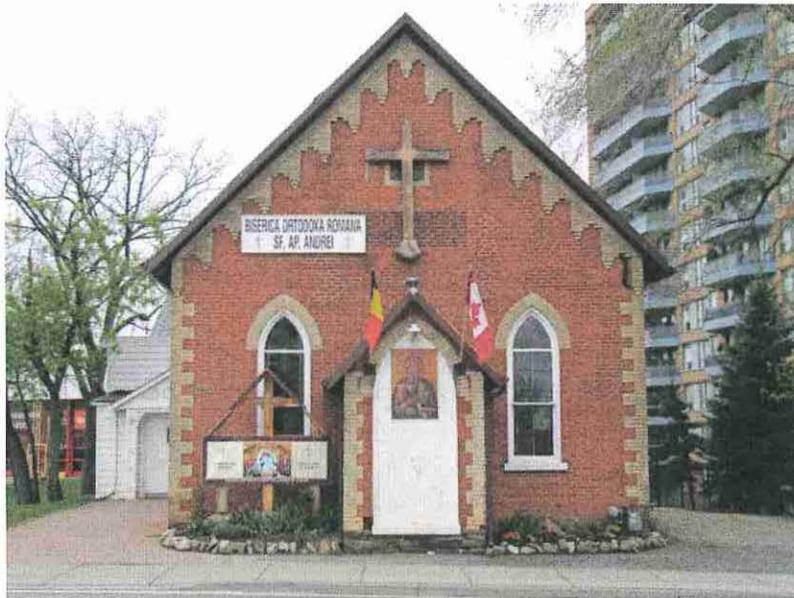
City of Mississauga Services Online – eMaps [http://www6.mississauga.ca/eMaps/\(lafipz55wrpwqa55adxvff55\)/default.aspx](http://www6.mississauga.ca/eMaps/(lafipz55wrpwqa55adxvff55)/default.aspx)

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The Star, Newspaper. 2012 <http://www.legacy.com/obituaries/thestar/obituary.aspx?n=robert-tait&pid=131071>

**HERITAGE IMPACT ASSESSMENT
FOR
ST. APOSTLE ANDREW ROMANIAN CHURCH
4030 DIXIE RD., MISSISSAUGA, ONTARIO**

Heritage Advisory Committee
JUN 19 2012

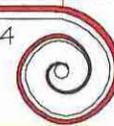


Prepared for
The Church of St. Andrew Apostle

Prepared by

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McGILLIVRAY - ARCHITECT



Monday, June 04, 2012

Monday, June 04, 2012

HERITAGE IMPACT ASSESSMENT FOR ST. APOSTLE ANDREW ROMANIAN CHURCH

1. INTRODUCTION

The following are observations and the rationale behind the interim work proposed for St. Apostle Andrew Romanian Church

It is understood that the intent is to add a cupola to this church. In addition, some interim conservation measures are intended in order to prevent progressive deterioration of the building fabric.

This is intended to be a conservation plan to address areas of greatest immediate concern.



St. Apostle Andrew Romanian Church is a one storey, gable roofed, brick structure designed in the Victorian Gothic style. The church is Listed on the Heritage Register but not designated under Part IV of the Ontario Heritage Act. The main part of the building was constructed c. 1874¹.

Address: 4030 Dixie Rd.
Legal description: CON 2 NDS PT LOT 6
Area 533.3 sm.

2. HISTORY

²The origins of the church are tied to the surviving Burnhamthorpe Primitive Methodist Cemetery (SW corner of Dixie Road and Burnhamthorpe Road), in that the original church stood immediately south of the cemetery. This title chain for the original location and cemetery is as follows:

According to the Halton-Peel OGS transcriptions and the Perkins Bull files, the cemetery has been in use since 1825. The land records support this, as on February 4th, 1825, 9/10 of an acre was deeded from Levi Lewis to John Austin et al, trustees of the Methodist Episcopal Church, for use as a burying ground. A larger lot was later sold by Levi Lewis Jr. to Abraham Markle Jr. on April 5, 1839. On February 27, 1854 and on November 4, 1859, additional land is given by Markle, first to William Dale et al, and then to George Savage et al, both listed as Trustees. In our local history files, George Savage is listed as being a Trustee of the Methodist Church and William Dale as being a trustee for the School Section. It is likely that these transactions are for the building of a church or enlarging the cemetery and for the establishment of a school. Further land registry research would be required to clarify these transactions, but one local history resource indicates that the first Burnhamthorpe Primitive Methodist Church was built in 1859.

The next mention of a cemetery and church is on July 27, 1869, when William Trueman Shaver sold a ¼ acre at the NW corner of the lot to the Trustees of the Primitive Methodist Church and Cemetery. This is the first mention of the Primitive Methodist Church , and one must wonder if the earlier mentioned Methodist Episcopal Church became the Primitive Methodist Church , or if a new church was built. Again, further research would be needed to clarify this. There is no further record of the Methodist Episcopal Church by name in land records.

The surviving church at 4030 Dixie Road , on the NW corner on the modern intersection of Dixie Road and Burnhamthorpe Road , was built circa 1874 by the Primitive Methodist Congregation and christened as the Burnhamthorpe Primitive Methodist Church , thus becoming the second such church to serve the needs of the community and congregation.

On June 27, 1892, the Trustees of the Burnhamthorpe Methodist Church sold their original church, south of the cemetery, to James Curry. James Curry was the Burnhamthorpe Post Master and ran a general store from 1878 to 1898. He was also involved with the Sons of

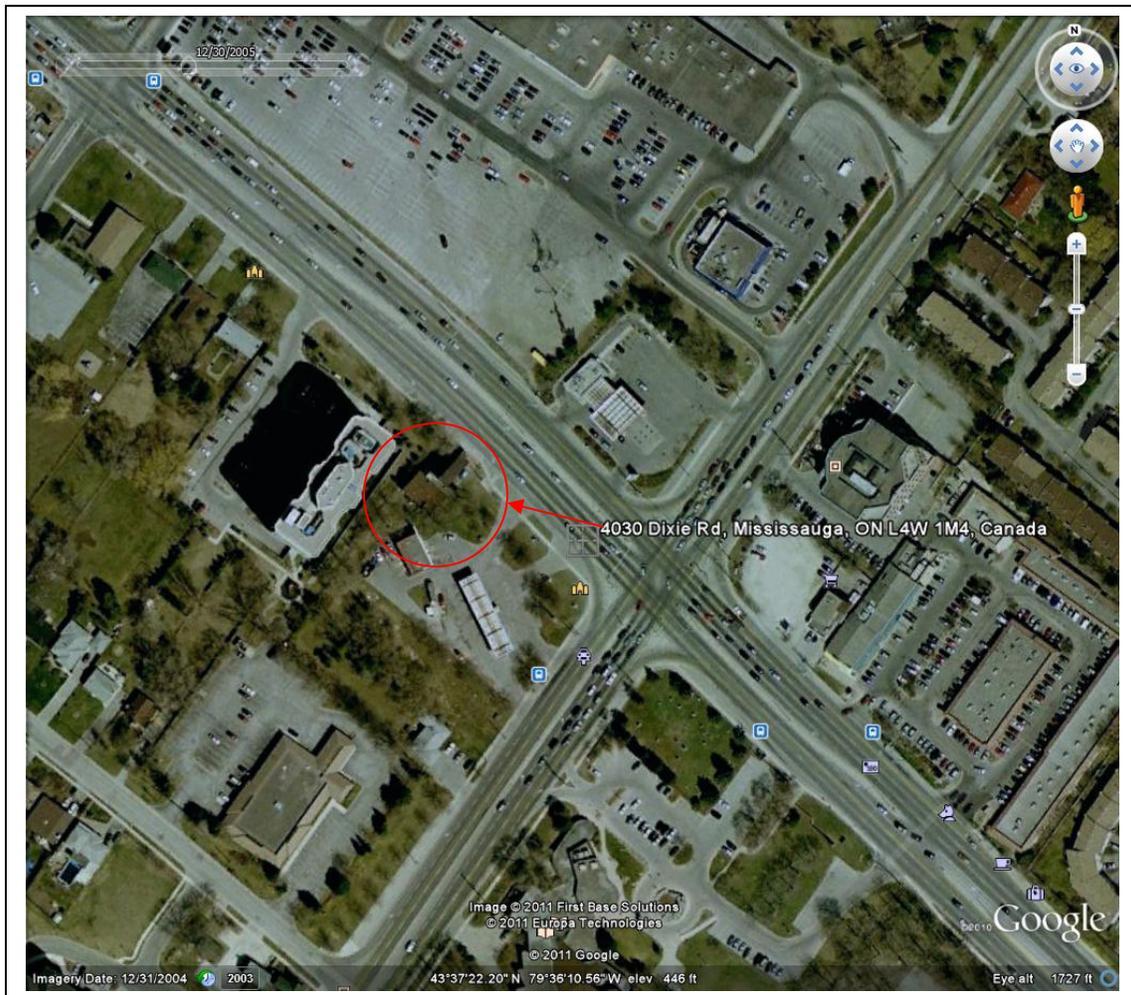
¹ City of Mississauga Property Heritage Details, Inventory Item 278.

² The following historical information was kindly provided by Mr. Matthew Wilkinson, Historian for Heritage Mississauga.

Temperance movement from 1892 until 1898. The old church served as a Sons of Temperance Hall, amongst other uses, until it was lost to fire in 1927.

An abstract of Book B in the land registry records indicates the lot for the former Burnhamthorpe Primitive Methodist Church, located at 4030 Dixie Road, was purchased on January 9th, 1874 by George Savage et al (Trustees) from Samuel Moore for \$1. The transaction, indenture #1491, was registered on September 7th, 1874. There are no additional entries prior to 1919.

The surviving building appears in the 1877 Peel Atlas. The Primitive Methodist Church was absorbed into the United Church in 1923.



3. BUILDING DESCRIPTION

This is a small, rectangular brick building with a gable roof. The architecture of the original Sanctuary is an unpretentious Victorian red brick Gothic above a stone ledgerrock foundation, with contrasting buff yellow brick decorative drops under the gable eaves at the front elevation, buff brick segmental arches over gothic windows with pointed arches, and buff brick corner quoins. The front façade is symmetrical with

Gothic windows on each side of a projecting brick vestibule and with a small upper window centred on the gable. The vestibule is small with a gable roof above a gothic door. The door is a plank door painted white with simple hardware. The windows are double hung with a gothic transom and have coloured glass with lead comes in a traditional pattern. The sides of the building have three windows on each. Across the back of the building is a large frame Parish Hall with wide lap siding. (Not part of this review).

The church is very small, it has no buildings on either side and the nearby apartment building is well set back from Dixie Road. The gas station on the other side is also well set back. There are some trees to the north. The church is setback only a short distance from Dixie road and could be considered a relatively discrete landmark for the corner of Dixie and Burnhamthorpe. There are no nearby buildings of a similar age.

The building overall is basically the way it was constructed.

4. BUILDING CONDITION

The following is a review of the visible exterior condition of the building. Access to the interior was not available. Please refer to the photos in Appendix 1 and Drawings by Doru Vasile in Appendix 2. Note: The building is oriented at 45 degrees to North. For the purposes of this report, the front faces east (actual north-east) and Dixie road runs north-south.

Although this building is almost 140 years old, the walls and brickwork are in very good condition. It appears that most of the original lime based mortar remains. Of note are two steel or iron tie rods. There are some areas of concern which include

- Spalling brick on the south side in a band extending from the foundation up to approximately 5 ft. (1.5m) above grade. (Photo page 4.) The lower part of this area has been painted with what appears to be a breathable paint which showed no signs of failure but which may conceal earlier repairs. An area of spalling brick extends roughly 2 ft. above the top of this dado. Removing the paint may allow the wall to breathe in the lower part. The possibility is also that the brick in the lower part of the wall behind the paint has been replaced using a dense mortar and if the brick and mortar was poorly matched, that explains why the wall was painted and why the brick dado appears undamaged. That would also be a likely cause of the spalling brick above. If that is the case, removing the paint won't help. Our recommendation is to allow the paint to remain and replacement of only the most severely spalled brick, leaving quite a lot of brick with shallow surface spalling. The stone foundation has large open joints suggesting some mortar loss which should be repointed with a stronger mortar.
- At the front vestibule foundation there is significant mortar loss and above that there is brick loss and other masonry deterioration. Replacement and repointing is recommended for this area.
- On the north side there has been some repointing of diagonal cracks with a harder mortar which appears to be holding well. The foundation also shows some mortar loss, mainly towards the east end. Repointing of mortar loss only is recommended this area.

The windows appear to be quite old and may be original. They are 1 over 1 double hung with a pointed arch transom above. The glazing for these windows is a traditional

coloured cast glass in lead comes with 4 large rectangular glass in the centre and narrow border panes each side. The transom has a similar pattern except that the comes follow the arch in a trifoil pattern.

- An exterior storm or protective sheet of glass has been let into the reglet of each sash so that it is almost flush with the face of the sash. Although this results in a sometimes messy caulking edge, it appears to be a successful application. One drawback is that there is no ventilation between the panes of glass which condition could contribute to damage to the historic glass and lead comes and moisture damage to the wood sash. One window has been disfigured by an inserted fan unit and the sash below does not have the protective glazing described above with one pane of the historic glass broken. In the short term maintenance and repainting is required but the windows should be monitored for moisture build-up that may cause damage. In the longer term the storm windows may be revised to reduce damage due to condensation. Broken coloured glass should be replaced with matching glass.
- The mid and bottom rails of each window generally appear to be in fair condition. Paint is peeling in all locations and may conceal some deterioration. One window mid rail has been reinforced with small hardware angles. (Photos 10, 21). In the long run, weak and damaged rails should be properly repaired.

