

HERITAGE CONSERVATION DISTRICT PLAN

CULTURE DIVISION

PUBLIC ART + MUSEUMS AND HERITAGE + MEADOWVALE THEATRE + FILM + GRAFTS + PROGRAMS

MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT PLAN: 2013 DRAFT





Acknowledgments

The City of Mississauga's Culture Division gratefully thanks the following individuals and organizations for their support and generous contributions to the following draft HCD Plan.

Mayor Hazel McCallion and Members of City Council

Kyle Neill, Reference Archivist, Region of Peel Archives, Peel Art Gallery Museum and Archives

Matthew Wilkinson, Researcher (Land Registry Office Abstracts, Lot and Concessions)

Heather Henderson, Archaeologist, Historic Horizon Inc.

Rosemary Wilson, Resident of Meadowvale Village

Terry Wilson, Resident of Meadowvale Village

Dorothy Kew, Local History Librarian, Canadiana Room, Mississauga Central Library

Karen Mewa-Ramcharan, GIS Analyst, Transportation and Works Business Services Division/Geomatics, City of Mississauga

Nick Moreau, Reprographics specialist, Region of Peel Archives, Peel Art Gallery Museum and Archives

Jesse DeJager, Conservation Lands Planner, Credit Valley Conservation

Paul Tripolo, Urban Ecologist, Credit Valley Conservation

Susan Burt, Director, Culture Division, City of Mississauga

Paula Wubbenhorst, Acting Senior Heritage Coordinator, Culture Division

Elaine Eigl, Heritage Coordinator, Culture Division

Mark Howard, Planner, Long Term Planning, Parks and Forestry

Sally LePage, Landscape Architect, Parks and Forestry



Lobna Thakib, Program Promotions, Culture Division

Marta McDougall, Admin Assistant, Programs, Culture Division

Celia Roberts, Family of artist Tom Roberts

Members of the Project Charter Steering Committee:

Wendy Alexander, Director, Transportation and Infrastructure Planning, Transportation and Works

Kelly Yerxa, Deputy City Solicitor, Corporate Services

John Calvert, Director, Policy Planning, Planning and Building

Laura Piette, Director, Parks and Forestry

Marilyn Ball, Director, Development and Design, Planning and Building

Meadowvale Village HCD Review Committee:

James Holmes, Chair

David Moir

Colleen Newmarch

Michael Spaziani

Terry Wilson

City of Mississauga Planning Department staff :

Angela Dietrich, Manager, City Wide Planning, Planning and Building

Marianne Cassin, Planner, Zoning By-law, Development and Design

Steven Bell, Urban Designer, Development and Design



Heritage Conservation District Plan
Meadowvale Village Heritage Conservation District Plan:
Draft 2013

Karen Crouse, Planner, Policy Planning

Eva Kliwer, Planner, Policy Planning

and

The Province of Ontario, for partial funding towards the Meadowvale Village Heritage Conservation District Plan Review.



Funded in part by the Government of Ontario. The views expressed in this publication are the views of the City of Mississauga and do not necessarily reflect those of the Province



Preamble

In 1968, the residents of Meadowvale Village began actively seeking ways to protect the Village's cultural heritage values from increasing urban development. By 1977, the City of Mississauga took the initiative to collaborate with the Meadowvale Village community to conserve and protect the Village. As a result of this collaboration, in 1980 the Meadowvale Village Heritage Conservation District (HCD) was the first Ontario Municipal Board approved heritage district of its type in Ontario. For over thirty years, the residents of Meadowvale Village have continued to support the protection and conservation of the Village character and all of its cultural heritage value. As provincial legislation concerning heritage conservation has evolved along with an increased public awareness of conservation principles, the original HCD Plan is being updated in 2013 to reflect these changes.

This new document was compiled in a collaborative process with the residents of Meadowvale Village to produce an updated and amended Heritage Conservation District Plan that will serve the community in its goal to conserve its heritage character and attributes.



Old Derry Road, Meadowvale, c. 1900 (PAMA)



MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT PLAN, 2013

TABLE OF CONTENTS

1. Introduction

- 1.1 The 1980 HCD Plan and By-law
- 1.2 Design Guidelines of 1980 and 2003
- 1.3 Changes to the Ontario Heritage Act, 2005
- 1.4 Statement of Objectives
- 1.5 Revised Heritage Conservation District Plan
- 1.6 Study Area Boundary
- 1.7 Background Studies:
 - 1.7.1 Meadowvale Village Heritage Conservation District: Property Inventory
 - 1.7.2 Cultural Heritage Assessment of Meadowvale Village and Area
 - 1.7.3 Stage 1 Archaeological Report
- 1.8 Community Engagement
- 1.9 Study Area By-Law and Limitations to Development
- 1.10 The Meadowvale Village Heritage Conservation District Plan

2. Heritage Legislation and Principles

- 2.1 Ontario Heritage Act
- 2.2 Provincial Policy Statement
- 2.3 Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada
- 2.4 Ontario Ministry of Culture, Tourism and Sport – Ontario Heritage Tool Kit
- 2.5 Ontario Heritage Trust – Resources

3. City of Mississauga Policy

- 3.1 Official Plan
- 3.2 Zoning



- 3.3 Culture Master Plan 2009
- 3.4 Strategic Plan
- 3.5 Tree Permit/ Private Tree Protection By-law
- 3.6 Conflict with Regulations and Authority

4. Heritage Character Statement and Heritage Attributes

- 4.1 Statement of Cultural Heritage Value or Interest
- 4.2 Description of Heritage Attributes

5. Implementation of the HCD Plan

- 5.1 Heritage Property Permits
- 5.2 Heritage Property Permit Process
 - 5.2.1 Application Process
 - 5.2.2 Delegated Authority
 - 5.2.3 Building Permits
 - 5.2.4 Site Plan Process
 - 5.2.5 Appeal Process
- 5.3 Meadowvale Village Heritage Conservation District Review Committee
- 5.4 Enforcement, Ontario Heritage Act and Building Standards By-law
- 5.5 HCD Incentives

6. Design Guidelines and Policies

- 6.1 Introduction
- 6.2 Architecture and Built Form
- 6.3 Alterations to Property and Extant Structures
 - 6.3.1 Roofing
 - 6.3.2 Solar Panels
 - 6.3.3 Chimneys
 - 6.3.4 Exterior Cladding
 - 6.3.5 Windows
 - 6.3.6 Skylights



- 6.3.7 Storm Windows
- 6.3.8 Shutters
- 6.3.9 Doors
- 6.3.10 Architectural Detail
- 6.3.11 Porches and Verandahs
- 6.3.12 Dormers
- 6.3.13 Foundations
- 6.3.14 Outbuildings (Garages and Garden Sheds)
- 6.3.15 Mechanical and Utilities

- 6.4 Spatial Relationships – Public Realm
 - 6.4.1 CVC Lands and Meadowvale Conservation Area
 - 6.4.2 Old Ridge Park
 - 6.4.3 Streetscapes
 - 6.4.3.1 Views and Vistas
 - 6.4.3.2 Roads
 - 6.4.3.3 Topography
 - 6.4.3.4 Signage
 - 6.4.3.5 Street Lighting
 - 6.4.3.6 Parking
 - 6.4.4 Structures
 - 6.4.5 Trees within the Public Realm

- 6.5 Private Realm
 - 6.5.1 Landscaping
 - 6.5.2 Planting
 - 6.5.3 Driveways
 - 6.5.4 Fences
 - 6.5.5 Pools and Water Features
 - 6.5.6 Topography



6.6 Activities/Alterations Exempt from Review

6.7 Additions and New Construction

6.7.1 Additions

6.7.2 New Construction

6.8 Adjacent Property to the HCD

7. Recommendations

7.1 Conservation of Mill Ruins

7.2 Interpretive Opportunities

7.3 Meadowvale Village HCD Review Committee

7.4 Old Derry Road Study

7.5 Heritage Conservation District Plan Review

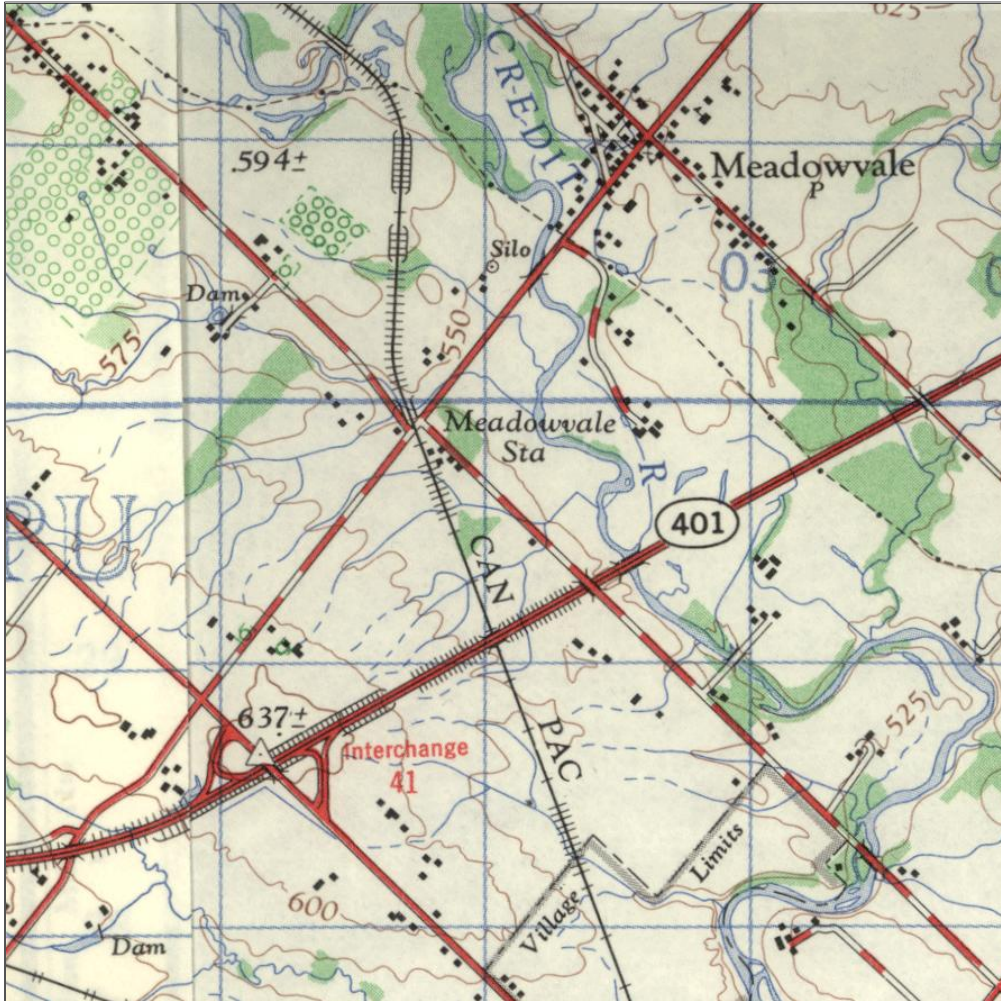
Glossary

List of Figures and Illustrations

Suggested Readings

Appendix A - Meadowvale Village Heritage Conservation District Plan: Property Inventory, 2013

Appendix B - Meadowvale Village Heritage Conservation District Plan: Cultural Heritage Assessment of Meadowvale Village and Area, 2013



Meadowvale Village and area, 1964 (Old Derry Road and Second Line West)

National Topographic Systems Maps 30 M/12



1. Introduction

A heritage conservation district is a cultural landscape with a defined geographical area, cohesive character comprising historic associations, road and lotting pattern, natural features, building types and styles, setting, open spaces and spatial relationships. A community may recognize the distinct heritage value of a heritage conservation district (HCD) by seeking its protection and conservation through the Ontario Heritage Act. Once a heritage conservation district has been established under by-law, all properties within an HCD are under the same heritage designation.

1.1 Meadowvale Village Heritage Conservation District Plan, By-Law 453-80

In the late 1960s the residents of Meadowvale, a small community located in the north end of the Town of Mississauga, recognized the heritage value of their village and sought ways to protect it from unsympathetic urban development. The residents formed a Residents' Association and began the process of seeking methods of heritage conservation. They began to refer to their community as Meadowvale Village, to distinguish it from the new and emerging 1970s development of Meadowvale further to the west.

In March 1975, the Ontario Heritage Act was adopted as the first province wide legislation to protect and preserve cultural heritage property. The Act provided municipalities with the authority to create heritage conservation districts. Meadowvale Village became Ontario's first Ontario Municipal Board (OMB) approved heritage conservation district under City of Mississauga municipal By-law 453-80.

The Meadowvale Village Heritage Conservation District Plan was created without the benefit of models or examples to build upon. Heritage conservation districts were new to Ontario, but existed in other regions of Canada since the early 1970s¹. For a number of years the Meadowvale Village HCD Plan

¹ The Gastown/Chinatown Heritage Conservation Area, located in the City of Vancouver's Downtown East side, was designated by the Province of British Columbia in 1971.



became a model for other Ontario municipalities to follow. Since that time the number of heritage conservation districts in Ontario has grown to 107 at the time of this report.

1.2 Design Guidelines of 1980 and 2003

The 1980 HCD Plan had very limited heritage conservation principles and guidelines for development within the HCD. Since this time, heritage conservation principles have developed and expanded in Canada thanks to a number of international charters which address the field of heritage conservation. In 2002, the Village residents called upon the City of Mississauga to improve and update the Design Guidelines that existed within the 1980 HCD Plan. A consultant was hired to amend the Design Guidelines. As part of this process, residents of the HCD were consulted through two community meetings. As a result of these meetings, the *Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District*, was adopted by Mississauga City Council in 2003. This 22 page document provided the Village residents, and perspective buyers into the Village, with an understanding of heritage conservation principles to guide change within the HCD.

1.3 Changes to the Ontario Heritage Act, 2005

In 2005, Amendments were made to the Ontario Heritage Act which allowed for better protection of heritage conservation districts throughout the province. In part, these changes outlined required statements which must be incorporated into an HCD Plan. The Act states:

- *A statement of the objectives to be achieved in designating the area as a heritage conservation district;*
- *A statement explaining the cultural heritage value or interest of the heritage conservation district;*
- *A description of the heritage attributes of the heritage conservation district and of properties in the district;*
- *Policy statements, guidelines and procedures for achieving the stated objectives and managing change in the heritage conservation district; and*
- *A description of the alterations or classes of alterations that are minor in nature and that the owner of property in the heritage conservation district may carry out or permit to be carried*



out on any part of the property, other than the interior of any structure or building on the property, without obtaining a permit under section 42.

1.4 Statement of Objectives

Based on the changes to the Act in 2005, and because the Meadowvale Village HCD Plan is over 30 years old, a revision is required to bring the Plan up to current provincial heritage legislation. There are several objectives to be achieved in revising the HCD Plan and in extending the designation boundary. The objectives are:

- a) To ascertain the existing cultural heritage attributes of the HCD in terms of cultural, built, natural and archaeological features;
- b) To identify the cultural heritage attributes and determine whether the HCD boundary should be expanded to incorporate all the lands included in the Bristow Survey of 1856, which have always been intricately linked to the social and economic development of Meadowvale Village;
- c) To strengthen the current Design Guidelines and Policies. These Guidelines and Policies reflect the current national standards of heritage conservation best practices and will allow the HCD to retain and preserve its identified heritage attributes. Policies, as opposed to guidelines, provide a regulatory framework for managing change;
- d) To provide a means for managing change in the District for generations to come.



1.5 Revised Heritage Conservation District Plan

The comprehensive review of the Meadowvale Village Heritage Conservation District Plan has several enhanced objectives to bring it in line with current heritage legislation and to reflect modern Canadian and international heritage conservation principles.

An in-depth study of the prehistory and history of Meadowvale Village was not included in the 1980 HCD Plan. The revised Plan includes a Cultural Heritage Assessment of Meadowvale Village and Area. This is a comprehensive study of the prehistory, history, natural heritage and the cultural and commercial development of Meadowvale Village.

The HCD Plan also outlines the legislative role of the Ontario Heritage Act, and municipal policies, which manage heritage conservation decisions. The amendments to the Act in 2005 were significant to heritage conservation districts. The effects of the amendments have been addressed in the HCD Plan.

The current review amends the 2003 Design Guidelines into a more comprehensive cultural heritage conservation tool by taking a holistic approach to include natural heritage and cultural heritage landscape attributes. An HCD is not meant to be static or represent a specific period in time but allow for complementary managed change to the district's heritage character.

