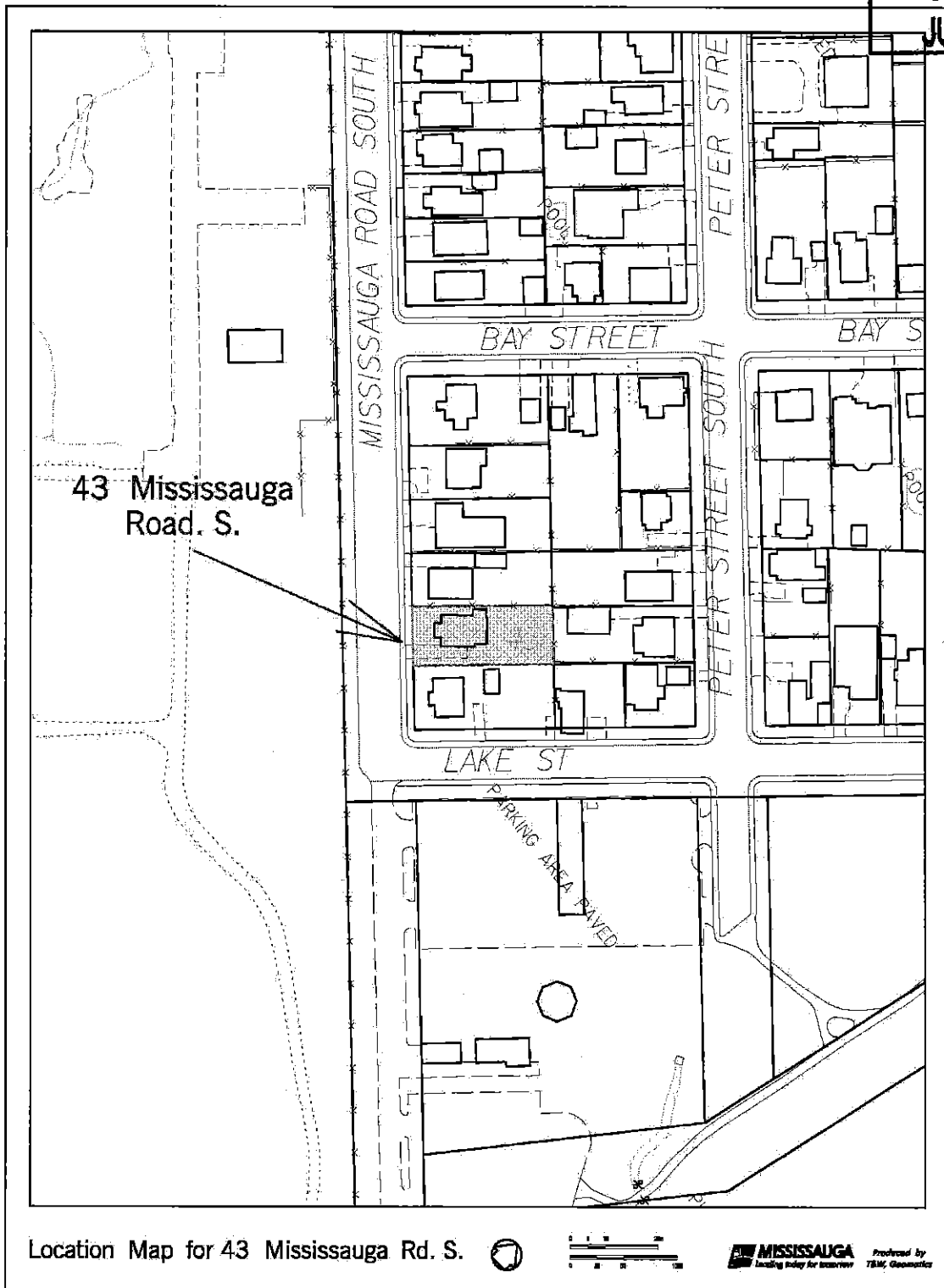


Heritage Advisory Committee  
JUN 19 2012



Heritage Advisory Committee

JUN 19 2012

**HERITAGE IMPACT STATEMENT**

43 MISSISSAUGA RD. SOUTH  
MISSISSAUGA, ON.  
L5H 2H3

MARCH 25/2011

PREPARED BY:  
PAUL OBERST OAA, CAHP  
AND  
JOHN PINKNEY  
DESIGNER  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H1B2  
(BCIN 25290)

FOR  
MUHAMMAD SIDDIQI  
43 MISSISSAUGA RD SOUTH  
MISSISSAUGA, ON.  
L5H 2H3  
416-702-8214

RECEIVED  
MAR 31 2011

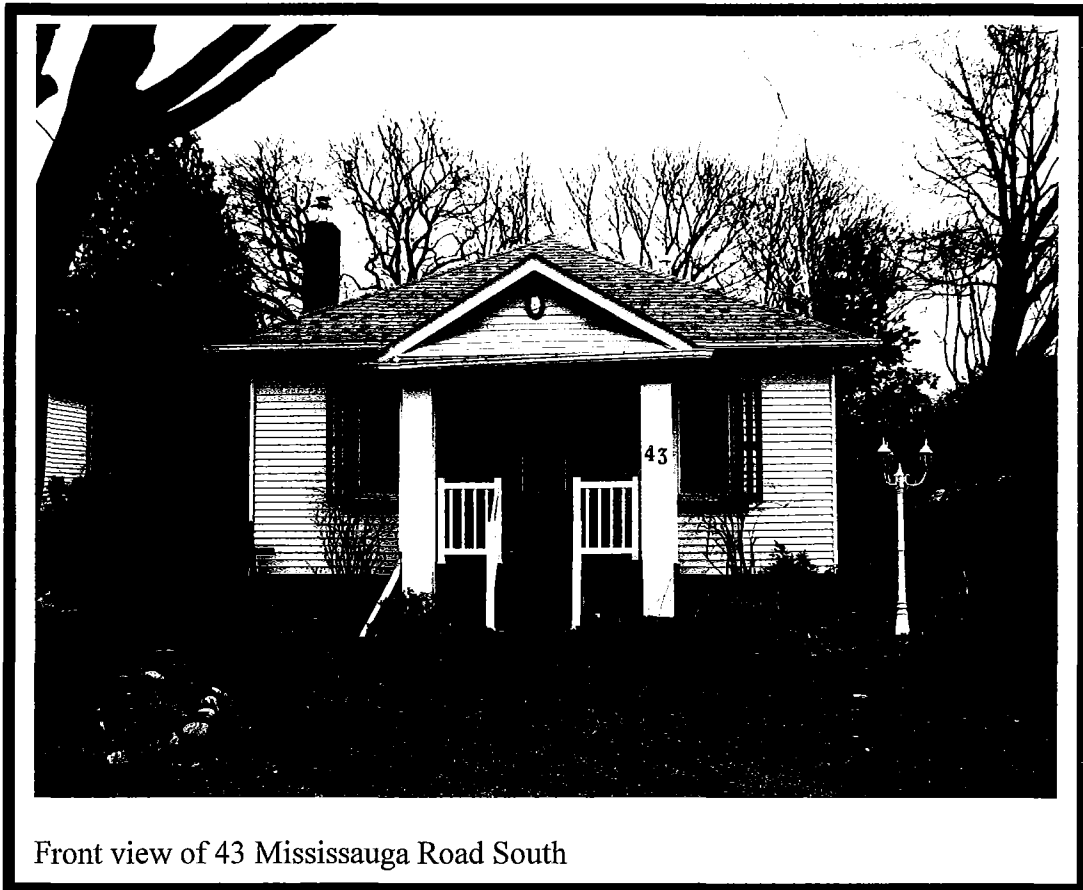
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## INTRODUCTION

**Heritage aspects of property at 34 Mississauga Road South, City of Mississauga**

**Prepared by Paul Oberst, B. Arch, OAA, CAHP, March 2011**





### **Engagement:**

I am an architect, licensed in Ontario, and a professional member of the Canadian Association of Heritage Professionals. I was engaged by Muhammad Siddiqi to provide input and oversight for his Heritage Impact Statement regarding the property at 43 Mississauga Road, South in Port Credit.

### **Current Development Controls**

- A) The official plan amendments designate the property as Heritage, and being within the *Port Credit Village Heritage Conservation District*.
- B) Zoning Bylaw R-15, designates the zoning for the property as *SINGLE FAMILY RESIDENTIAL*.
- C) By virtue of lying within the *Port Credit Village Heritage Conservation District*, the property is designated, under Part V of the *Ontario Heritage Act*.
- D) The *Port Credit Village Heritage Conservation District Plan* denotes the property as having historic interest.
- E) The property is not designated under Part IV of the *Ontario Heritage Act*.

### **Historical Context**

**Port Credit History:** The story of Port Credit begins long before the arrival of European settlers. Archaeological evidence suggests that both Iroquoian and Algonkian-speaking peoples were attracted to the Credit River Valley over a period of thousands of years. By 1700 the Ojibwa, an Algonkian tribe, had driven the Iroquois from the North Shore of Lake Ontario, and a group of Ojibwa, known as the Mississaugas, had settled around the mouth of the Credit River. The Mississaugas themselves referred to the river as “Missinihe” or “Trusting Water”, but the river came to be known as the Credit River, a name derived from the custom of trading on credit.

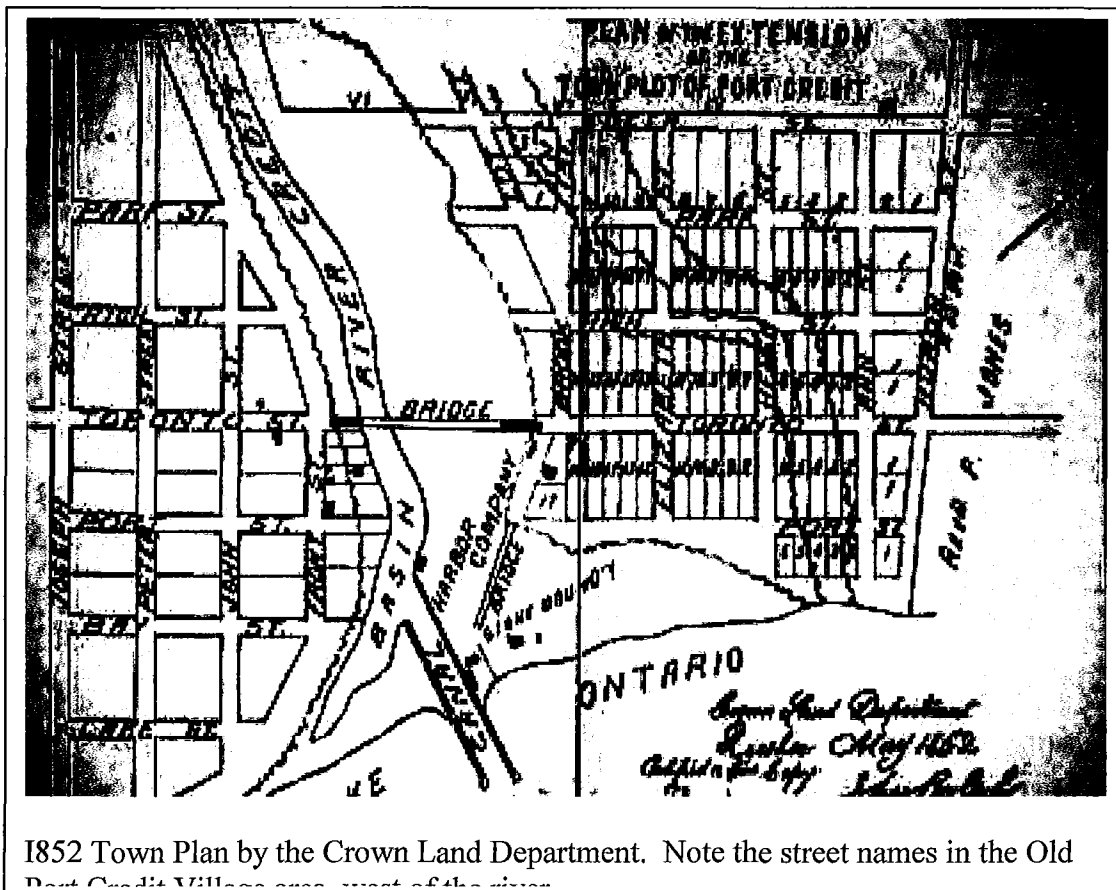
In the 1720s, the Mississaugas are recorded as trading with the French near the mouth of the Credit River. After the French defeat on the Plains of Abraham, the British assumed the territory of New France, and they established their own trade with the Mississaugas building a trading post and Government Inn (the first permanent building in the village) on the east bank of the Credit River around 1798. On August 2nd, 1805, at the mouth of the Credit River, the Mississaugas signed a land treaty with the British Crown. The Mississaugas reserved a one-mile strip of land on either side of the River (currently running from Rhododendron Gardens to Hiawatha Park). As a result, the site of Port Credit was not included in the 1806 Wilmot Survey. The one exception was a small area around the Government Inn. The Mississaugas signed another treaty in 1818, resulting in “The New Survey” and the purchase of Indian land. There were further treaties in 1820, leaving the Mississaugas a 200-acre reserve of land. In an effort to assimilate the

Mississaugas, the Government built a village for them, north of Port Credit in 1826, at the site of the Mississaugua Golf and Country Club.

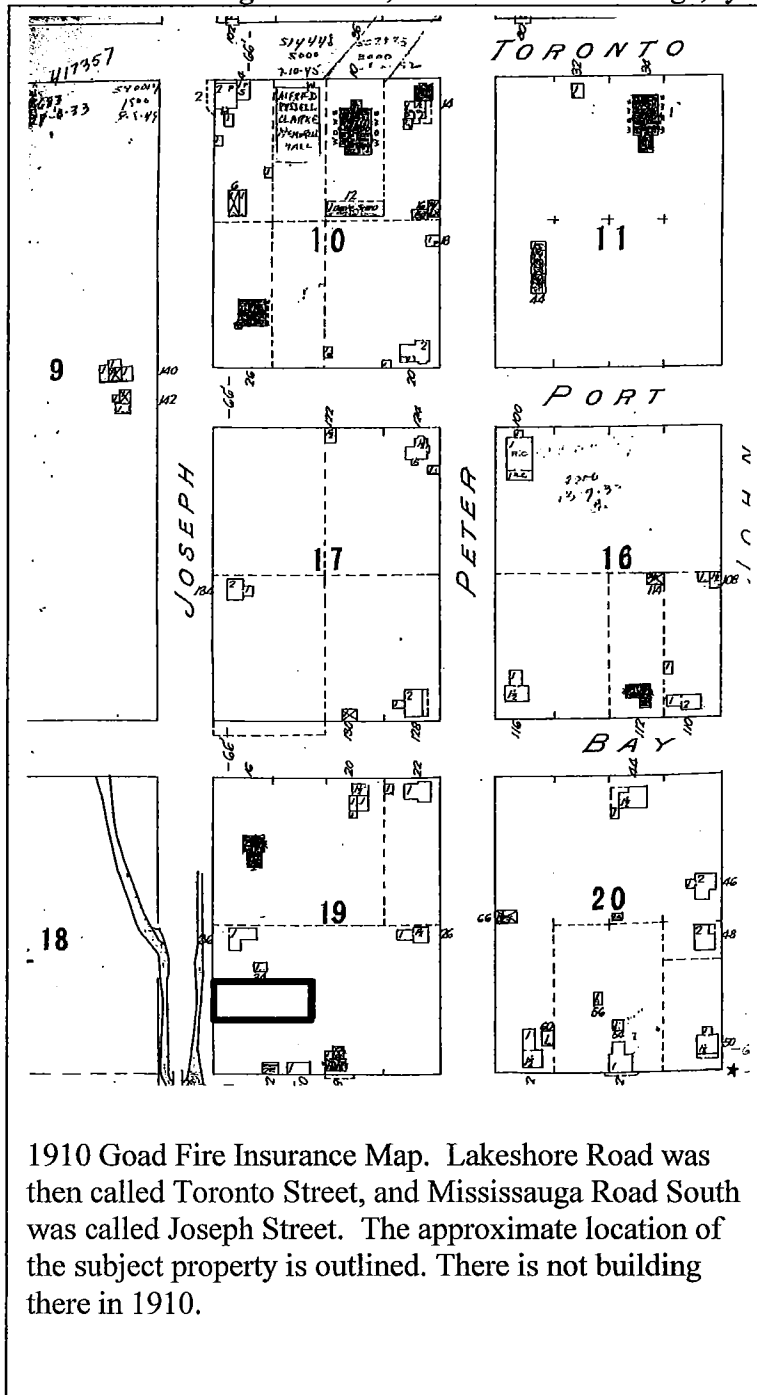
In 1834 the government laid out a village in what is now the Old Port Credit Village Heritage Conservation District. The survey was conducted in part by the Mississaugas, and construction of a harbour began almost immediately. In 1847, the Mississaugas, whose numbers had been severely reduced by disease, relocated to the New Credit Reserve near Brantford, Ontario. The departure of the Natives opened up the Credit River to commercial expansion and Port Credit went through a period of tremendous economic growth as a harbour. This prosperous period ended in the mid-1850s as a result of both a great fire, which destroyed the west end of the harbour, and the construction of the Grand Trunk and Great Western Railways, which diverted commerce away from the village.