The roof is sheet metal, of a simple profile with surface fasteners, quite old and rusty with edges curling or loose. (Photos 7, 11, 14). Replacement is recommended with an appropriate profile prefinished metal roofing.

5. RESTORATION STRATEGY

The following work is proposed:

- Addition of a new Cupola. As per architectural drawings.
- Roof: New prefinished metal roofing as recommended above.
- Masonry: Limited repoint and repair as shown on the Drawings and as recommended above using appropriate repair techniques, brick and mortars for historic masonry.
- Windows: Repair of broken glass, stripping loose paint and repainting as recommended above.

8 Guiding Principles: Review of applicable principles

1.1	<p>RESPECT FOR DOCUMENTARY EVIDENCE³: Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.</p> <p>This is a sympathetic addition that is not original to the building.</p>
1.2	<p>RESPECT FOR THE ORIGINAL LOCATION: Do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.</p>

³ Numbered Paragraph captions are based on InfoSheet 8 Guiding Principles.

	Not applicable as the building will not be relocated.
1.3	<p>RESPECT FOR HISTORIC MATERIAL: Repair/conservate -rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource.</p> <p>The intent is to conserve the existing building.</p>
1.4	<p>RESPECT FOR ORIGINAL FABRIC: Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.</p> <p>See 1.3. above.</p>
1.5	<p>RESPECT FOR THE BUILDING'S HISTORY: Do not restore to one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period.</p> <p>No restoration work is planned for the existing building and addition.</p>
1.6	<p>REVERSIBILITY: Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. E.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.</p> <p>The new cupola is a reversible and sympathetic addition.</p>
1.7	<p>LEGIBILITY: New work should be distinguishable from old. Buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new.</p> <p>The new cupola is being built with new materials and will be distinguishable. We recommend that the date of addition be engraved inside the cupola.</p>
1.8	<p>MAINTENANCE: With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.</p> <p>The following maintenance and repair is planned:</p> <ul style="list-style-type: none"> • Addition of a new Cupola. As per architectural drawings. • Roof: New prefinished metal roofing as recommended above. • Masonry: Limited repoint and repair as shown on the Drawings and as recommended above using appropriate repair techniques, brick and mortars for historic masonry. • Windows: Repair of broken glass, stripping loose paint and repainting as recommended above.

B. DOCUMENTATION

1. **IDENTIFICATION**⁴ of conservation principles: The following are applicable documents referenced in the preparation of this Conservation Plan
 - 1.1. InfoSheet #1, Built Heritage resources, referring to the Provincial Policy Statement 2005, 2.6.1, Heritage Resources in the Land Use Planning Process, Ontario Heritage Tool Kit, Ministry of Culture, Ontario, 2005
 - 1.2. InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Heritage Resources in the Land Use Planning Process, Ontario Heritage Tool Kit, Ministry of Culture, Ontario, 2005
 - 1.3. The Eight Guiding Principles in the Conservation of Built Heritage Properties, , InfoSheet, Ministry of Culture, Ontario, 2007
 - 1.4. Well Preserved, The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation, Mark Fram, Boston Mills Press, 1988
 - 1.5. Standards & Guidelines for the Conservation of Historic Places in Canada, 2003.
2. **ANALYSIS** including documentation, features of cultural heritage value, condition assessment, and historical, current and proposed uses.
 - 2.1. Documentation: The following Documentation has been referenced or prepared for this building:
 - Referenced: City of Mississauga Property Information, Property Heritage Details, Inventory Item #278.
 - County of Peel Illustrated Atlas , John Henry Pope, 1877
 - Land Registry Office, Transfer Deed, 1999.
 - Appendix 1: Documentation and Condition Survey Photographs, March 18, 2010.
 - Appendix 2: Architectural and Structural Drawings of proposed work.
3. **SCHEDULE** of conservation work.
 - 3.1. To be determined.
4. **MONITORING**
 - 4.1. The building must be monitored constantly to prevent vandalism and break-ins.

⁴ Paragraph captions are as per InfoSheet #5, Ontario Heritage Tool Kit.

C. OUTLINE SPECIFICATIONS

The following is an outline of intended work.

Site Work: No site work is planned.

Demolition: Removal of existing metal roofing only.

- Artifacts: In general, no architectural features attached to the building are to be removed. There are no loose artifacts.

Masonry work: Principles for the restoration of heritage brick masonry will be followed. Mortar is specified with a high lime formulation, a proprietary mix from a recognized manufacturer of heritage mortars. The mortar type has been selected as appropriate for its exposure and other qualities (colour, texture, etc.). Structural mortars and mortars at or below grade may vary from the above. [Repointing should be done with a lime based mortar similar to the original, rather than a stronger mortar](#)

Metals: No metal work is currently scheduled.

Carpentry: The main items of carpentry in this phase of the work include installaion of the new cupola over the existing roof sheathing and miscellaneous repairs to roof and eaves. Structural work to reinforce the roof framing for the weight of the cupola is understood not to be required. In general, the detail of this work will be relatively plain, matching existing. Cupola design as per attached specifications.

Roofing and flashing: Complete replacement of the existing low profile metal roofing with new prefinished metal roofing, as per attached specifications. New flashings, gutters and downpipes will be prefinished metal of an appropriate colour (existing dark brown).

Doors and windows: Proposed work is to replace broken glass with matching glass and recaulking as required.

Painting and Finishing: This work will be limited to painting and refinishing existing woodwork and windows. Some paint stripping of loose paint will be required. Colours will match existing.

APPENDIX 1: PHOTOGRAPHS

- Documentation and Condition Survey Photographs, May 2011.

Heritage Impact Assessment
St. Apostle Andrew Romanian Church
4030 Dixie Rd., Mississauga, Ont.

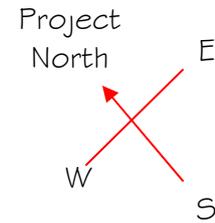
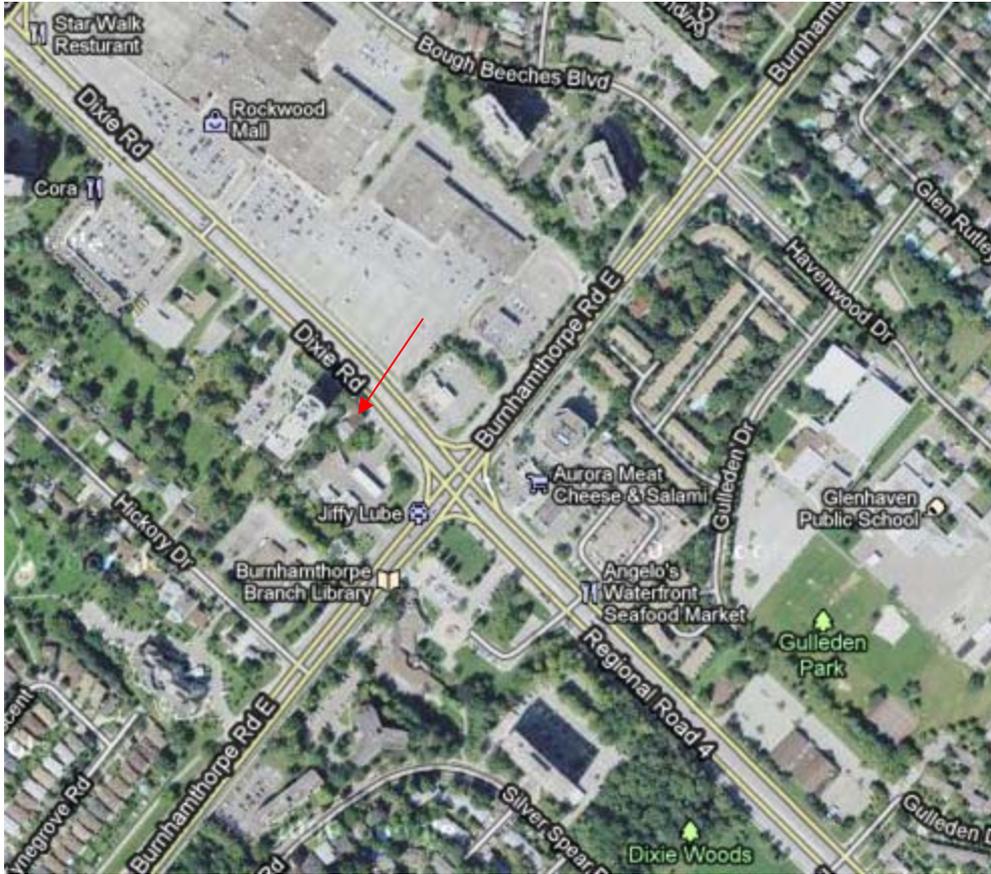


1 View of church from north on Dixie Rd..



2. View from north towards Burnhamthorpe.

Heritage Impact Assessment
St. Apostle Andrew Romanian Church
4030 Dixie Rd., Mississauga, Ont.



Heritage Impact Assessment
St. Apostle Andrew Romanian Church
4030 Dixie Rd., Mississauga, Ont.



3. South side of church



4. North side of Church



5. Parish Hall at back



6. Front of Church



6. Entrance to Parish Hall

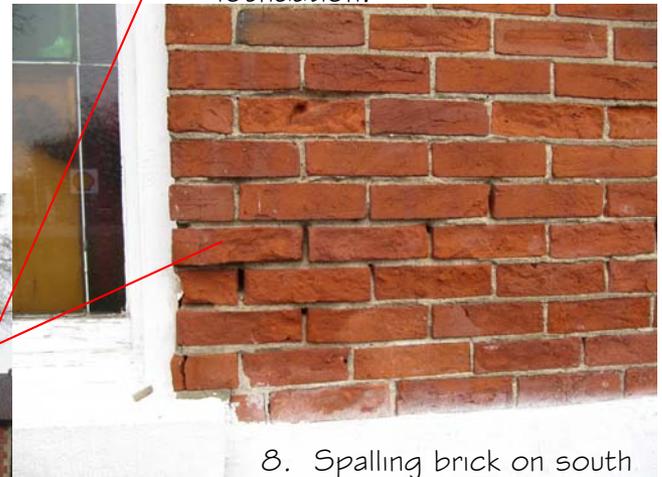
Heritage Impact Assessment
St. Apostle Andrew Romanian Church
4030 Dixie Rd., Mississauga, Ont.



7. South side showing erosion of brick below dotted line.



7. Painted brick. Open joints in stone foundation.



8. Spalling brick on south side

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9. Window partly concealed by Parish Hall vestibule.



10. Window detail showing face glazed storm & condition of mid rail (peeling paint).



11. View showing sheets of rusty metal roof with edges curling.



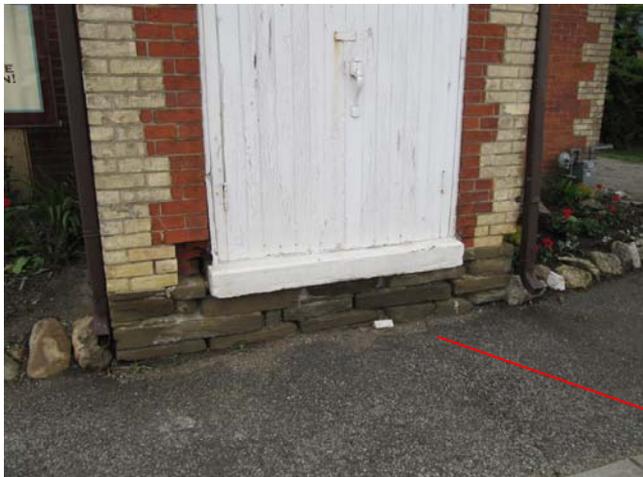
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12. Steel tie. Note brick detail.



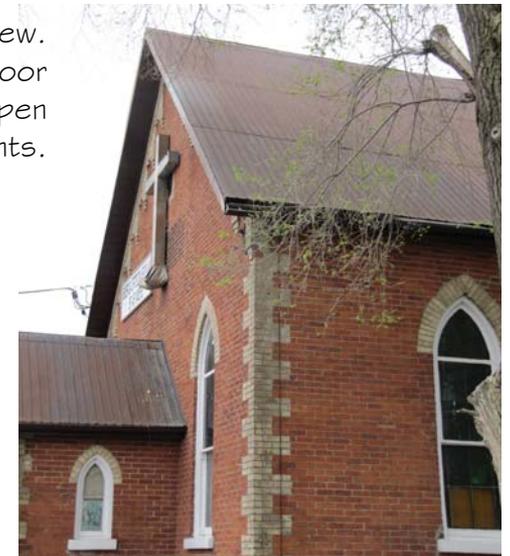
14. Vestibule roof.