1.6 Study Area Boundary

At the time the 1980 Plan was completed, Meadowvale Village was a small, rural community of several nineteenth and early twentieth century dwellings surrounded by agricultural lands. It was difficult then

Objectives of the enhanced HCD Plan:

- *Cultural Heritage Assessment of Meadowvale Village and Area*

- *Legislation and Policy*

- *Heritage Character Statement and Heritage Attributes*

- *Implementation*

- *Design Guidelines*

- *Property Inventory (Statement of Significance and Heritage Attributes for each property)*



to predict how those agricultural lands may develop over time, so the boundary for the HCD was placed close to the village core. Thirty years later, the context of the HCD has changed dramatically. Residential subdivision development has encroached on the Village, yet left the remnants of a nineteenth century community highly visible.

Early research into the HCD review determined that the boundary of the HCD should be considered for possible expansion to the northwest and south of the current boundary. The area to the northwest of the Village, known as the Meadowvale Conservation Area, is a culturally significant area to the development of the Village. This area was included in the Bristow Survey of 1856. The area was surveyed into twenty-two separate lots, likely to be used as small farm lots due to their proximity to the Credit River and because they were larger than the town lots. It was on these lands that the mills and workers' houses once stood and later development saw the creation of Willow Lake, minor wheat farming and the associated recreational area. All of these activities have been lost. Due to an economic downturn, partly because the Credit Valley Railway chose Streetsville instead of Meadowvale as a major stop along the railway, the sale and development of these lots did not happen as planned. The lands are now in the ownership of Credit Valley Conservation. The transition of these lands to what is now a natural heritage area contributes a rich and diverse history to the Village and therefore worthy of protection within the boundary of the heritage conservation district.

To the south of the Village is Old Ridge Park. The history of these lands relates to the earlier agricultural background of the Village. As recent as the 1970s, agricultural buildings stood on this site which is now a public park. Because of the history associated with these lands, and the significance of the ridge topographical feature as a local landmark, it was proposed that the HCD boundary be expanded to include Old Ridge Park.

In 1980 when the boundary was established for the Meadowvale Village Heritage Conservation District, the property to the east side of the Village, at 929 Old Derry Road, known locally as the Gooderham Mansion, was of a different configuration than exists today. The property had an extended arm to the north leading to a barn, which also had direct access from Second Line West. As a result of the planning and development of the Monarch subdivision, the barn was removed and the lane leading from the former Gooderham Mansion was closed. The unusual landlocked property was then divided and sold to the property owners fronting onto Gaslamp Walk. As a result, the properties at 7050, 7056, 7062, 7068,



7074 and 7080 Gaslamp Walk, each have a small portion of their rear property, acquired from the former Gooderham estate, within the Meadowvale Village HCD boundary. It is proposed that this boundary be moved to the rear of these lots, thereby removing the HCD designation from these specific lots on Gaslamp Walk.

Through the HCD Plan review process, the Meadowvale Community Association requested that the study area be amended to include seven properties along Second Line West, south from Old Derry Road and the former Gooderham property at the north end of Second Line West. These property owners were notified of the study in March 2013. Research was conducted on each of the proposed properties to determine whether the recommendation to add these properties to the HCD was justified.

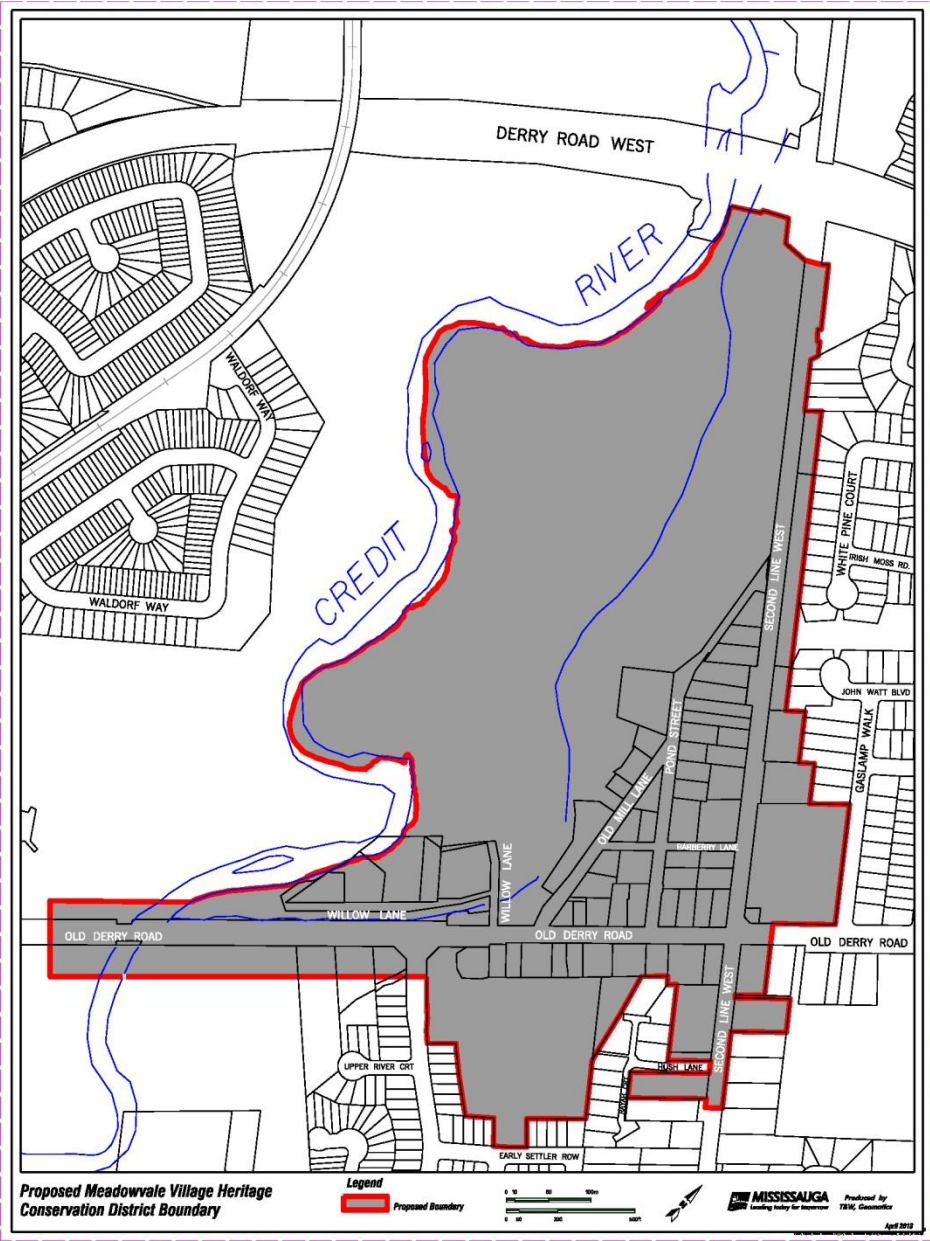
It has been determined that two of these properties merit inclusion into the expanded HCD boundary, based on their small dwellings on a large lot pattern, which is reflective of most of the properties within Meadowvale Village. These two properties located at 6940 Second Line West and 6985 Second Line West support the overall heritage character statement of the HCD and are, therefore, entry points into the HCD and help define the southern boundary along Second Line West. These two properties are.

From 7079 Second Line West north to the termination of this road, the new proposed HCD boundary will include the east side of the roadway. This roadside area has retained its rural character with a soft shoulder and naturalised areas.

The following map details the proposed new HCD boundary:



Heritage Conservation District Plan
Meadowvale Village Heritage Conservation District Plan:
Draft 2013





Heritage Conservation District Plan
Meadowvale Village Heritage Conservation District Plan:
Draft 2013



*Meadowvale Village Heritage Conservation District Study Area map
as per By-law 0238-2012.*



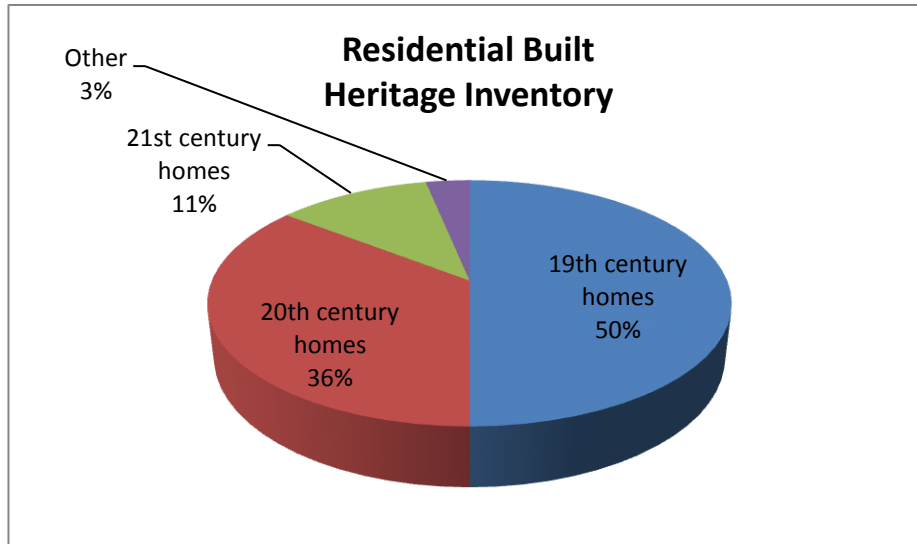
1.7 Background Studies

Three background studies were completed as part of the comprehensive review for a revised HCD Plan. Appendix A, “Meadowvale Village HCD: Property Inventory”, is part of this Plan and integral to identifying and describing the heritage attributes of the HCD and each of its properties. Appendix B, “Cultural Heritage Assessment of Meadowvale Village and Area”, is also part of this Plan providing the background and understanding of the prehistory and development of Meadowvale over time. The third study was a Stage I Archaeological Assessment of the study area boundary.

1.7.1 Meadowvale Village HCD: Property Inventory

Appendix A, the *Property Inventory* is a significant document which identifies the background, history, current description, statement of significance and heritage attributes for each property within the HCD. The document provides the property owner with an overview of the cultural

heritage significance of the property and specific heritage attributes that are to be conserved. This information is essential in the preparation and planning for alterations throughout the HCD and is therefore incorporated into the HCD Plan. You will notice in Section 6, *Design Guidelines and Policies*, a property’s heritage attributes are frequently referenced. A property’s heritage attributes may change or alter and, therefore, the *Property Inventory* may be updated from time to time. The *Property Inventory* can be reviewed in Appendix A.



1.7.2 Cultural Heritage Assessment of Meadowvale Village and Area

In order to protect and conserve character elements of a heritage conservation district it is essential to identify and understand the character defining elements and how they developed over time. The background research into the

prehistoric and historic development of the Village was completed through a rigorous research process that did not take place prior to the 1980 HCD Plan. As a result, new information and data was discovered that provides a deeper understanding of the Village and its cultural heritage complexities. This assessment has exposed the many stories, facts and personalities that have shaped the community for the past 200 years. This improved understanding of the heritage conservation district has informed the policies and guidelines to conserve these cultural heritage resources. For this reason the Cultural Heritage Assessment of Meadowvale Village and Area has been adopted as a component of the HCD Plan. Please see Appendix B to view the document.

1.7.3 Stage 1 Archaeological Report

The original 1980 HCD Plan did not take into consideration archaeological resources within the designated HCD or immediate area. The presence of the Credit River allows for the probability there was human occupation of the area for thousands of years and therefore an influence on the prehistoric to historic cultural heritage development of the area. The Stage 1 archaeological assessment of the study area concluded that the entire study area has a high potential for archaeological resources. There are registered, pre-contact Aboriginal archaeological sites within a close proximity to the HCD, but not



within the study area. The Euro-Canadian occupation of the area was consistent for over 200 years and has above ground evidence of a past industrial and commercial context which has disappeared. As a result of this study the location of the extant mill ruins has been registered as an archaeological site with the Ministry of Tourism, Culture and Sport.

The archaeological report, combined with the background research into the Village's industrial and commercial history indicate that many former businesses and therefore structures once were prevalent throughout the Village. There is very little remaining of these once thriving businesses and structures. For this reason it is recommended that an archaeological survey be conducted for any development within the HCD that proposes major ground disturbance. The archaeological report is not a component of the HCD Plan.

1.8 Community Engagement

The Meadowvale Village community had been asking for a review of the HCD Plan for several years as a result of several alterations and development pressures in the area. When the funding became available for the City to undertake the review, it became important to

Village residents have stated:

“Responsibility to be custodians of a home/district that will outlive us.”

“Responsible use of elements to prevent a Disneyland cliché”

“Village’s natural setting and tree canopies is a great feature to respect at all costs.”

“Features of the Village that make /made it so attractive are/were open space, unaltered topography...buildings which reflect the size, proportions, slopes and styling of an earlier era”

“The HCD must have iron-clad limits on severance, lot coverage, heights, and architectural features for buildings.”

“...the mill (ruins) is what this village was based on, they should be given more attention.”



engage the community from the beginning of the process. As Meadowvale Village HCD has been in place for over thirty years, property owners have a high awareness of the area as an HCD and therefore take an interest in its long term conservation.

Five community meetings; four were held at the local Meadowvale Village Hall, and the fifth at a local school to accommodate a larger attendance. These took place between May 2012 and May, 2013. Beginning in January 2013, the local Meadowvale Village HCD Review Committee commented on the early and conceptual draft Design Guidelines and Policies. On March 7, 2013 this Design Guidelines and Policies extract of the HCD Plan, along with potential revisions to the City's Official Plan and zoning by-law, were presented to Village residents.

As of the writing of this draft HCD Plan (May, 2013), the statutory meeting regarding this HCD Plan is tentatively scheduled for June 10, 2013. Throughout the consultation process, Heritage Planning staff has encouraged residents to provide their written feedback and comments on the draft HCD Plan.

1.9 Study Area By-Law and Limitations to Development

The Ontario Heritage Act provides the authority for a municipality to adopt a by-law defining the boundary of a heritage conservation district study area and set limitations on development within that area for the period of one year. The purpose of the by-law was to define the study area, expanded from the 1980 HCD Plan and to prevent inappropriate development while the HCD Plan was being studied and put forward for acceptance. By-law 0238-2012 was enacted by Council on November 28, 2012.

At the time of the writing of this draft HCD Plan, this By-law has been appealed to the Ontario Municipal Board.

1.10 The Meadowvale Village Heritage Conservation District Plan

The Meadowvale Village Heritage Conservation District Plan is to be read and interpreted in its entirety, including Appendix A, "Meadowvale Village HCD: Property Inventory", and Appendix B, "Cultural Heritage Assessment of Meadowvale Village and Area". Both appendices provide a background and understanding of the HCD which lead to the heritage conservation policies of this HCD Plan to preserve and protect the identified cultural heritage attributes within the Village.



Heritage Conservation District Plan
Meadowvale Village Heritage Conservation District Plan:
Draft 2013

The HCD Plan contains an overview of heritage conservation principles, municipal planning context within the City's Official Plan and Strategic Plan, reference material, heritage character statement, description of heritage attributes, design guidelines and policies and the administrative process for applications to alter a heritage property.



2. Heritage Legislation and Conservation Principles

Municipalities in Ontario have the legislated authority to identify, protect and interpret cultural heritage property. The following is a summary of the principal legislation and heritage conservation documents available to the City of Mississauga. Please note that the following links in Section 2 are current to the date of this HCD Plan's release and may change, or cease to exist, in the future. For updated web links, as required, please contact Heritage Planning.

2.1 Ontario Heritage Act

The Ontario Heritage Act (OHA) came into force on March 5, 1975. The Act provides:

- Municipalities with the authority to protect cultural heritage property
- Provincial government the authority to oversee and regulate archaeological licencing and activities
- A mandate for the Ontario Heritage Trust, a crown agency, and the Conservation Review Board

The OHA received comprehensive amendments, after extensive consultation with the public, in 2005 to:

- Define the role and mandate of the Ontario Heritage Trust
- Outline standards and guidelines for provincial heritage property
- Administer the conservation of property of cultural heritage value or interest with respect to:
 - Definitions
 - Municipal Registers and municipal heritage advisory committees
 - Heritage designation procedures
 - Designation of property of cultural heritage value by the Minister
 - Delegation of authority
 - Building standards by-law specific to heritage property
 - Designation of a study area related to heritage conservation districts
 - Requirement of a District Plan for newly formed or revised HCDs, minimum contents of the Plan, public consultation and requirement of a Heritage Permit
 - Regulations related to archaeological licencing



The amended Act has provided a clearer direction and authority to municipalities so they may conserve and protect property of cultural heritage value. Part V of the Act, “Heritage Conservation Districts” gives direction and legislative authority to Council to create and administer heritage conservation districts.