Towards the end of the century, the stonehooking trade kept the port alive. For years, a unique craft called a "stonehooker" plied the waters of Lake Ontario. Workers dragged large rakes along the bottom of the lake to gather stone, mainly Dundas shale, and then lifted it into the ship. This stone was used to construct many buildings in Toronto, as well as in Port Credit and its surrounding communities. Other industries such as the St. Lawrence Starch Works (1889–1899) [1] and the Port Credit Brick Yard (1891–1927) provided employment for many local residents. In 1932 L.B.Lloyd built an oil refinery on the old brick yard site and operated by a succession of operators culminating in its purchase by a division of Texaco who operated it until its closing in 1985.

Port Credit became a police village in 1909 and was formally incorporated as a village in 1914. Port Credit acquired Town status in 1961 and was amalgamated into the City of Mississauga(1974).

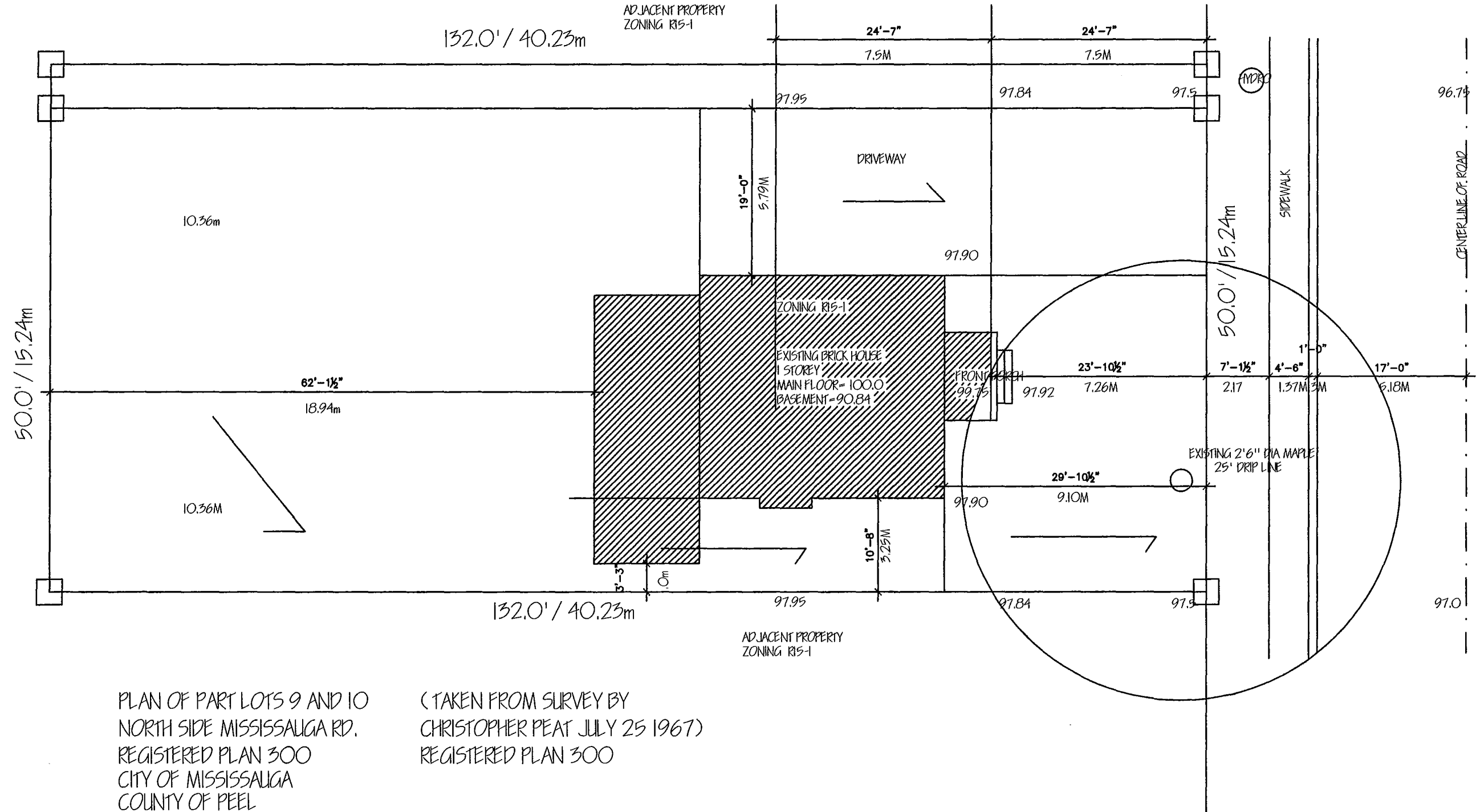


**Port Credit Village:** In 2005, Old Port Credit Village, lying to the west side of the Credit



River, was designated as a Heritage Conservation District. The district contains mostly single family dwellings, some dating to the 19<sup>th</sup> and early 20<sup>th</sup> centuries, and some more modern infill housing. Most of the newer buildings are designed with reference to “traditional” styles. The houses are a mix of 1-, 1 ½- and 2-storey heights, with gabled or hipped roofs. Much of Old Port Credit village has retained its architectural character and heritage, as well as its early street names. Peter Street is named after Peter Jones (Kahkewaquonaby) who was both a Methodist Minister and a Mississauga Chief. Peter helped to shape both the Native and non-Native communities around him. John Street was named after John Jones, Peter’s brother, who was also an influential leader of the community. Mississauga Road South was originally called Joseph Street after Mississauga Chief Joseph Sawyer.

Development of the village was slow. As shown in the map opposite, there were few houses and much open land as of 1910.



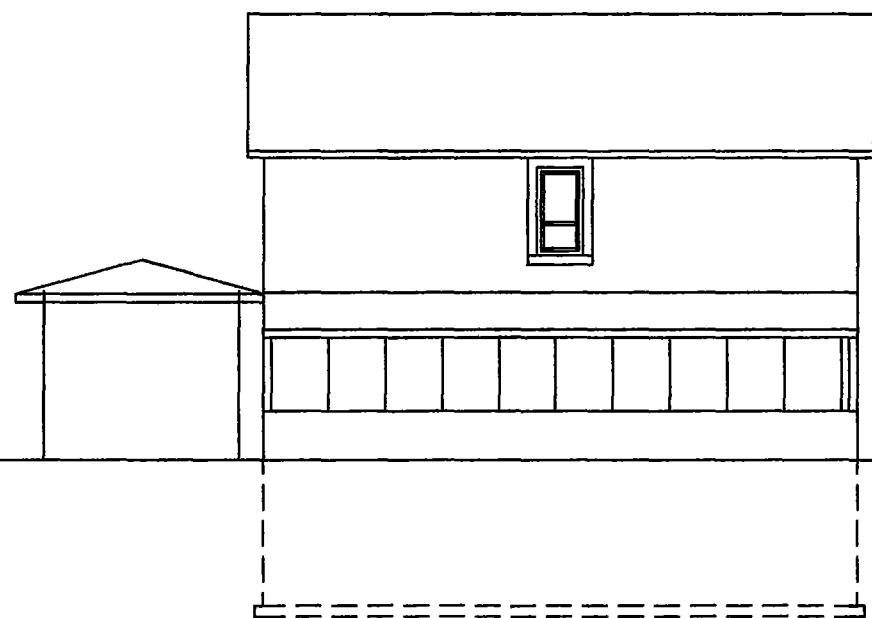
PLAN OF PART LOTS 9 AND 10  
NORTH SIDE MISSISSAUGA RD.  
REGISTERED PLAN 300  
CITY OF MISSISSAUGA  
COUNTY OF PEEL

(TAKEN FROM SURVEY BY  
CHRISTOPHER PEAT JULY 25 1967)  
REGISTERED PLAN 300

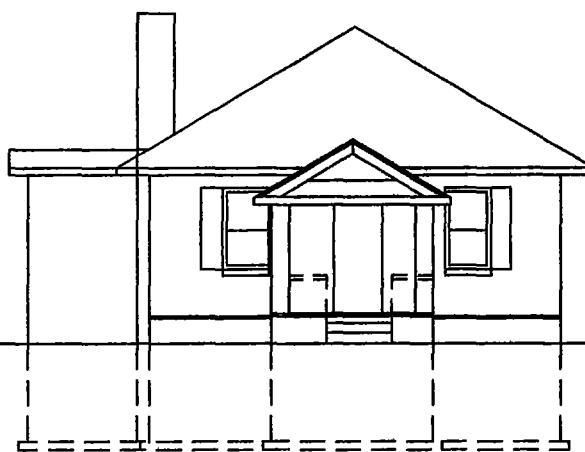
JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2  
905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMED SIDDIQI  
EX. SITE PLAN  
DATE: 02/01/11  
SCALE: 1:150  
DRWN BY JCP

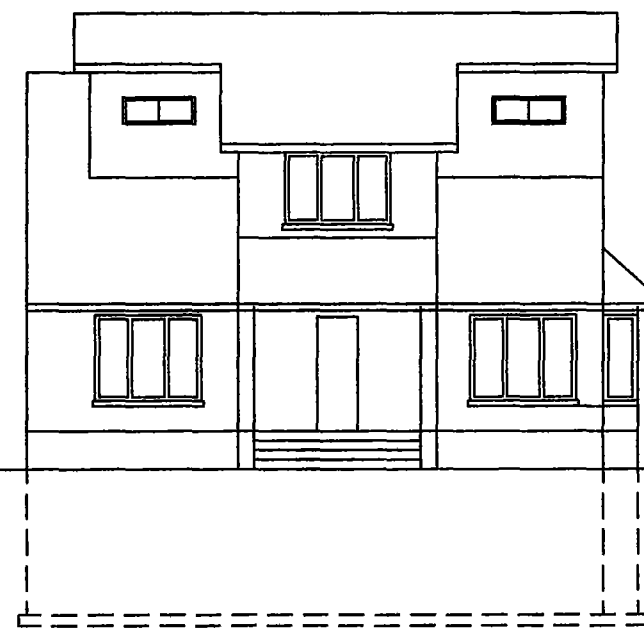
7



41 MISSISSAUGA SOUTH



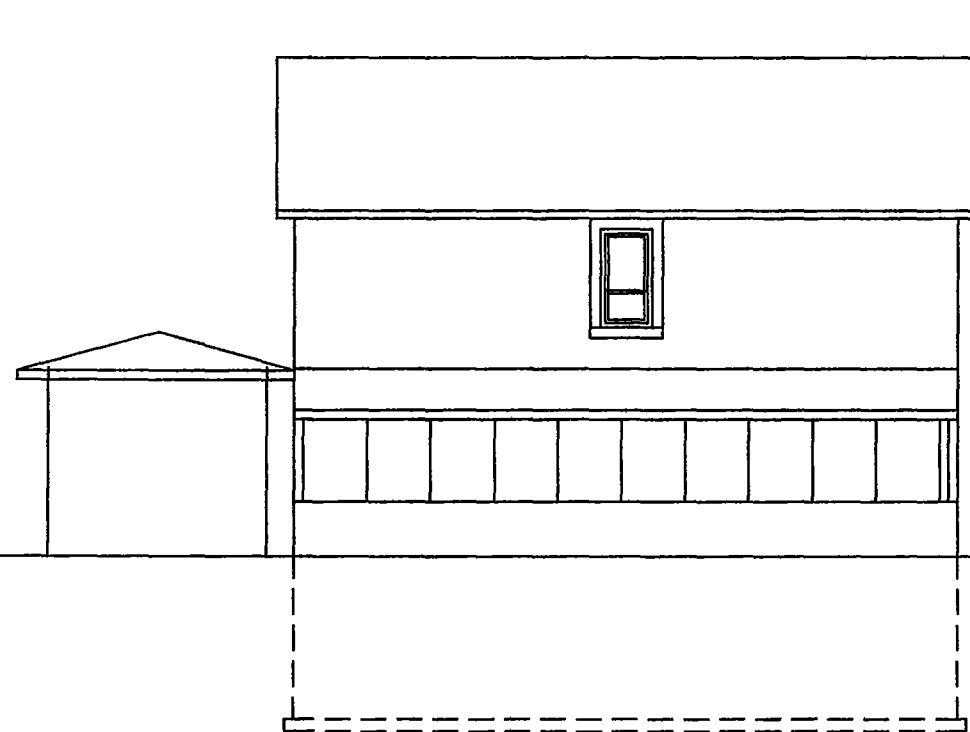
43 MISSISSAUGA SOUTH



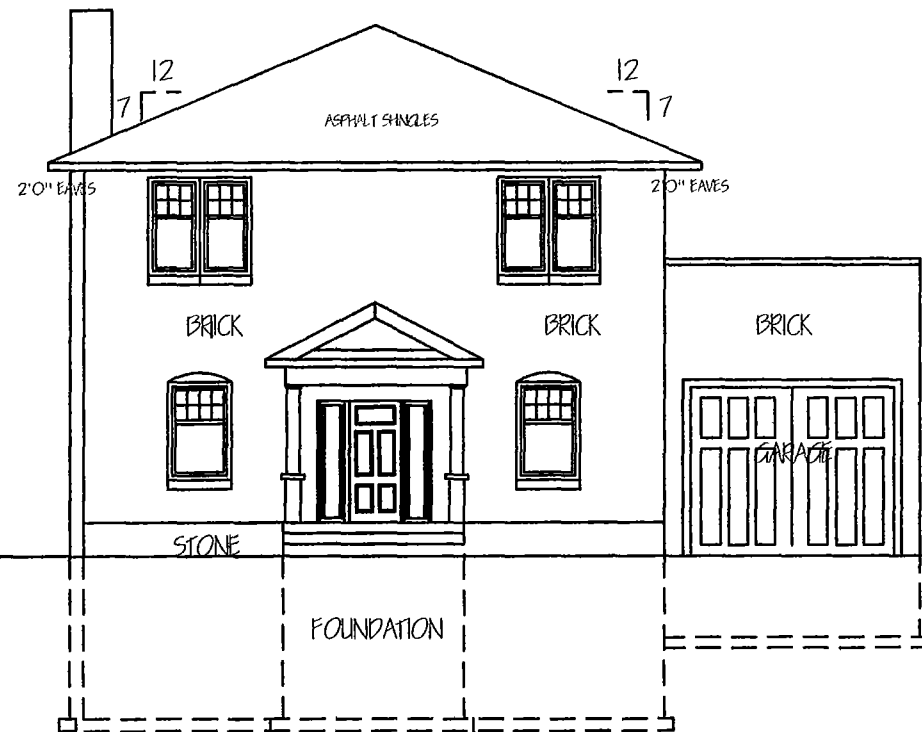
45 MISSISSAUGA SOUTH

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2  
905-483-2545

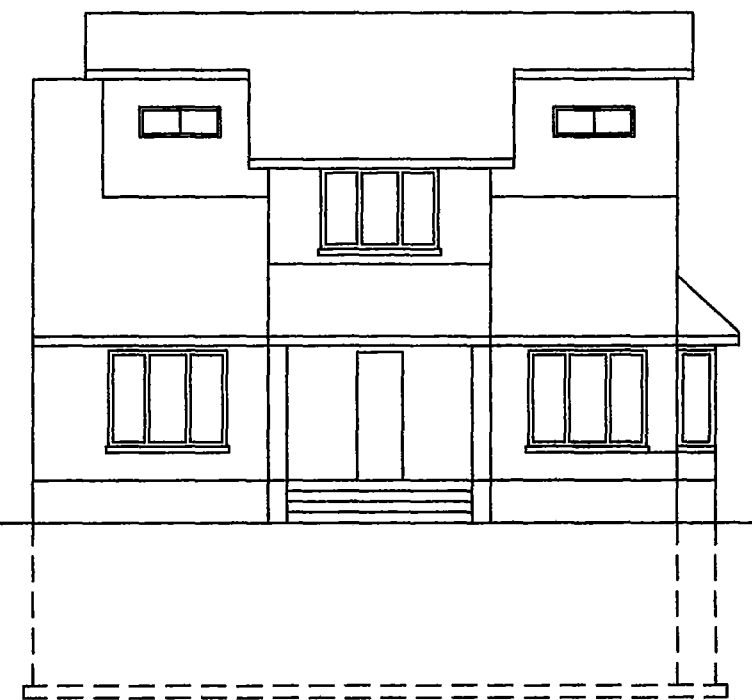
43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
EX. STREETSCAPE  
DATE: 02/01/11  
SCALE 3/32" = 1'0"  
DRWN BY JCP