13. Unused front door. Open joints in foundation stone. Missing brick.



15. General view. The cross is in poor condition with open metal joints.



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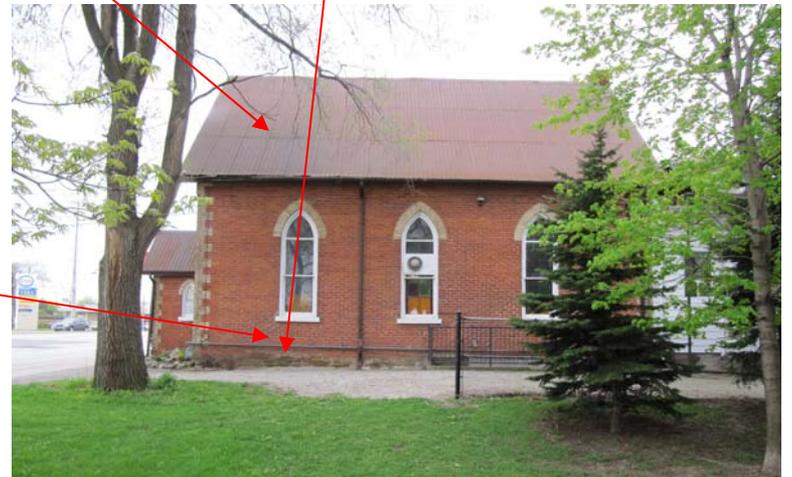
16. Roof on north side. Eavestrough falling off.



18. Condition of foundation stone is fair.



17. Some open joints in foundation. Brick generally good. Some earlier repairs at diagonal cracks.



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19. View of north windows



20. This window does not have a storm.



21. Window detail showing face glazed storm glass and condition of mid rail reinforced with hardware angles.

22. Typical window sill. Generally in good condition.



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23. Steel tie rod and plate



24. Parish Hall addition at back.



APPENDIX 2: DRAWINGS & SPECIFICATIONS

Architectural specifications for heritage work

Section 04500 – Masonry
Cupola
Roofing material

Architectural Drawings by Doru Vasile Architect
A-1 Section, Front Elevation
A-2 North Elevation
A-3 South Elevation

1.

PART 1: GENERAL

1.1. SECTION INCLUDES

- 1.1.1. Labour, Products, equipment and services necessary for masonry restoration Work in accordance with the Contract Documents.
- 1.1.2. This Section includes: mortar materials, masonry materials, masonry accessories, masonry restoration procedures.
- 1.1.3. Note: It is not intended to cut out existing Portland or hard mortar repairs.

1.2. REFERENCES

- 1.2.1. ASTM C207, Specification for Hydrated Lime for Masonry Purposes.
- 1.2.2. ASTM C881. Specification for Epoxy-Resin-Base Bonding Systems for Concrete.
- 1.2.3. CSA A179, Mortar and Grout for Unit Masonry.
- 1.2.4. CSA A371. Masonry Construction for Buildings.
- 1.2.5. CAN/CSA A3000, Cementitious Materials Compendium.
- 1.2.6. CEAA, Canadian Environmental Assessment Act

1.3. DESCRIPTION OF WORK

- 1.3.1. Work of this section includes, but is limited to, the following:
 - 1.3.1.1. Visually inspect for obvious signs of deteriorated masonry and testing/verification of masonry joints.
 - 1.3.1.2. Raking identified unsound joints.
 - 1.3.1.3. Preparation of masonry surface including joints surface cleaning, flushing of voids and open joints, and masonry wetting.
 - 1.3.1.4. Repointing of identified masonry joints.
 - 1.3.1.5. Removal of loose masonry units.
 - 1.3.1.6. Resetting of loose and dislodged masonry units.
 - 1.3.1.7. Ensuring cure of mortar.
 - 1.3.1.8. Grouting by hand, small voids.
 - 1.3.1.9. Replacement of identified fractured masonry units or spalled units.
 - 1.3.1.10. Replacement of deteriorated or missing units.

1.4. SUBMITTALS

- 1.4.1. Product data:: Submit duplicate copies of manufacturer's Product data in accordance with Conditions of the Contract for the following items:
 - 1.4.1.1. Pointing mortar.
 - 1.4.1.2. Patching restoration mortar including manufacturer's analysis/report on sample testing.
 - 1.4.1.3. Dowel anchors and armatures.
- 1.4.2. Samples: Submit samples of products used in the work of this section in accordance with Conditions of the Contract for approval.

1.5. QUALITY ASSURANCE

- 1.5.1. Installers qualifications:: Perform Work of this Section by a company that has a minimum of ten years proven experience and qualified applicators in the restoration of heritage masonry of a similar size and nature. Submit to Consultant, applicator's record of experience as proof of compliance.
- 1.5.2. All masonry restoration work shall be under the continuous supervision of a competent foreman.
- 1.5.3. Mock-up:
 - 1.5.3.1. Construct one (1) 600 x 600mm mock-up to demonstrate repair procedure for each type of masonry material specified in location acceptable to Consultant. In the event the initial mock-ups are unsatisfactory, provide additional mockups until a satisfactory sample has been agreed on.
 - 1.5.3.2. Arrange for Consultant's review and acceptance, allow 48 hours after acceptance before proceeding with Work.
 - 1.5.3.3. Mock-up may remain as part of Work if accepted by Consultant. Remove and dispose of mock-ups which do not form part of Work.
 - 1.5.3.4. Upon acceptance, mock-up shall serve as a minimum standard of quality for the balance of the work of this Section.
- 1.5.4. Pre-installation meetings: Arrange with manufacturer's representative, Contractor, Subcontractors, restoration consultant, Owner's representative and Consultant to inspect substrates, and to review installation procedures 48 hours in advance of installation.

1.6. DELIVERY, STORAGE, AND HANDLING

- 1.6.1. Deliver, store and handle Products in accordance with the Conditions of the Contract and as specified herein.
- 1.6.2. Remove unacceptable materials from Site and replace to acceptance of Consultant. Store materials off ground protected from wetting by rain, snow or ground water, or

inter-mixture with earth or other materials. Store metal ties and reinforcement to prevent corrosion.

- 1.6.3. Deliver mortar materials in original unbroken and undamaged packages with the maker's name and brand distinctly marked thereon. Prevent damage to units.
- 1.6.4. Keep masonry materials free from ice and frost. Keep units protected from concrete, mortar and other materials which could cause staining.

1.7. SITE CONDITIONS

- 1.7.1. Report in writing, to Consultant, areas of deteriorated masonry revealed during work. Obtain Consultant's approval and instructions of repair and replacement of masonry units before proceeding with repair work.
- 1.7.2. Comply with CSA A371. Do not use salt or calcium-chloride to remove ice from masonry surfaces.
- 1.7.3. Do not carryout work such as pointing, patching or unit replacement when ambient temperatures are likely to drop below freezing during day or night following such work.
- 1.7.4. Following below freezing temperatures, do not carryout work involving mortar or patching compound until existing masonry and materials intended for use have reached temperatures above 5°C.
- 1.7.5. Protect finished work from damage by weather. In addition to that specified herein, comply with CSA A371-; and protect fresh mortar from freezing, precipitation and from drying too rapidly by means of waterproof, non-staining coverings, and other such means as required to provide durable mortar patches and joints.
- 1.7.6. Protect finished work from damage by washing procedures and timing. Allow sufficient time for pointing and patching mortars to cure prior to washing building facade. Take into account that cure time is dependent on ambient and substrate temperature.

2.

PART 2: PRODUCTS

2.1. MATERIALS

- 2.1.1. **Salvaged brick:** size, colour and texture and absorption to match existing as closely as possible. Provide a selection of bricks to show full colour range and quality from each selection. Provide at least 3 selections.
- 2.1.2. **Pointing and Setting Mortar Materials:** Furnish the following pointing mortar ingredients:
 - 2.1.2.1. **Water:** Potable to CSA A179, clean, free of contaminants.
 - 2.1.2.2. **Mortars:**

Type 1: For laying up and pointing: Restomix by Daubois. Premixed type O lime mortar designed for historical restoration. Meets A-179-94 standard. Match colour to existing.

2.2. MORTAR MIXES AND PROCEDURES

- 2.2.1. Type 1 mortar:

- 2.2.1.1. Prepare mix in strict accordance with manufacturer's recommendations to produce a mortar no stronger than a type 'O' mix.
- 2.2.1.2. Mix the mortar very thoroughly with the minimum amount of water to make the mortar workable. Follow manufacturer's instructions closely.
- 2.2.1.3. This mix must be used within 2-1/2 hours or less in accordance with manufacturer's instructions and must not be knocked up after stiffening has taken place. At higher temperatures above 25oC the mix must be used within 1-1/2 hrs.

3.

PART 3: EXECUTION

3.1. PROTECTION

- 3.1.1. Seal and protect all openings, sills, ledges, etc. adjacent to work areas to prevent damage and the spread of construction dust, water, mortar droppings and other materials.
- 3.1.2. Place safety devices and signs near work areas as indicated and directed.

3.2. CUTTING-OUT MORTAR JOINTS

- 3.2.1. Cut out all loose, cracked and deteriorating joints where noted on drawings. Undamaged original mortar may remain. Cut out hard, non-original mortar joints where identified on the drawings or otherwise specified.
- 3.2.2. Carefully cut out with hand tools existing defective mortar from mortar joints, to a depth of at least 2-1/2 times the width of joint and a minimum of 1-1/4" deep.
- 3.2.3. Hand held rotary saws or any type of grinder wheel are not permitted on this project to [avoid overcutting or otherwise damaging original bricks and creating larger joints.](#)
- 3.2.4. Where mortar is found to be defective beyond the specified raking depth, continue raking until sound mortar is encountered.
- 3.2.5. Thoroughly wash out loose particles and dust from prepared joint. Dampen masonry substrate, but do not saturate, with water just prior to application of pointing mortar.

3.3. REANCHORING AND REPLACING OF DAMAGED UNITS

- 3.3.1. Where unit masonry sections are to be removed and reset, remove section with care not to damage same. Soak section in water until saturated, then allow to drain until only surface damp before setting.
- 3.3.2. Water mist substrate several times until absorption rate has been reduced significantly.
- 3.3.3. Apply full setting mortar bed to substrate and set masonry unit in place, using removable wedges as required to hold unit firmly in place. After setting mortar has cured remove wedges and apply pointing mortar into perimeter mortar joints as applicable and as specified herein.

3.4. POINTING AND BACK POINTING

- 3.4.1. Where cut-outs are deeper than raking depths specified above, back point joint to bring mortar face to specified depths for raked out joints, to prepare for finish pointing.
- 3.4.2. Immediately prior to pointing, wet joints with misting bottle to control water adsorption.
- 3.4.3. Prevent mortar from being placed or smeared onto face of brick when pointing. Avoid white ghost strips around joints.
- 3.4.4. Compact mortar firmly into joints to ensure proper bonding as well as to minimize the possibility of shrinkage.
- 3.4.5. At the initial set, finish mortar joint with a semi hard bristle brush to compact the joint and produce a textured finish and exposing the aggregate. [Finished joints to match existing joint profile.](#)
- 3.4.6. Keep work clean and remove all droppings immediately and check at the end of each day.
- 3.4.7. Prevent new mortar joints from rapid drying by misting frequently and covered with moist burlap for a minimum of 72 hours after completing an area.
- 3.4.8. Cracked and discoloured mortar joints will be rejected and must be redone.

3.5. REPAIRS TO BRICK WALLS

- 3.5.1. Match existing as accurately as possible.
- 3.5.2. Replace units which have spalled more than 1/3rd of depth or broken. Bricks with small spalls not larger than 1" (25mm) which do not affect the integrity of the brick may be retained. Replace cracked bricks if loose or divided by a structural crack 1.5mm or more in width. Replace crazed bricks if, when surrounding mortar is removed, brick will crumble and fall apart.
- 3.5.3. Loose units: remove and replace in a full bed of mortar. Set true and level, matching exactly the existing bond pattern and coursing throughout.
- 3.5.4. Fill small holes in brick units (not larger than ½" (12mm) in diameter) with mortar of same colour and surface texture as unit being repaired. Fill cracks if larger than 1/16" (1.5mm) across with a mortar slurry of same colour as unit.
- 3.5.5. Complete all brickwork repairs before commencing repointing.
- 3.5.6. Rake back joints in repaired areas 1" (25mm) and allow to dry and set for 72 hours to allow shrinkage to take place.

3.6. REGLETS:

- 3.6.1. In all applicable locations prepare reglets for roof and cap flashings. Preparation shall include the recutting (cleaning out) of existing reglets and preparation of new reglets as required and as shown on the drawings. The reglet shall be cut out for the full width of the mortar joint and to a depth of 1" (25mm).

3.7. METAL FITTINGS:

- 3.7.1. Remove from wall areas as cutting out proceeds fittings such as nails, brackets, clips and the like wherever discovered and as are noted on the drawings.

3.8. CLEAN UP

- 3.8.1. Clean up work area as work progresses. Upon completion, clean and restore areas used for work to condition at least equal to that previously existing.

END OF SECTION

Sample photograph of a cupola fabricated by Custom Cupola.