A copy of the Ontario Heritage Act can be read on-line by following the link below:

http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90o18_e.htm#BK68

2.2 Provincial Policy Statement

The Provincial Policy Statement (PPS) was enacted in March 2005 under Section 3 of the Ontario Planning Act. The purpose is to set the direction for matters of provincial interest and regulate the development and use of land. Its policies are to be used in conjunction with local municipal matters of interest.

The Provincial Policy Statement has been under review and is expected to be revised in 2013. The status of the PPS and its review can be followed by visiting the following web link:

The PPS states:

“2.6 Cultural Heritage and Archaeology

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.2 Development and site alteration shall only be permitted on lands containing archaeological resources or areas of archaeological potential if the significant archaeological resources have been conserved by removal and documentation, or by preservation on site. Where significant archaeological resources must be preserved on site, only development and site alteration which maintain the heritage integrity of the site may be permitted.

2.6.3 Development and site alteration may be permitted on adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Mitigative measures and/or alternative development approaches may be required in order to conserve the heritage attributes of the protected heritage property affected by the adjacent development or site alteration.”



<http://www.mah.gov.on.ca/Page1485.aspx>

2.3 Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

This document was initially published in 2003 and recently updated as a second version in 2011. The Standards and Guidelines were written to provide good conservation practices with input from across Canada. The City of Mississauga adopted the Standards and Guidelines in 2009. Mississauga, and many other municipalities, use this document as a guide to decision-making related to heritage conservation. When the document was revised in 2011, a section on historic districts and cultural landscapes was added to support this specific topic. The Standards and Guidelines provides a foundation for general heritage conservation principles, integrating all aspects of cultural heritage from cultural heritage landscapes, buildings, engineering works and archaeology.

The following is a link to the current version of the Standards and Guidelines document:

<http://www.pc.gc.ca/eng/progs/rc/p-crhp/standards.aspx>

2.4 Ministry of Culture, Tourism and Sport – Ontario Heritage Tool Kit

The Province published in 2006 a series of heritage related guides to assist in understanding the heritage conservation process in Ontario. The Heritage Conservation Districts: A Guide to District Designation Under the Ontario Heritage Act, is meant to be a guide to establishing an HCD, contents of a HCD Plan and HCD management. The Ontario Heritage Tool Kit can be read on-line:

http://www.mtc.gov.on.ca/en/heritage/heritage_toolkit.shtml



2.5 Ontario Heritage Trust – Resources

The Ontario Heritage Trust is an agency of the Ministry of Culture, Tourism and Sport, mandated through the Ontario Heritage Act to conserve and interpret natural and cultural heritage of provincial interest and to maintain a Register of all designated properties (both HCDs and individual property designations) within Ontario. The Ontario Heritage Act Register contains a great deal of information related to heritage designations. From this data base the Trust has compiled statistics and examples of best practice related to heritage conservation districts from across Ontario. For further information please visit the Trust's web site: <http://www.heritagetrust.on.ca/Conservation/Ontario-Heritage-Conservation-Districts/Resources.aspx>



3. City of Mississauga Planning Policy and Context

The conservation of cultural heritage resources is a responsibility of the municipality within a planning and policy development context. There are a number of administrative regulations and guidelines that provide direction in the decision making process to ensure the conservation of our cultural heritage resources. These include:

3.1 Official Plan

The City of Mississauga Official Plan provides the basis for detailed land use, best use of land, services, community improvement, and sets the context for the review and approval of development applications for future land use and growth. In addition to a city wide policy framework it addresses specific topics such as policies related to the conservation and planning of cultural heritage resources. Policies in the Official Plan will be complementary to and support the policies of the Meadowvale Village HCD Plan.

Section 7, Complete Communities, under sub-section 7.4 is entitled, “Heritage Planning”. This section of the Official Plan is specific to the identification and conservation of heritage resources under the following headings:

- Cultural Heritage Resources
- Cultural Heritage Properties
- Heritage Conservation Districts
- Archaeological Resources
- Archaeological Protection Areas



Section 16, Neighbourhoods, has policies specific to Meadowvale Village. These policies are to be read and integrated with other general policies and heritage related policies found throughout the Official Plan, including those related to urban design, direct growth and value of the environment.



Recommendations to amend the Official Plan policies related to cultural heritage have been made through the HCD review process. The recommended amendments were:

- Change the term Heritage Impact Statement to Heritage Impact Assessment
- Add the requirement for the City to request a letter from the Province with regard to clearance of archaeological assessment
- Add an introduction to Section 16.17, Meadowvale Village

The following is a link to the City's Official Plan:

<http://www.mississauga.ca/portal/residents/mississaugaofficialplan>

3.2 Zoning

The City's Official Plan sets out general land use policies for the city. The zoning of an area is specific to its geographical location. In the case of Meadowvale Village, the zoning reflects the historical development of the Village and its land use has changed very little over time.

The zoning by-law provides a series of detailed maps and indicates permitted uses (e.g. residential or commercial) for each zone. A zoning by-law implements the policies found in the city's Official Plan. Land use must be consistent with the policies of the Official Plan and considerations for rezoning, or the request to change a zoning requirement, will only be made if the request conforms to the Official Plan, Provincial Policy Statement and the Planning Act.

A citizens' guide to zoning by-laws can be found at the Ontario Ministry of Municipal Affairs and Housing:

<http://www.mah.gov.on.ca/Page1758.aspx>

The following is a link to the City's Zoning By-law:

<http://www.mississauga.ca/portal/residents/paperless>



The Meadowvale Village HCD Plan Review considered the existing zoning requirements and has made a recommendation to amend the zoning to be compatible with the heritage conservation policies and support the HCD Plan. The HCD area would be rezoned to allow for only the existing buildings. Alterations to a building may require a minor variance to the zoning.

3.3 Culture Master Plan 2009

The City of Mississauga adopted its first Culture Master Plan in June, 2009. The Plan was a result of a comprehensive consultation process with the citizens of Mississauga to acknowledge the role of culture in the City's past and provide a planned future to see Mississauga as a culturally significant city.

The Culture Master Plan had several goals, one of which was to develop arts, culture and heritage resources by making them accessible and relevant to neighbourhoods and communities. A need was identified to build awareness of our cultural heritage resources by strengthening policies, promotion and digital technologies. Heritage planning became part of the Culture Division as a result of the Culture Master Plan, whereby the conservation of our cultural heritage resources could be delivered within a wider cultural lens.

The Culture Master Plan can be viewed in its entirety:

<http://www.mississauga.ca/portal/discover/artsmasterplan>

3.4 Strategic Plan

Two of the five principles of the City's Strategic Plan are found within a heritage conservation district, such as Meadowvale Village. The "Completing Our Neighbourhoods" pillar contains many of the elements of a valued neighbourhood: pedestrian friendly, offers recreational opportunities, public spaces and parks and sustain a village atmosphere. The "Living Green" pillar is addressed by the HCD's integration with the natural environment being associated with the Credit River, Meadowvale Conservation Area, green space within the Village, and Old Ridge Park. The City's commitment to



protecting and conserving Meadowvale Village as an HCD illustrates how the Strategic Plan continues to meet its objectives.

The Strategic Plan can be viewed in its entirety:

http://www.mississauga.ca/file/COM/StrategicPlan_Web_04_22_2009.pdf

3.5 Private Tree Protection By-law

The removal and replacement of trees on private property is subject to the Private Tree Protection By-law 0254-2012. The retention of trees within the Village HCD is essential to its heritage character and sense of place. Please review the by-law to be familiar with its rules and regulations:

http://www5.mississauga.ca/rec&parks/websites/parks/pdfs/TreeBylaw_overview.pdf

3.6 Conflict with Regulations and Authority

If a conflict arises between one or more policies or regulations, the policies of an HCD Plan prevail over other legislation and municipal by-law.

The Ontario Heritage Act, Section 4.(2), states:

Consistency with heritage conservation district plan

41.2 (1) Despite any other general or special Act, if a heritage conservation district plan is in effect in a municipality, the council of the municipality shall not,

(a) carry out any public work in the district that is contrary to the objectives set out in the plan; or

(b) pass a by-law for any purpose that is contrary to the objectives set out in the plan. 2005, c. 6, s. 31.

(2) In the event of a conflict between a heritage conservation district plan and a municipal by-law that affects the designated district, the plan prevails to the extent of the conflict, but in all other respects the by-law remains in full force. 2005, c. 6, s. 31



4. Heritage Character Statement and Heritage Attributes

4.1 Statement of Cultural Heritage Value or Interest

The Meadowvale Village Heritage Conservation District is characterized and defined by its inherent heritage value, size, shape, and form adjacent to the Credit River at the intersection of two roadways, Old Derry Road and Second Line West. The relationship of the historic village to the Credit River has not altered since its founding in the early nineteenth century. The village plan with lotting and road pattern has been retained since the 1856 Bristow Survey. The grid road pattern, aligning with the early established concession road and the inter-relationship of the lotting pattern as it relates to the topography, the river valley and ridge, is distinct within Mississauga. The village is situated in the low river valley, bordered to the south and east by a shallow ridge that establishes the table lands above the floodplain. The location of the Village, adjacent to the Credit River, illustrates the dependency of the early settlers on the river for its resources of water, travel and natural open space of a meadow and vale. These same conditions are not found elsewhere in Mississauga. Native populations, prior to pre-contact with European settlement, inhabited the area for over 10,000 years. The village's property plan, street pattern and physical layout have changed very little, although the once rural village is now within an urban context of the larger City of Mississauga.

The original Meadowvale Village Heritage Conservation District Plan from 1980 was reviewed from 2012-2013. This comprehensive review proposed an enlarged boundary study area from the original 1980 HCD Plan to include the Meadowvale Conservation Park to the west and Old Ridge Park to the south,

Highlights of the Meadowvale Village HCD character

- Rural community with lane-like streets
- Mature trees
- Large lots
- Soft shoulders
- Varied property set-backs
- Large number of 19th century buildings



both of which are significant to the development of the village. Entry points to the Village from all directions were also considered in the review to ensure that the transition to the historic village is conserved.

The Meadowvale Village HCD has maintained a pedestrian friendly scale, with the exception of Old Derry Road, whereby streets have a rural community lane-like appearance with soft shoulders, mature street trees, varied building set-backs and consistency of building size. What was once a commercial core, along Old Derry Road supporting a mill-based village has now become mostly residential with a few reminiscent commercial buildings, creating a quieter version of an earlier era. The narrow side streets retain an open character with views and vistas both to and from residential properties, void of privacy fencing, united by large open yards of green space and large diameter trees. In general, there are modest design and scale homes set on larger lots with soft naturalized vegetation. Historic photographs indicate that much of the vegetation in the area was cleared in the mid to late nineteenth century. The Village and immediate area were farmed for both wood products (sawmill production) and mixed agrarian farming. Today's public lands have become naturalized with a good deal of random mature tree growth of both native and non-native species. Private, residential lots also retain many large diameter trees and open vegetated areas that provide a generous spacing around buildings and frame residential lots. The character of the Village is defined by the narrow roads, large diameter trees, open vegetation areas and lack of density in building form. Some of the traditional late nineteenth century landscaping, including simple picket fences have begun to be reintroduced. The variety of lot size, changed very little since the mid nineteenth century, and generally smaller structures on large lots has been protected and conserved by the Village's heritage conservation district status since 1980. Low volume lot coverage and retention of large diameter trees are significant characteristics to be conserved. The positioning of varied modest size structures on the lot, which vary throughout the Village, is a characteristic of this rural community development over time as opposed to a more urban, standardized and conventional setback. The varied setbacks, providing wide-ranging open vegetation areas and streetscapes, are an important aspect of the Village character.

Archaeological resources are a significant element of the cultural heritage resources within and around the village. There is a high potential for pre-contact archaeological resources and known historical



resources within the village. The extant mill ruins, mill race and tail race, remnant mill pond, and other archaeological references, are to be conserved.

Entry points into the village from the west and north have maintained a rural character. To the west there are farmlands on the south side of Old Derry Road, open green space to the north, the metal c. 1948 Pratt (Parker, “camelback”) truss design bridge over the Credit River, all contributing to the agricultural past that surrounded the village for over a century. To the north, along Second Line West, the west side of the road retains a natural environment, reminiscent of the rural past, conserved within the Meadowvale Conservation Area. The late subdivision homes, of differing scale and form on the east side of Second Line West are mostly positioned high on the table lands above, retaining a naturalized road right-of-way at the street level, enhancing the former rural character.

4.2 Description of heritage attributes

The key heritage attributes of the HCD are summarized below:

- a significant location, adjacent to the Credit River, in a cultural heritage landscape of integrated natural and cultural heritage elements within the river’s low floodplain to the gentle sloping ridge;
- an ecological feature and tradition of a floodplain meadow on the Credit River that has existed for hundreds of years;
- a land pattern that retains the layout and plan of generous lots and pedestrian oriented narrow roadways of the 1856 Bristow Survey, spatial organization of narrow streets with soft vegetation and no shoulders, large diameter trees and a visual relationship which blends from public to private space among front and side yards void of privacy fencing
- long term tradition of rural village-like streetscapes without curbs, with no formalized parking, sidewalks (except on Old Derry Road), modest signage and limited modest lighting;
- a consistency of building types, modest in architectural detail, vernacular style and size, reflecting the nineteenth century development of a milling village;
- later twentieth century residential styles that are compatible with the district character from a scale, materiality and massing perspective;



- a common use of stacked plank construction with exterior stucco finish or wood siding, one-and-a-half storeys and limited use of brick;
- structures of compatible size, shape, form and style, many of which are modest historical residences, contribute to the overall character of the village;
- visual identity of rural character roadway entry points to the village from the west on Old Derry Road and from the north along Second Line West, and the open green space of Old Ridge Park to the south;
- individual properties of particular character and significance are identified in “The Meadowvale Village Heritage Conservation District Plan Review Property Inventory”, and
- archaeological resources, including, but not limited to, the extant mill ruins, mill race and tail race at Willow Lane and Old Derry Road and remnant mill pond.

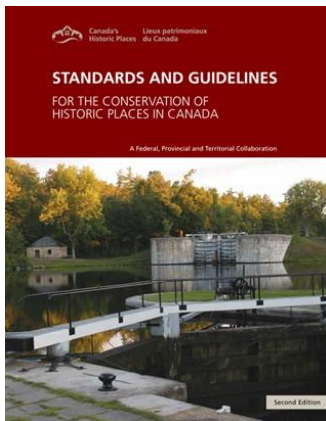
Statements of significance and heritage attributes for each property in the HCD have been provided in Appendix A, *Meadowvale Village HCD: Property Inventory*. **Please refer to this section of the HCD Plan for information on a particular property within the HCD.**



5. Implementation of the HCD Plan

The success of a heritage conservation district may be measured by the amount of original property conserved, sympathetic alterations and monitored limits to development. These successes come with a municipal level of administration and review to ensure the heritage conservation principles and policies are consistent with the HCD Plan. In order to administer a heritage conservation district, each property owner must follow an administrative process to seek permission for property alterations. It is the owners' responsibility to comply with the regulations under the Ontario Heritage Act and as implemented in this HCD Plan.

A heritage permit is assessed with the goal to conserve the cultural heritage attributes of a property and the general character of the heritage conservation district. The heritage attributes, as described in the Ontario Heritage Act are "...the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest." (*Ontario Heritage Act, Definitions 1.*) A full list of the general HCD heritage attributes, and those of each individual property, are outlined in Appendix A, *Meadowvale Village HCD: Property Inventory*.



The policies of this HCD Plan, the City's Official Plan, zoning requirements and other related by-laws, as well as other directives related to heritage conservation, such as the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada*, will be used in the assessment, review and recommendations related to all applications for property alterations.

The Ontario Heritage Act requires municipalities to incorporate policies and guidelines into their HCD Plans. Policies provide a regulatory framework and structure toward the conservation of cultural heritage resources whereas guidelines are neither binding nor enforceable.

5.1 Heritage Property Permits

Heritage Property Permits in the City of Mississauga do not require a fee for application. They are obtained through Heritage Planning staff at the City's Culture Division.



Under the Ontario Heritage Act, a heritage permit is required for any alteration of a property within a heritage conservation district in accordance with Section 42 of the Ontario Heritage Act:

42. (1) *No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so:*

- 1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property.*
- 2. Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure. 2005, c. 6, s. 32 (1).*

Exception

(2) *Despite subsection (1), the owner of a property situated in a designated heritage conservation district may, without obtaining a permit from the municipality, carry out such minor alterations or classes of alterations as are described in the heritage conservation district plan in accordance with clause 41.1 (5) (e) to any part of the property in respect of which a permit would otherwise be required under subsection (1). 2005, c. 6, s. 32 (1).*

In the City of Mississauga, a permit to alter a property within a heritage conservation district is called a Heritage Property Permit. Please contact Heritage Planning staff for any alteration inquiries to your property, as well as Planning and Building Department staff to determine if any other permits or applications are required. In specific cases related to public

Regardless of whether you require any other municipal permit such as a Building Permit, swimming pool permit, Site Plan Approval, or meet zoning requirements, you will always require a Heritage Property Permit for any property alterations within the HCD.



safety and/or accessibility, special considerations will be considered.