41 MISSISSAUGA SOUTH



43 MISSISSAUGA SOUTH



45 MISSISSAUGA SOUTH

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2  
905-483-2545

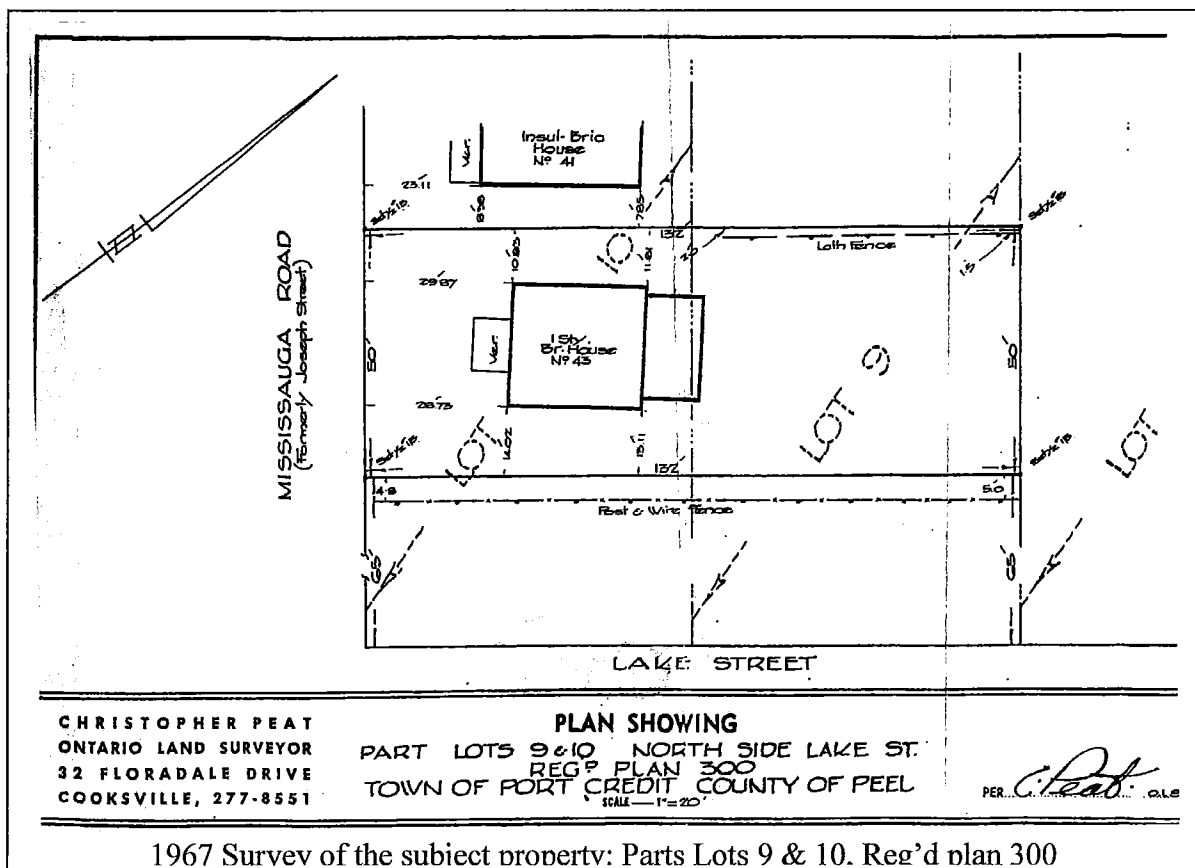
43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
NEW STREETSCAPE  
DATE: 02/01/11  
NOT TO SCALE  
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## Property Description and Neighbourhood Context

The original surveyed lots were 66' (1 chain) wide, and laid out on the East-West streets, with a depth running to mid block. The creation of building lots on North-South streets, like Mississauga Road South, meant that each new lot contained parts of two of the original lots. The subject property is 55' wide and 132' (2 chains) deep.

The house is set back about 30' from the front lot line—similar to, but not identical with neighboring setbacks. This kind of informally approximate setbacks is a characteristic feature of village plans, in contrast to more formal town and city plans. The house is almost, but not exactly aligned with the lot lines, and is set slightly north of the centre—again the village informality. There is a paved driveway on the wider, south side of the lot. The front door is accessed by a walk from the driveway.

There is a large deciduous front yard tree, offset to the North. There are also background trees—a large evergreen along the South lot line, and fairly large deciduous trees along the North, East, and South lot lines. The presence of trees as framing and background for buildings is another characteristic of village plans, as contrasted with the linear planting of street trees found in towns and cities. This is a significant aspect of the heritage character of the streetscape in the District.





The house in context: Informal village tree pattern is evident. Neighbour to the south has had a large 2<sup>nd</sup> storey addition.



Neighbour to the north is a 2-storey house, not shown on the 1910 Goad map, but probably fairly old.



The next house to the north is a 1960s bungalow, and the next is a 19<sup>th</sup> Century



The mix in the District is epitomized in this image from Lake Street. A 19<sup>th</sup> century Loyalist cottage (?) next to a post-modernist "monster home".



Again, the mix of old and new. The consistency of the streetscape lies in the generally 1- to 2-storey scale of the houses, and the informal tree pattern.



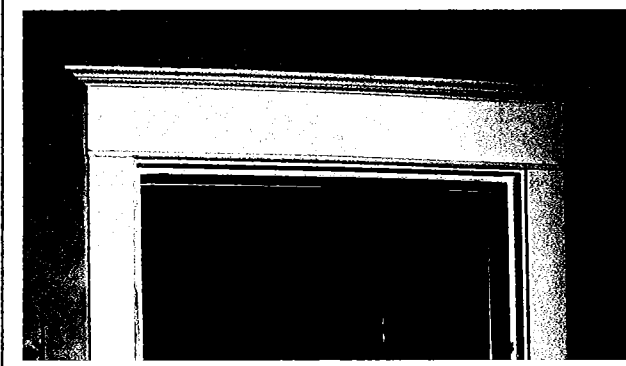




43 Mississauga Road South in 1980, from the City website's pictorial archive. The original brick cladding is still visible, but has been painted black. The brick porch columns are probably not original, which would have been like those shown in the picture below.



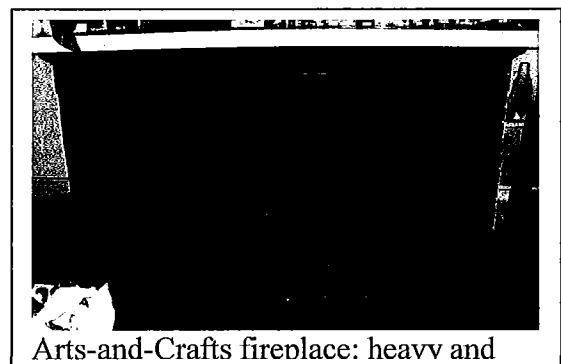
The Edwardian style is more familiar in its 2-storey form. This example is from the Gormley HCD in Richmond Hill.



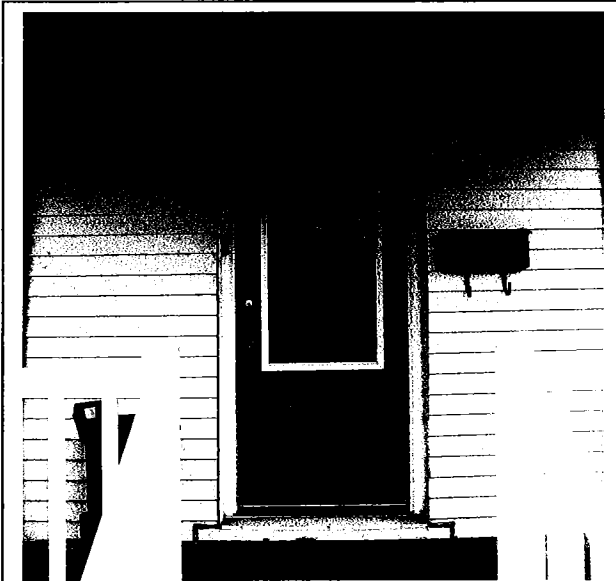
### Existing Building Description:

The building is a one-storey, hipped roof, three bay house, having a central entrance door with windows on either side. The house style is Edwardian Classicism, which is probably more familiar in its 2-storey version (see second picture to the left).

In the waning days of the Edwardian style, some Arts-and-Crafts details began to be added to Edwardian designs. In this house, a massive Arts-and-Crafts fireplace lives happily with Edwardian door and window trim. The interior trim is identical in detail to that in my own Toronto house, an Edwardian which dates from about 1920.



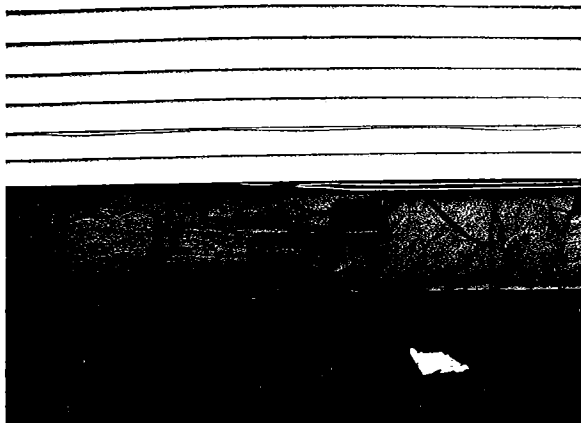
Arts-and-Crafts fireplace: heavy and



The front door is a modern replacement, and the exterior door trim has been damaged or obscured by the installation of aluminum siding.



Porch railing is modern metal replacement.

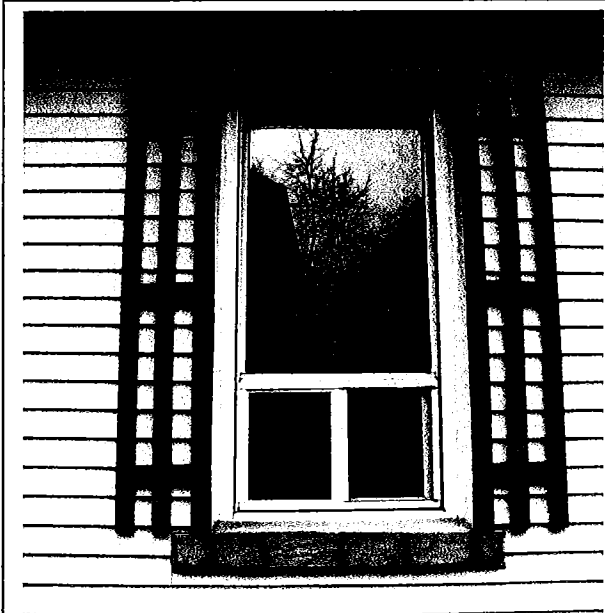


Aluminum siding has been installed over foam and plywood, probably damaging

Although the fireplace and the interior trim at doors and windows are intact, the exterior has lost all of its heritage defining attributes, with the exception of the original roofline. Doors and windows are modern replacements. The original brick cladding has been first, painted black, and subsequently covered with aluminum siding over plywood and foam. Exterior door and window trim has been removed or damaged in aid of the installation of the aluminum siding. Original sills have been covered in synthetic stone cladding.

The original classical columns on brick piers, supporting the porch roof, have been replaced by the brick columns shown in the 1980 photograph, which have subsequently been covered in cladding. The porch railings are modern powder-coated steel replacements.

The original brick foundation has been covered with a synthetic stone cladding. The rear elevation has been covered by a modern flat-roofed family room addition, and a subsequent glass-roofed sunroom has been subsequently added on the north side of that addition.



Windows are modern replacements. Window trim has been removed to install siding. Original sills are covered with synthetic stone. The 'shutters' are modern decorative elements—there would have been no original shutters.



The entire rear of the house is a modern addition, plus a glass-roofed sunroom. The triangular patch on the original hipped roof shows where an original back kitchen porch entrance would have been.

## Heritage Evaluation:

I will make use of Ontario Regulation 9/06 to evaluate the heritage aspect of the property. The Regulation reads as follows:

### Ontario Regulation 9/06 Made under the Ontario Heritage Act

#### Criteria for determining Cultural Heritage Value or Interest

##### Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of Clause 29 (1)(a) of the Act.

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest.

1. The property has design value or physical value because it,
  - i. is a rare, unique, representative or early example of a style, type expression, material or construction method,
  - ii. displays a high degree of craftsmanship or artistic merit, or
  - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
  - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
  - ii. yields, or has the potential to yield, information that contributes to the

understanding of a community or culture, or

iii demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

3. The property has contextual value because it,

i. is important in defining, maintaining or supporting the character of an area,

ii. is physically, functionally, visually or historically linked to its surroundings, or

iii. is a landmark.

Criterion 1: The building is a modest Edwardian cottage. In my professional opinion it is not a rare, unique, or early example of its type. In its original construction, it might have been said to be a representative example only. Due to the subsequent interventions to its exterior fabric, the original character has been irretrievably lost. The property does not display a high degree of craftsmanship, artistic merit, or technical or scientific achievement. In my professional opinion, the property does not meet the threshold for designation for design or physical value.

Criterion 2: The property does not have direct associations with a theme, event, belief, activity, organization or institution that is significant to the community. Although the chain of ownership is known, they are not owners of great significance to the community. The property does not yield information that contributes to the understanding of the community or culture. The property does not demonstrate the work or ideas of a known architect, builder, designer or theorist who is significant to the community. In my professional opinion, the property does not meet the threshold for designation for historical or associative value.

Criterion 3: The degradation of the original fabric of the building reduces its contextual value considerable. It cannot be said to be important in defining the character of the area. To the extent that it maintains or supports the character of the area, it is not the building fabric that contributes to its value. The contextual value of the property, in supporting the character of the District, lies in the mature trees, with their informal village-type disposition, and the fact that the building is consistent with general 1- and 2-storey scale found on most of the properties in the District.

In my professional opinion, the landscaping of the property, and the scale of the building supports the character of the District, although the building itself is not important in supporting the character of the district. In other words, an alteration to the existing building, or a replacement building, designed to be consistent with the scale and style characteristics of the District, and that preserves the mature trees, would have a similar role in supporting the character of the District.

The building is not physically, visually, or historically linked to its surroundings, beyond its role in supporting the neighbourhood character noted above. The most immediate neighbours are a mix of 1- and 2-storey buildings of various ages and styles. It shares the

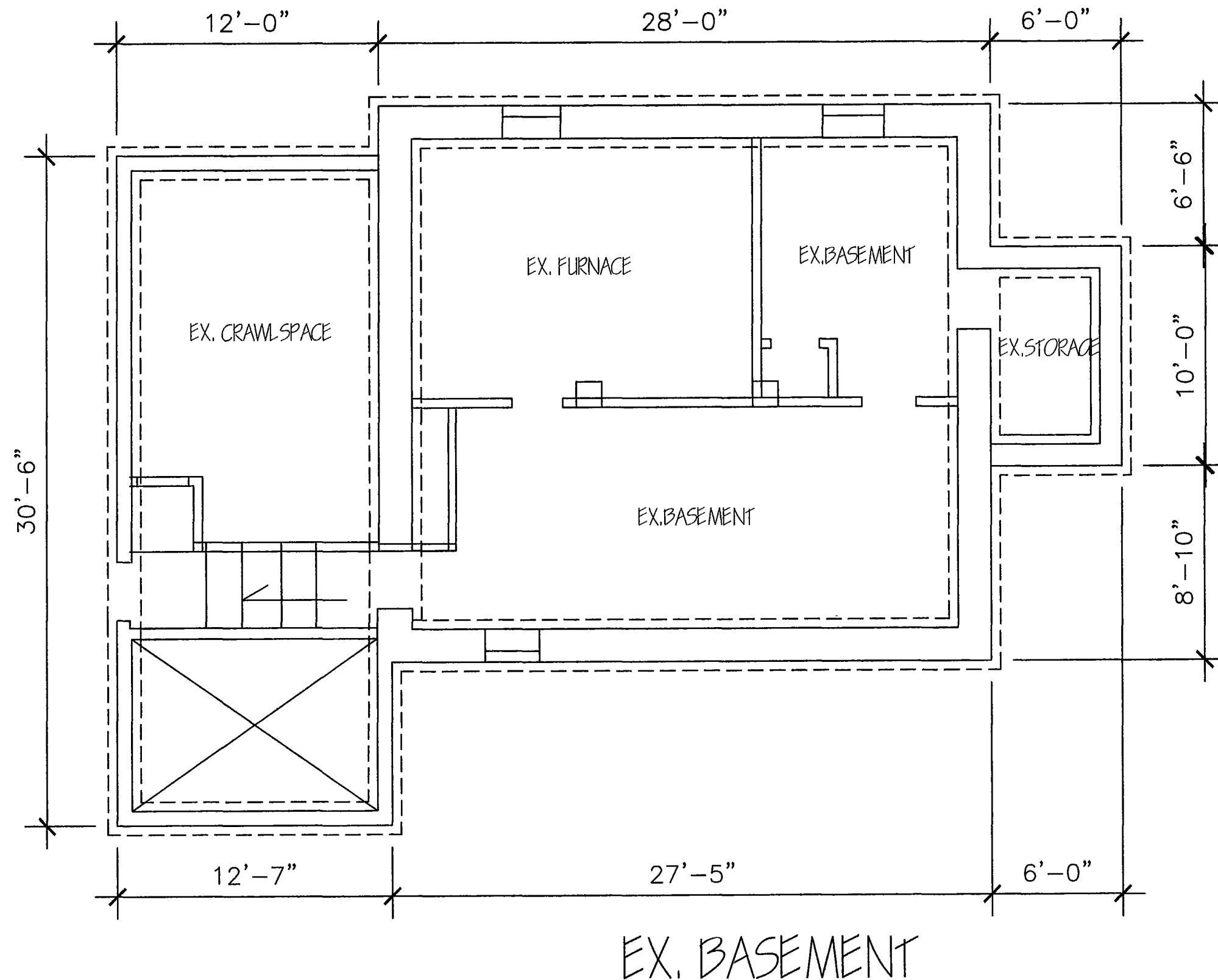
residential function with most properties in the District, but this is a matter for the Zoning By-law, not the Heritage Act to regulate. The property is not a landmark.