3/10/99



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+General Product Information(3)

+Details and Drawings(8)

+Specifications and Data Sheets(3)

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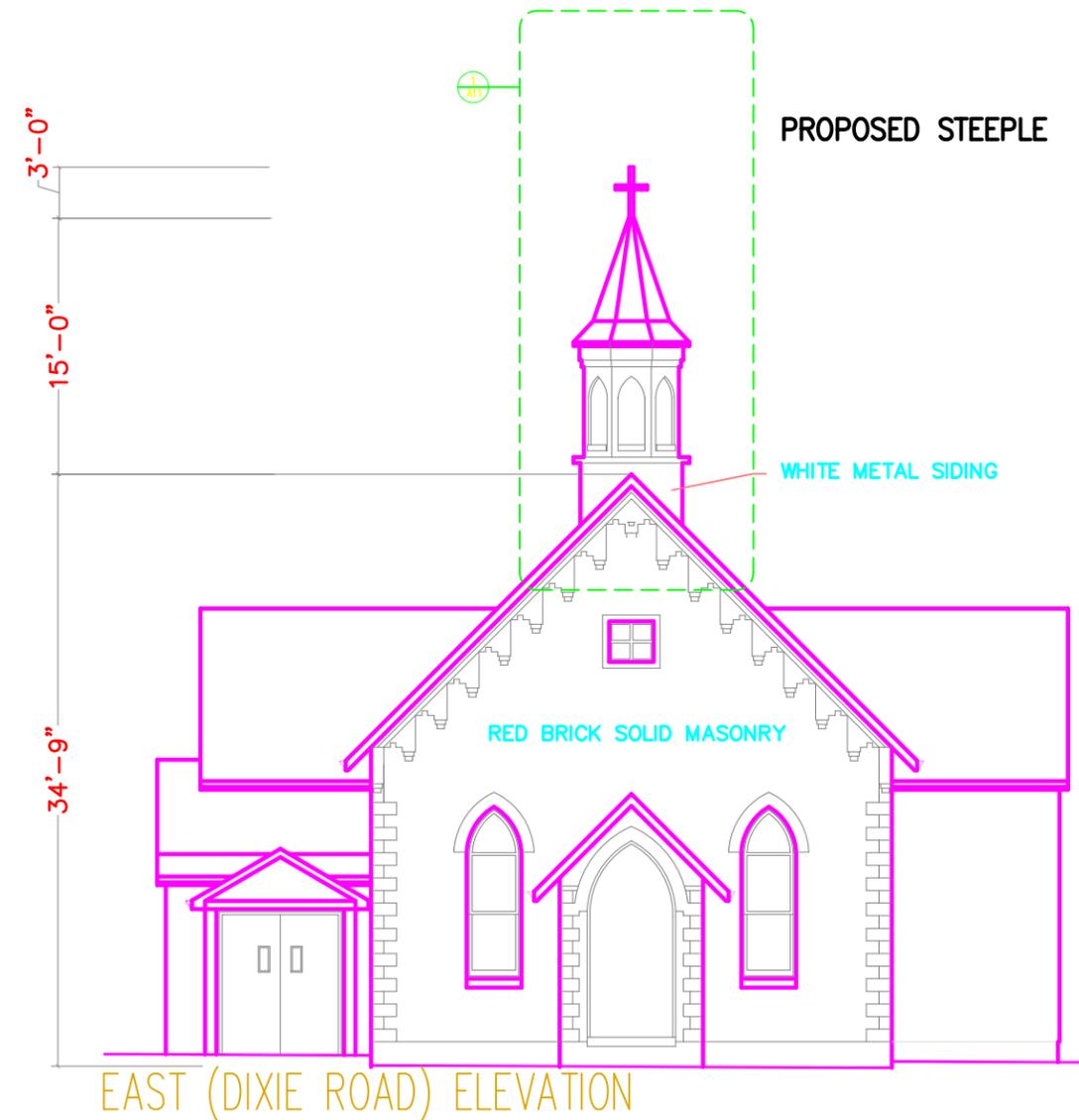
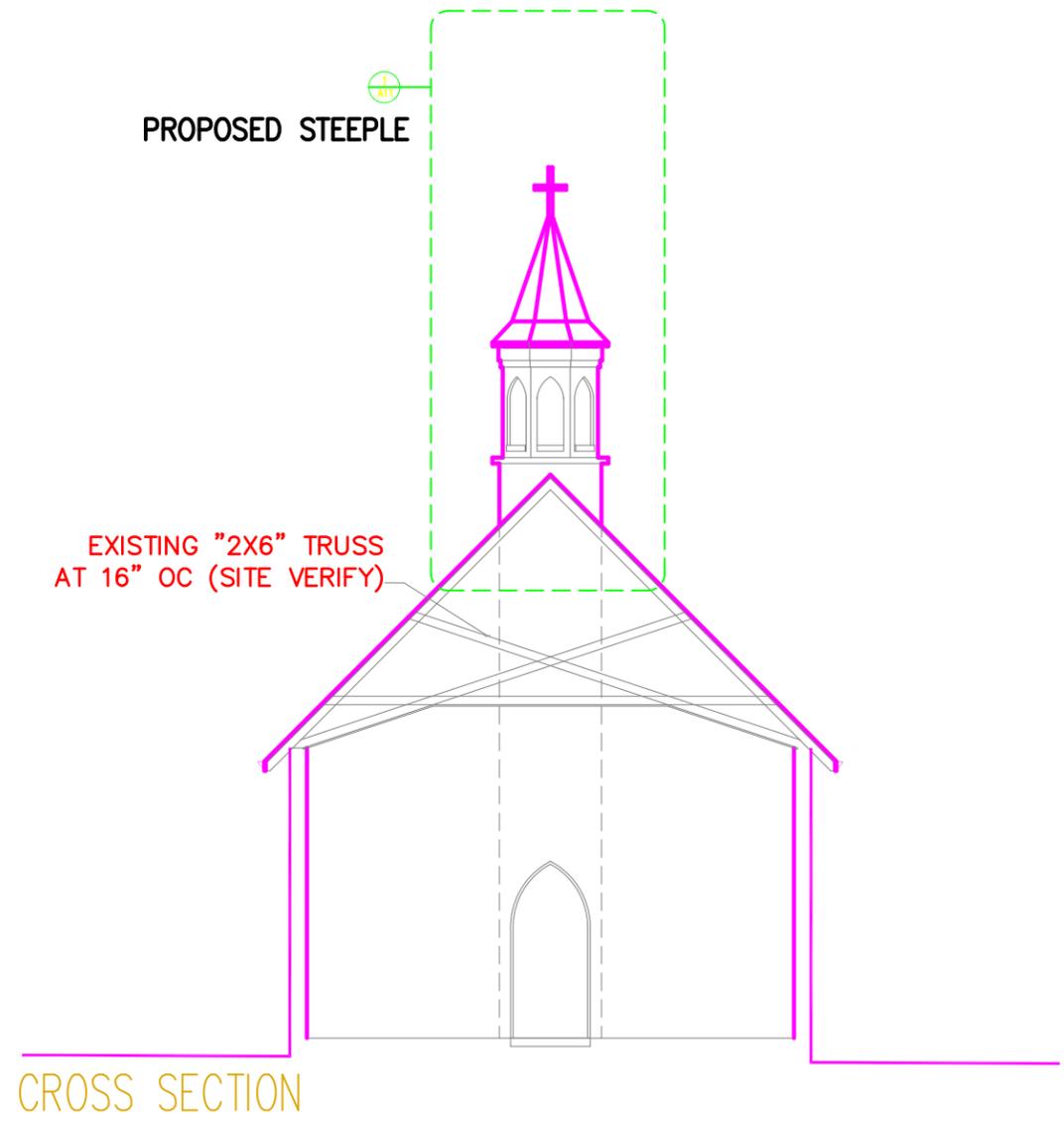
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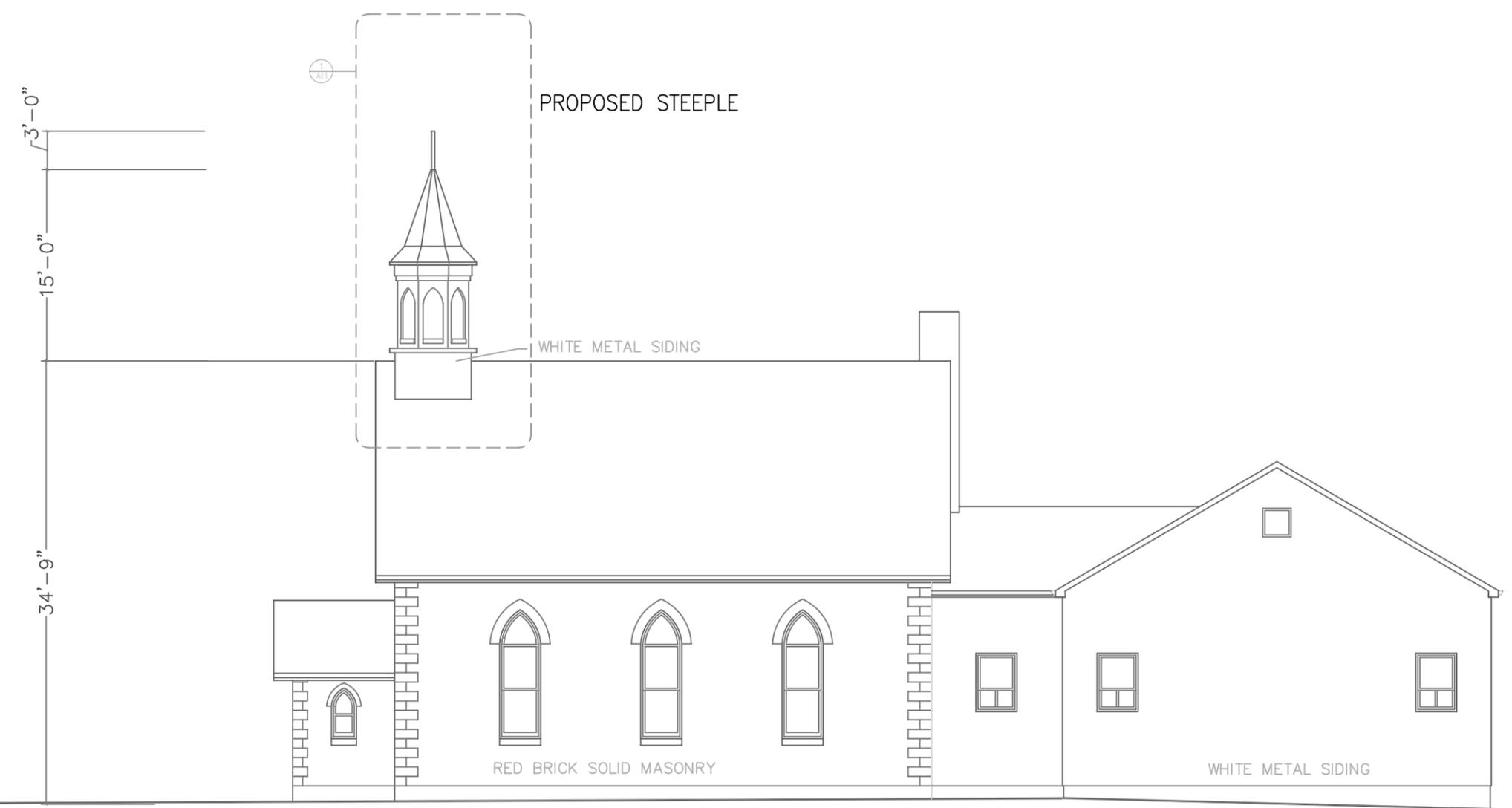
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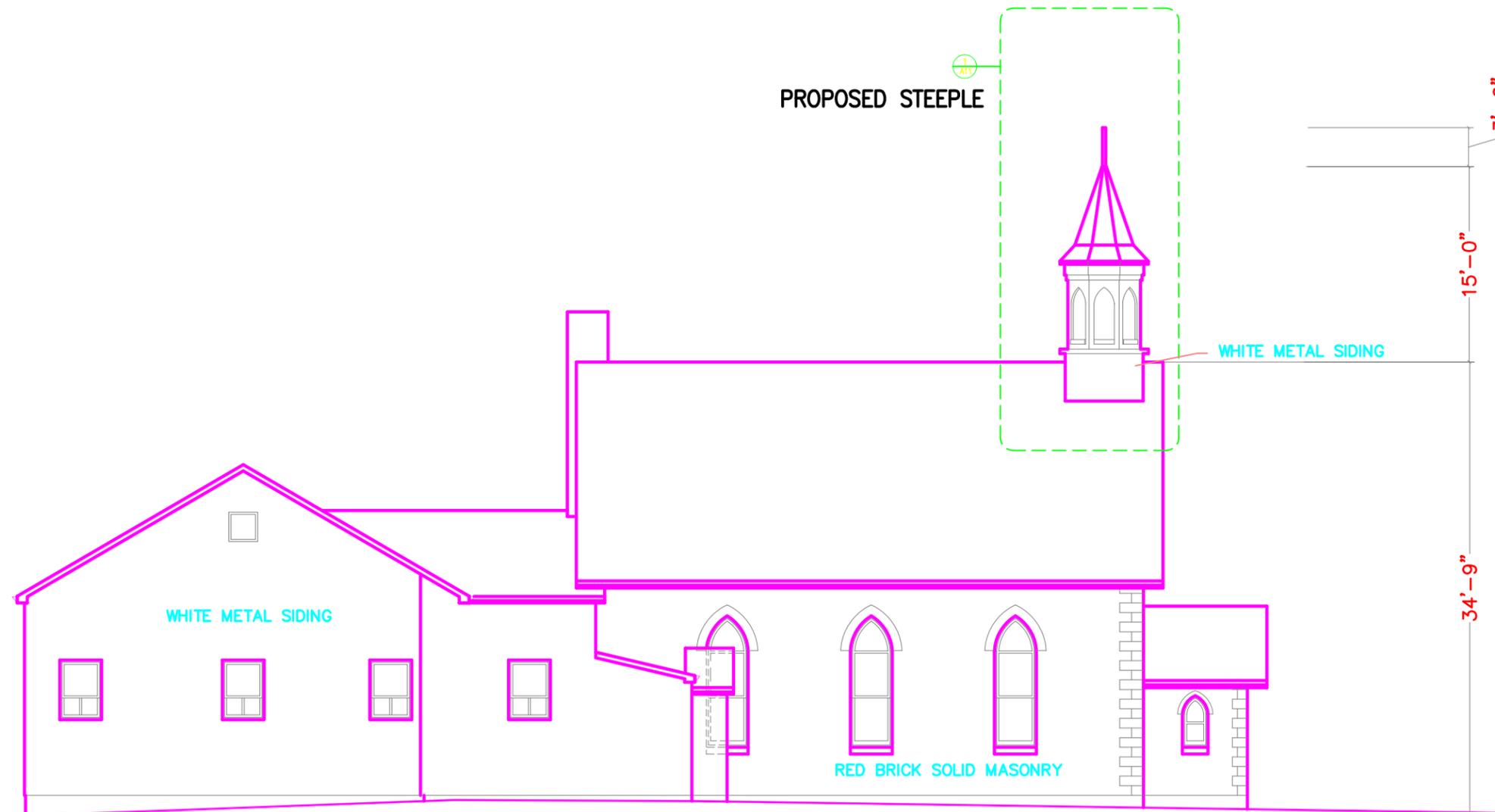
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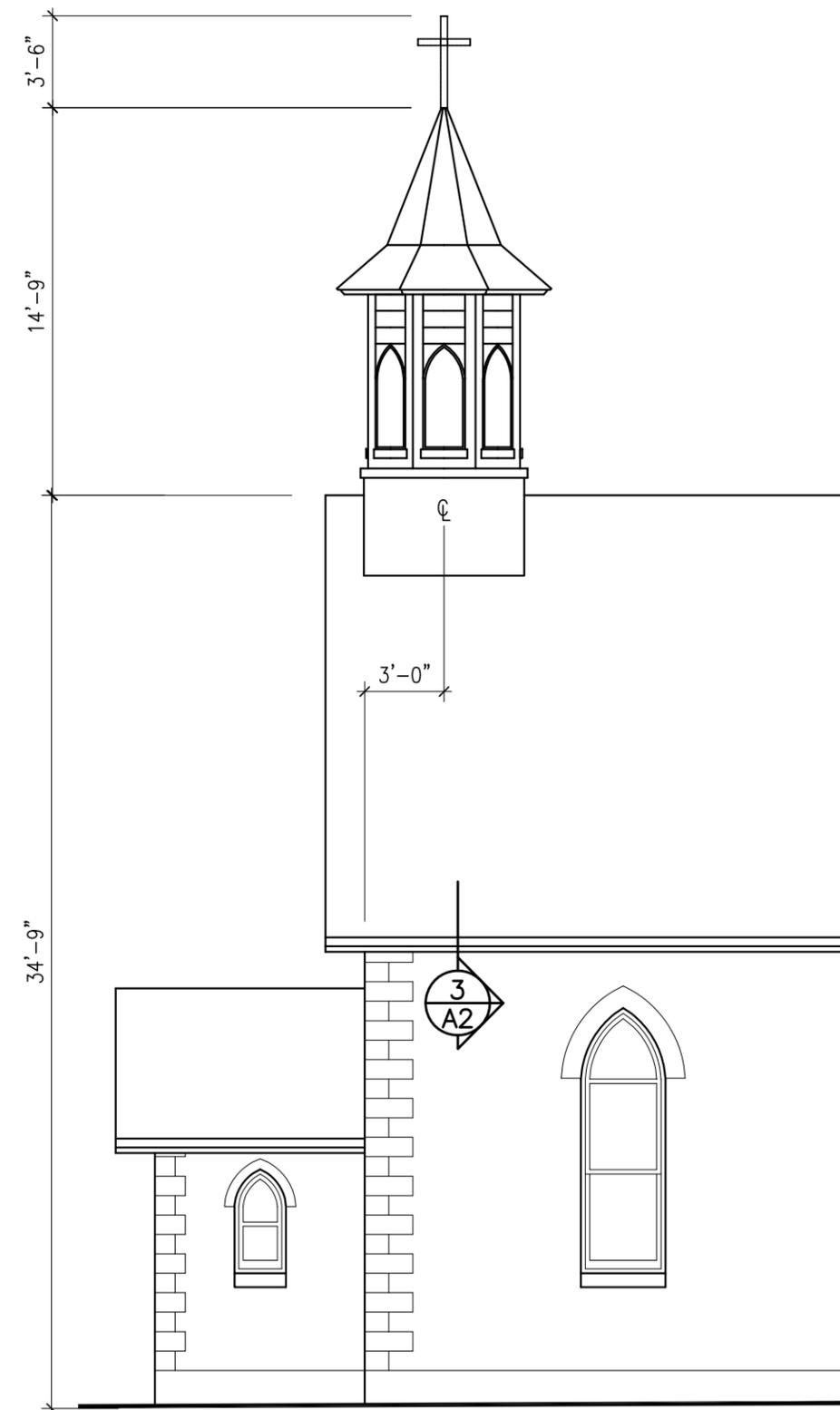
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1 EAST ELEVATION
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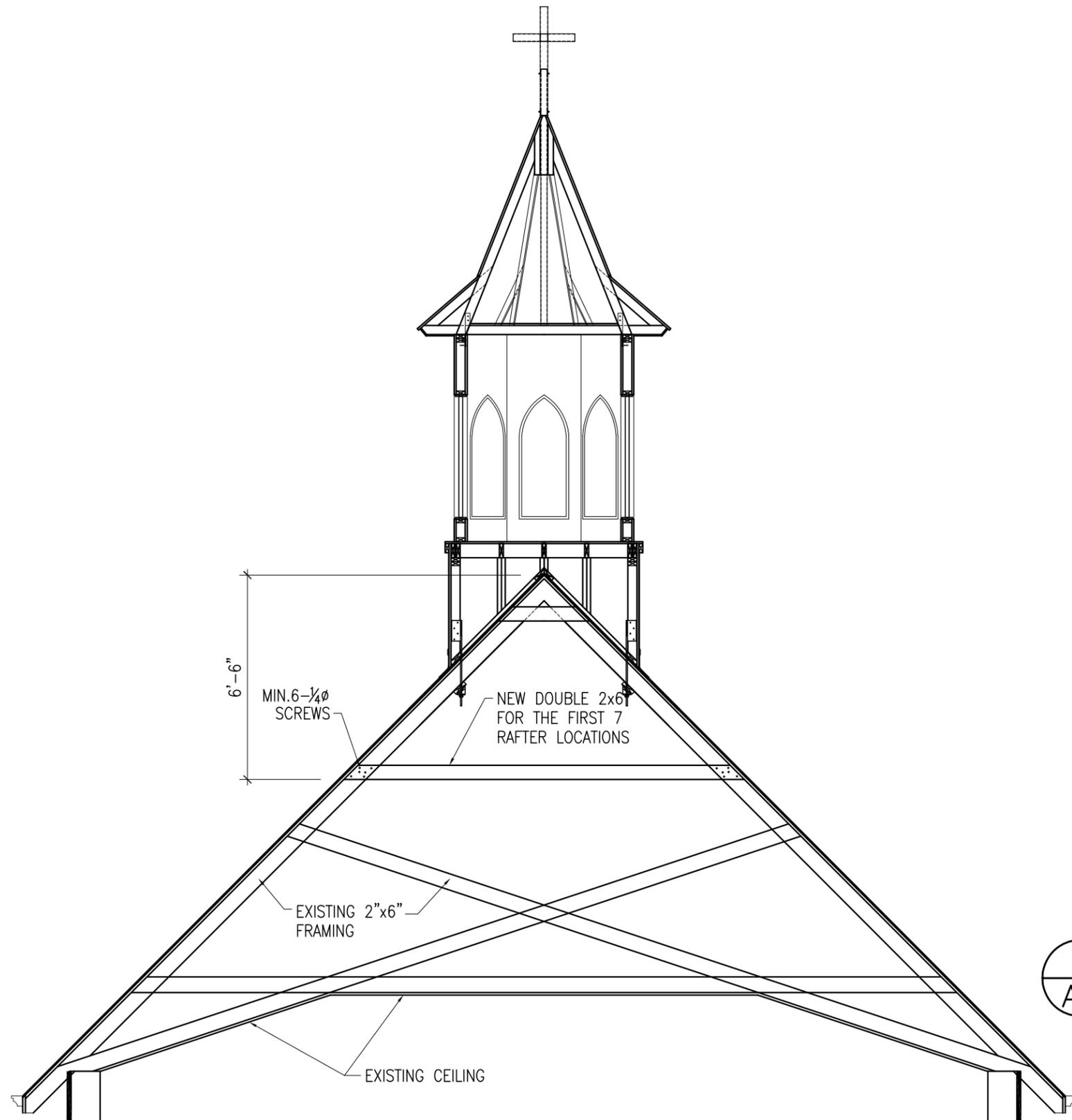
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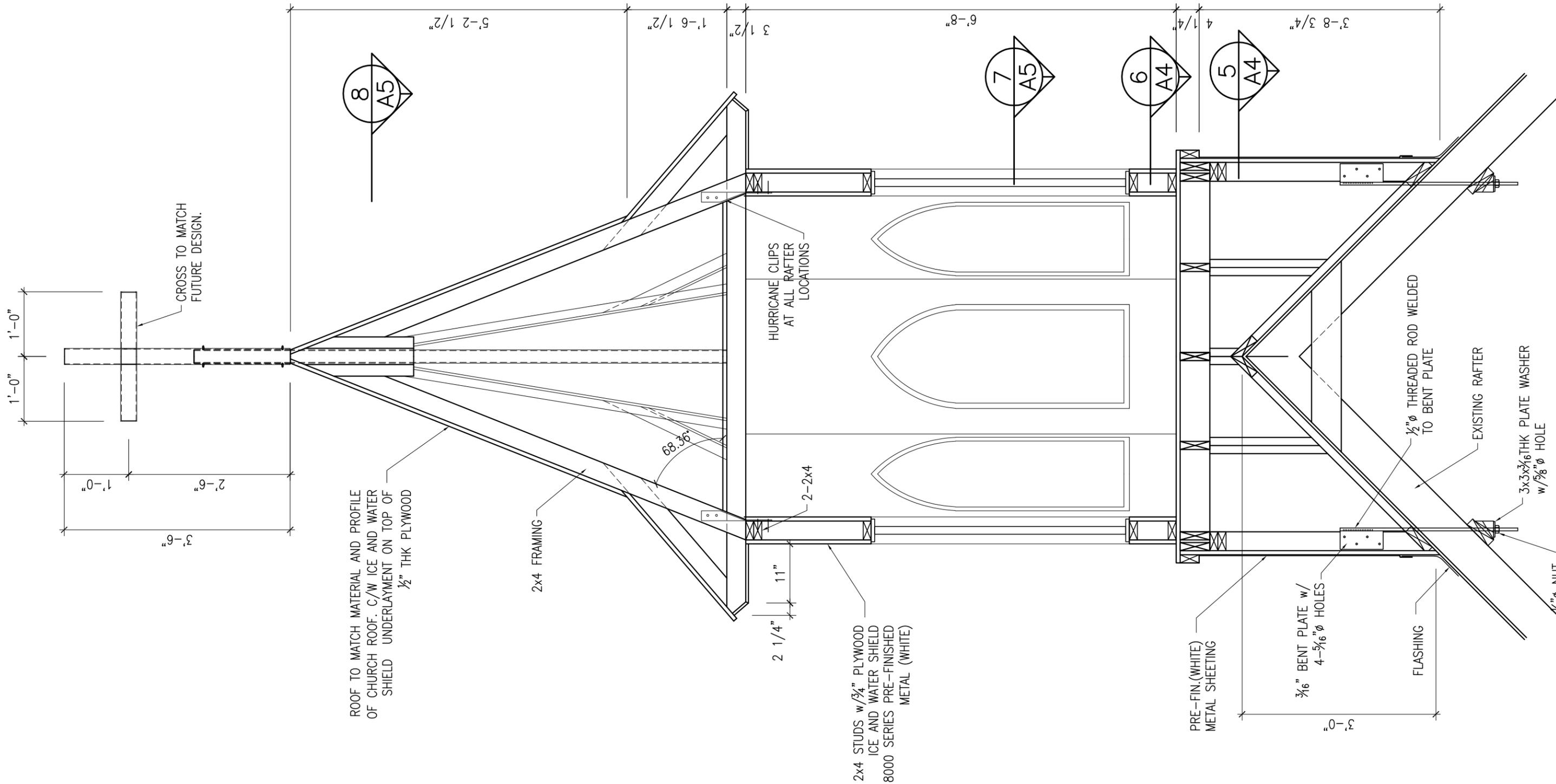