Council, or its designate, may, upon receipt of a Heritage Property Permit application, request additional information as required in accordance with the Ontario Heritage Act and the City's Official Plan policies. It is not unusual for the City to request a heritage impact assessment, or other studies, on alterations that may have an impact on the subject property or adjacent properties. Please review Section 6, *Design Guidelines and Policies*, of this HCD Plan for details related to property alterations which require a Heritage Property Permit. A heritage impact assessment is an essential first step on larger projects to determine how a project may develop. The requirements for a heritage impact assessment may be found on the City's Heritage Planning web page:

www.mississauga.ca/heritageplanning

The following are examples of property alterations requiring a Heritage Property Permit. As the following is not an exhaustive list, please contact Heritage Planning staff for more information:

- Alteration to the exterior of the built form of a structure or feature
- The change of roofing materials
- The repair, replacement, removal or addition of a chimney
- Alteration, including repairs to the exterior finish or cladding of a structure
- The repair or replacement of windows
- The replacement or addition of skylights
- The repair, replacement or addition of storm doors and windows
- The removal and replacement of an exterior front façade door
- The reconstruction, or addition of architectural details such as porches, exterior wood trim or canopies
- The removal, reconstruction or addition of a dormer
- The repair or replacement of a building foundation
- The repair, removal, replacement or addition of an outbuilding
- The alteration of property, including the full landscape of both the public and private open spaces



- The resurfacing, alteration or addition of a driveway
- The addition of a swimming pool or similar water feature
- Proposal for an addition or new construction of any kind

For a list of **exemptions** not requiring a Heritage Property Permit please see Section 6, “Design Guidelines and Policies”, of this HCD Plan.

5.2 Heritage Property Permit Process

Heritage Planning staff are always available to assist property owners through the Heritage Property Permit process. When considering an alteration, the property owner should be familiar with the policies provided in this HCD Plan. An applicant is encouraged to discuss an alteration with City staff long before making an application. The applicant must keep City staff informed and revise an application as required while they work through the process. Heritage Planning staff require a completed application, including a recommendation from the Meadowvale Village Heritage Conservation District Review Committee, approximately six weeks in advance of the desired Heritage Advisory Committee meeting to get the application onto that agenda. This allows Heritage Planning staff the required time, as mandated by the City Clerk’s Office, to write a report and seek administrative approvals before the application can proceed to the Heritage Advisory Committee and Council for review and final approval. Alteration work is not permitted to begin on a property within the HCD until Council, or its delegated authority, has given approval with or without specified conditions.

5.2.1 Application Process:

The following is a step-by-step guide to the Heritage Property Permit process:

1. Applicant should review the heritage attributes of the subject property (Appendix A) to ensure the heritage attributes are conserved and unaffected by the proposal.
2. Applicant discusses proposal with both Heritage Planning and Planning & Building staff to determine what permits are required and what information or reports, such as a Heritage Impact Assessment, Conservation Plan, or, in certain circumstances, an Archaeological Assessment, is required to support the application.



3. If a Heritage Impact Assessment, or other reports, is required, a qualified and accredited professional with demonstrated experience in the field of heritage conservation must be secured. This report has to be accepted as being complete by Heritage Planning staff before proceeding with the application, which may influence the design and direction of the application.
4. Consult with an architect and/or contractors, with demonstrated experience in the field of heritage conservation, to determine the preliminary proposal.
5. Meet with the Meadowvale Village Heritage Conservation District Review Committee to discuss the proposal. A meeting to discuss a preliminary proposal is recommended, however not required, to keep design costs down.
6. Finalise the proposal and consult with the Meadowvale Village Heritage Conservation District Review Committee. This process may take several meetings to reach an agreement.
7. Meadowvale Village Heritage Conservation District Review Committee issues correspondence to Heritage Planning staff and the Heritage Advisory Committee with a recommendation.
8. Once plans are finalised and supporting documentation is complete, submit these plans with a completed Heritage Property Permit application to City Heritage Planning staff.
9. Once the application is considered complete and accepted, Heritage Planning staff makes a recommendation to the Heritage Advisory Committee for either full approval, approval with conditions, or a refusal.
10. Heritage Advisory Committee considers the application and makes a recommendation to Council.
11. Council, or its designate, has 90 days to reply from the time the application is considered complete, or the request is deemed approved, in accordance with Ontario Heritage Act.

5.2.2 Delegated Authority

In order to assist with the Heritage Property Permit process, City Council has provided delegated authority for By-law 215-07, to the Director, Culture Division, Community Services, to grant consent and approval for alterations within the HCD. Applications to alter are reviewed by the Director, Culture Division, once they have been recommended for approval by the City's Heritage Advisory Committee. It is a requirement under the terms of the Ontario Heritage Act that the City's Heritage Advisory Committee be consulted on all applications to alter a property. Should the Heritage Advisory Committee not agree with a recommendation to approve an application, the matter will be referred to Council for a decision. At each stage the property owner is encouraged to attend meetings of the



Meadowvale Village Heritage Conservation District Review Committee and Heritage Advisory Committee. The opportunity to speak to an issue or application may also be possible at General Committee and Council.

The By-law also provides that the Director or his/her delegate may request additional information as may be deemed necessary to complete the application to alter. The Director does not have the authority to refuse an application, but must refer a refusal to Council for a decision. Requests for demolition must go through the full review and report process to the Heritage Advisory Committee, including a recommendation to Council.

5.2.3 Building Permits

A property owner is responsible for applying to and securing a building permit for certain types of projects as outlined in the Ontario Building Code and policies of the City. It is essential that the property owner speak directly to the Planning and Building Department as to the requirements and building permit process. Acquiring a Heritage Property Permit does not exempt a property owner from seeking all other required levels of approval. It is the responsibility of the property owner to investigate all permit requirements.

5.2.4 Site Plan Process

Some projects may require a property owner to apply through the Site Plan Application process in seeking permission for alterations. These types of projects are usually larger in scale. These projects include new construction such as garages, additions to existing dwellings or, in rare cases, a new dwelling. It is the property owner's responsibility to discuss the project with the Planning and Building Department to determine if a Site Plan Application is necessary and to follow the process as outlined. A Heritage Property Permit will be required as a condition of Site Plan Application approval.

5.2.5 Appeal Process

Should Council refuse an application for a Heritage Property Permit or set conditions to which the property owner does not agree, the owner may appeal to the Ontario Municipal Board as stated in the Ontario Heritage Act. A decision by the Ontario Municipal Board is final.



5.3 Meadowvale Village Heritage Conservation District Review Committee

The local Review Committee is a sub-committee of the City's Heritage Advisory Committee. Appointments to the Review Committee, like the Heritage Advisory Committee, are approved by Council for the length of its term, with appointments every four years. The purpose of the Review Committee is to have local Village residents who are familiar with the application to alter process and relevance of the HCD Plan, guide applicants through the Heritage Property Permit process. The Review Committee acts as a service and resource to local residents to advise in the early planning stage. They work with Heritage Planning staff to assist residents in the application process. The Review Committee is not a decision making body, but presents recommendations to the City's Heritage Advisory Committee.

5.4 Enforcement, Ontario Heritage Act and Building Standards By-law

The Ontario Heritage Act provides a municipality, where a Building Standards By-law, commonly known in most municipalities as a Property Standards By-law, has been adopted by Council, the authority to:

(a) prescribe minimum standards for the maintenance of the heritage attributes of property situated in a heritage conservation district designated under this Part; and

(b) require property that is situated in a heritage conservation district designated under this Part and that does not comply with the standards to be repaired and maintained to conform with the standards. 2005, c. 6, s. 34. (OHA, Section 45.1)

The City of Mississauga has adopted minimum heritage property requirements within its Property Standards By-law. Please visit the following web link for further information:

<http://www.mississauga.ca/file/COM/propertystandardsheritage.pdf>



Meetings of the Review Committee with an applicant are encouraged to take place in the Village. It is helpful for the applicant to provide access to the subject property whereby the on-site conditions can be discussed for a full understanding of the property's heritage attributes and the owner's intentions to alter.





5.5 HCD Incentives

In recognition of the care and management of a heritage property, the City of Mississauga provides incentives. The City may, from time to time, offer educational seminars and/or workshops for property owners to learn and understand how to care for cultural heritage property. Heritage Planning staff maintain a database of useful information which is available upon request.

A property owner may request an individual plaque for their property to recognize its particular historic value. Please consult with Heritage Planning staff to determine the availability, naming, text, design and installation of a plaque.

The City of Mississauga offers matching grants for the conservation, repair and/or restoration of property designated under the Ontario Heritage Act. Grants from \$500 to \$5000 are available to eligible work pertaining to general conservation. Grants from \$500 to \$10,000 are available for the repair/conservation of structural work. Funding is limited and allotted once per calendar year usually in the spring. Projects will commence after the application has been reviewed by Heritage Planning staff and be complete by early fall of the same year.

Please refer to the City's web page for updated information on Heritage Grants:

<http://www.mississauga.ca/portal/residents/heritagegrants>



6. Design Guidelines and Policies

6.1 Introduction

All properties, regardless of age of the structure on that property, within the Meadowvale Village HCD contribute to the character and cultural landscape attributes as described in the HCD statement of cultural heritage value or interest and description of heritage attributes. (Refer to Section 4, *Heritage Character and Heritage Statements*, of this HCD Plan.)

Although some properties were developed in the late 20th century, they blend in their size, set-back, shape, form and materials with those of an earlier time. There are no properties that would be deemed incompatible. In this regard, every property contributes to the overall character of the HCD. It is worthy to note that “character” is not limited to the structure on the property. It is the composition of the structures as they integrate with the physical and natural landscape of each individual property, as listed below.

In order to meet the objectives of this Plan in the heritage conservation of the HCD, the following characteristics, not restricted to the list below, must be conserved:

- Narrow rural-like roads
- Few sidewalks or curbs
- Minimal street signage
- Varied set-back of built form
- Varied lot size reflecting the retention of an established mid nineteenth century lotting pattern
- Small buildings of a modest scale and design on large lots
- Retention of all heritage attributes within the HCD and those listed for each individual property
- Varied, open relationship from one property to another



- Transparent, or open views, while retaining large diameter trees, from the streetscape to buildings
- Retention of the original topography
- Mill remnants (foundations, earthworks, former water-ways)
- Modest residential landscaping of a rural character

The policies and guidelines found in this Plan are to be applied to all new applications for property alterations within the HCD as of the date of passing of the By-law adopting this HCD Plan. There is no implied priority in the order in which the policies appear.

The Meadowvale Village HCD is an important cultural heritage resource within the City of Mississauga. Understanding the cultural heritage values of the Village is essential in order to protect and conserve its heritage attributes. The role of the municipality is to facilitate future change and alterations to a property which are in the best interests of the long term heritage conservation of the Village.

Spatial relationships of one property to the next define the heritage value of a place. A change or alteration to one property may have an effect on one or more properties. Context becomes extremely important within a heritage conservation district whereby a holistic approach and appreciation for the community is necessary for its future planning and development.

One of the most important aspects of heritage conservation, and to uphold property values, is regular maintenance. All properties, regardless of its age, require regular maintenance to conserve its heritage attributes. Proper maintenance of a property includes seasonal review and updating when required in a manner that is in keeping with the context of the property's heritage attributes and values. Taking action early in the maintenance process may conserve more of the original fabric of a structure or property and hopefully reduce the need for larger and expensive rehabilitation costs at a later date. "No or low maintenance" materials, such as vinyl siding and aluminum siding, soffits, windows, etc. have a limited life span and when that time is finished, it must be removed and replaced. The use of original materials can be life-long with routine maintenance.



For the purpose of seeking a Heritage Property Permit and appropriate approvals it is important to distinguish between maintenance and repair. Regular maintenance, which is minor in nature and is done to prevent deterioration, removal or replacement, will not require a heritage permit. Repairs are more invasive and usually involve an alteration of some kind. Such alteration might include replacement of a window which has not been maintained and, therefore, has failed. This kind of replacement, if it alters the aperture, materials and design, would require a Heritage Property Permit. It is recommended that you consult Heritage Planning staff to clarify and seek direction whether or not a Heritage Property Permit may be required.

Although most property owners maintain their properties on a regular basis, owners should be aware that there are provisions in the City's Property Standards By-law which reference the specific requirements for designated heritage properties. This By-law may be reviewed on the City's web site:

<http://www.mississauga.ca/file/COM/propertystandardsheritage.pdf>

The intent to create an element, which did not previously exist as a heritage attribute, is not heritage conservation. Fabricating historic elements, for purely aesthetic purposes and as a romanticised vision of the past, devalues the true cultural heritage fabric and sense of place.

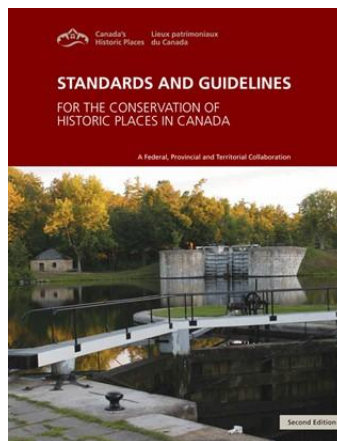
Parks Canada's **Standards and Guidelines for the Conservation of Historic Places in Canada**, defines three levels of heritage conservation as quoted below. It is important to define, before a project has begun, which level of conservation is most appropriate:



“Preservation involves protecting, maintaining and stabilizing the existing form, material and integrity of an historic place or individual component, while protecting its heritage value.

Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value.

Restoration involves accurately revealing, recovering or representing the state of an historic place or individual component as it appeared at a particular period in its history, while protecting its heritage value. ”





6.2 Architecture and Built form

The more obvious and common heritage attributes within a heritage conservation district are the built forms. In addition, the setting of a structure, how it relates to its location and to neighbouring properties, is integral to the principle of heritage conservation. The existing built form may include, but is not limited to, buildings, structures, bridges, and built landscape features.

Meadowvale developed in the nineteenth century as a small milling community with an industrial and commercial base, displaying a distinct rural village character and using local building materials. For the most part, the architectural style found in the Village was of a modest construction known as local vernacular architecture.

Stacked plank on plank construction is prevalent in the Village and has a significant cultural heritage value as a material resource and its direct link to the history of the Village as a lumber and milling centre. Due to the abundance of lumber found in Meadowvale in the nineteenth century, and because of the modest milling incomes, brick structures were not prevalent in the area. In addition, there may not have been an abundance of local clay to fabricate bricks locally. As a result, the majority of traditional building forms in the Village were wood frame structures or stacked plank on plank construction. Because of the limited presence of brick structures in the Village, new residential and commercial brick construction would not be compatible with its heritage character and will not be supported. On public lands it may be documented to comply with health and safety issues, such as a washroom facility in the CVC lands within the HCD boundary area, so long as the style, shape and form is compatible with the Village's cultural heritage attributes.

The prevalence of wood construction meant exterior finishes were traditionally wood siding or rough cast stucco. The most common roofing material would have been wood shingles.

Building foundations were often shallow and constructed of local fieldstone. It is observed that the entry level of many structures within the Village is at grade. It is understood that existing foundations may require future maintenance and/or replacement. However the relationship of the first floor living space to the ground level must be maintained to retain the structure's historical context to its location. Therefore, the raising of a building will not be allowed because doing so places that building out of its



historical context in terms of its elevation and relationship to the topography/streetscape of adjacent properties.

The interior of buildings within an HCD do not fall under heritage designation and, thus, will not require a Heritage Property Permit.