In my professional opinion, the building does not meet the threshold for designation for contextual value, although the contextual values related to the informal placement of mature trees, and a building scale consistent with the character of the District should be preserved in any proposal.

To summarize: In my professional opinion the property does not meet the criteria for designation under Part IV of the *Ontario Heritage Act*. Nevertheless, any proposed alterations to the property should preserve the landscape, streetscape, and architectural character of the District, under Part V of the *Act*.



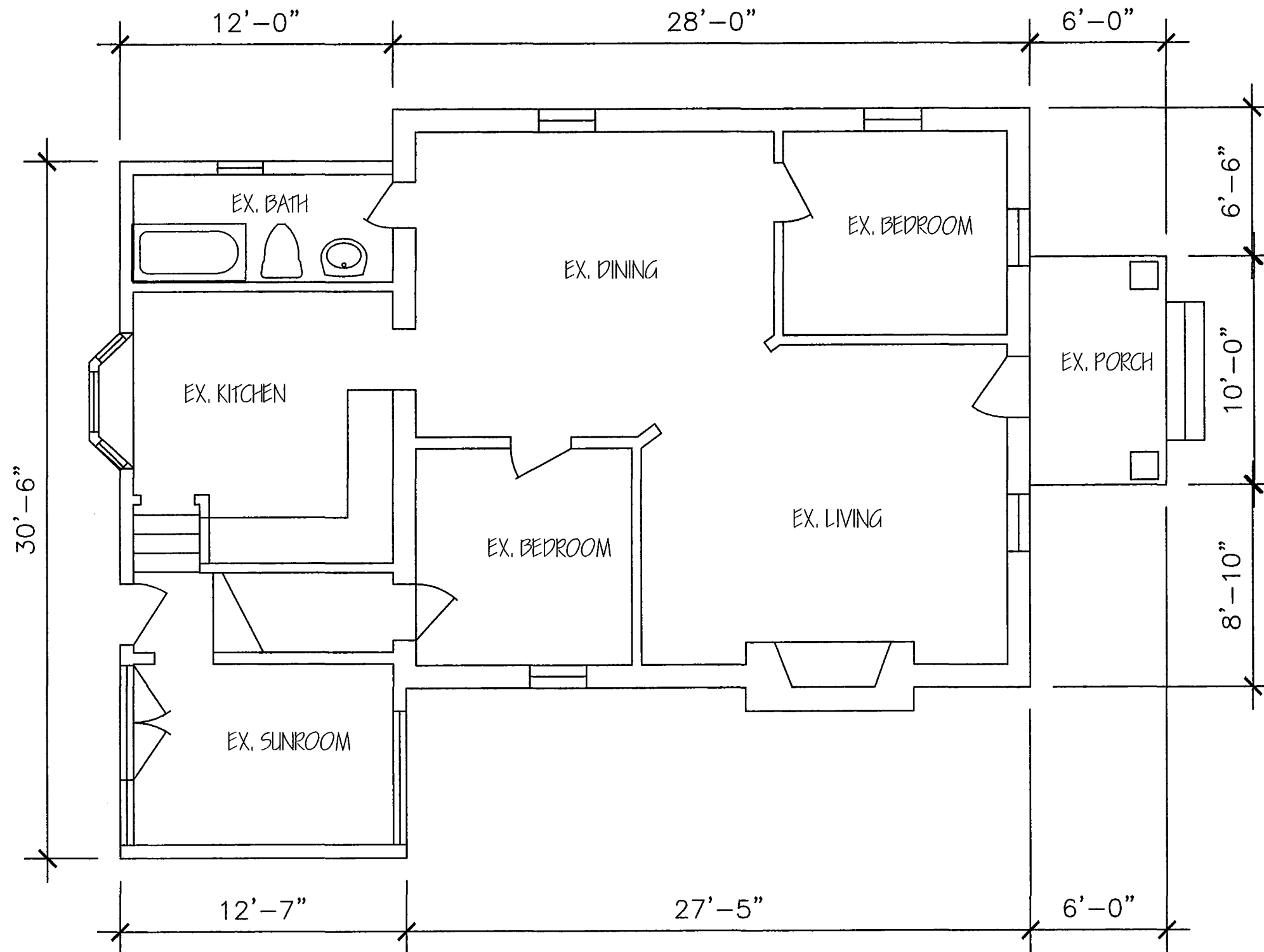
View of Mississauga rd. Note farmhouse at mid left is still on Mississauga Rd.S.



JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2

905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
EX. FLOOR PLAN  
DATE: 02/01/11  
SCALE 3/16" = 1'0"  
DRWN BY JCP

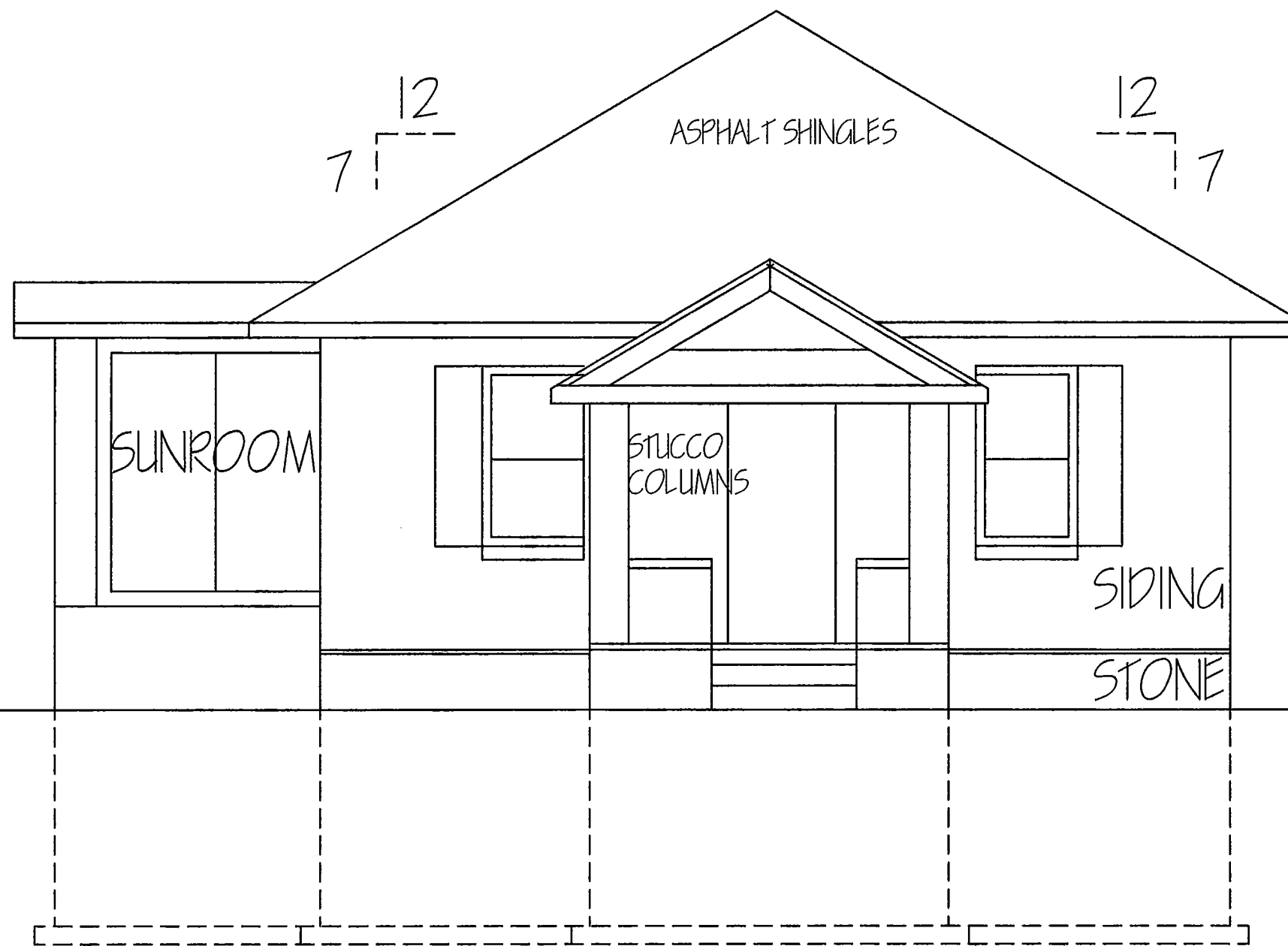


EX. MAIN FLOOR

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2

905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
EX. FLOOR PLAN  
DATE: 02/01/11  
SCALE 3/16" = 1'0"  
DRWN BY JCP



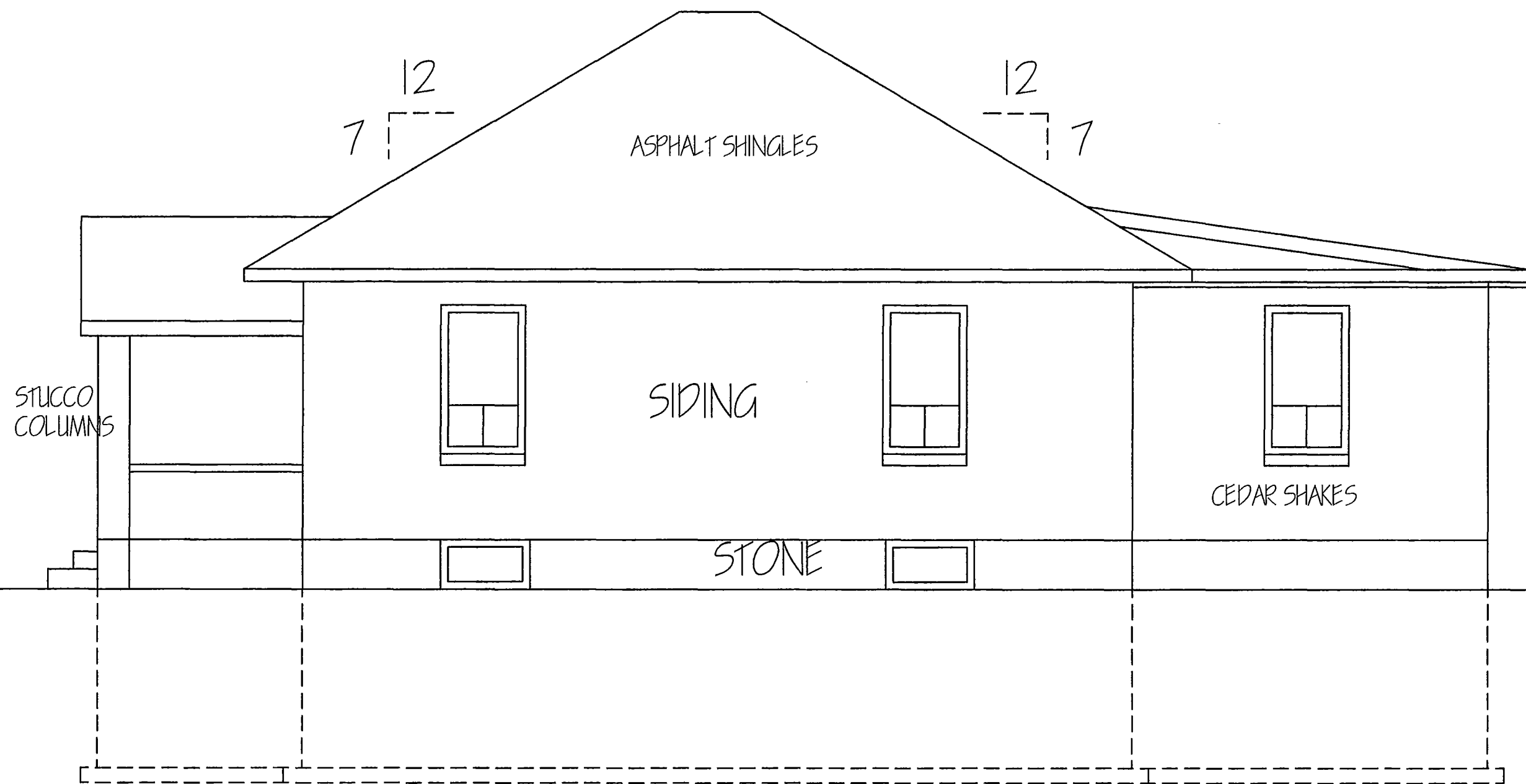
ORIGINAL HOUSE FRONT ELEVATION

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2

905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
EX. ELEVATION  
DATE: 02/01/11  
SCALE 1/4" = 1'0"  
DRWN BY JCP



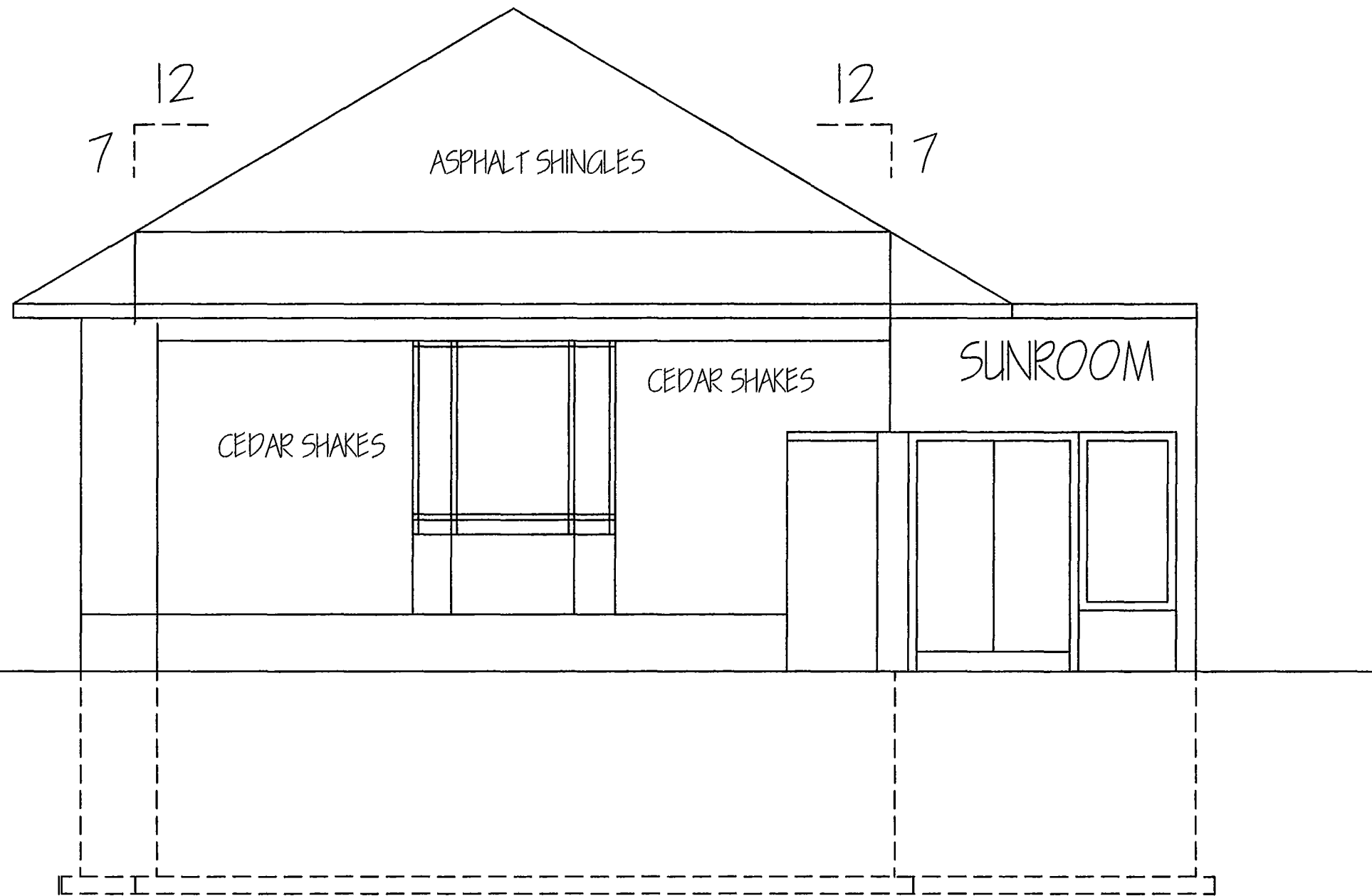


## ORIGINAL HOUSE SOUTH ELEVATION

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2  
905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
EX. ELEVATION  
DATE: 02/01/11  
SCALE 1/4" = 1'0"  
DRWN BY JCP