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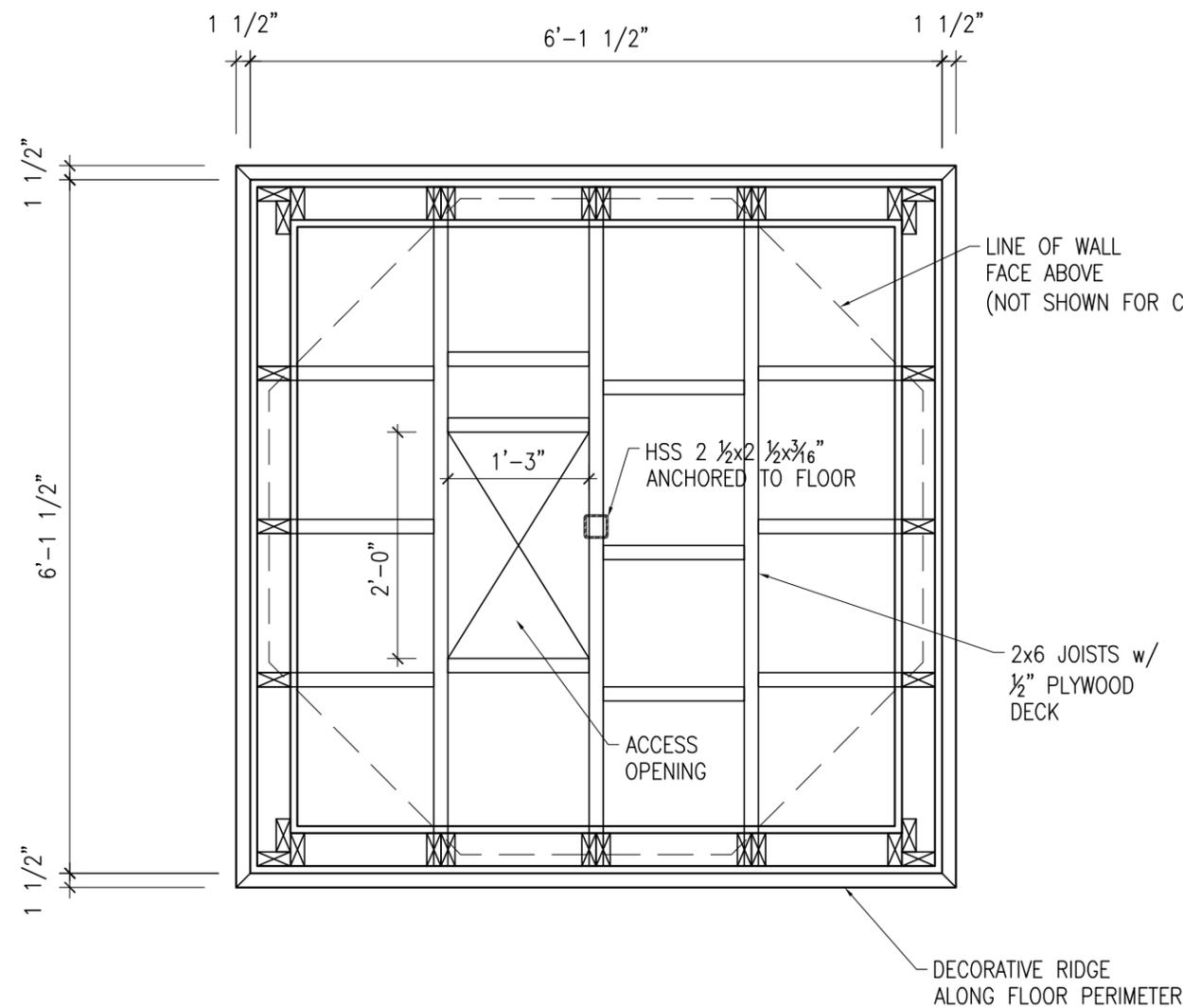