Because of the retention of these structures, the conservation of the built forms within the HCD will include the following policies:

- Willful demolition, or removal of structures, within the HCD will not be allowed unless it is proven by the property owner, through an accredited structural engineer's report, that the building is deemed structurally unsafe
- Willful demolition, or removal of structures, will be considered if the structure is not deemed a heritage attribute on the subject property
- Structures of stacked plank on plank construction are a distinct resource that will be conserved
- The introduction of new brick structures will not be supported
- The historic relationship to a building's original ground level living space to its ground level grade will be conserved
- The moving of structures, which are described as heritage attributes in *The Meadowvale Village HCD: Property Inventory* (Appendix A of this HCD Plan), will not be supported
- The request to alter a property's heritage attributes will be assessed on their own merit, history, location and immediate context in order to conserve those property's heritage attributes
- A Heritage Property Permit will be required for any exterior alterations to the built form (please see list of exemptions, Section 6.6 of this Plan)



6.3 Alterations to Property and Extant Structures

An alteration or change to a property's exterior may not require a building permit, but a Heritage Property Permit will be required for any alterations in order to conserve the heritage attributes of the property. It is recommended that property owners consult with Heritage Planning staff before beginning a project. It is important to refer to the *Property Inventory* (Appendix A of this HCD Plan), for the Statement of Significance and listed heritage attributes for each property. Some alterations, such as the addition of a swimming pool or a detached garage, will cause a major ground disturbance. In the archaeological study of the HCD, it was deemed that the entire HCD has a high potential for archaeological resources. Some properties in the Village have more archaeological potential than others based on their former land use knowledge. Areas where there were known activities, such as a former business or industry, would have a higher archaeological potential than other properties within the HCD. For example, properties located on Old Derry Road and Willow Lane, where the majority of nineteenth and early twentieth century commercial and industrial businesses were located, may have the highest archaeological potential. If a property owner is considering alterations, which include a ground disturbance, it is recommended that the property owner contact Heritage Planning staff who can assist in determining if their property has high archaeological potential. Consulting with Heritage Planning staff may prevent the need for a Stage I Archaeological Report.

Although every property contributes to the Village character, some do have distinct heritage value due to their age, type of construction, materials, or associated historic value. The goal of the "Design Guidelines and Policies" will be to ensure these properties, and the structures thereon, are protected and conserved.

The following policies will apply:

- The heritage attributes of each property within the HCD will be conserved
- Previous work, or alterations, that have become over time a heritage attribute will be conserved
- Buildings and structures are not to be moved and must remain in-situ in order to protect the heritage attributes of the property



- Willful demolition, or removal of structures, within the HCD will not be allowed unless it is proven by the property owner, through an accredited structural engineer's report, that the building is deemed structurally unsafe
- Willful demolition, or removal of structures, will be considered if the structure is not deemed a heritage attribute on the subject property
- Studies such as, but not exclusive to, a heritage impact assessment, arborists report or structural engineering report, may be required for approval to alter a property in order to conserve the heritage attributes of the property
- The restoration, rehabilitation or renovation of a property will require a conservation plan in order to conserve the heritage attributes of the property
- Alterations of a property, which may include a disturbance below grade, may require a Stage 1 archaeological assessment if the property yields a high archaeological potential
- An approved Heritage Property Permit will be required prior to starting exterior alterations to a property within the HCD

If considering an alteration to your property, the following questions should be considered. This is not an exhaustive list, so please contact Heritage Planning staff for more information and consultation.

Does it affect the heritage attributes?

Does it restore a lost feature?

Are the heritage professionals and/or materials available to carry-out the proposed alteration?

Have you considered more than one option to accomplish your alteration goals?

Is the timeline reasonable? For example, have you taken into consideration weather and time to complete the project?

- Does the alteration affect the streetscape and therefore character of this property and others?
- Are there any restrictions on your property which may prohibit development, such as floodplain control, set-backs, height, tree removal, or compromise of a heritage attribute?
- Does the alteration potentially alter the topography, such as adding a pool or landscaping?
These alterations require a Heritage Property Permit.



- Have you contacted all required authorities and departments for appropriate approvals? For example, these may include Planning and Building, Parks and Forestry, Transportation and Works or the Credit Valley Conservation and Region of Peel, etc.
- Is there a distinct transition from original building to the proposed addition?
- Does the project adversely affect any large diameter tree over 15 centimetres, or vegetation growth? If so, a tree permit/permission and associated securities to ensure the replacement of the tree may be required

A Heritage Property Permit must be approved prior to starting the alteration of a property or structure within the HCD.

6.3.1 Roofing

Roofing materials must be replaced from time to time as they do weather and fail. All Village buildings in the nineteenth century would traditionally have had wood shingles. Wood ‘shakes’, compared to shingles, are a heavier and rough cut material used traditionally for outbuildings, barns, etc. Most wood shingles and shakes have been replaced over time with more modern asphalt shingles. There is no current evidence or historical documentation that roofing materials, other than wood shingles, were used in the Village.

The following polices will apply:

- The retention of original roof form, pitch, shape and angle must be maintained
- Asphalt shingles, where existing, will be permitted. Colours should be dark grey, variegated black or dark brown
- Light colours or unusual coloured shingles will not be encouraged, unless these colours existed, through documentation, on the structure previously



- Roofing materials such as metal, synthetic wood shingle, synthetic slate, clay tile or any other form, which are not considered traditional roofing materials, will not be supported
- Wood shingles on nineteenth century or early twentieth century structures will be encouraged
- Roof vents must conform to a compatible size, shape and form to minimise their appearance and be of a complementary colour to the roof materials
- A change from one roofing material to a different roofing material, will require a Heritage Property Permit

6.3.2 Solar Panels:

Heritage conservation, moving forward into the twenty-first century and beyond, will be looking for ways to increase environmental sustainability while trying to reduce a built structure's carbon footprint on the environment. One way homeowners may seek to reduce this carbon foot print and increase sustainability is by installing solar panels to their home's roof structure.

Solar panels help promote sustainability. However, adding solar panels to historic properties can have a significant impact on the character and visual qualities that convey a property's cultural heritage significance. Solar panel installations should not become prominent new elements that detract from the character-defining features of a building, topography or vegetation.

Wherever possible, solar panels must be installed in such a way that the roof structure can support the weight of several panels and they should not be visible from either the streetscape or public realm. Please refer to the documents below in the footnote² for further information about the use of solar panels on heritage properties.

² US. Department of Energy, Installing Solar Panels on Historic Buildings: A Survey of the Regulatory Environment, August 2012. http://ncsc.ncsu.edu/wp-content/uploads/Installing-Solar-Panels-on-Historic-Buildings_FINAL_2012.pdf or The City of Hobart (Tasmania) Design Guidelines for Installing Solar Panels: http://www.hobartcity.com.au/Environment/Energy_Efficiency_Guidelines_and_Incentives/Heritage_and_Solar_Technology_Guidelines



The following policies will apply:

- Solar panels will be approved if they do not adversely affect the heritage attributes of the property
- A Heritage Property Permit will be required for installing solar panels on a property

6.3.3 Chimneys

All nineteenth century and early twentieth century residential properties had a chimney which was essential for interior heating and as well as most cooking systems. Although modern heating and cooking systems do not require the need for a chimney, the presence of chimneys throughout the HCD adds greatly to the overall heritage character of the Village.

The following policies will apply:

- Original chimneys are to be retained and conserved in situ
- New chimneys will be designed in a traditional manner which respects the scale, design and materials of the building
- The introduction of a metal chimney may be acceptable if it is out of view from the streetscape
- New heating vents will, where possible, be located away from the front façade of a structure, or from the street view, and coloured to be as inconspicuous as possible
- The repair, replacement, removal or addition of a chimney will require a Heritage Property Permit

6.3.4 Exterior Cladding

The majority of nineteenth century buildings in the village were modest in nature and used local materials from the saw mills. Many residential buildings tended to be stacked plank on plank construction with a stucco finish, or wood frame clad in wood siding. Exterior painting of wood structures and details on a regular basis (eight to ten years) will conserve the wood and provide a longer life to the materials.



There were very few brick structures built in the Village. Brick structures may not be painted. The only exceptions to this policy are for the former Gooderham Estate located at 929 Old Derry Road and the former Commercial Hotel at 1051 Old Derry Road, which were both painted many years ago. The painting of a brick building can contribute to the deterioration, over time, of the bricks' strength and integrity.

The commercial garage (the former gas station) located at 1050 Old Derry Road is a unique structure to the HCD for it is the only building in the Village where the front and side facades are finished with enamelled panels. This type of siding was very typical of garages from the 1940s and 1950s and this structure is believed to be one of only two remaining structures to retain its enamelled panels in Mississauga. The enamelled panels on this structure are to be retained in their original size, shape and form in situ.

The repointing of brick, stone, or stucco must be compatible with the original material in its composition, colour, texture and method. Repointing, brick replacement or any other masonry project, must meet the current standards of masonry conservation.

Rough cast stucco is considered the most acceptable form of nineteenth century stucco because of its material and application principle.



The following is a good example of rough cast stucco:



The following policies will apply:

- Houses of stacked plank on plank construction, with a rough cast stucco exterior, will be retained to reflect its original character, style and texture
- Wood siding must be replaced with like materials and retain the original board dimensions in order to conserve the heritage attributes
- Structures with existing enamelled panels will retain them in situ
- The removal of vinyl and/or aluminum siding to restore original wood siding is encouraged. If the underlying wood siding cannot be restored, like materials matching the original dimensions must be used
- Brick and enamelled structures will not be painted in order to conserve the property's heritage attributes



- Structures built of concrete block, which have not been previously painted, will remain unpainted
- A Heritage Property Permit will be required for any alteration, including repairs, to any exterior materials within the HCD

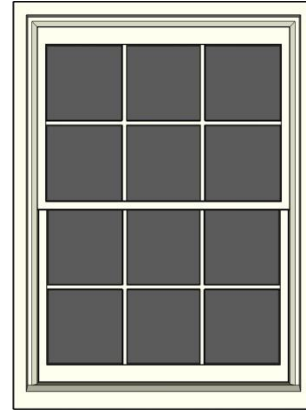
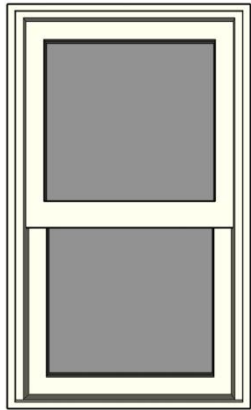
6.3.5 Windows

Windows are an integral part of a building's design and an expression of the original style and character of a building. There are many original nineteenth century buildings within the Village, many of which retain their original windows. Windows of the early to mid-nineteenth century were of a multi-paned design as glass was both expensive and too difficult to ship in larger sheets. It was not until the late nineteenth century that sheets of window glass were made larger and could be shipped without breaking.

A change to the size and proportion of a window is not acceptable as it alters the appearance and design of the structure. Generally, window apertures should be greater in height than width.

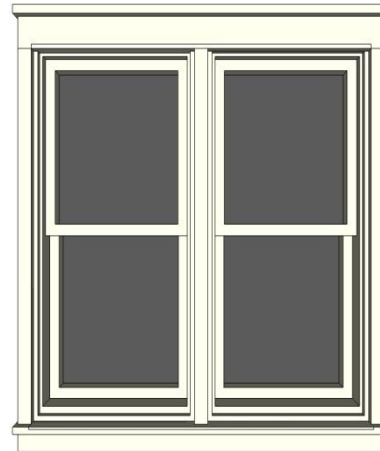
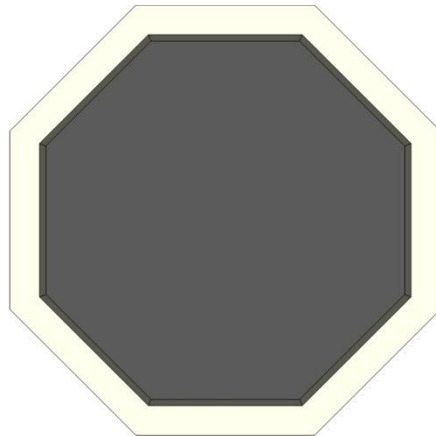
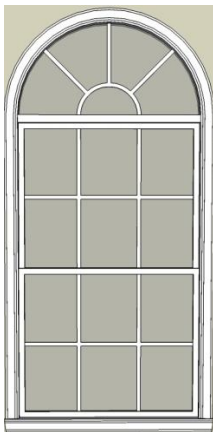
Although vinyl windows may appear to be similar in appearance and style to traditional wood windows from a distance, they do not have the design detail and structural integrity of wood windows. The attention to traditional details, regardless of the age of the structure, contributes greatly to conservation of the character defining elements of the HCD. Such attention to detail helps to make this HCD distinct in Mississauga. Vinyl windows are not a compatible material with wood structures. Traditional wood windows will expand and contract with the building whereas vinyl windows will not. The result will be a failed window seal, which will permit mould to grow and potentially damage the structural integrity of the building. A window constructed of wood, with an exterior metal or vinyl facing may be acceptable.

The most traditional windows found on nineteenth century residential structures throughout Ontario are the double hung windows in configurations of either one over one, two over two or six over six patterns. The most common example of original windows still found in Meadowvale Village is the two over two double-hung configuration. Therefore, the following windows are considered appropriate in design:



In the twentieth century, different window styles began to be introduced such as arched top windows, double sided windows and shaped windows such as the octagonal style. These styles tend to be indicative of mid to late twentieth century house designs of which there are very few examples found in the Village. These types of windows do not reflect the heritage attributes of the nineteenth century building stock which dominates the Village's cultural heritage character.

The following window styles are considered inappropriate in design:





The following policies will apply:

- The aperture or window opening must remain as per the original
- Original windows should be maintained and repaired wherever possible
- Original wood windows, with any multi-paned divisions, if in need of replacement, should be exactly the same in style, dimension, materials and design
- Windows on a new structure, including additions, must be in keeping with the design and style of that structure
- Tinted glass, or any processed glass treatment which alters a colourless appearance, will not be permitted
- New wood sash windows, including double glazing, are acceptable if they copy the design and detail of the original windows with bonded muntins inside and out
- Artificial muntins such as, but not exclusive to, snap-in or tape simulations are not acceptable
- Wood constructed windows, faced in metal or vinyl may be considered
- Window awnings must be compatible with style, design and materials appropriate to the era of the structure
- Bay windows that can be documented will be supported for approval
- A Heritage Property Permit will be required to replace or repair windows

6.3.7 Storm Windows

Storm windows were traditionally used in the Village and are encouraged to be retained or restored where possible and appropriate. Exterior storm windows are an option to be considered in order to preserve and protect existing original windows. Although vinyl storm windows may appear to be similar in appearance and style to traditional wood storm windows from a distance, they do not have the design detail and structural integrity of wood storm windows. The attention to traditional details, regardless of the age of the structure, contributes greatly to conservation of the character defining elements of the HCD. Heritage Planning staff should be consulted for assistance in having the correct design and materials for storm windows.

The following policies will apply:



- Storm windows must be made of wood, and the appropriate size, shape, form and profile compatible to the window
- A Heritage Property Permit will be required to repair, replace or restore storm windows

6.3.6 Skylights

Skylights are not compatible with historic building styles and will not be allowed in the front and/or side elevations of buildings within the HCD.

The following policies will apply:

- The addition of flat skylights will only be supported if the skylight is not visible from the streetscape
- Bubble type skylights will not be permitted
- A Heritage Property Permit will be required for the repair, replacement or addition of a skylight

6.3.7 Shutters

Window shutters were common throughout the Village in the nineteenth and early twentieth century. Shutters have a function to keep out wind, rain or light. They were designed to fully close over a window, thus each shutter was one half the size of the window. Shutters add character and design details to a residential structure and are very much a part of the design vernacular throughout the village. The restoration of shutters, based on historic documentation, should ensure they are of the correct materials, size, shape, form and materials to properly fit the window and attached at the window frame.

The following policies will apply:

- Original wood shutters should be maintained and conserved in situ
- All window shutters must be of wood construction and be of appropriate size, shape and form to the structure



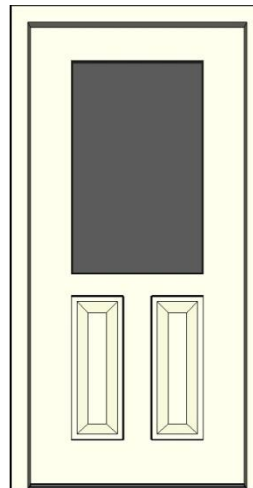
- The addition of shutters, whether new or the restoration of previous shutters based on historical documentation, should be functional in their design and will require a Heritage Property Permit

6.3.8 Doors

Doors, like windows, contribute to the design and style of a building. There is considerable variety in door styles within the Village. In order to maintain the original character and design of the building, the door opening or its proportions will not be altered. Historical photographs of earlier structures may display door styles for reference.

Solid wood doors or wood doors with half crescent windows at the top were the most common nineteenth century design for dwellings in Ontario.

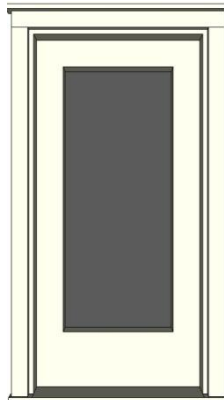
Therefore, the following examples are considered appropriate in design:



Vinyl doors with a full glass front panel are a late twentieth century concept found in modern subdivision homes. This design is not in keeping with the overall heritage attributes of the Village.