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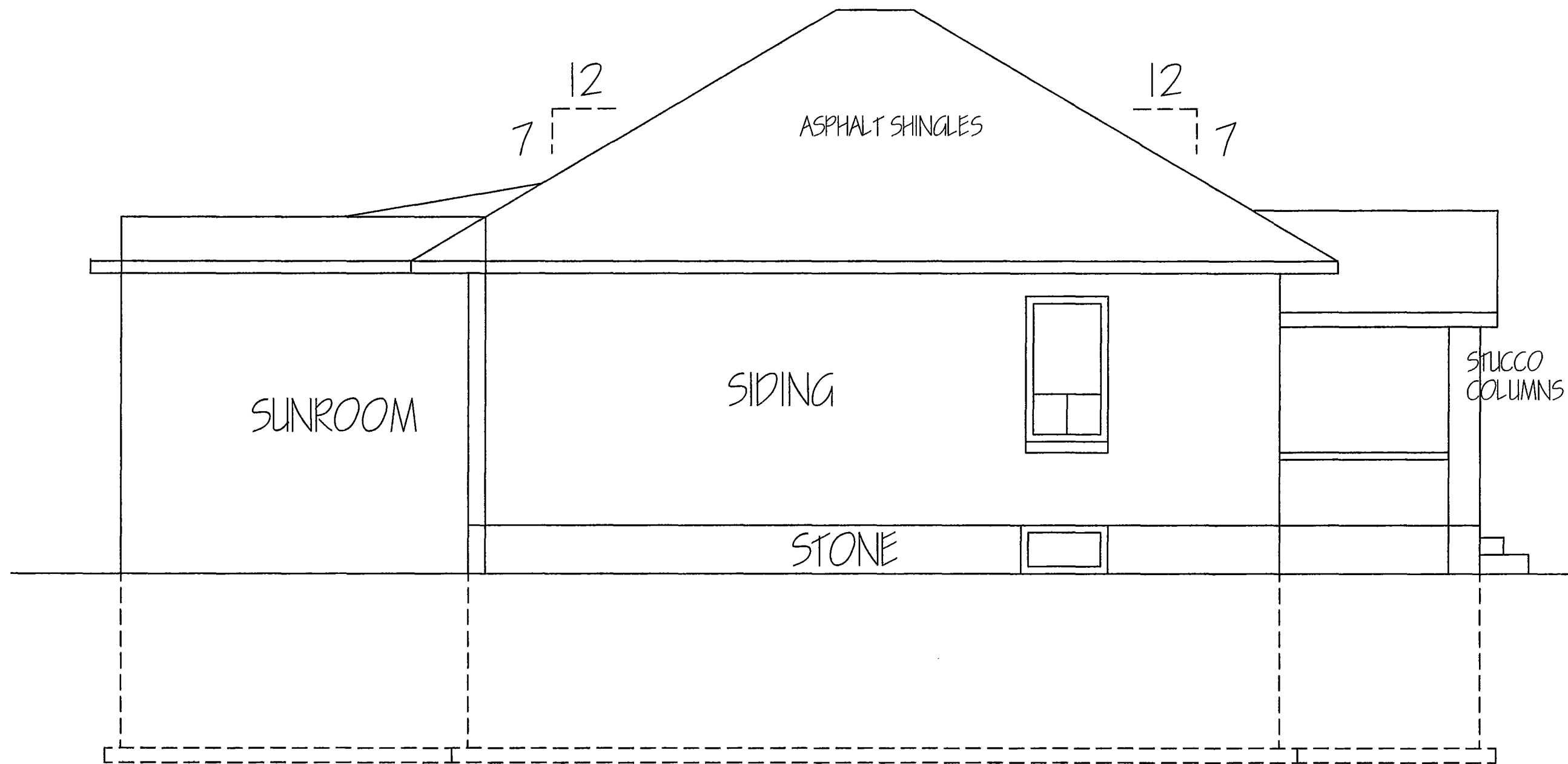


# ORIGINAL HOUSE REAR ELEVATION

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2  
905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
EX. ELEVATION  
DATE: 02/01/11  
SCALE 1/4" = 1'0"  
DRWN BY JCP

21



# ORIGINAL HOUSE NORTH ELEVATION

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2  
905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
EX. ELEVATION  
DATE: 02/01/11  
SCALE 1/4" = 1'0"  
DRWN BY JCP

## **PREVIOUS OWNERS OF PROPERTY**

Owners of 43 Mississauga Road, South<sup>1</sup>

Refer to Appendix A for land registry abstracts

- 1899 Oct. 5<sup>th</sup>, From: WALTER CHARLES HARE to MARK BLOWER JR
- 1919 June 18<sup>th</sup>, From: MARK BLOWER to EMILY J BURROUGHS
- 1929 July 10<sup>th</sup>, From: EMILY J BURROUGHS to ERNEST T HEAD
- 1929 Oct. 7<sup>th</sup>, From: ERNEST T HEAD to FRANK BROGNA
- 1967 Aug 1<sup>st</sup>, From: RINALDO BROGNA, ALBA MONACO and JOSEPH B. BROGNA, extras  
of FRANK BROGNA Est to MARIA D 'AURIZIO
- 1977 June 10<sup>th</sup>, From: MARIA D' AURIZIO to EMILE J. and GERMAINE GODIN
- 1985 Mar 29<sup>th</sup>, From: EMILE J. and GERMAINE N. GODIN to the ROYAL BANK of CANADA
- 1999 Mar 3<sup>rd</sup>, From: ROYAL BANK OF CANADA to EMILE JOSEPH and GERMAINE GODIN
- 2003 June 13<sup>th</sup>, From: EMILE AND GERMAINE GODIN to UWE BUSCH
- 2010 June 10<sup>th</sup>, From: UWE BUSCH to MARCELLO GAETANO
- 2010 Jan 19<sup>th</sup>, From: MARCELLO GAETANO to MUHAMMAD SIDDIQI

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<sup>1</sup> Mathew Wilkinson , Heritage Mississauga Historian (Consultation)

## **STATISTICS OF PROJECT**

The Lot itself is 55' by 132' or 16.76m by 40.23m. It resides in Ward 1. The municipal address is 43 Mississauga Rd, South. The lot is also known as "Part Lots 9 and 10, north side of Lake St., Registered plan 300, City of Mississauga, County of Peel.. The area of the lot is 7260.0 sq.ft. or 674.47m.sq.. It is accessible by an asphalt driveway and is connected to municipal services.

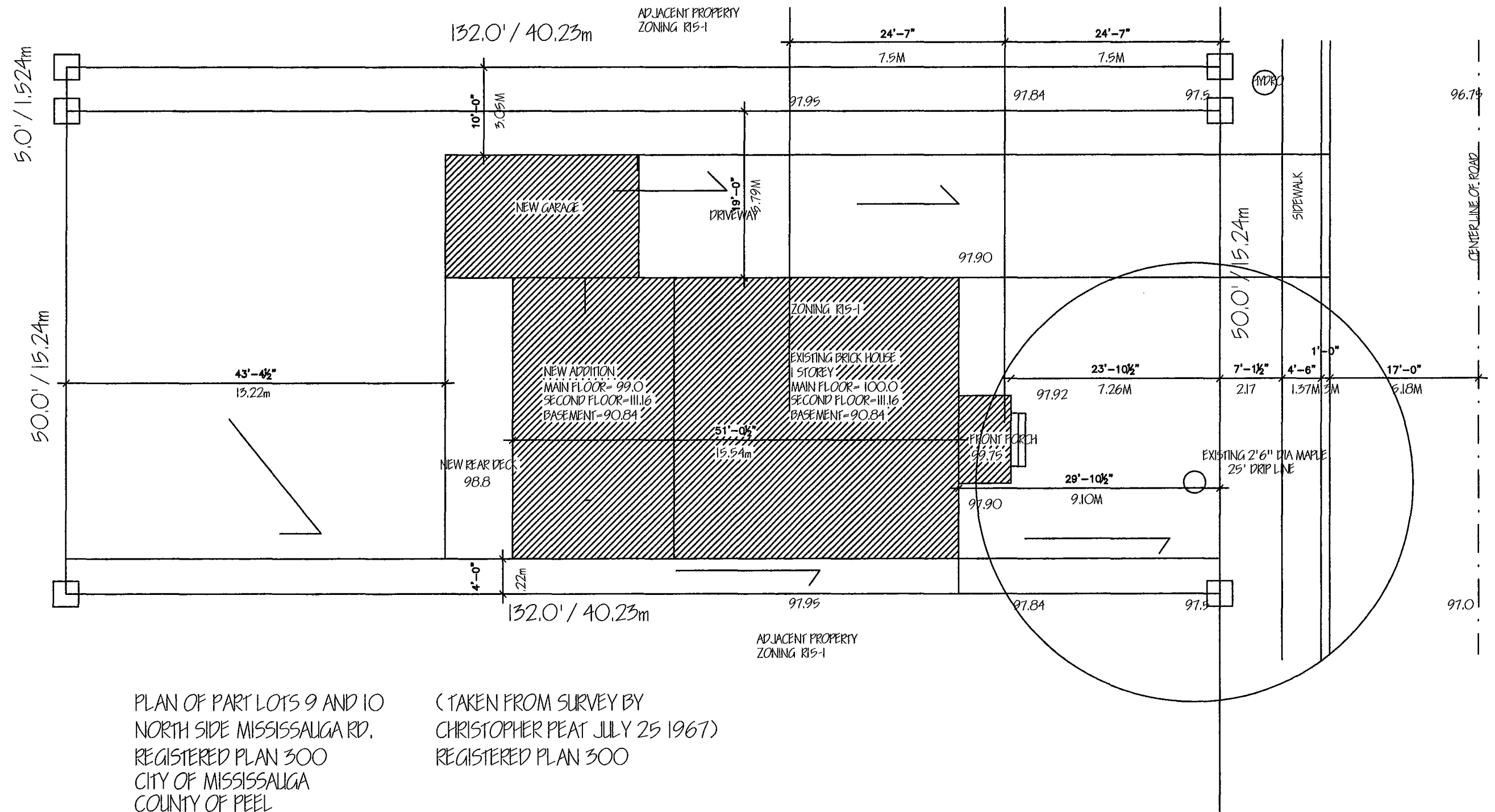
The subject property is designated low density residential in Old Port Credit. The zoning is R-15-1. (See Pg 10 for site plan of existing house).

This Zoning allows for a structure with the following requirements.

- A. Gross floor area of 169 m.sq. + .20 times the lot area(Max 305m.sq.)
- B. Minimum landscape area of 40% of lot area
- C. Minimum Front Yard of 5.0 m
- D. Minimum Sideyards of 3.0m and 1.2m
- E. Maximum Height of 9.20 m
- F. Maximum eaves height of 6.8m
- G. Maximum encroachment of a front porch of 1.8m
- H. Minimum setback of front of garage of 3.0m
- I. Maximum gross floor area of garage of 30m.sq.
- J. Maximum coverage of 40% of lot
- K. Minimum rear yard of 7.5m
- L. Maximum Driveway width of 8.5m

The intent is to construct the new addition in conformity with the zoning so there are no zoning issues. The zoning figures will be as follows:

- A. G.F.A. will be 303.42 m.sq. where 314.2m.sq. is allowed
- B. There will be a landscaped area of 378.39 m.sq. or 55%
- C. The front yard will remain the same at 9.1m
- D. The sideyards will be 1.2m and 3.0 m
- E. The new roof height will be 8.84m
- F. The eaves height will be 6.45m
- G. The porch will not project into the front yard allowable as it remains were it is at 7.26m
- H. The garage will be setback from the front of the house by 11.2m
- I. The garage will have a G.F.A. of 29.5 m.sq.
- J. All the structures will have a coverage of 187.01m.sq. or 27.72%
- K. The rear yard will be 13.22m
- L. Driveway width will be 4.26m



In following the conditions of the Municipal agencies there issues will be addressed under the Site Plan process. The development and design department of Mississauga City Hall will address Zoning compliance, grading , deposits and securities , Traffic and Hoarding. The Landscape department will be crucial in maintaining the preservation of the cultural heritage of the Trees with securities and Hoarding.

With the Building division the elements of structural integrity will follow today's Ontario Building Code. Plumbing, heating site grading and Transportation and works issues will be followed in maintaining the standards of today's development of houses. There will be little issues for transportation and works as the grading of the property will be maintained as it is and the existing driveway entrance will remain.

## **THE PROPOSED HOUSE**

The original house is an Edwardian House built in the 1920s. Based on the opinion of the Heritage Professional the proposal will be a symbolic conversion that would retain some of the architectural qualities of the original house. The house would be widened from 25' to 32'. The overall depth will be increased to 58'0". The exterior of the house will be returned to the original brick façade by either cleaning the brick of the black paint or by using an antique brick that would be similar to the time period. Double and single hung wood windows would be employed to replace the existing windows and this would follow a more Edwardian style.

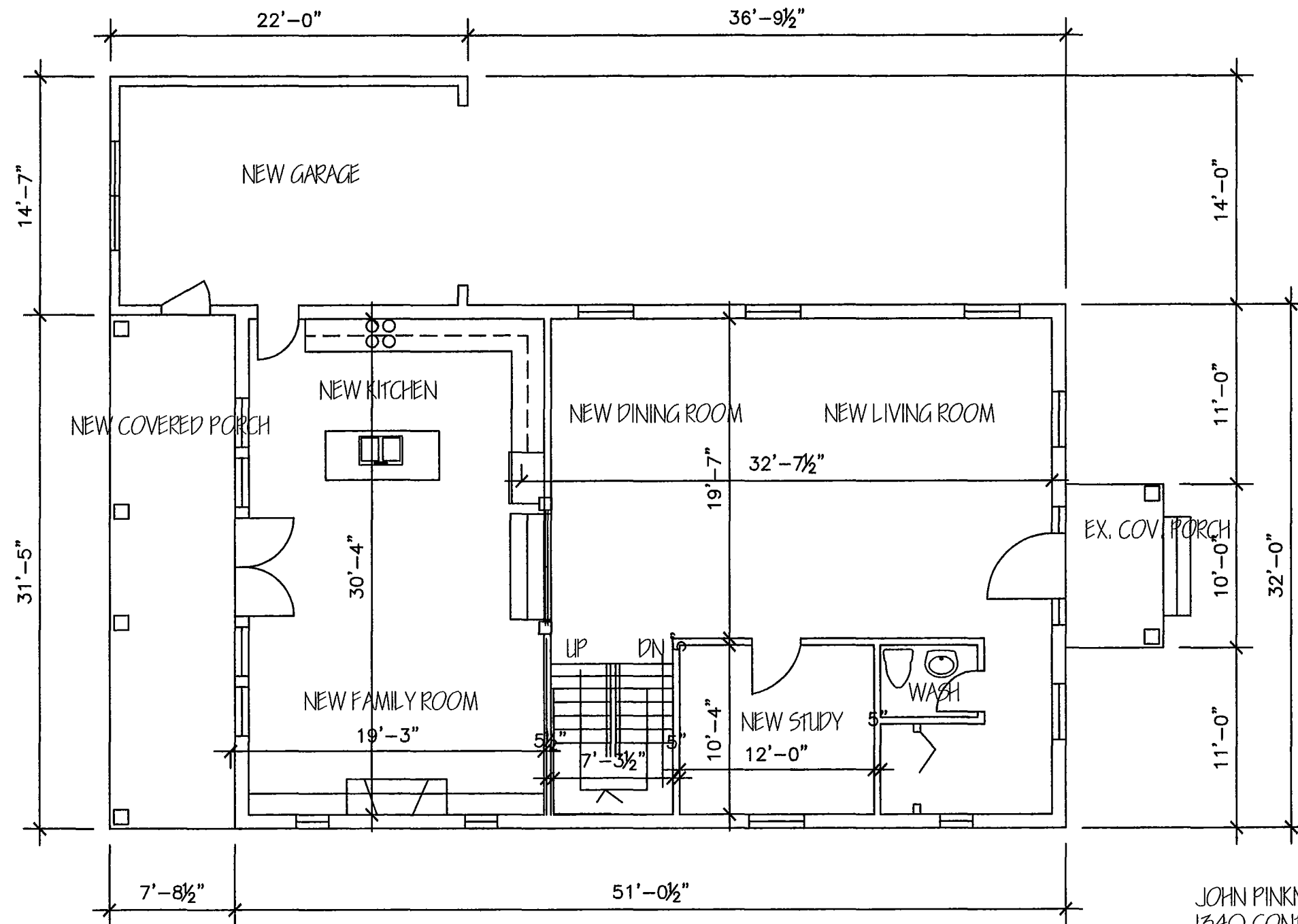
The same style medium pitched roof would be used on the new house. This would retain the character of the original house at the front. The front would become a 2 storey house and only be brick for 2/3rds of the new house depth. This part would be 32' wide and 37' deep and would be the part of the house that is sympathetic with the character of the original house. At the rear of the house a structure would be created that would echo the idea of a modern addition. This section would be 18'0"X 32'0" and would be sided with either horizontal wood siding or cedar shakes reflecting that of an addition. Then at the front of the house the front porch would be restored to its original brick columns or using a typical Edwardian post style of brick and wood. To make the front porch more Edwardian wood lintels would be added below the pediment.