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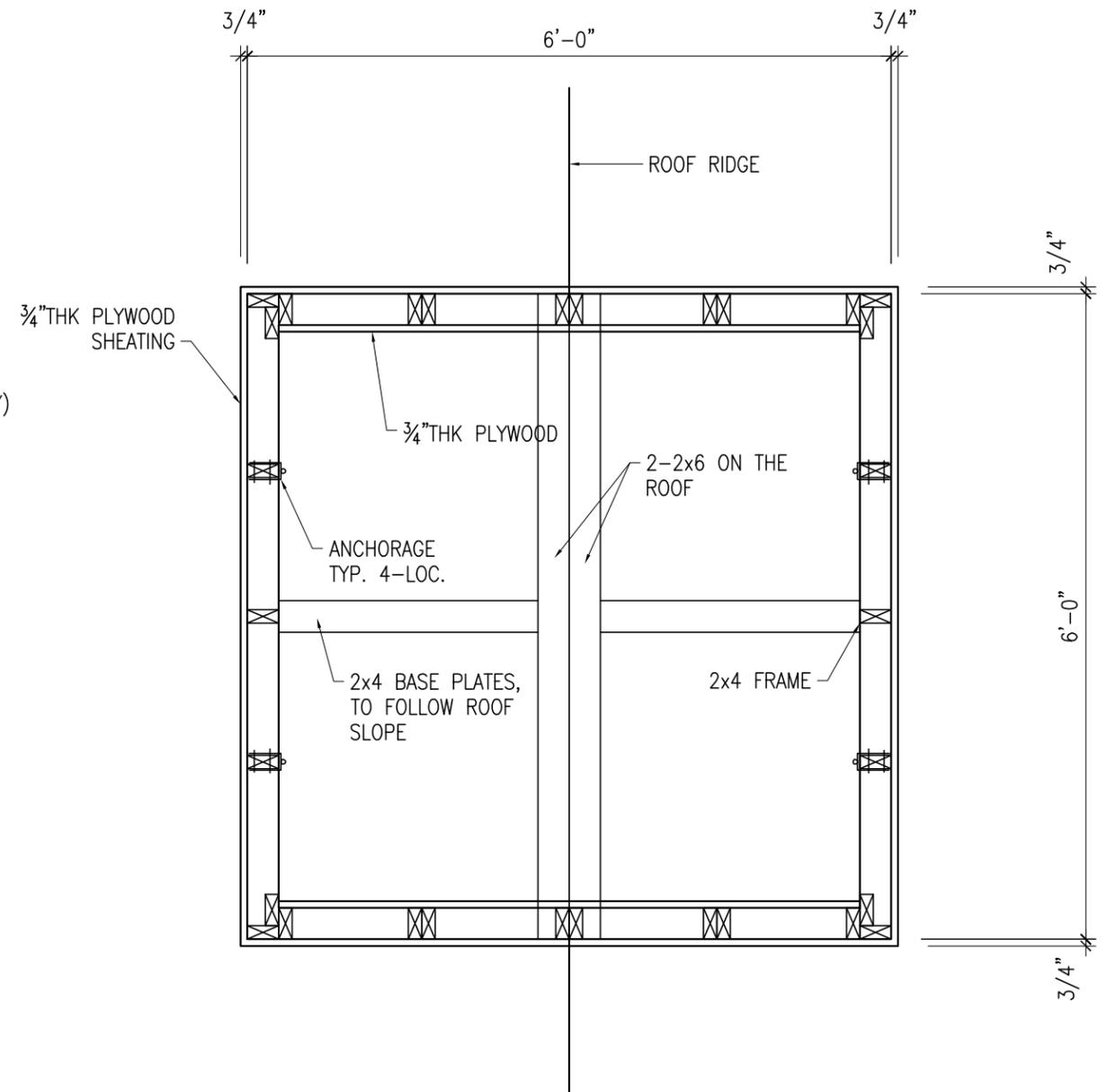
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6 FLOOR PLAN
A4



5 STEEPLE BASE FRAMING PLAN
A4

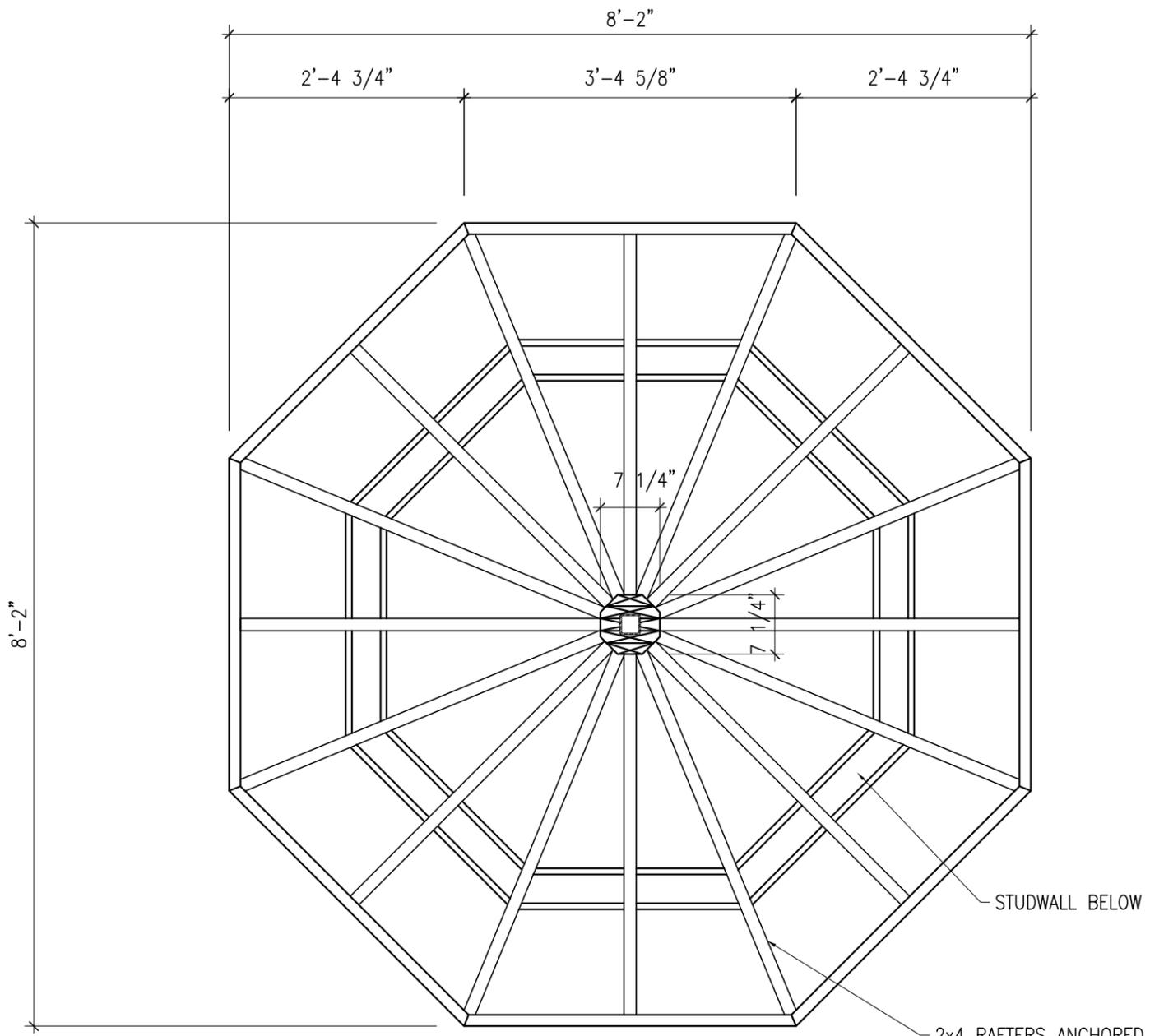


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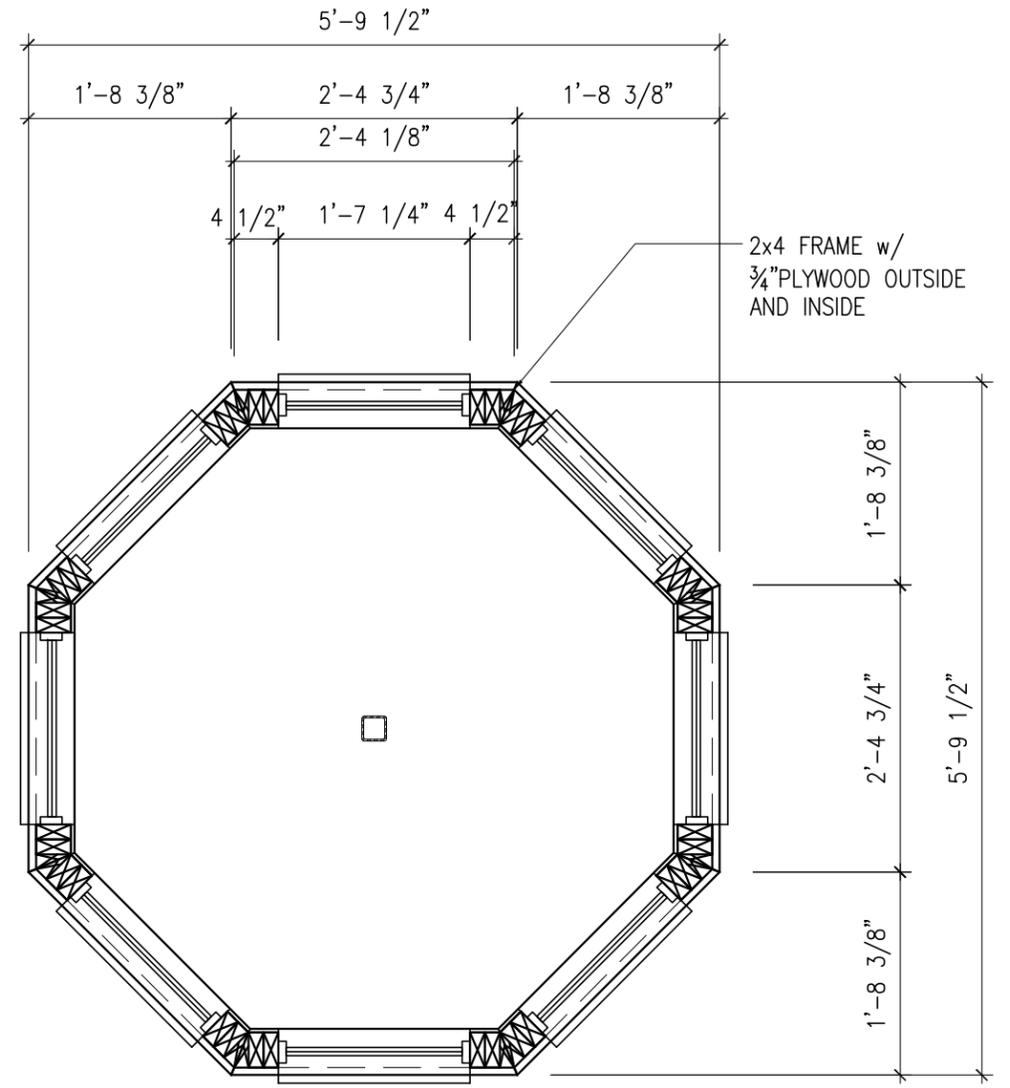
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8 STEELPE ROOF PLAN
A5