Therefore, the following example is considered inappropriate in design:



The following policies will apply:

- The retention and maintenance of original doors will be encouraged
- A door's opening, or its aperture, must be retained
- The replacement of an original door must be compatible in design and material to the structure's design
- Sliding glass doors which are visible to the street view will not be supported
- Storms doors visible from the street must be of wood construction
- A Heritage Property Permit will be required to remove an original door and approve its replacement

6.3.10 Architectural detail

Buildings within the HCD were generally of a simple, modest vernacular design with very little architectural detail. As with most communities there were variations, often related to the socio-economic status of a property and owner. An architectural detail can be a small porch over a stoop,



railings along stairs, bargeboard or window trims, or any other similar decorative feature. For questions about what can be considered a decorative trim, please contact heritage staff.

When an alteration or restoration of a property involves the removal of an original architectural detail, such as exterior window trims, it is important that those details also be restored. The loss of these details can detract from the property's heritage attributes and the overall heritage character of the Village.

Few examples of bargeboard, or what is commonly known as 'gingerbread' trim, were used in the Village. Historical documentation must be consulted to support a request to restore a lost architectural detail. The addition of an architectural detail, based on a feature thought to have existed is not appropriate.

Lighting on a property should be discrete and not spill onto neighbouring property. Lighting should be used for safety reasons only and not for aesthetics. Aesthetic, or accent lighting, is not a traditional lighting characteristic. An example of appropriate safety lighting would include motion sensor lights which provide temporary lighting for safety and security

The following polices will apply:

- Historical documentation must be provided for an application to restore a lost architectural detail
- Lighting in the eaves, such as recessed pot lights will not be supported
- Aesthetic, or accent flood lights, used to accentuate architectural details, will not be supported
- All property alterations or restorations which require the removal of an original architectural detail, during the restoration process, must be fully restored
- A Heritage Property Permit will be required for the reconstruction, or addition, of architectural features such as a porch, bargeboard or door canopies



6.3.11 Porches and Verandahs

Historic photos of the Village indicate that the existence of some porches and verandahs occurred in the Village. A porch is a small covering over a doorway while a verandah usually covers an entire wall, particularly along the front facade of the main house. Front façade porches and/or verandahs provided an outdoor living space in better weather and an opportunity for social interaction toward the street. Traditionally, porches and verandahs were just above grade, supported by wood pillars or columns from the floor level to the eaves. The addition of a porch, or a porch restoration, must be based upon historical photos or physical evidence of a previous porch on that specific property. Not all buildings had a porch or verandah, nor is it always in keeping with the style and dimensions of a building. The retention and maintenance of original porches is encouraged.

Wrap around verandahs were not found on traditional mid to late nineteenth century Ontario vernacular dwellings. These wrap around verandahs were introduced with the Queen Anne and Edwardian styles of which there are very few examples in the Village. Verandah designs of the mid to late nineteenth century were placed on the front façade of the dwelling.

Therefore, the following historic photo from the Village is an example of appropriate verandah design:



Lambe Residence, c. 1900 (PAMA)



The following polices will apply:

- The restoration, or proposed addition, of a porch or verandah must be a true restoration of that feature based on historic documentation of the subject property and not be a historical interpretation
- The enclosing of existing or new open porches and verandahs will not be permitted
- The opening of previously closed porches and verandahs will be encouraged
- Porches, or verandahs, that are incorporated into the structure, as a recessed area covered by an overhang, or arcade, will not be supported
- Supports on raised brick pillars will not be allowed unless appropriate to the age and style of the structure
- Porch or verandah rails and balusters must be of wood construction and finish
- A Heritage Property Permit will be required for the reconstruction or addition of a porch or verandah

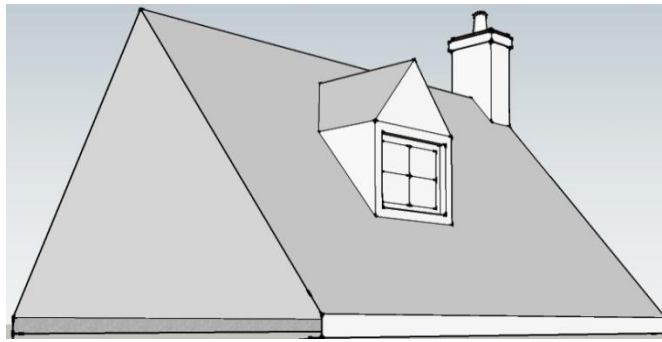
6.3.12 Dormers

Dormers constructed in the nineteenth century were designed to provide more useable space, light and air beneath an often shallow roofline. Historically, the size, shape and form of dormers were relative to the window or door aperture they were highlighting. This provides a symmetry and simple cohesiveness to the structure's overall design as found in the Village. Dormers should be proportioned to match the size of the windows to minimise an oversized appearance. Within the Village, dormers were traditionally small and did not extend above or below the roofline. Therefore, dormers became part of the roof profile.

A gable is different from a dormer in that it is an extension of the wall into the roof structure. Gables are usually found on the front or side facades of a structure and are often referred to as gabled ends. Appropriate dormers should have a gable end and be built into the roof structure and not break the roofline.

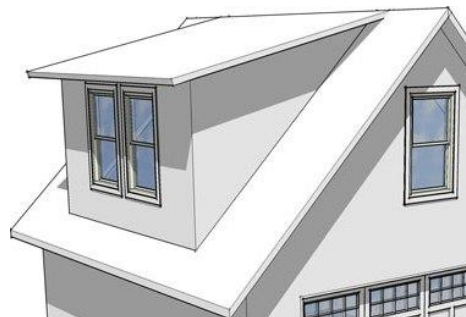


The following is considered appropriate in style:



Dormers that break the roof line and shed dormers, like the examples below are not consistent with the architectural detailing of mid to late nineteenth century dwellings in Ontario. Shed dormers are typically found in the Arts and Crafts time period, of which there are no examples in the Village.

Therefore, the following are considered inappropriate in style:



The following policies will apply:

- The introduction of a new dormer must be consistent with the design, style, proportion and materials of the structure



- The introduction of a dormer must be within the existing roof profile so as not to break the existing roofline, unless historic photo documentation indicates otherwise
- In keeping with traditional style, dormers should be placed above existing window or door apertures
- Oversized and large shed dormers are not appropriate and will not be supported
- A Heritage Property Permit is required to add, remove or reconstruct a dormer or gable

6.3.13 Foundations

Traditional foundations of nineteenth century structures in the Village were of field stone. They were usually quite shallow, approximately three feet in depth, which would allow for a small cold cellar, but not a full basement. By the turn of the century, concrete foundations were common and may still be found on some older structures in the Village. The maintenance and preserving of a foundation is necessary to the structure's integrity. Original foundations should be retained and maintained where possible.



These original houses have the ground floor at grade, (photo 2013)



The following policies will apply:

- The parging above ground level of original exterior stone foundations will not be supported
- The facing of a new or reconstructed foundation with stone must be in keeping with stone styles, scale, texture and dimensions traditionally used in the Village
- The waterproofing of a foundation below grade will require a Heritage Property Permit
- A Heritage Property Permit is required to replace or repair a foundation

6.3.14 Outbuildings (Garages and Garden Sheds)

Historically there were a number of outbuildings within the Village and surrounding area. Outbuildings help provide a visual link to the past as do the smaller barn-like structures which have survived in the Village from a time when outbuildings served a different purpose than they do today. These buildings were utilitarian in their design and were not built to become a separate living space. Outbuildings today function as garages and garden sheds. The replacement of a previous outbuilding to a property must be based on historic examples from within the Village and be of a utilitarian design.

The following policies will apply:

- Extant, original outbuildings, identified as a heritage attribute in the *Property Inventory* (Appendix A of this HCD Plan) will be maintained in order to conserve the heritage attributes of the property
- The restoration of a lost outbuilding must be based upon historic documentation or physical evidence of a previous outbuilding foundation
- The construction of a new outbuilding will be based on historic examples from within the Village
- Size, scale, height and massing must be smaller than the main structure and in keeping with the scale and setting of the property
- The size, shape and form must resemble a utilitarian building and not look like an extension of the main house
- Outbuildings will be of wood construction with wood siding finish, wood board and batten finish, or rough cast stucco finish



- Windows to outbuildings will be in character with traditional styles, placement, shapes and forms with the framing and sashes constructed of wood
- Doors to outbuildings, whether pedestrian, sliding or retractable, will be of a traditional style
- A Heritage Property Permit will be required for the repair, removal, replacement or addition of an outbuilding if that structure is identified as a heritage attribute in the *Property Inventory* (Appendix A of this HCD Plan)

6.3.15 Mechanical and Utilities

Modern day electrical and heating conveniences are common and expected.

The following policies will apply:

- Mechanical equipment and related services such as air conditioning units or vents for gas fireplaces and furnaces should be kept out of sight from the street view
- Additional services such as satellite telecommunication devices and the like should be at the rear or out of sight from the street view

6.4 Spatial Relationships – Public Realm

In terms of spatial relationships, the public realm is defined by the space between the property lines from one side of the street to the other side. These include the roadway and boulevards, sidewalks and publicly owned lands such as the mailbox gazebo, parks and CVC lands.

The layout and design of the Village, both from a built and spatial perspective, was a planned concept dating back to before the Bristow Survey of 1856. The Village continued to develop around this planned low-density concept which took into consideration the natural topography, streams, vegetation and tree plantings which pre-existed. This tradition has changed little since 1856 and is perhaps the Village's most significant heritage attribute. It is therefore important to maintain this low density characteristic as reflected in the Mississauga Official Plan. Section 9.1.11 states that: *"A distinct character for each community will be created or enhanced through the road pattern, building massing and height,*



streetscape elements, preservation and incorporation of heritage resources and prominent placement of institutions and open spaces.”

The following policies will apply:

- The spatial characteristic of small building forms on large lots with generous spacing between buildings and the street will be conserved
- The retention and protection of public open space throughout the HCD will be conserved
- Large diameter trees on public lands throughout the Village, which provide a consistent green canopy by framing the public properties, will be protected
- Land severances of public lands should not be permitted

There are three significant public realms in the HCD to be conserved: the public roadway and street trees; the CVC lands [including the mill ruin area, mill race and tail race, Meadowvale Conservation Area (P-398)]; and Old Ridge Park (P-391), along the south edge of the Village. Each of these public spaces has historical value as well as natural heritage elements and contributes significantly to the cultural landscape of the Village and its surroundings. Municipally owned parkland within the HCD also includes Meadowvale Hall (P-042), located on Second Line West and Meadowvale Village Green (P-449), located at the intersection of Old Mill Lane and Old Derry Road. The CVC lands and Old Ridge Park (P-391) are proposed for addition into the HCD boundary and are, therefore, described in subsections below.

6.4.1 CVC Lands and Meadowvale Conservation Area

The Credit Valley Conservation has a mandate to oversee the protection of these lands to ensure the natural heritage elements will thrive for generations to come. The Credit River is the most significant natural heritage feature of this area, but it also represents an extensive cultural heritage significance as explained in Appendix 1 of this Plan. The Bristow Survey of 1856 included the CVC lands north of the Village in the survey. However, these lands were never developed for a number of economic reasons. The CVC lands, where the mill ruins and associated extant features exist, are all that remain of the Village’s industrial past. These mill ruins remain under the authority of the CVC and will be protected by their policies and direction in cooperation with the City’s open space policies and this Plan.



Pedestrian trails throughout the CVC lands are encouraged as they provide connecting links to Meadowvale Village which hold cultural heritage significance. The existing informal dirt pathways are preferred and any additional new pedestrian trails should be constructed in a similar manner of appropriate size, scale, form and natural materials. The need for formalized future trails may be required to meet community needs and accessibility.

It is acknowledged that the CVC facility structure, currently located at 7060 Old Mill Lane, may in the future change its use to a residential lot. This would be supported by Heritage Planning staff with the understanding that the dwelling be of a size, shape, form and lot set-backs consistent with the neighbouring extant building structures reflective of the 1856 Bristow Survey. It is recommended that public access, by means of a pedestrian walkway be retained, into the Conservation Area on this property. This lot is not currently zoned or designated in the City's Official Plan for residential use.

The following are suggestions for continued use of these lands:

- These lands must remain publicly accessible, such as pedestrian trails, subject to appropriate recreational uses which conserve the natural and cultural heritage resources
- Pedestrian trails with linkages to the Village will be encouraged and enhanced where possible
- The addition of new pedestrian trails should reflect the natural pathways already in existence, or be constructed in a similar manner of appropriate size, scale, form, alignment and natural materials such as stone or wood chip found in conservation areas.
- A Heritage Property Permit will be required for the addition of new pedestrian trails or for any other entry points into the Meadowvale Conservation Area

6.4.2 Old Ridge Park

This nearly eight acre City Park (P-391) was created as a result of the developing plan of subdivision to the south of the Village. Through the development process an open green buffer adjacent to the historic village of Meadowvale and protection of the ridge was achieved.

The significant heritage attribute of the park is its retention of the open green space which has always been directly on the south edge of the Village. This open area, once rural farm land, links the current



park with its former agricultural use and its direct relationship to the Village. Historically the area was known as the local tobogganing hill which may continue today under the park use.

The park consists of an open playing field, an area of asphalt paved parking off Historic Trail and children's play area and structure. The natural ridge to the east is a significant land feature which runs continuous through the centre of Meadowvale Village and north along Second Line West. The park also contains several plantings of deciduous trees and other vegetation. The natural appearance sympathetically retains the rural appearance which has changed little on this site since the land was first farmed in 1824.

The use and amenities of Old Ridge Park will evolve in the future to meet the needs of the community.

6.4.3 Streetscapes

A streetscape, as defined by the Mississauga Official Plan states: "means the character of the street, including the street right-of-way, adjacent properties between the street right-of-way and building faces. Thus, the creation of a streetscape is achieved by the development of both public and private lands and may include vegetation, street furniture, street paving, etc." These elements are a major component in what defines the overall heritage character of an HCD. It is, therefore, important to maintain the historic pattern of street, lot, and building development in the Village.



Corner of Old Derry Road and Pond Street, c. 1910 (PAMA)



Same corner in 2012



6.4.3.1 Views and Vistas

The HCD is located within a shallow valley east of the Credit River, with a gentle rise to a ridge on the east side of the HCD. There are views and vistas both to and from the HCD that are valued as part of the Village character.

The pedestrian and vehicle use of roads and pathways within the HCD provide an experience of the views and vistas enjoyed by many for the past 200 years. These views and vistas are to be conserved for the enjoyment and historical association they provide.

The Old Derry Road Bridge over the Credit River provides some of the more spectacular natural landscape views and vistas leading into the HCD area. These views help to provide a strong cultural heritage link to how Meadowvale Village got its name over 150 years ago. The gentle rolling meadows and vales along the Credit River basin are an important cultural heritage attribute to be retained. Future riparian plantings along the Credit River should support the natural heritage restoration and be complimentary to the cultural heritage attributes of the area.



Old Derry Road at the Credit River Bridge, 2012 The Credit River view from the Old Derry Road Bridge, 2012



The following policies will apply:

- Views from the bridge over the Credit River must be protected to allow views in all directions of the open valley and river
- Views from Second Line West and Old Derry Road into the former Gooderham Estate property (929 Old Derry Road) must be maintained through the open space to the structures
- Views from the crest of the ridge on Second Line West, north of Barberrry Lane, to the north end of Second Line West must be conserved to maintain the rural character along the edge of the road on both sides
- Views from the street to the front facades of all buildings in the Village, including the two street fronts of all corner lots, must be clear of privacy fencing or hedges which would obstruct the significant open views. Providing an integrated and seamless interface between the public to private realms is paramount



Second Line west looking north, 2012



View from the Gooderham Estate looking west, 2012

6.4.3.2 Roads

Roads within the Village (with the exception of Old Derry Road) are narrow with no curbs or sidewalks. This is a significant attribute and heritage character element that Village residents wish to see



conserved. It is possible that the completion of sidewalks on Old Derry Road may be considered in the future to meet transit accessibility needs where appropriate.

The following policies will apply:

- The narrow roadway profiles, with no curbs, are to be conserved
- The conservation of large diameter trees in the public realm, which provide a canopy over much of the Village's roads, will be encouraged
- If street trees need to be removed due to damage or poor health, a replacement tree of an appropriate native species should be replanted



Barberry Lane looking east from Old Mill Lane, 2012.

6.4.3.3 Topography

The topography of Meadowvale Village has changed very little over the years making it an important heritage characteristic that shapes the community. The natural topography on public lands reflects the remnant 19th century character of the Village where the roads, buildings and infrastructure was adapted to fit the topography rather than being imposed upon it.