The chimney would be simply ornamental and non-working and would only be included in plans if deemed necessary by heritage Mississauga as there would be no functional use.

The new garage would be set back 37' from the front of the house so as to not interfere with the cultural heritage of the front of the house. Furthermore the garage door would be a palladian styled door to keep the heritage value consistent throughout the front visual context.

The interior layout would create an open concept main floor that would accommodate a larger family with spacious accommodation and open vistas to the rear garden. The second floor would create 3 appropriate sized bedrooms and a master ensuite at the rear for a total of four bedrooms. There would be a private balcony at the rear that would give the tenants a view of the lake, or at least Saddington Park. There would be a rear yard of 43'0" X 55'0" for the owners to provide a landscaped private garden.





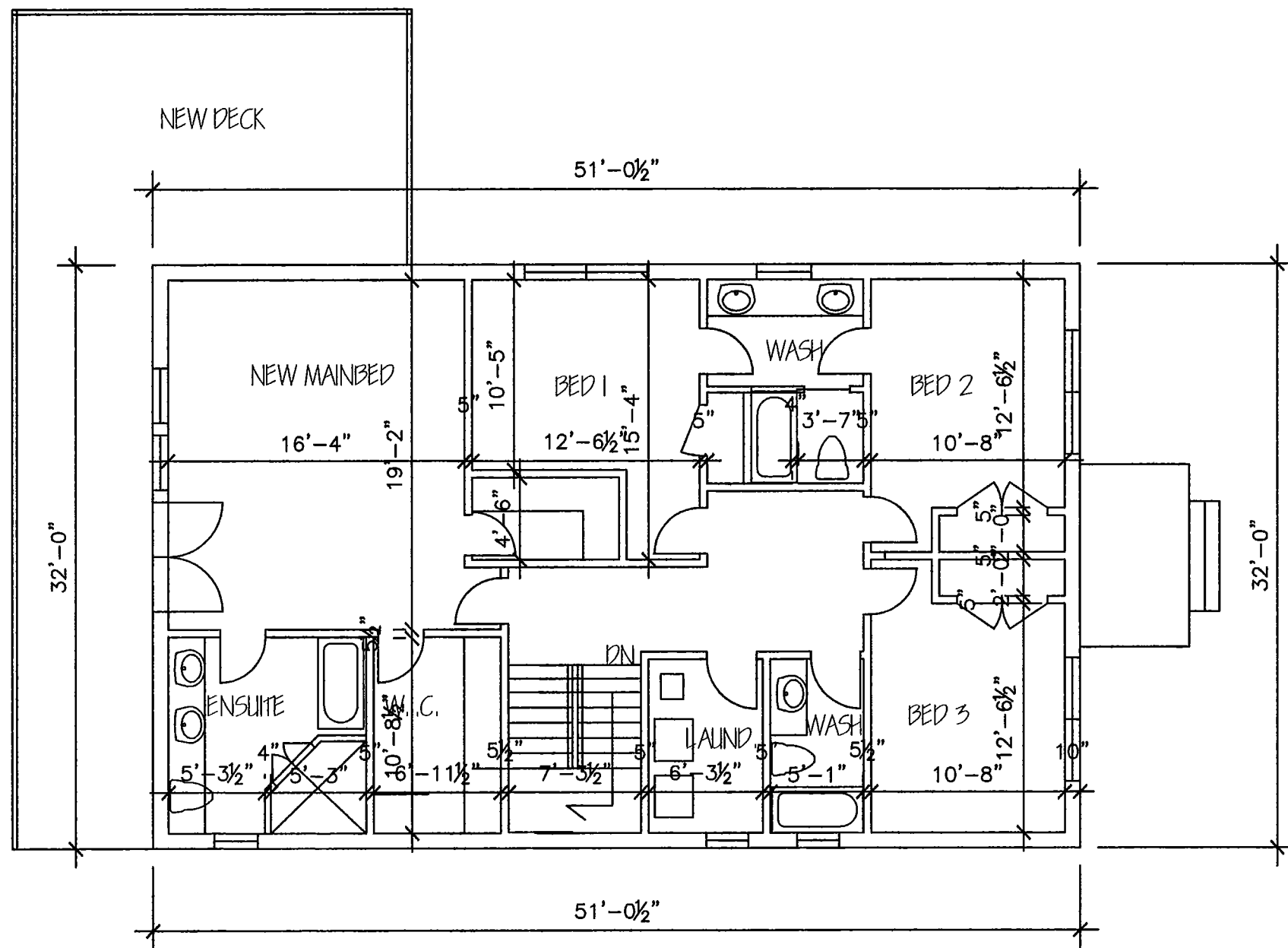
NEW MAIN FLOOR

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2

905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
NEW FLOOR PLAN  
DATE: 02/01/11  
SCALE 1/8" = 1'0"  
DRWN BY JCP

28



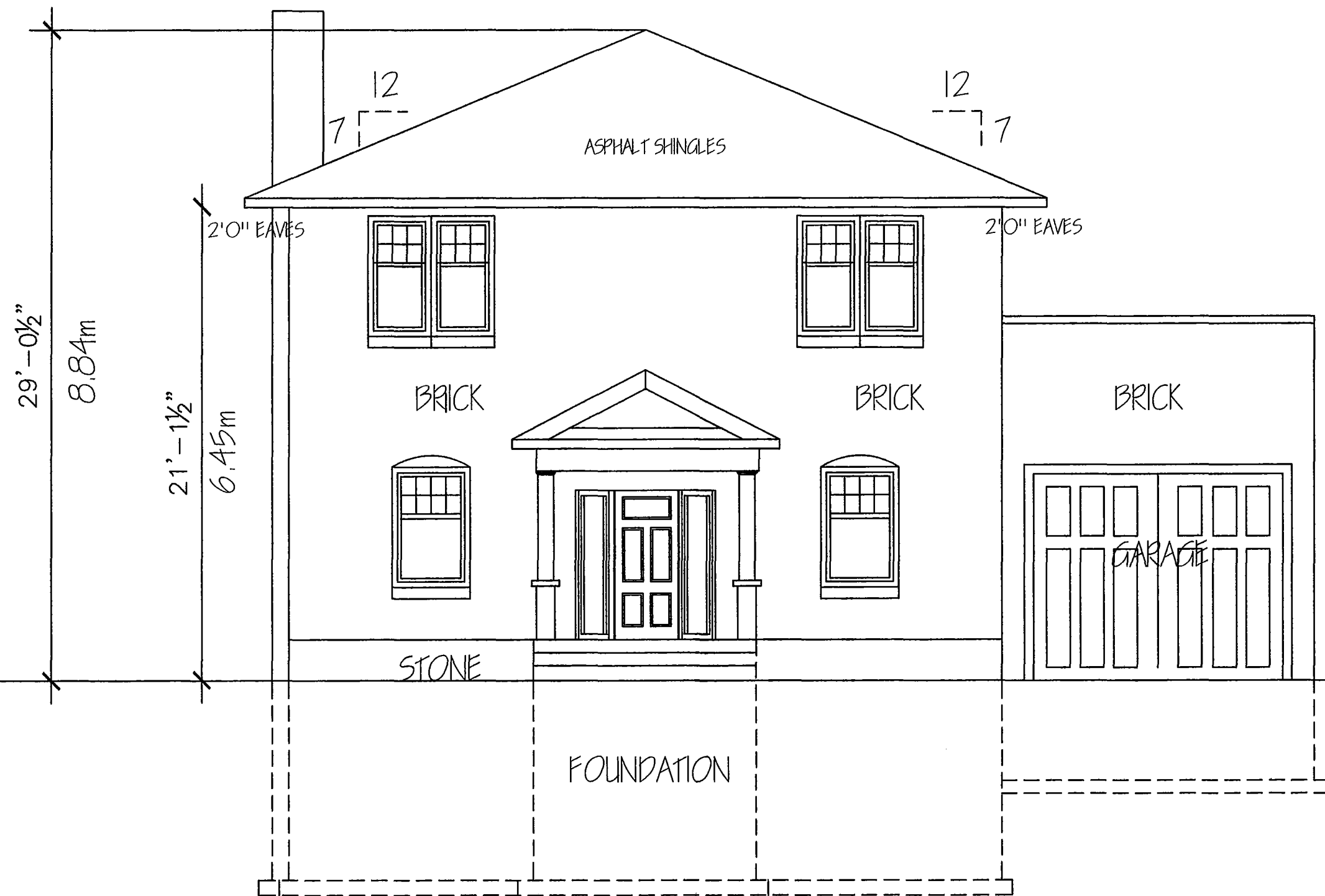
NEW SECOND FLOOR

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2

905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
NEW FLOOR PLAN  
DATE: 02/01/11  
SCALE 1/8" = 1'0"  
DRWN BY JCP

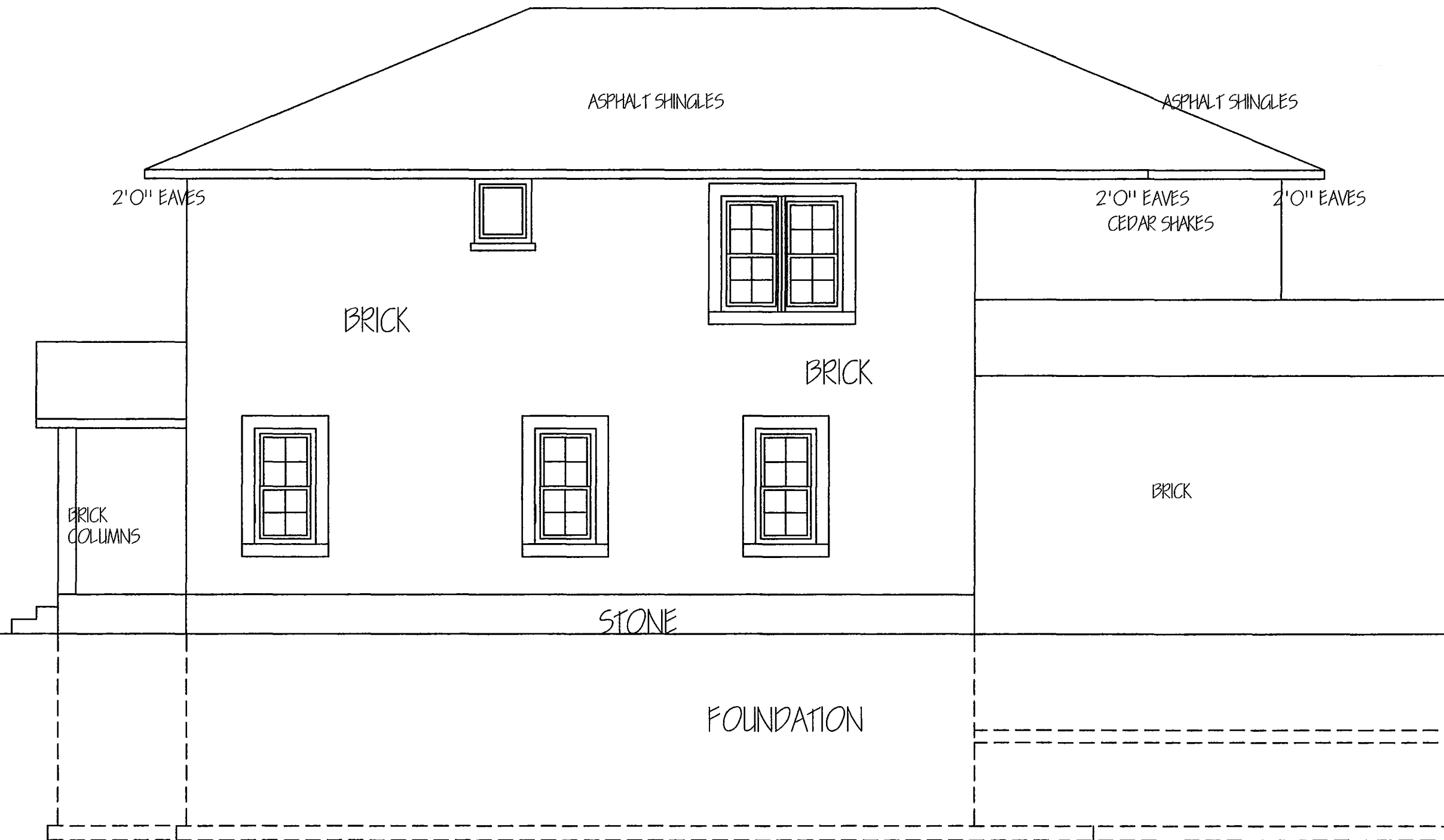
29



JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2  
905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
NEW ELEVATION  
DATE: 02/01/11  
SCALE 3/16" = 1'0"  
DRWN BY JCP

30

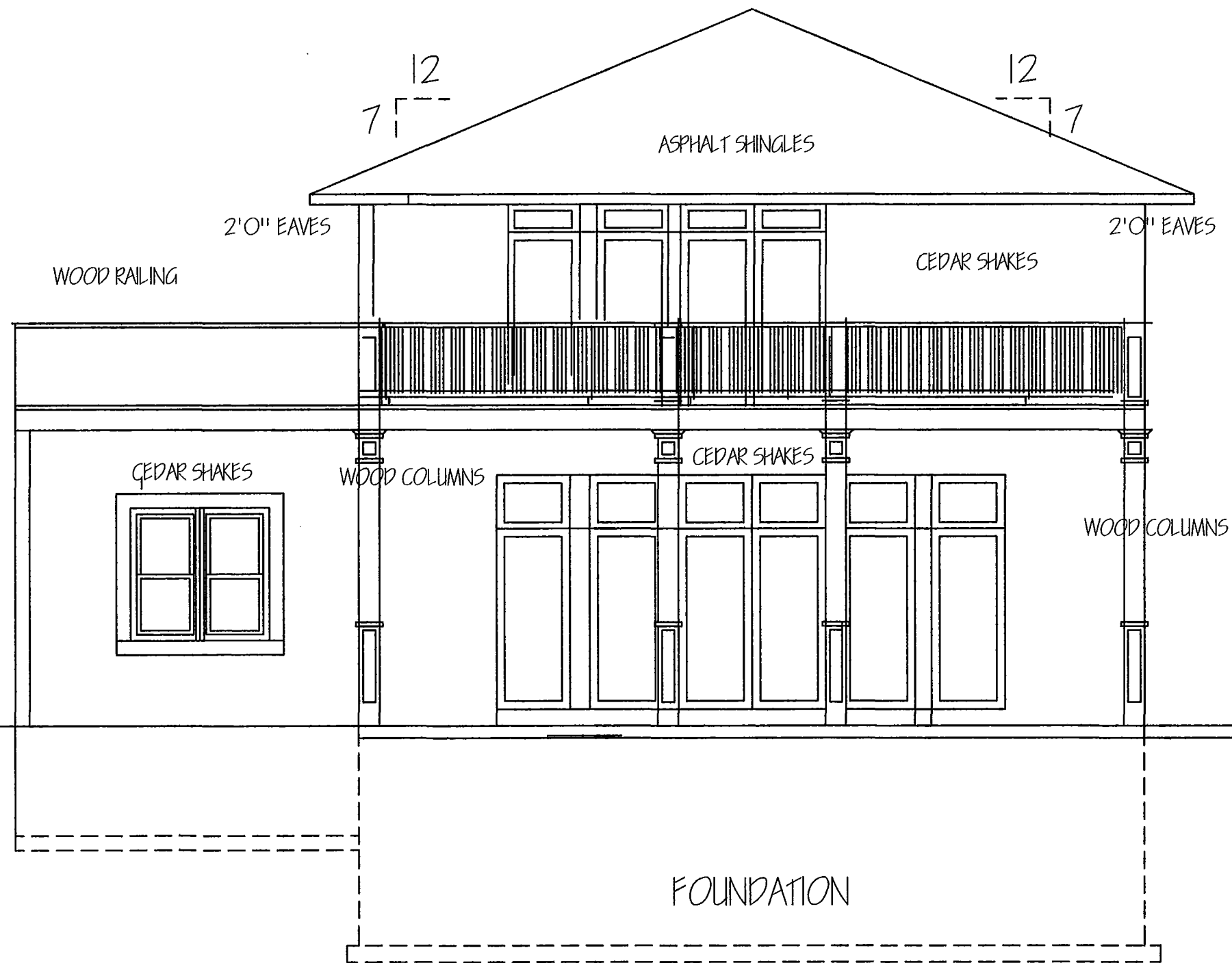


# NEW HOUSE SOUTH ELEVATION

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2  
905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
NEW ELEVATION  
DATE: 02/01/11  
SCALE 3/16"=1'0"  
DRWN BY JCP