7 PLAN AT WINDOW LEVEL
A5



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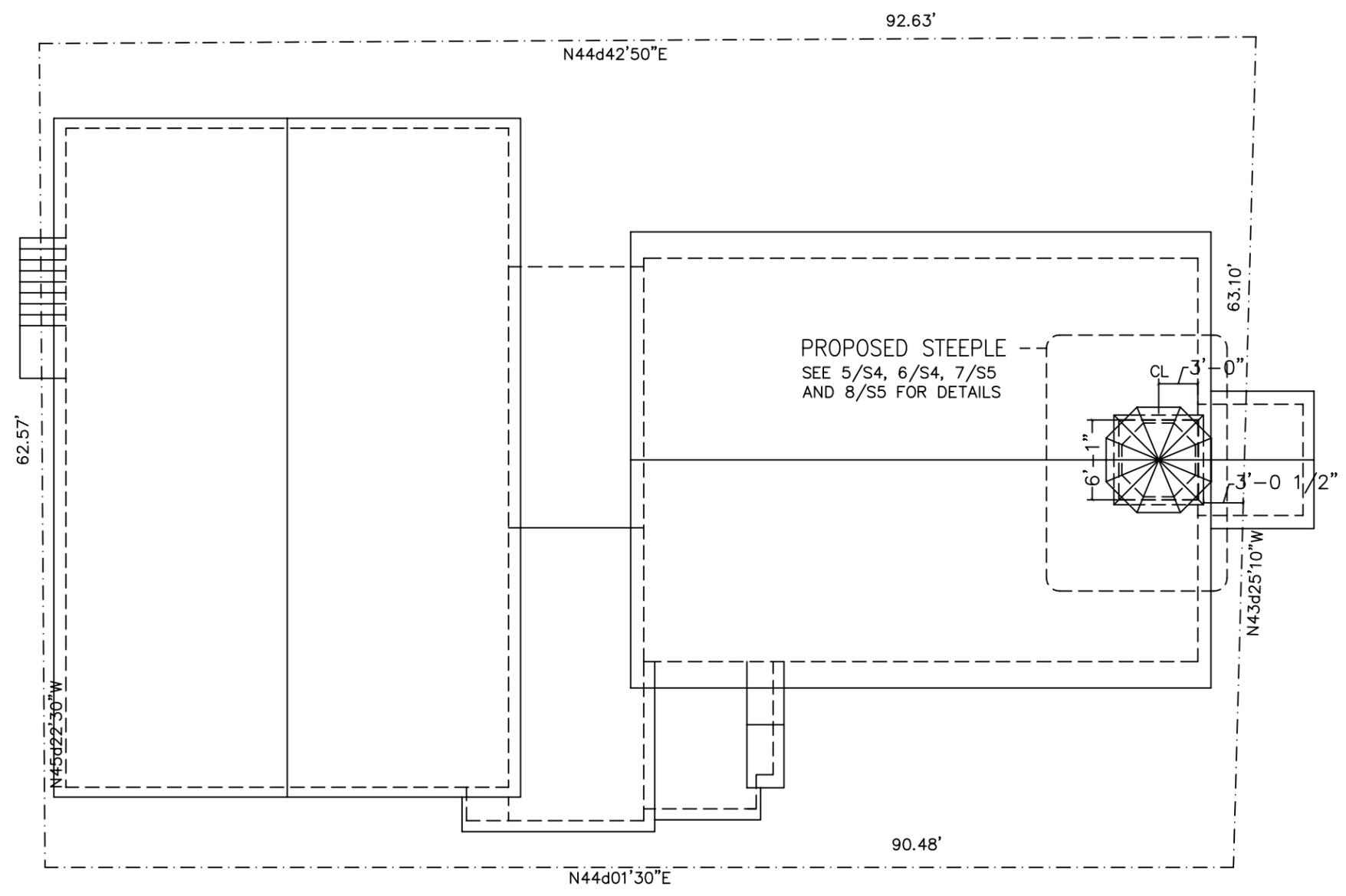
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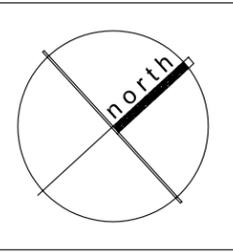
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DIXIE ROAD

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DATE: AUGUST 6, 1987



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TELEPHONE: 416-576-7226

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REV	DESCRIPTION	DATE
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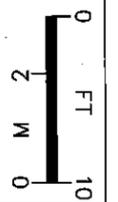
1	ISSUED FOR HR	11/03/29
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PROJECT

ST. ANDREW
ROMANIAN
CHURCH
4030 DIXIE ROAD
MISSISSAUGA, ONTARIO

SEAL

GRAPHIC SCALE

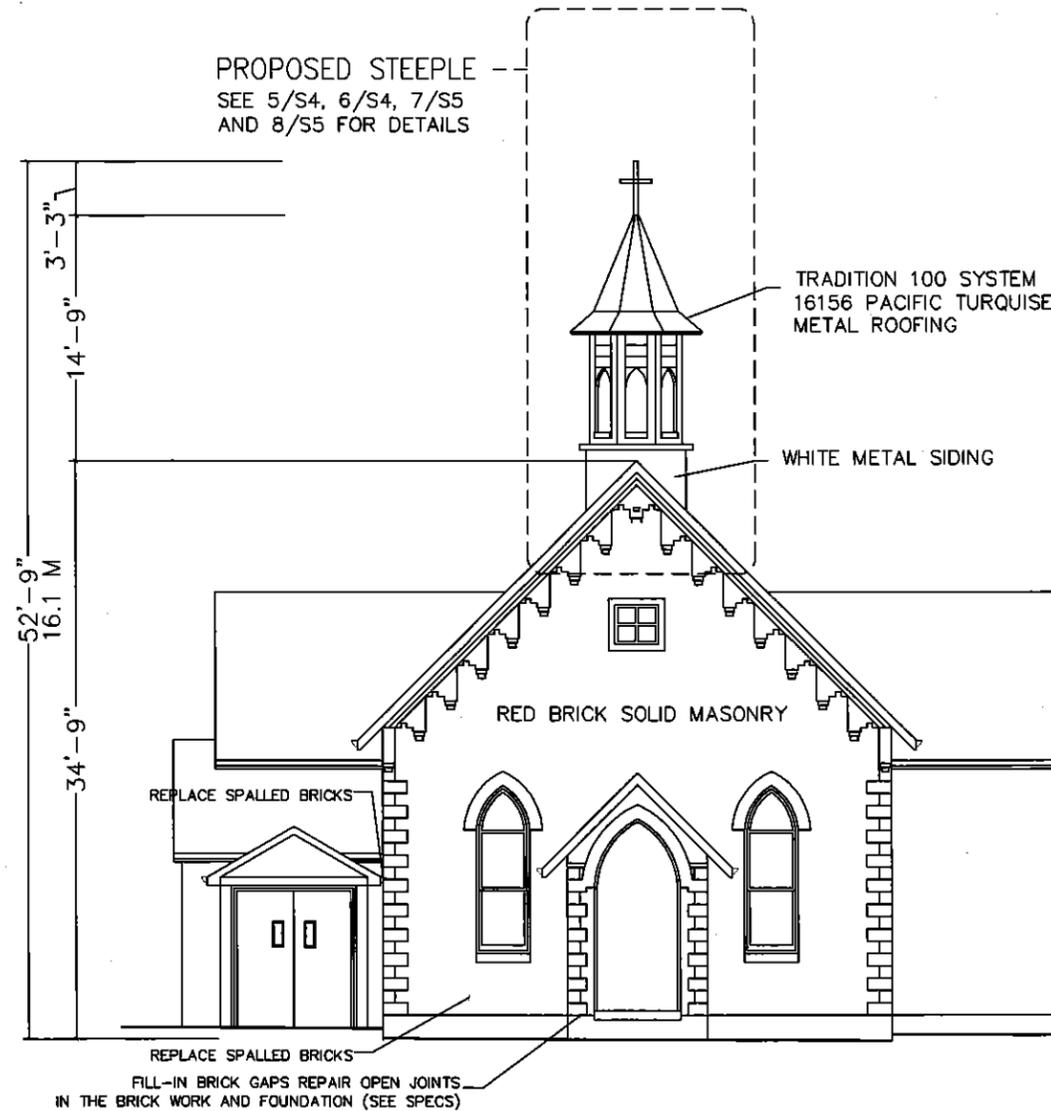
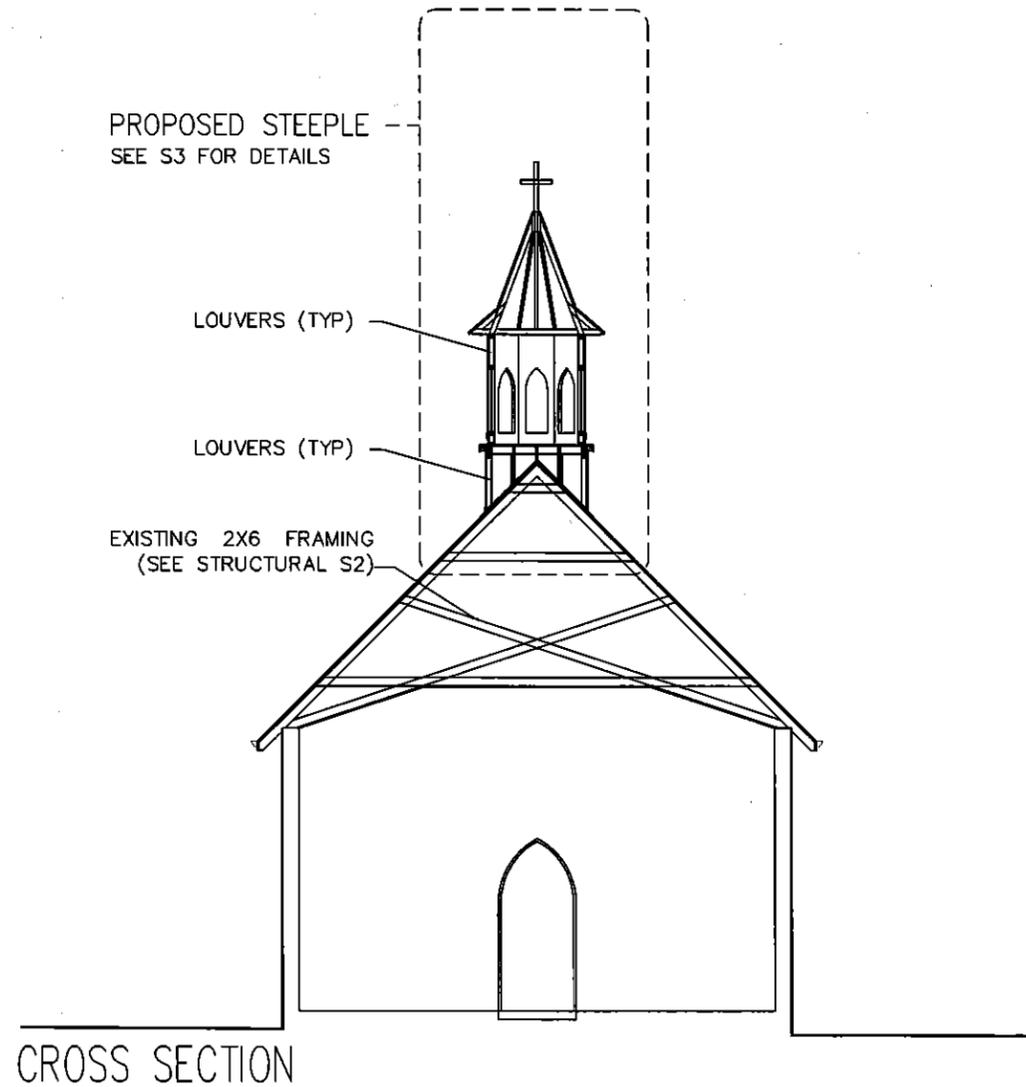