Maintenance and improvement of drainage conditions will be an opportunity where redevelopment takes place in the context of heritage conservation. Opportunities may be explored to implement sustainable technologies (e.g. rain gardens, enhanced grass swales, etc.) to assist in managing stormwater runoff on public lands in consultation with City staff.



In some cases, the restoration of natural heritage features, such as the removal of a paved parking lot surface and replaced by naturalised green space, may involve a slight change in topography. This would be supported if the change reflects the restoration of a lost natural heritage feature or characteristic.

The following policy will apply:

- The natural topography of the public lands within the HCD will be maintained and conserved

6.4.3.4 Signage

Signage is a necessary public service to provide guidance, way finding, instruction and to inform. Traditionally signage has been used minimally throughout the Village and it is important to retain this appearance of minimal signage in order to preserve the heritage character of the area. Second Line West is designated as a signed bike route and Old Derry Road is proposed for a signed bike route in the City's Cycling Master Plan. When required, City staff will prune trees and vegetation to ensure that proper and safe sightlines are provided.

The following policies will apply:

- Signage within the public realm should be kept to the identification of street names
- Any future signage regarding city bike routes in the Village, as per the City's Cycling Master Plan, will be appropriate in its design to suit the heritage character of the HCD
- The number of directional signage and traffic safety signs will be minimal and used where appropriate
- Signage will be appropriately designed to be compatible with the Village character
- Electronic signage, including digital and LCD panel signage, will not be supported
- Neighbourhood identification signs indicating that the area is an HCD may be placed at the entrances to the Village and be simplistic in its design, form and installation
- Back-lit signs and third party signs will not be supported
- A Heritage Property Permit is required for the addition or alteration of all public realm signage



6.4.3.5 Street Lighting

There were no streetlights in the Village until December 31, 1963. Therefore, there was no publically funded lighting within the public realm prior to 1963. The first street lights introduced in the Village were a simple cobra design. There is historic photographic documentation indicating the existence of private lighting which may have illuminated the public realm on occasion. The evidence of this private lighting was found primarily along the commercial core of Old Derry Road.

To be consistent with the Village's heritage character, there were improvements made in 2012 to the local infrastructure with relation to an upgrade of the electrical/hydro services. New and improved hydro service was completed throughout the Village along with new wooden service poles that were sized to complement the Village as well as being placed to avoid the removal of large diameter tree growth. The upgrade included the replacement of the original cobra street lights with a modern equivalent. The cobra lamp style is a widely used and accepted usage of lighting. Because of its simplicity, this style blends well into the streetscape.

In 2014, the City will be upgrading the street lighting with a LED light. This style of fixture is about one third the size of a cobra lamp and will provide a more directional light. It produces the same colour temperature as natural moon light. The new lighting fixture will be energy efficient and cost effective.

The introduction of a style of street lighting thought to be of a heritage character is inappropriate and will only draw attention to itself and should be avoided.

The following policies will apply:

- Street light illumination should not be excessive by spilling beyond the public right of way
- A Heritage Property Permit will be required to add or alter street lighting in the public realm



6.4.3.6 Parking

The Village road pattern was conceived and established long before the use of modern transportation and therefore did not allow for street parking of vehicles. Street parking detracts from the village character and conflicts with the traditional spatial relationships of the streetscape. Therefore, street parking should be kept to a minimum.

Public safety is a concern for all neighbourhoods regardless of heritage character. It is important that emergency vehicles responding to calls be provided with ample access down streets and laneways at all times. Therefore, it is important that parking of vehicles be restricted to driveways and residents must be mindful of the three hour street parking limit which is a current By-law throughout the City of Mississauga.

6.4.4 Structures within the Public Realm

There are few structures in the public realm which hold significant cultural heritage value to the Village. Structures located within the public realm include, but are not restricted to, bridges, utility buildings, the Canada Post mailbox gazebo and community facilities such as the Meadowvale Village Hall (P-042). The structures listed below in the policies section reflect the public realm structures which hold the most cultural heritage significance to the Village. The following policies will apply:

- The bridge over the Credit River on Old Derry Road is a heritage attribute to the HCD and will be conserved in its size, shape, form, materials and design
- The ruins between Willow Lane and Old Mill Lane will be conserved and interpreted
- The Canada Post mailbox gazebo should remain in situ and be conserved
- The Meadowvale Village Hall property will be conserved with the building being retained in situ, and the property subject to the policies of this HCD Plan
- A Heritage Property Permit will be required for any alterations to structures within the public realm



6.4.5 Trees within the Public Realm

Trees have been identified as a significant heritage attribute within the Village. The responsibility and decisions regarding removal, maintenance and removal of trees is a responsibility of the City. The following policies will apply:

- Should trees need to be removed, due to damage or poor health, a replacement tree of an appropriate native species should be replanted
- Large diameter trees, which provide a canopy over much of the Village's roads, are to be conserved

6.5 Private Realm

The lotting pattern, created by the Bristow Survey of 1856, has changed very little over the decades. The relationship between small buildings on large lots has retained its spatial openness creating a neighbourhood that does not conform to the regular lot patterns seen in modern subdivisions throughout Mississauga. This combination of the variety of lot sizes with generally smaller structures has created a distinct heritage character of open spatial relationships throughout the HCD and must be conserved. Land severances of private lands should not be supported.

The topography of the private realm in Meadowvale Village has changed very little over the years making it an important heritage characteristic which has shaped the community. Topography is a naturally occurring environmental element which has preceded any development within the Village. It crosses properties and by changing the topography on one property, this will affect the special relationship of the topography to neighbouring properties.

Large diameter trees are very much part of the Village character. Over the years, large diameter trees have grown throughout the Village. In much of the Village these trees were not a result of organised patterned plantings. New landscaping efforts that create organised hedgerows are not appropriate to the heritage character of the HCD.



The following policies will apply:

- The spatial relationships within a property and its structures, plus its relationship to neighbouring properties, reflects the heritage value of the Village and must be retained
- The development of a private open landscaped area, which has a history and tradition of being undeveloped, will not be supported
- The topography of a private property must be maintained in order to conserve the heritage character of the HCD
- Large diameter trees and groupings of trees should be conserved
- The scale and design of landscaping features will be appropriate to the size and scale of the property
- The varied set-backs of properties, which are characteristic to the Village, will be maintained
- Land severance of private land should not be permitted
- The alteration of each property's open areas, as defined by its heritage attributes, will require a Heritage Property Permit

6.5.1 Landscaping

Meadowvale Village HCD has been fortunate to retain much of its rural character. Both private property and public lands are characterised by minimal landscaping, typical of a small rural village.

Understanding the evolution of the open, green character of the Village is necessary to conserve its heritage attributes. This character will be maintained. The open views also promote a safe environment at a pedestrian scale where neighbours are more aware of daily activities and appropriate land use.

The City of Mississauga encourages the use of the Crime Prevention Through Environmental Design's (CPTED) principles and guidelines to promote safe neighbourhoods. Any application going through the Site Plan Approval process in Mississauga is subject to a review by the City's CPTED Committee.

Please refer to the following website for information about the principles of CPTED:

<http://www.cptedontario.ca/>



Stone features and elements, such as decorative retaining walls, were not historically found within the Village. The Village is located in a river valley made up of silt deposits. Any stone, or other products such as concrete, brick, stone veneer, used for landscaping features would have to be introduced. Therefore, the introduction of these landscaping materials is not appropriate.

Arbours, trellises and pergolas will be acceptable if they are at the size, shape, form and materials according to the property's size and heritage characteristics.

It is the setting of a place that defines its character and how an area is experienced and used. The development of a more urban or formalized topography and vegetation, with undocumented ground and built features, will be discouraged.

The following policies will apply:

- Lands with a known tradition of being an open area will be retained
- The spatial relationships on a property and its structures, plus its relationship to neighbouring properties, reflects the heritage value of the Village and must be retained
- Organised plantings designed to create privacy fencing, or to obscure views between the public realm and the private realm, will be discouraged as they are not traditional HCD heritage characteristics and may cause safety concerns
- Stone landscaping above grade using materials such as stone, flagstone, brick, concrete or veneer products will not be supported
- Decorative wall features, or retaining walls, will not be supported
- Arbours, trellises and pergolas must be of the size, shape, form and materials according to the property's size and heritage attributes
- Changing grade to accommodate landscaping features and elements will not be supported
- A Heritage Property Permit will be required to alter a property's topography



6.5.2 Planting

Historically, the Village had modest and minimalist plantings featuring mostly native species. Typically in a rural setting, small front gardens lined the house with perennials and vegetable gardens were located in the rear yards.

The planting and green nature of the HCD is one of its heritage characteristics. Green spaces must be retained in their original, unaltered, open form which conserves the property's original topography. Landscaping which is rural in its design and form is preserving the Village character. Therefore the use of native species plantings, including trees, will be encouraged.

Creeping vines, which grow on the façade of a building, can have damaging effects to a structure. Vines can loosen mortar on a masonry structure, crack stucco material, lift roofing shingles and warp soffits. In addition, vines require water to continue growing and this moisture can lead to the eventual deterioration of the building's structural elements. Therefore, creeping vines are only acceptable if they are trained to grow on a trellis and are not physically attached to the building structure.

Planting beds which have utilised the natural, existing grade are in keeping with the heritage character of the Village and will be encouraged. The introduction of landscaping features, such as armour stone, decorative retaining walls, and other materials that would alter the grade of the existing planting beds, are not appropriate.

The following policies will apply:

- Views and vistas from the street are to be kept open and transparent in keeping with the HCD character
- Planting to provide privacy screening, such as a hedge or tree row, on front or side yards visible from the public realm is not in keeping with the HCD character and will not be supported
- Creeping vines are only acceptable if they are trained to grow on a trellis and are not physically attached to a building
- Plantings, which negatively affect a structure's foundation, will be discouraged
- If a property has a pre-existing hedge, it must be maintained to a level of no higher than 2 metres as per the city wide Bylaw 397-78



- A property owner should maintain, through routine trimming and pruning, any large diameter trees which are encroaching upon structures

6.5.3 Driveways

Driveways, as we know them today, began to appear in the Village in the 1920s when many residents began purchasing motor vehicles. At the time of designation of the HCD in 1980, driveways were a very minimalist, gravel-based feature of each individual property. They would have blended into the overall property and did not draw attention to itself. Environmentally, permeable surfaces allows rain and snow run-off to dissipate away from the property foundations. The prevalence of hard surface driveways and parking areas prevents this dissipation, and can allow water to enter the property's foundation, causing structural damage. Therefore, permeable driveways and walks are encouraged as they prevent run-off and have a more traditional appearance. Gravel has long been the traditional ground cover for a driveway and is in keeping with the heritage characteristics of the HCD.

The following policies will apply:

- The use and installation of permeable paving methods will be encouraged
- Hard surfaces areas should be minimized in order to reduce run-off. Asphalt pavement or poured concrete will be discouraged
- The style, design, shape and form of pavers will be reviewed by Heritage Planning staff to ensure they are compatible with the property and neighbouring properties
- Driveways should be single car width to minimized hard surface areas
- Parking areas should not be extended off the driveway
- The redesign or introduction of a new driveway will have no impact on existing topography and vegetation
- Driveway entrances will not be gated
- Circular driveways will not be permitted with the exception of those which exist at the time of the passing of these HCD guidelines and by-law
- A Heritage Property Permit will be required to alter or add a driveway to a property



6.5.4 Fences

Historic documentation indicates that most properties had picket-style fencing. This type of fence was employed for practical purposes to both keep livestock in a defined space and to keep animals from entering a space. Over the years most fences have been removed to create what today is an open and transparent view from the street to the front facades of buildings. Privacy fences on the front and side yards are not in keeping with the Village character as they have the potential to block views and create a loss of visual transparency between the public and private realms.



Pond Street c. 1910 (PAMA)



Old Derry Road c. 1910 (PAMA)

The following policies will apply:

- Privacy fencing which is hidden from the street view, and does not interfere with the views of the property from the public realm, will be supported
- Traditional wood fencing, based on historical documentation which validates the traditional materials and style used, will be supported
- Materials other than wood fencing will not be approved
- A Heritage Property Permit will be required to erect a fence visible from the public realm



6.5.5 Pools and Water Features

Swimming pools and other water features, such as ponds and water fountains, have grown in popularity since the mid twentieth century. The placement of a swimming pool should be placed so that it has no impact on the topography, large diameter trees and any other natural feature on the property. The installation of a swimming pool, or any other water feature, should be reversible. Prior to altering the property the owner must consult with Heritage Planning staff.

The following policies will apply:

- The surround of a swimming pool, pond, or fountain with associated landscaping features, must be at grade level
- If the topography of the existing landscape can accommodate the addition of a below ground swimming pool, or other water feature, the application will be supported
- Re-grading, or changes to the existing topography to accommodate the installation of a swimming pool, or other water feature as noted above, will not be supported
- A Heritage Property Permit will be required to add a swimming pool, or any other water feature, prior to ground disturbance or alteration of the property

6.5.6 Topography

The Village developed from the early nineteenth century by adapting to and using the natural topography. Today's development is often imposed on a topography which makes the Village setting distinct in Mississauga. The existing topography of the Village is a significant heritage attribute. These include natural slopes, varied grading and water courses. These are all part of the Village character that are to be conserved on private property.

Maintenance and improvement of drainage conditions will be an opportunity where redevelopment takes place in the context of heritage conservation. Opportunities may be explored to implement sustainable technologies (e.g. rain gardens, enhanced grass swales, etc.) to assist in managing storm water runoff on private lands.



The following policies will apply:

- The natural topography on private property within the HCD will be maintained and conserved
- The alteration of a private property's topography will not be supported

6.6 Activities/Alterations Exempt from Review

A property may from time to time require basic maintenance and repair that may or may not require either a heritage permit or building permit.

Section 41.1 (5e) of The Ontario Heritage Act requires that a municipality list items not requiring a permit as referenced below:

"a description of the alterations or classes of alterations that are minor in nature and that the owner of property in the heritage conservation district may carry out or permit to be carried out on any part of the property, other than the interior of any structure or building on the property, without obtaining a permit under section 42. 2005, c. 6, s. 31."

Therefore, the following minor alterations will not require a Heritage Property Permit:

- Alterations or changes to the interior of a building or structure
- Minor maintenance or repair of property with like materials and same dimensions
 - Example: Replacing wood fascia board with same
- Painting of wood surfaces or previously painted brick/masonry
- Re-roofing with same materials
- Repair or replacement with like materials of eaves troughs and downspouts
- Changes to a heating or cooling system if the alteration cannot be seen from the street
- Erection of a small accessory building ten square metres or less
- Replacement of steps or sidewalks in the same style and materials

It is highly recommended that a property owner contact the City's Heritage Planning staff prior to any alterations to clarify whether a Heritage Property Permit may, or may not, be required.



6.7 Additions and New Construction

Newly developed properties, like all other properties in the Village, will be compatible and contribute to the overall Village character.

There are few opportunities for new development as the Village has reached its maximum built form number of lots, respecting the 1856 survey and lotting pattern. To maintain the Village character, all existing structures which have specific and documented heritage attributes relating to the structure are to be retained. An HCD is not meant to freeze an area in time, but allows for appropriate and manageable change to maintain its character and heritage attributes.

6.7.1 Additions

Additions are usually to the side or rear facades of a building, which is especially important in a heritage conservation district where the goal is to conserve the streetscape and sense of place from the public realm. Additions to the front façade will not be supported. Additions can have an impact not only on the subject property but also to adjacent properties and therefore must be respectful of existing and historic spatial relationships between properties. An addition must also be of the right size, shape and form specific to the character of the original structure ensuring that it is smaller in size and is not the focal point of the property. An addition must show a distinct transition from the original structure yet be sympathetic in its design and materials. Any restoration of lost features and additions will be supported provided it is based on historic documentation (for example a porch or verandah).

A secondary addition onto a first addition will follow the same principles and policies as outlined below.

The following policies will apply:

- The restoration of lost features and additions must be based on historic documentation
- Additions must be in scale and kept to areas away from the main facades
- Additions must be complementary in design, scale, mass and form, but distinguishable from the original building
- Additions must be equal to or less than the height of the original structure
- Rooflines on the original structure will not be altered



- The redesign of a dormer to a gable will not be supported
- Additions should allow for the retention of as much of the original structure as possible
- The design of an addition will not alter the original orientation and must maintain the main entrance and all original doors and windows on the front and side facades
- Additions must be done in a manner that does not destroy original building fabric or is irreversible such as the removal of original walls and building materials
- Corner properties should have an equal proportion of architectural details, such as traditional windows and doors, on both street fronting facades
- A Heritage Property Permit will be required for the construction of an addition

6.7.2 New Construction

Developable land in and adjacent to the HCD, has reached its maximum capacity. Therefore, there are few opportunities within the Meadowvale Village HCD for brand new construction. There are currently only two vacant lots; 1066 Old Derry Road due to the loss of the structure in a fire in November 2011, and a registered building lot located 7061 Pond Street. Land severances will not be supported through the Meadowvale Village HCD Plan as the Village has reached its maximum number of lots if it is to retain its heritage character. There can be exceptions, such as the loss of a structure due to fire or other environmental damage, or when a structure is not deemed to be a heritage attribute.