31

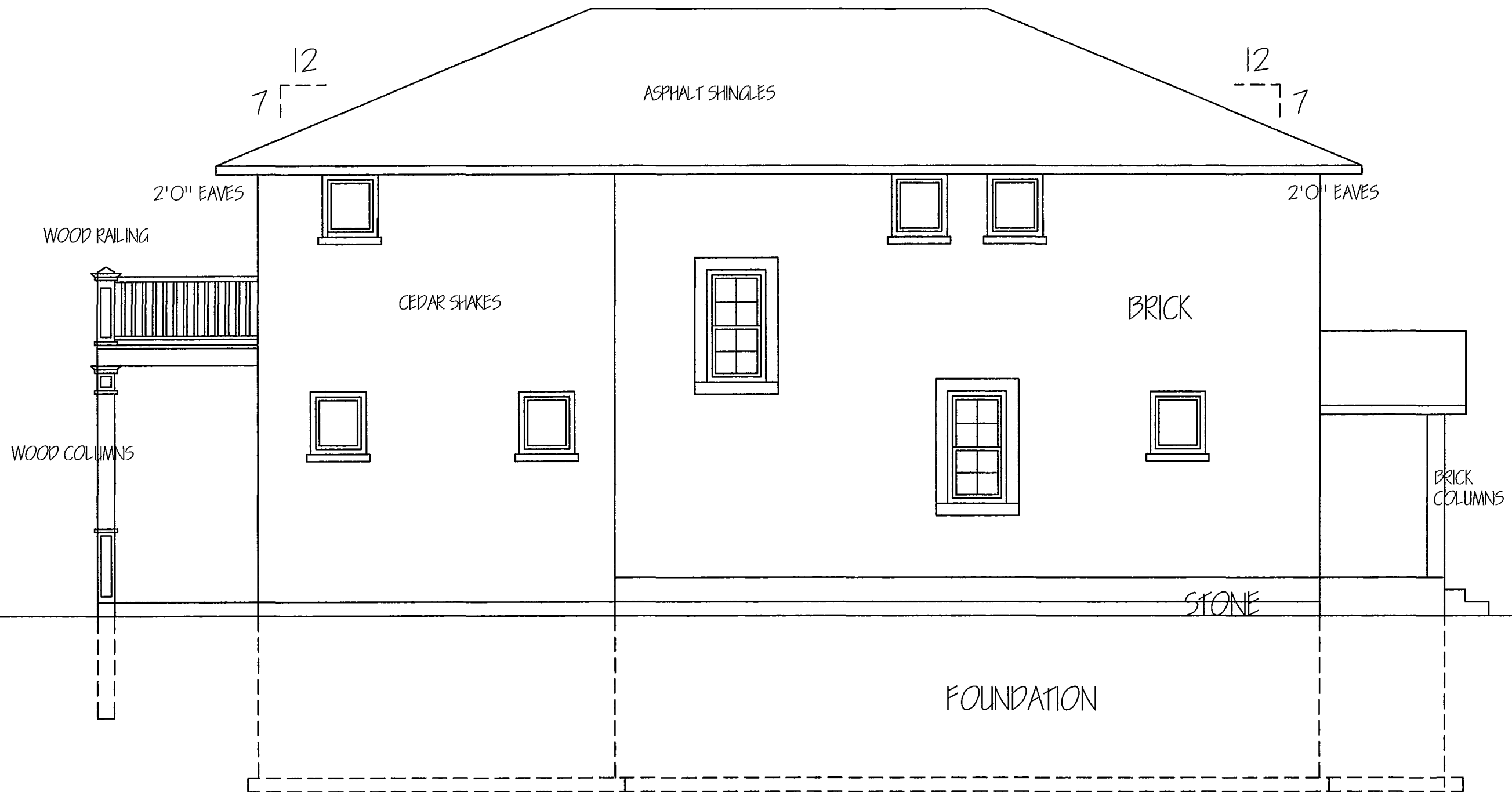


NEW HOUSE REAR ELEVATION

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2  
905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
NEW ELEVATION  
DATE: 02/01/11  
SCALE 3/16" = 1'0"  
DRWN BY JCP

32



## NEW HOUSE NORTH ELEVATION

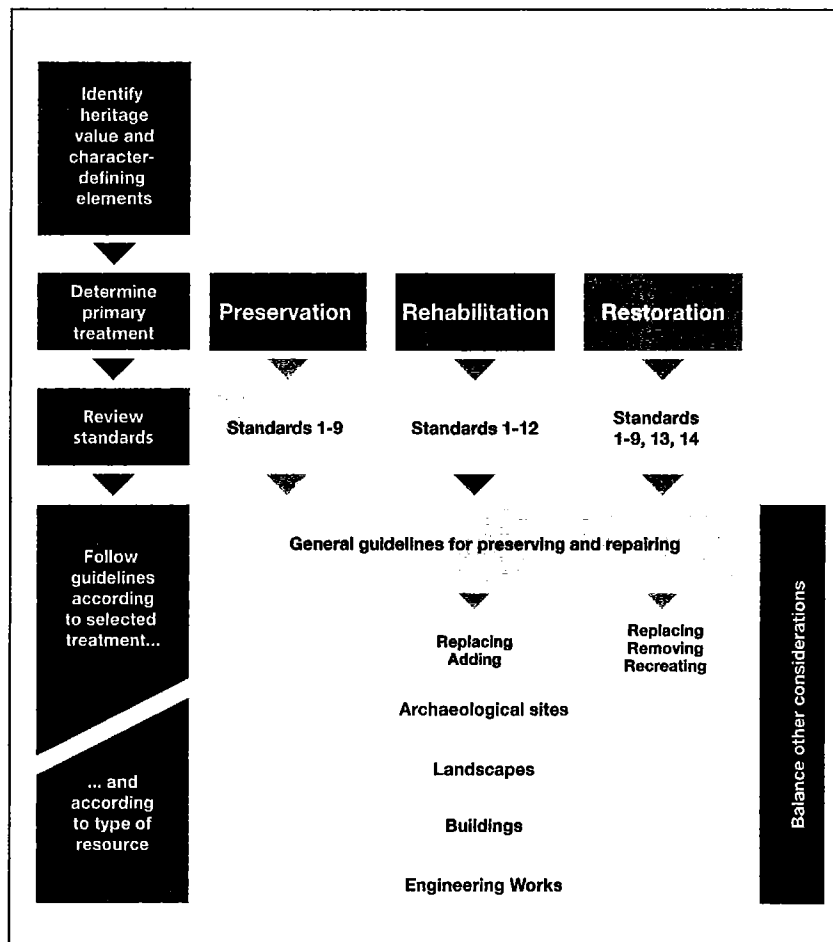
JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2  
905-483-2545

43 MISSISSAUGA ST. SOUTH  
MUHAMMAD SIDDIQI  
NEW ELEVATION  
DATE: 02/01/11  
SCALE 3/16" = 1'0"  
DRWN BY JCP

33

## Appendix: Project Conservation Principles

The conservation approach for the property at 43 Mississauga Road South relies on *Standards and Guidelines for the Conservation of Historic Places in Canada*, published by Parks Canada—hereinafter referred to as *Standards and Guidelines*. Briefly stated, it provides guidance for planning and executing conservation projects on identified historic places. The chart below, from the introduction to the document, shows how it is to be used.



### Identify Heritage Value and Character-Defining Elements:

The principal heritage value to be addressed in a Heritage Conservation District is the character of the District, which I believe lies primarily in the scale of the buildings and the character of the landscape and streetscape, as outlined previously. The existing building has heritage value primarily insofar as it supports this character. The building itself does not meet the criteria in Ontario Regulation 9/06 for designation under Part IV of the *Ontario Heritage Act*, notwithstanding the fact that it is the original house built on the lot. The principle character-defining elements of the building are its now-observed

Edwardian style, including the hipped roof, the simple design of the main mass with unadorned punched windows, and the original classical detailing of its porch.

In my professional opinion, the loss of original doors, windows, cladding and details make it a candidate for alteration or replacement so as to create a home suitable as a modern family dwelling—so long as the changes made on the property continue to support the heritage character of the District.

**Determine the Primary Treatment:**

The proposed alteration to the property involved a re-imagination of the existing building as a two-storey home. The primary treatment for the landscape will be considered a Preservation project under the terms of the *Standards and Guidelines*, and the existing mature trees will be preserved. The primary treatment of the building will be considered a Rehabilitation project, which includes the addition of a second storey, and the restoration of original design elements which have been lost through unsympathetic alterations to the building over the years.

**Review Standards:**

The project involves the addition of a second storey to the building so as to create a dwelling usable to a modern family, and it includes the restoration of defining design elements of the original Edwardian style, such as red brick exterior cladding, windows of an appropriate design, and a classically-detailed front porch. I use the term re-imagining to describe the project, because I believe an appropriate approach is imagining what might have been built had the original owner been able to afford a two-storey house. Although a majority of the District's houses are 1- and 1 ½ -storeys, a substantial minority, of the 19<sup>th</sup> and early 20<sup>th</sup> century house are 2- or 2 ½ storeys high. I believe that this approach preserves the most significant heritage aspects of the District, by maintaining the style, scale, streetscape, and landscape elements consistent with the original qualities found in the District. In other words, I believe that we are creating a "new design that is compatible with the style, era, and character of the historic place", in the words of the *Standards and Guidelines*.

**Balancing Other Considerations:**

Considerations that have led to the proposed project include:

- Provision of a modern dwelling that will ensure the continuing use of the building.
- Provision of a modern building envelope to meet requirements of thermal and energy efficiency.
- Provision of modern building systems to meet requirements of safety and environmental concerns.



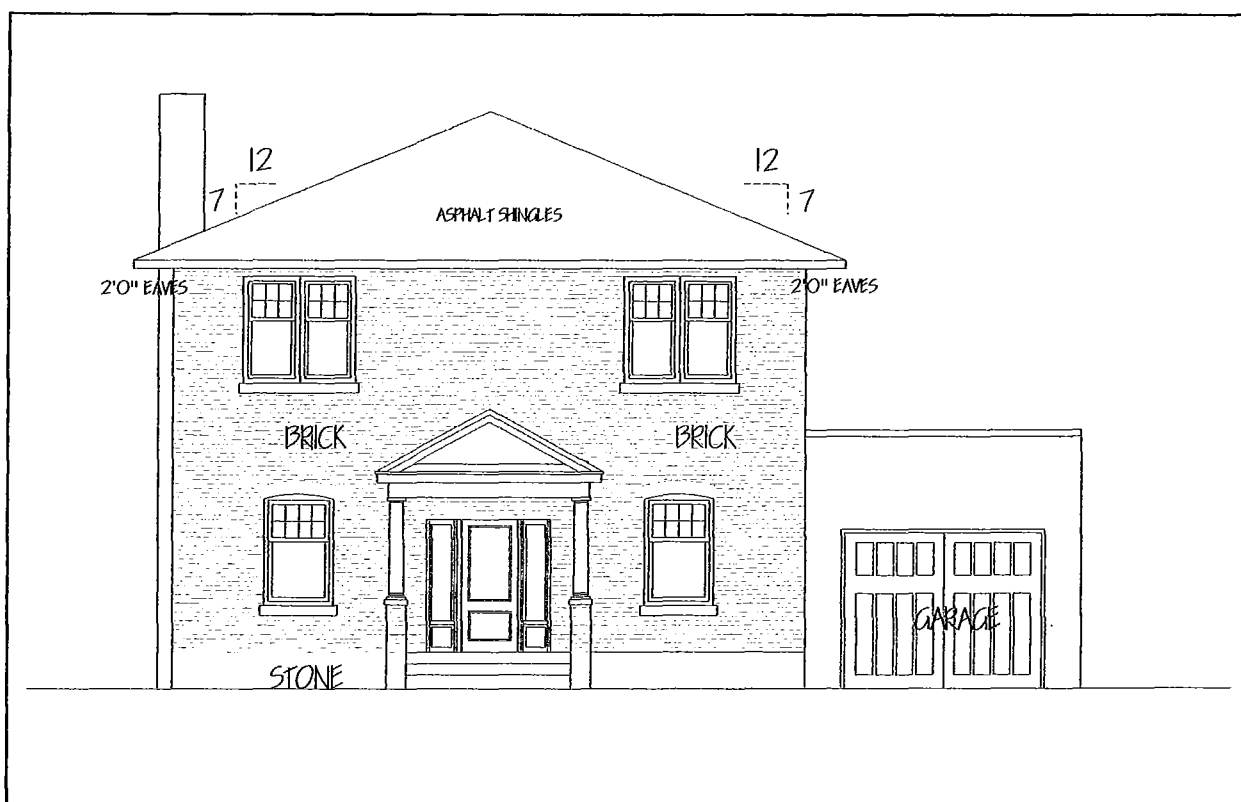
### Conservation Objectives:

The aim of our project is to conserve the heritage character of the Port Credit Village Heritage Conservation District, in terms of architectural style, building scale, and landscape and streetscape characteristics. The aim of the architectural design is to re-imagine the original building as a two-storey dwelling, while restoring those elements of the original Edwardian design that have been lost in subsequent alterations.

### The Landscape Elements:

The landscape elements of the existing mature trees will be preserved. As noted previously, this is one of the predominant heritage-defining elements of the Heritage Conservation District.

### The Proposed Building:



The proposed building is designed to reflect the principal architectural characteristics that the existing house exhibited when it was originally constructed. These are characteristics found in the Edwardian Classic style:

- Brick façade—the most common Edwardian exterior material;
- Punched windows, without exterior trim;

- Larger windows downstairs compared to upstairs;
- Paired windows upstairs on the front elevation—common detail, especially in later houses;
- Very simple building mass—no quoins, no polychromy;
- Sedate and settled quality—neither vertical nor horizontal emphasis predominates;
- Classically detailed front porch—architrave details derived from antiquity;
- Mixed porch supports of stone-capped brick piers topped with Doric columns.

In addition, the provision of a garage (not present on the existing building) is mitigated by its being detailed to reflect the design of the main building, and by being set well back from the main front wall.

Although heritage theory frowns on demolitions, I don't believe that executing this proposal as a new building, rather than an addition, would affect the heritage qualities of the building insofar as its compatibility with the character of Heritage District. Given the difficulties involved in retaining the existing fabric—extremely low basement, un-insulated solid brick walls—I would recommend new construction as best able to meet modern use and energy requirements.

### **Conclusions:**

In my professional opinion, the proposed design is a skillful rendition of an historically appropriate architectural style, reflecting the architectural style of the original building, and respectful of the heritage characteristics of the Port Credit Village Heritage Conservation District. I believe that it could serve as an example for infill in the District, when compared with many of the post-modern houses built there over the past decade.

The proposed building will meet the owner's requirements for long-term use as a dwelling for his extended family. By ensuring continued use of the property, in a form that is compatible with the character of the District, the proposal enhances, rather than detracts from, the character of Port Credit Village.

#### About The Authors:

##### The Heritage Professional:

Paul Oberst is an architect and heritage professional. He works from his Queen St. office with fellow architect Phillip Carter. Paul has a long history of working with heritage properties all over Ontario. Included in the appendices is an extended bio of Paul and his work. Paul currently resides in Toronto, Canada.

##### The Designer:

John Pinkney is a graduate of the Ontario College of Art and Design in environmental design. John has previously worked on heritage properties in both Oakville and Toronto. He has spent most of his career designing houses and working in the construction field. He has the BCIN licensing from the Ministry of housing. He currently works and resides in Mississauga, Ontario.

##### The Owner

Muhammad Siddiqi has a B.A in History from York University. Muhammad currently works in the property management and childcare industries. He currently resides in Mississauga, Ontario.

Date Plan Registered 13 Oct 1927

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Owners Crown Survey

Lot 9

Plan/Concession 300

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Lots Subdivided Town Plot

Street LAKE N. side West of Credit River



Registration Number N <sup>o</sup> d'inscr <sup>pt</sup>	Instrument Type Type d'acte	Registration Date Date d'inscr <sup>pt</sup> YY MM DD DAY/MON/YR	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Blenfonds/Observations
10023	B. & S.	5 Oct 1899	Walter Charles Hare et ux	Mark Blower	\$60.00	All
17002	B. & S.	7 Apr 1915	Mark Blower et ux	Mark Blower Jr.	1.00	Part
19065	B. & S.	18 Jun 1919	Mark Blower et ux	Emily J. Burrows	100.00	Part
20910	B. & S.	15 May 1921	Mark Blower et ux	Fred J. Denning	1500.00	Part
21088	B. & S.	11 Jul 1921	Mark Blower et ux	Cyril W. Bark	2300.00	Sly. 60 ft. and O.L.
21384	B. & S.	11 Nov 1921	Cyril W. Bark et ux	Lall Stone	3200.00	Part & O.L.
22854	Order	30 Jan 1923	Fred Denning	Jane Denning	12.00	weekly alimony. Part
25739	Grant	6 Feb 1925	Fred. G. C. Denning et al Extrs. Fred. J. Denning	Albert W. Denning	5.00	Part
27660	Release of Dower	27 May 1926	Jane C. Denning	Albert W. Denning	480.45	Part
300	Plan	3 Oct 1927	Municipal Survey made under Instructions of Minister of Lands and under Prooves of the Surveys Act.			
31830	Grant	10 Jul 1929	Emily J. Burrows	Ernest T. Head	1.00 & C.	Part
32121	Grant	7 Oct 1929	Ernest Thos. Head et ux	Frank Brogna	1.00 & C.	Part
33890	Grant	13 Jul 1931	Albert W. Denning et ux	Frank Brogna	2.00 & C.	Part
1088	Grant	15 Oct. 1942	Lall Stone	Chester S. Walters, to uses	\$2500.00	Sly 60' & O.L.
1385	Grant	30 Mar. 1944	Chester S. Walters et ux	John L. Tombs	\$3000.00	Sly 60' & O.L.