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DRAWING

SECTION
ELEVATION

FILE NO. 11-010	DRAWN dv
DATE APR 03, 2011	SCALE N T S
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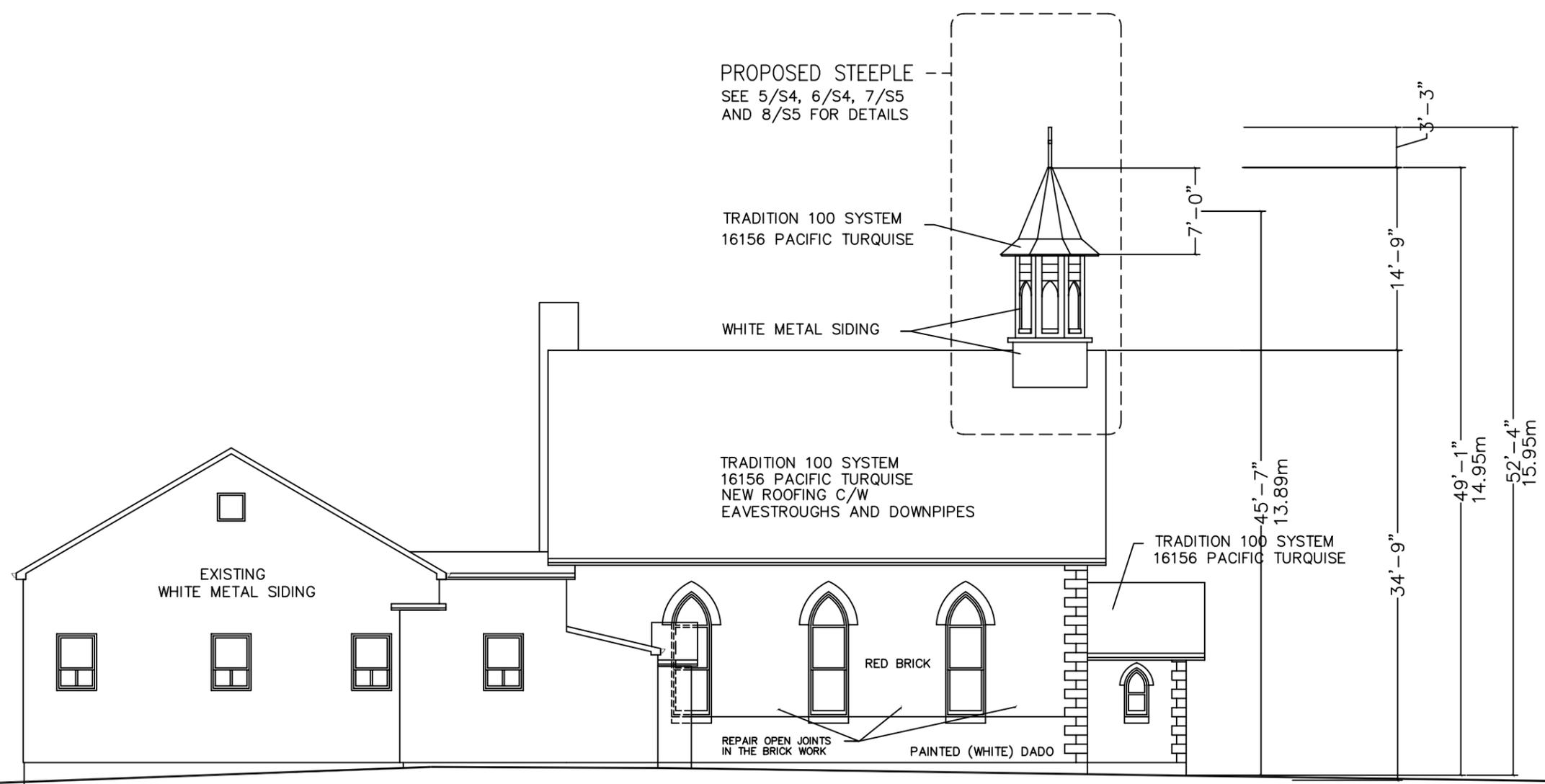
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DRAWING

SOUTH
ELEVATION

FILE NO. 11-010	DRAWN dv
DATE APR 03, 2011	SCALE N T S
DRAWING NO. A-3	REV R1



PROPOSED STEEPLE
SEE 5/S4, 6/S4, 7/S5
AND 8/S5 FOR DETAILS

TRADITION 100 SYSTEM
16156 PACIFIC TURQUISE

WHITE METAL SIDING

TRADITION 100 SYSTEM
16156 PACIFIC TURQUISE
NEW ROOFING C/W
EAVESTROUGHS AND DOWNPIPES

TRADITION 100 SYSTEM
16156 PACIFIC TURQUISE

EXISTING
WHITE METAL SIDING

RED BRICK

REPAIR OPEN JOINTS
IN THE BRICK WORK

PAINTED (WHITE) DADO

GENERAL NOTE:
FOR PAINTING AND FINISHINGS
WORK CLOSELY WITH TRADE REP
FOR ADEQUATE ADJUSTMENTS
AND COMPATIBILITY WITH REGARD TO
CHANGE OF SUBSTRATE

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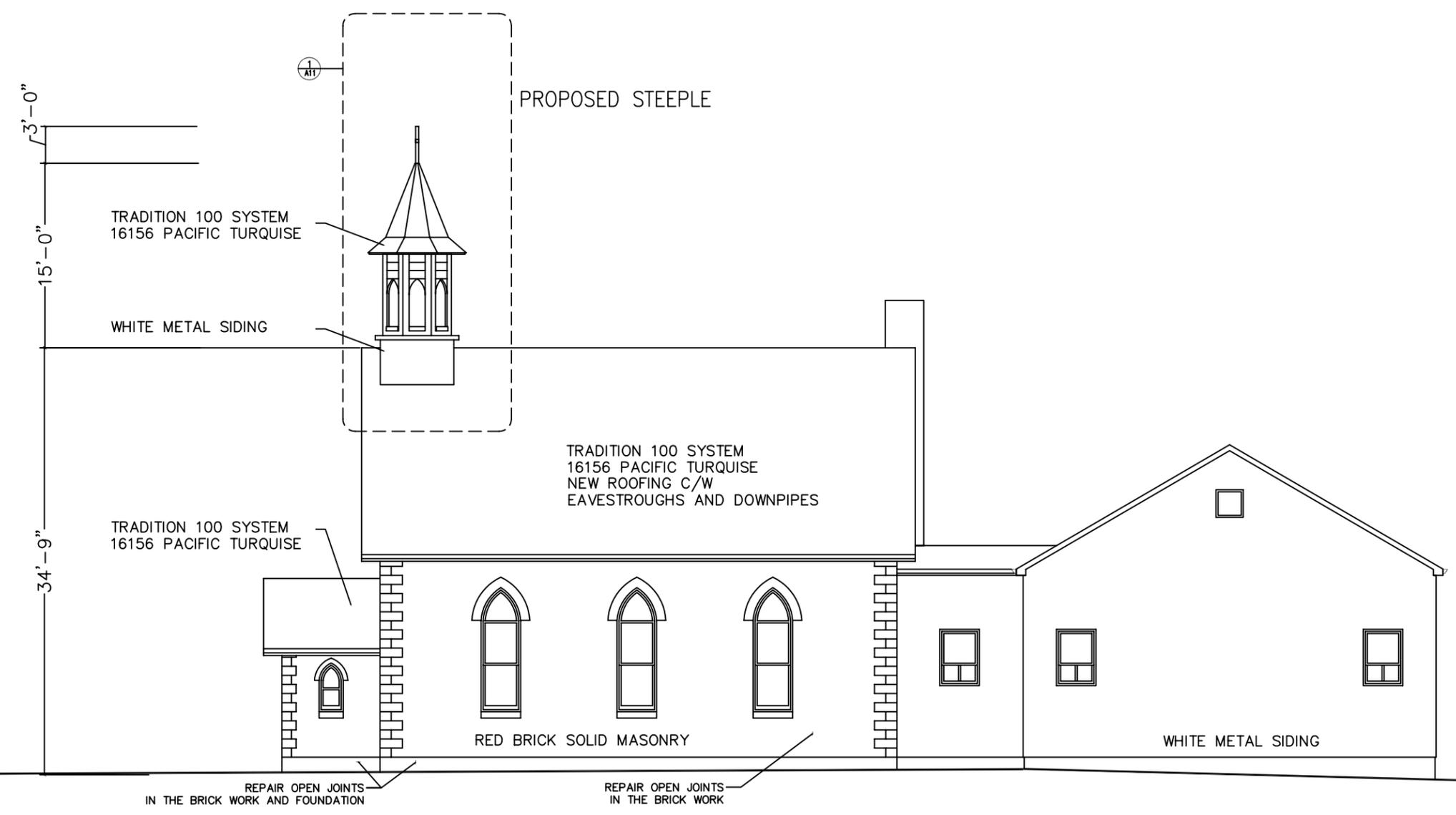
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DRAWING

NORTH
ELEVATION

FILE NO.	DRAWN
11-010	dv
DATE	SCALE
APR 03, 2011	N T S
DRAWING NO.	REV
A-4	R1



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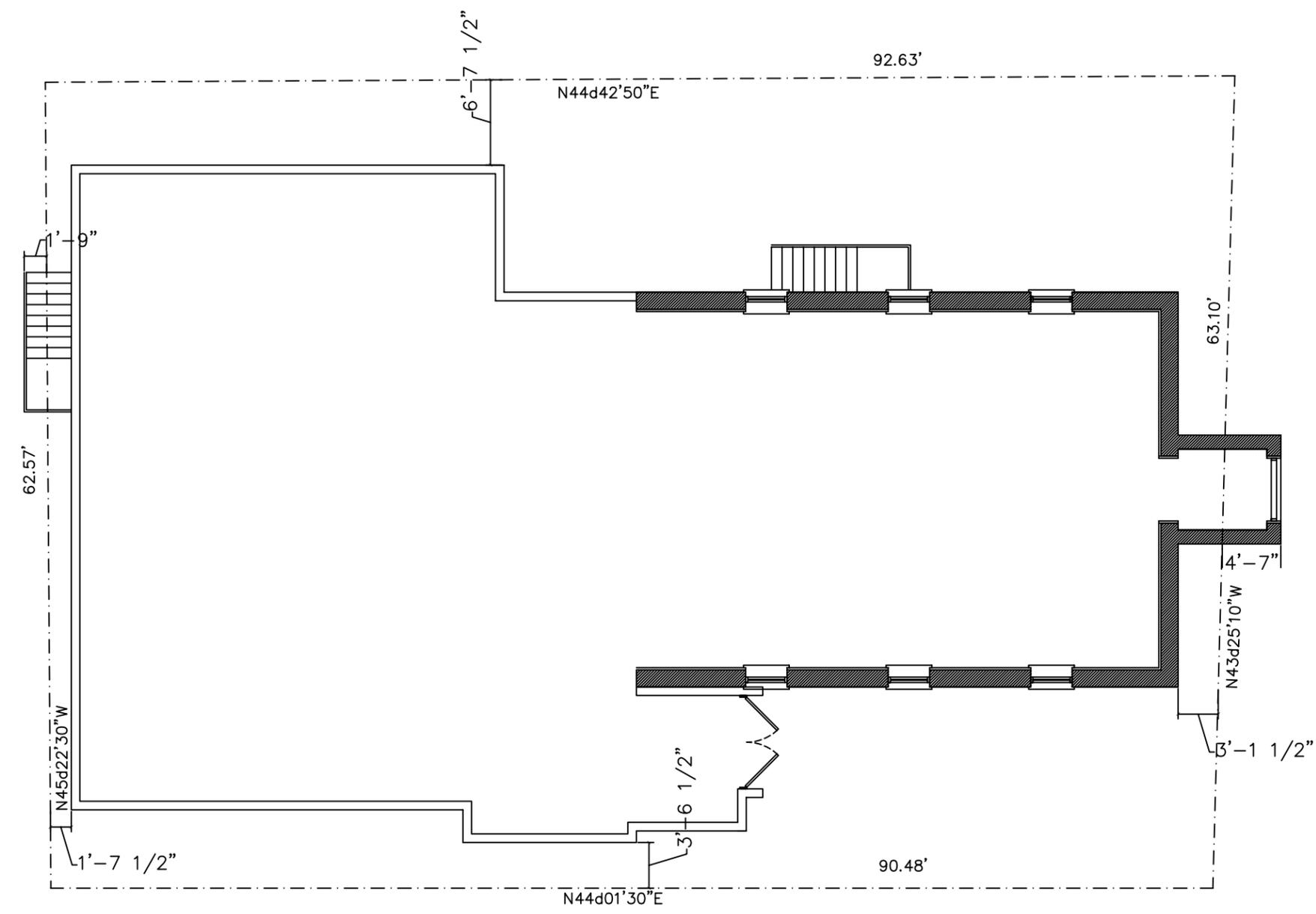
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DRAWING

FLOOR PLAN

FILE NO. 11-010	DRAWN dv
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EXISTING MAIN FLOOR PLAN