In general throughout the history of the Village residential styles were modest in size, scale and design. The majority of residences were one to one-and-a-half storeys. As two storey residences were uncommon, only the few historic two storey structures will be allowed. The general character of smaller structures on larger lots will be upheld. New construction must respect the architectural character within the Village through modern interpretation. However, new construction must not mimic any historic architectural style as to make it undistinguishable from older structures in the HCD.

In terms of building materials, brick was not common in Meadowvale and stone was not used as building materials except in foundations. Therefore, wood siding or rough cast stucco finishes, utilising traditional methods of application, will be supported.



Verandahs and porches were common in the Village. Historical evidence from the Village shows that most verandahs did not extend past the front façade. Therefore, verandahs extending past the front façade, or wrap-arounds, will not be supported.

Context and regard for neighbouring properties will be important considerations with a goal to retain spatial relationships and a sense of open space between structures and neighbouring property.

Maintenance and improvement of drainage conditions will be an opportunity where redevelopment takes place in the context of heritage conservation. Opportunities may be explored to implement sustainable technologies (e.g. rain gardens, enhanced grass swales, etc.) to assist in managing storm water runoff on private lands.

Windows will be kept to no more than 20% of a wall to reflect the historic ratio of window to wall. Windows must also be constructed of wood in keeping with the heritage attributes of the Village. The windows must be consistent with the design and style of the structure.

A flat roof is not a traditional style or design found in the Village. Therefore, flat roofs will not be supported. A roof angle of 15 degrees or less is considered flat in accordance with the City of Mississauga's Zoning By-law. Building heights in Meadowvale Village have also been established in the Zoning By-law.

The following policies will apply to new construction:

- A maximum height of 7 metres, and must be no more than 1 ½ storeys
- A maximum square footage for a residential structure –NOTE: the square footage is to be determined before the HCD Plan is finalized
- Subject to all zoning regulations for the HCD
- Style, massing, form, and materials will be subject to the historic pattern of construction throughout the Village
- Exterior cladding will be rough cast stucco or wood siding, utilising traditional methods of application, will be supported



- New construction will be sited on the lot to retain spatial relationships and a sense of open space between structures and neighbouring property
- Residential structures must be oriented to the street in a traditional manner
- Existing topography, natural drainage, mature vegetation and large diameter trees will be conserved
- Windows will be consistent with the design and style of the structure
- Windows will be constructed of wood
- Windows may be double pane with muntin dividers
- Shutters will be of wood construction and be functional in their design
- The set back from the street will be a median of neighbouring properties
- New construction will be reflective of the Village's simplicity of style, yet will not be a reproduction of an earlier architectural style
- Existing natural heritage elements and vegetation should be minimally impacted with a goal towards conservation
- The topography should not be altered
- New built garages, or garage replacements, must be fully detached and set-back from the front façade
- Garages will be built in a style that reflects the simplicity and utilitarian use of a secondary outbuilding
- Wrap around verandahs will not be supported
- Flat roofs will not be permitted, as per the Zoning By-law
- In keeping with Village tradition, foundations should not extend above grade level as much as possible
- All policies in section 6.3 *Alterations to property and extant structures* of this HCD Plan will apply
- A Heritage Property Permit will be required for all new construction

6.8 Adjacent Property to the HCD

Property immediately adjacent to the HCD will be subject to careful review to ensure its compatibility with the HCD and avoid any possible negative impacts from development.



The Provincial Policy Statement provides:

Policy 2.6.3 states that *“Development and site alteration may be permitted on adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved”*.

A heritage impact assessment, heritage conservation management plan and/or an archaeological assessment may be required.



7. Recommendations

The following items are not policies or guidelines but may add to the future development and appreciation of Meadowvale Village as a heritage conservation district.

7.1 Conservation of the Mill Ruins

The history and development of Meadowvale is largely defined by the saw and grist mills that once existed in this small rural village. The mill ruins which exist today have been researched and identified. In order to maintain the ruins it is necessary to conserve and stabilize these important cultural heritage resources. A plan is required to conserve the mill ruins and ensure the long term stabilization of the features, along with a term of reference to record, plan and implement this conservation plan, plus monitor the site. This conservation and stabilization project is an opportunity for the CVC, Parks and Forestry and Heritage Planning to partner in order to maintain and preserve this important cultural heritage resource.

7.2 Interpretive Opportunities

A program to introduce interpretive signage and other methods of historic interpretation throughout the Village is recommended in order to convey the rich history of the HCD area. Interpretive materials will be in keeping with the character of the Village in their design, scale and materials. A maintenance and review program will be established to care for the interpretive resources.

The mill ruins located on the CVC lands are an excellent example of a remnant from the past which could tell a significant story about the history and development of the Village. There are many interpretive opportunities associated with the mill ruins including stabilization of the ruins, interpretive panels with a history of the site and historical photos and relevant public art. Other areas of the Village may also be appropriate for interpretation and therefore these opportunities should be explored.

Preliminary research has found that the number of stacked plank constructed buildings within Meadowvale Village HCD may be the highest concentration of this construction type in Ontario. There may be provincial significance to this possible fact in that it not only provides a distinct building type but



also reflects the industrial development of the Village. Further research will be required as to the truly distinct nature of the stacked plank construction frequency and typology.

Limited research has been done on the artist that lived and worked in Meadowvale at the turn of the twentieth century. (See Appendix B) Further research and interpretive opportunities that would explore this interesting time in the Village's history could provide another cultural layer of history.

It is recommended that the painting entitled, "Indians on the Credit", by former Meadowvale Village resident Frederick Haines, which currently hangs in the Mississauga Civic Centre, be copied and placed above the blackboard in the Meadowvale Village Hall where it originated. The return of this art piece would be a reminder and acknowledgment of Haines' life in the Village and his extensive career as an artist and educator. Another example of an interpretive opportunity would be a plaque to acknowledge Group of Seven artist A.J. Casson's association with Mill Cottage (1101 Old Derry Road) in the Village.

7.3 Meadowvale Village HCD Review Committee

Throughout the Meadowvale Village HCD Plan review process, residents raised concerns with a perceived lack of transparency with the current Meadowvale Village HCD Review Committee. It is recommended that the community, in cooperation with the Review Committee and Heritage Planning staff, consider changes to the local heritage application process. This may include notification to residents of applications and results, plus allowing heritage staff to fast track approvals for minor alterations and repairs through a delegation of authority.

7.4 Heritage Property Grant Allocations

Currently, the Heritage Property Grant program allows heritage property owners to apply for a 50/50 matching grant for the conservation of heritage attributes. A minor amount is currently allowed for professional studies, such as a structural engineering report. It is recommended that this amount be increased to allow for more flexibility and availability of funds to assist with studies such as a heritage conservation plan or an archaeological assessment.



7.5 Old Derry Road Study

At a community meeting held on March 7, 2013, there was an expression of interest from the residents in attendance for the City to undertake a community revitalization review of Old Derry Road. The once thriving commercial core of the Village has been lost for many years. A study to revitalize the commercial core with the potential to attract small businesses, a pedestrian friendly scale, and improved parking and landscaping features is recommended.

7.6 Street Parking

HCD residents have expressed street parking as an ongoing concern and long term need. Consideration should be given to street parking being restricted to the side of the street which contains the least number of driveways in order to maximise parking availability. Maintaining parking on one side also alleviates the concern about access for emergency vehicles throughout the HCD

7.7 HCD Plan Review

The Ministry of Culture, Tourism and Sport recommends that a heritage conservation district plan be reviewed and revised every five years in order to keep the document current and relevant to the community's needs. The review may also consider the potential to revisit additions to the boundary of the HCD, such as to include neighbouring heritage resources such as the Humphries lands located at 1200 and 1220 Old Derry Road.



Glossary of Terms

The definition of terms used in this document correspond and share the same meaning as those in the original source.

A) The following terms are defined in the **Ontario Heritage Act**:

Alter: means to change in any manner and includes to restore, renovate, repair or disturb and “alteration” has a corresponding meaning; (“transformer”, “transformation”)

Building Permit: means a building permit issued under section 8 of the *Building Code Act, 1992*;

Heritage Attributes: means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest

Owner: means the person registered on title in the proper land registry office as owner

Property: means real property and includes all buildings and structures thereon.

B) The following are defined in the **City of Mississauga Official Plan**:

Heritage Impact Statement: means a statement that will identify all heritage resources of a property; describe and evaluate their heritage significance; and, evaluate their sensitivity to a proposed development, use or re-use, including, where possible, measures to mitigate deleterious consequences.

Heritage Easement: means a legal agreement between the property owner and the City or the property owner and the Ontario Heritage Trust whereby a set of regulations regarding the heritage conservation of the property are established in perpetuity.

Streetscape: means the character of the street, including the street right-of-way, adjacent properties between the street right-of-way and building faces. Thus, the creation of a streetscape is achieved by the development of both public and private lands and may include planting, furniture, paving, etc.



Watercourse: means an identifiable depression in the ground in which water flows regularly or continuously.

Floor Space Index (FSI): means the ratio of the gross floor area of all buildings on a site to the net developable area of that site. The gross floor area calculated for purposes of Floor Space Index (FSI) is generally measured from the exterior of outside walls, but does not generally include mechanical areas, stairwells, washrooms, elevators, storage, and parking or other items as defined in specific Zoning By-laws.

C) The following terms are defined in the **Parks Canada: Standards and Guidelines for the Conservation of Historic Places in Canada**

Conservation: All actions or processes that are aimed at safeguarding the character defining elements of a cultural resource so as to retain its heritage value and extend its physical life. This may involve “Preservation,” “Rehabilitation,” “Restoration,” or a combination of these actions or processes.

Cultural Heritage Value: An area or place that is of historic, architectural, archaeological, spiritual or other cultural significance.

Cultural Heritage Landscape: Any geographical area that has been modified, influenced, or given special cultural meaning by people. Designed cultural landscapes were intentionally created by human beings; Organically evolved cultural landscapes developed in response to social, economic, administrative or religious forces interacting with the natural environment. They fall into two sub-categories: Relict landscapes in which an evolutionary process came to an end. Its significant distinguishing features are, however, still visible in material form. Continuing landscapes in which the evolutionary process is still in progress.

They exhibit significant material evidence of their evolution over time. Associative cultural landscapes are distinguished by the power of their spiritual, artistic or cultural associations, rather than their surviving material evidence.

In situ: This term means ‘in place’ and as used in this document, it refers to the action of protecting, maintaining and/or stabilizing the existing materials in the location where they were found.



Heritage value: The aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present or future generations. The heritage value of an historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings.

Maintenance: Routine, cyclical, non-destructive actions necessary to slow the deterioration of an historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, while protecting its heritage value.

Restoration: The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Preservation: The action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

Pergola: An arbor or a passageway of columns supporting a roof of trelliswork on which climbing plants are trained to grow.

Sustainability: A group of objectives (economic, social and environmental) that must be coordinated and addressed to ensure the long term viability of communities and the planet.

Vegetation: Refers to trees, shrubs, herbaceous plants, grasses, vines, aquatic and wetland plants, and other living plant material

Vernacular: Indigenous, made locally by inhabitants; made using local materials and traditional methods of construction and ornament; specific to a region or location.



D) General Terms:

Archaeological Assessment: Before approving a land development project regulated by legislation, the City requires an archaeological assessment of all lands that are part of the project. Assessments are required when the land is known to have an archaeological site on it, or has the potential to have archaeological resources. Archaeological assessments must be carried out by consultant archaeologists. It is important to contact Heritage Planning staff for further information. For further information, please consult the following website:

http://www.mtc.gov.on.ca/en/archaeology/archaeology_assessments.shtml

Heritage Conservation Plan: A Heritage Conservation Management Plan serves to identify the cultural heritage significance of a property and to set out a plan to manage, protect, and preserve the heritage attributes and integrity of cultural heritage resources. The Heritage Conservation Management Plan is a long-term plan that takes into consideration future use, possible alterations or development while protecting and conserving the heritage attributes.



Suggested Readings:

Blake, Janet. "On Defining the Cultural Heritage" in: *The International and Comparative Law Quarterly* 2000, vol. 49, issue 1, p. 61-85.

Charalambous, Nadia. "Social and Spatial Patterns of Cultural Heritage" XXI International CIPA Symposium, October 1-6, 2007, Athens, Greece.

<http://www.isprs.org/proceedings/XXXVI/5-C53/papers/FP042.pdf>

Forrest, Craig. "Cultural Heritage as the Common Heritage of Humankind : a Critical Re-Evaluation" in: *The Comparative and International Law Journal of Southern Africa*, 2007, vol. 40, issue 1, p. 124-151.

International Charters:

ICOMOS AUSTRALIA, *The Charter for Places of Cultural Significance, 1999* (The Burra Charter). Adopted by the ICOMOS General Assembly in 1974 and updated in 1999. http://australia.icomos.org/wp-content/uploads/BURRA_CHARTER.pdf

ICOMOS Canada, *The Appleton Charter for the Protection and Enhancement of the Built Environment*. Published by ICOMOS Canada in August 1983.

<http://www.international.icomos.org/charters/appleton.pdf>

ICOMOS, *The Charter for the Conservation of Historic Towns and Urban Areas, 1987* (The Washington Charter). Adopted by the ICOMOS General Assembly, 1987.

http://www.international.icomos.org/charters/towns_e.pdf

ICOMOS, *The Charter for the Interpretation and Presentation of Cultural Heritage Sites*. Adopted by the ICOMOS General Assembly, October 2008.

http://www.international.icomos.org/charters/interpretation_e.pdf

ICOMOS, *The Charter for the Preservation of Historic Timber Structures (1999)*. Adopted by the ICOMOS General Assembly, October 1999. http://www.international.icomos.org/charters/wood_e.pdf



ICOMOS, *The International Charter for the Conservation and Restoration of Monuments and Sites (The Venice Charter)*, 1964. Adopted by the ICOMOS General Assembly in 1965

ICOMOS, *The Historic Gardens (The Venice Charter)*, 1981. Adopted by the ICOMOS General Assembly in December, 1982.

http://www.international.icomos.org/charters/gardens_e.pdf

Architecture and Conservation:

Bluemenson, John. *Ontario Architecture: A Guide to Styles and Building Terms, 1784 to the Present*. (Markham: Fitzhenry and Whiteside, 1990).

Keefer, Alec (ed). *Eric Ross Arthur: Conservation in Context*. (Toronto: Toronto Regional Architectural Conservancy, 2001).

McIlwraith, Thomas F. *Looking for Old Ontario: Two Centuries of Landscape Change*. (Toronto: University of Toronto Press, 1997).

Rempel, John I. *Building with Wood: and other aspects of nineteenth-century building in Central Ontario*. (Toronto: University of Toronto Press, 1980).

Fram, Mark. *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation*. (Boston Mills Press, 1988) Available on-line at:

<http://www.heritagetrust.on.ca/Resources-and-Learning/Free-publications/Well-Preserved.aspx>

Owning a Heritage Property (City of Mississauga)

http://www.mississauga.ca/file/COM/Heritage_Property_Guide.pdf

Heritage Consultants

For information on how to hire a qualified professional with demonstrated experience in the field of heritage conservation, including archaeologists, researchers, trades persons and structural engineers, please consult the following websites:



Canadian Association of Heritage Professionals (CAHP)

<http://www.cahp-acecp.ca/>

Ontario Association of Professional Archaeologists

<http://www.apaontario.ca/job-postings>

Ontario Ministry of Culture, Tourism and Sport

<http://www.mtc.gov.on.ca/en/archaeology/archaeology.shtml>

Ontario Association of Architects

<http://www.oaa.on.ca/>



Appendix A – Meadowvale Village HCD: Property Inventory

Please visit the Heritage Conservation Districts section of the Heritage Planning website at www.mississauga.ca/heritageplanning to access the *Property Inventory*



Appendix B – Cultural Heritage Assessment of Meadowvale Village and Area

Please visit the Heritage Conservation Districts section of the Heritage Planning website at www.mississauga.ca/heritageplanning to access the *Cultural Heritage Assessment of Meadowvale Village and Area*