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Lot 9  
West of Credit River

Plan/Concession

300

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Registration Number Numéro d'inscriptions	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM DD DAY/MON/YR	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land Remarks Don-lands/Cheminements
2165	Grant	2 Oct. 1946	Frank Brogna et ux	Joseph Guimet & Ida Guimet as joint tenants	\$2800.00	Nly 50' & O.L.
4893	Grant	29 Jan 1952	John L. Tombs et ux	John V. Holland & Eileen J. Holland as joint tenants	\$6315.00	Sly 60' & O.L.
4932	Grant	22 Feb 1952	John V. Holland & Eileen J. Holland	Clive E. Dolan & Enid O. Dolan as joint tenants	\$1800.00	Sly 60' & O.L.
5206	Grant	19 Sept 1952	Joseph Guimet & Ida Guimet	Evaristo D'Ovidio	\$5250.00	Nly 50' & O.L.
GR45518VS	Cert.	14 July 1967	Treasurer's Consent	Frank Brogna Est.		re: No. 32121 & O.L.
See Deposit No. 47215VS (32121)						
47216VS	Grant	7 Aug. 1967	Rinaldo Brogna, Alba Monaco & Joseph E. Brogna, Exrs. of Frank Brogna Est.	Maria D'Amizio	2.00 & C	Part & O.L. Cont. 60' NW of NW 1/4 of Lake St. Thence NW 55' x NE 132' x SE 55' x SW 132' to p of c 80m. Consent attached
<del>236238vs</del>	<del>Agmt</del>	<del>24 Aug 1972</del>	<del>Rinaldo Brogna, Alba Monaco, Joseph E. Brogna Executors of Frank Brogna Estate</del>	<del>Maria D'Amizio</del>	<del>1.00 &amp; C</del>	<del>To Note no 47217VS and 11 27 July 1977. Also re 42103124</del>
VS411821	Cert.	9 Nov. 1976	Treasurer's Consent	Clive E. Dolan Estate		re: No. 4932
433671	Grant	10 June 1977	Maria D'Amizio	Eileen J. Dolan Bernard H. Dolan as joint tenants	2.00 & C.	Part & O.L. as in 472136 vs except 2nd course is 32'

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**Lot** 9

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**West of Credit River Lake N. side Street**



433671

Registration Number (if any)	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM DD DAY/MON/YR	Parties from Parties	Parties to Parties	Consideration Considération	Land/Remarks Brevets/Observations
434644	Deposit	20 June 1977	Re: no. 47216 vs			
624214	Grant	12 11 82	DOLAN, Enid O.	LITTLE, Edward J. LITTLE, Lillian P. JT	\$1.06 & C	Sly 60'
656692	Grant	12 09 83	D'OVIDIO, Yole executrix of D'OVIDIO, Evaristo's Estate	D'OVIDIO, Yole	\$2.00 & C	Part & O.L. com 115' from N intersection of Lake & Joseph St. Thence E 132' x N 90' x W 132' x S 90' to p. of c.
695855	Housing Development Lien Cert.	11 10 84	D'OVIDIO, Yole	CITY of Mississauga	4,000.00	Part & O.L. com 115' NW from Sly 1 of Lot 10 thence NW 50' x NW 132' x SE 50' x SW 132' to p. of c.
699838	Dis.	29 11 84	CITY of Mississauga	D'OVIDIO, Yole		Housing Development Lien Cert. No. 695855
699839	Housing Development Lien Cert.	29 11 84	D'OVIDIO, Yole	CITY of Mississauga	5,796.00	Part & O.L. as in No. <u>696592</u>
709655	Mort.	29 03 85	GOOIN, Emile J. GOOIN, Germaine N.	THE Royal Bank of Canada	\$0,000.00	Part & O.L. as in No. 433671 (As in No. 47216 VS Except p of c is 60' SW of Sly 1
NO 983870	Dis	TR/ANTH/DAY 91 09 20	CITY of Mississauga	D'OVIDIO Yole	(699839)	699859 <sup>71.09.84</sup> ADOLPHE
NO 1002524	Grant	92 04 14	THE Estate of DOLAN Enid Olyn	LITTLE Lillian Patricia	Nil	Sly 60'

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Lot 9

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North Side of Lake Street



Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement Y1 M1 D1 A1 M1 J1	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bordures/Observations
R0 1095625	Transfer	95 08 01	LITTLE, Lillian Mary	SWEETE, Nancy Lynn	\$145,000.00	2ndly: Sly 60' & D.L. Planning Act Statement re: Section 50 completed
R0 1095626	Charge	95 08 01	SWEETE, Nancy Lynn	The Prudential Insurance Company of America	\$90,000.00	2ndly: Sly 60' & D.L.

**NOTICE**  
All Documents/Instruments  
subsequent to

**SEP 23 1997**

are recorded in the automated abstract  
index set out in subsection 21(5) of the  
REGISTRY ACT

Date Plan Registered.....3 Oct. 1927  
 Owners.....Crown Survey  
 Lots Subdivided.....TownPlot

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LAKE N. side

West of Credit River

DAY MON YR

Registration Number Instrument Number	Instrument Type Type of Act	Registration Date Date of Registration M Y D	Parties from Parties	Parties to Parties	Consideration Consideration	Land/Remarks Own-lands/Observations
10023	B.&S.	5 Oct. 1899	Walter Charles Hare et ux	Mark Blower	\$60.00	All
17002	B.&S.	7 Apr. 1915	Mark Blower et ux	Mark Blower Jr.	1.00	Part
19065	B.&S.	18 Jun 1919	Mark Blower et ux	Emily J. Burrows	100.00	Part
20910	B.&S.	15 May 1921	Mark Blower et ux	Fred J. Denning	1500.00	Part
21088	B.&S.	11 Jul 1921	Mark Blower et ux	Cyril W. Bark	2300.00	Sly. 60 ft. and O.L.
21384	B.&S.	11 Nov 1921	Cyril W. Bark et ux	Lall Stone	3200.00	Part and O.L.
22854	Order	30 Jan 1923	Fred Denning	Jane Denning	12.00	weekly alimony. Part
25739	Grant	6 Feb. 1925	Fred. G. C. Denning et al Extrs. Fred. J. Denning	Albert M. Denning	5.00	Part
27660	Release of Dower	27 May 1925	Jane C. Denning	Albert M. Denning	480.45	Part
300	PLAN	3 Oct. 1927	Municipal Survey made under Instructions of Minister of Lands and under Prooves of the Surveys Act.			
31830	Grant	10 Jul 1929	Emily J. Burrows	Ernest T. Head	1.00 & C.	Part
32121	Grant	7 Oct. 1929	Ernest Thos. Head et ux	Frank Bregna	1.00 & C.	Part
33890	Grant	13 Jul 1931	Albert M. Denning et ux	Frank Bregna	2.00 & C.	Part
1000	Grant	15 Oct 1942	Lall Stone	Charles S. Walters, et ux	\$2000.00	Sly 60' & O.L.
1305	Grant	30 Mar 1944	Charles S. Walters et ux	John L. Tink	\$2000.00	Sly 60' & O.L.



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LAKE N. side

West of Credit River



Registration Number Numéro d'inscriptions	Instrument Type Type d'acte	DAY MON YR			Parties from Parties	Parties to Parties	Consideration Considération	Lead/Remarks Renfords/Observations
		Day	Mon	Yr				
2165	Grant	2 Oct.	1946		Frank Brogna et ux	Joseph Guimet & Ida Guimet as joint tenants.	\$2800.00	Nly 50' & O.L.
4893	Grant	29 Jan	1952		John L. Tombs et ux	John V. Holland & Eileen J. Holland, as joint tenants.	\$6315.00	Sly 60' & O.L.
4932	Grant	22 Feb	1952		John V. Holland & Eileen J. Holland	Clive E. Dolan & Enid O. Dolan as joint tenants.	\$1800.00	Sly 60' & O.L.
5206	Grant	19 Sept	1952		Joseph Guimet & Ida Guimet	Evaresto D'Ovidio	\$5250.00	Nly 50' & O.L.
GR45518vs	Cert.	14 July	1967		Treasurer's Consent	Frank Brogna Est.		Re: MO. 32121 & O.L.
See Deposit MO. 47215VS (32121)								
47216vs	Grant	1 Aug.	1967		Rinaldo Brogna, Alba Monaco & Joseph B. Brogna. Exrs. of Frank Brogna Est.	Maria D'Aerizio	2.00 & C.	Part & O.L. See lot 9 for desc. Bom. Consent attached.
67766VS	Agreet. for Sale	15 Mar.	1968		Clive E. Dolan & Enid O. Dolan (V.)	Paul P. Harrison & Barbara Harrison as joint tenants (P.)	16,500.00	S Ely 60'
129387VS	Grant	16 Dec.	1969		Clive E. Dolan & Enid O. Dolan	Paul P. Harrison & Barbara Harrison as joint tenants.	16,500.00	S Ely 60'.
129388VS	Grant	16 Dec	1969		Paul P. Harrison & Barbara Harrison	Edward J. Little	2.00 & C.	S Ely 60'
<del>226238VS</del>	<del>Agreet.</del>	<del>24 Aug</del>	<del>1972</del>		<del>Rinaldo Brogna, Alba Monaco Joseph B. Brogna Executors of Frank Brogna Estate.</del>	<del>Maria D'Aerizio</del>	<del>1.00 &amp; C.</del>	<del>To extend Regs. MO. 47217VS and 47 31 July 1977. ADR 12 8/10/72</del>

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LAKE N. side West of Credit River



129388vs

DAY MON YR

Instrument No. Type d'acte	Instrument Type Type d'acte	Registration Date Date d'enregistrement YR MON DAY	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Branche/Observations
433671	Grant	10 June 1977	Maria D'Aurizio	Emile J. Godin & Germaine M. Godin, as joint tenants	2.00 & C.	Part & O.L. as in 47216VS except 2nd course is 32'.
434644	Deposit	20 June 1977	RE: No 47216vs			
<del>438104</del>	<del>D.M.</del>	<del>23 June 1977</del>	<del>Rinaldo Brogne, Alba P. Monaco, Maria D'Aurizio</del> <del>Joseph G. Brogne-Exrs. of Frank Brogne-Estate</del>			<del>Discharging NO. 47217VS from 2nd course</del>
656692	Grant	12 09 83	D'OVIDIO, Yole executrix of D'OVIDIO, Evaristo's estate	D'OVIDIO, Yole	\$2.00 & C.	Part & O.L. See lot 9 for descr.
695855	Housing Development Lien Cert.	11 10 84	D'OVIDIO, Yole	CITY of Mississauga	4,000.00	Part & O.L. see Lot 9 for desc.
699838	Dis.	29 11 84	CITY OF Mississauga	D'OVIDIO, Yole		Housing Development Lien Cert. NO. 695855
699839	Housing Development Lien Cert.	29 11 84	D'OVIDIO, Yole	CITY of Mississauga	5,796.00	Part & O.L. as in NO. 656692
709655	Mort.	29 03 85	GODIN, Emile J. GODIN, Germaine M.	THE Royal Bank of Canada	50,000.00	Part & O.L. as in NO. 433671 (As in NO. 47216VS except P of c is 60' SW of Sly L.
RO983870		YR MON DAY 91 09 20	CITY of Mississauga	D'OVIDIO Yole		699839
RO 1012401	Grant	92 07 22	Estate of LITTLE Edward James	LITTLE Lillian Mary	2.00	SE1/4 60'

12911 (88)

POR 11

Continued on Page 4

32x10

25x10

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Répertoire par lot**

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North Side of Lake Street



Registration Number Numéro d'inscriptions	Instrument Type Type d'acte	Registration Date Date d'inscriptions YY MM DD AA MM JJ	Parties from Parties	Parties to Parties	Consideration Contenance	Land/Remarks Don-lands/Donations
RO 1095625	Transfer	95 08 01	LITTLE, Lillian Mary	SWEETE, Nancy Lynn	\$145,000.00	1stly: SEly 60' & O.L. Planning Act Statement re: Section 50 completed
RO 1095626	Charge	95 08 01	SWEETE, Nancy Lynn	The Prudential Insurance Company of America	\$90,000.00	SEly 60' & O.L. Assigned by RO1095625
RO 1138158	Assignment	97 03 26	THE Prudential Insurance Company of America	LONDON Life Insurance Company		Re: Charge RO1095626 and others

**NOTICE**  
All Documents/Instruments  
submitted to

**SEP 29 1997**

and for record in the jurisdiction of the  
Registry Act

LAND  
REGISTRY  
OFFICE #43

13488-1187 (LT)

PAGE 1 OF 3  
PREPARED FOR MUHAMMAD SIDDIQI  
ON 2011/03/24 AT 14:28:11

\* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

**PROPERTY DESCRIPTION:** PT LT 9 N/S LAKE ST WCR PL PCL (SHOWN ON PL 300) PORT CREDIT; PT LT 10 N/S LAKE ST WCR PL PCL (SHOWN ON PL 300) PORT CREDIT AS IN VS47216 CITY OF MISSISSAUGA

**PROPERTY REMARKS:**

**ESTATE/QUALIFIER:**

FEE SIMPLE  
LT CONVERSION QUALIFIED

**RECENTLY:**

RE-ENTRY FROM 13488-2285

**PIN CREATION DATE:**

1999/03/25

**OWNERS' NAMES**

SIDDIQI, MUHAMMAD

**CAPACITY SHARE**

ROWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
<p><b>**EFFECTIVE 2000/07/29</b> THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/09/23 ON THIS PIN**</p> <p><b>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1999/03/25**</b></p> <p><b>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1999/03/25 **</b></p> <p><b>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</b></p> <p><b>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</b></p> <p><b>** AND ESCHENTS OR FORFEITURE TO THE CROWN.</b></p> <p><b>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</b></p> <p><b>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</b></p> <p><b>** CONVENTION.</b></p> <p><b>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</b></p> <p><b>**DATE OF CONVERSION TO LAND TITLES: 1999/03/26 **</b></p>						
RO433671	1977/06/10	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	GODIN, EMILE JOSEPH GODIN, GERMAINE MARIE	
RO709655	1985/03/29	CHARGE		*** COMPLETELY DELETED ***	THE ROYAL BANK OF CANADA	
RO1181416	1999/03/03	AGREEMENT		*** DELETED AGAINST THIS PROPERTY *** ROYAL BANK OF CANADA	GODIN, EMILE JOSEPH GODIN, GERMAINE MARIE	
REMARKS: AMENDING 709655						
PR362327	2002/12/11	LR'S ORDER		*** COMPLETELY DELETED *** LAND REGISTRAR		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
REMARKS: TO AMEND DESCRIPTION TO REFLECT PC1, PC2, PC3 & PC4						
PR423157	2003/04/24	DISCH OF CHARGE		*** COMPLETELY DELETED *** ROYAL BANK OF CANADA		
REMARKS: RE: R0709655						
PR449229	2003/06/13	TRANSFER		*** COMPLETELY DELETED *** GODIN, EMILE JOSEPH GODIN, GERMAINE MARIE	BUSCH, UWE	
PR449230	2003/06/13	CHARGE		*** COMPLETELY DELETED *** BUSCH, UWE	THE TORONTO-DOMINION BANK	
PR939029	2005/10/04	CHARGE		*** COMPLETELY DELETED *** BUSCH, UWE	THE TORONTO-DOMINION BANK	
PR971240	2005/11/28	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		
REMARKS: RE: PR449230						
PR1586854	2008/12/23	CHARGE		*** COMPLETELY DELETED *** BUSCH, UWE	THE TORONTO-DOMINION BANK	
PR1836047	2010/06/10	TRANSFER		*** COMPLETELY DELETED *** BUSCH, UWE	MARCELLO, GAETANO	
REMARKS: PLANNING ACT STATEMENTS						
PR1836048	2010/06/10	CHARGE		*** COMPLETELY DELETED *** MARCELLO, GAETANO	HOME TRUST COMPANY	
PR1857883	2010/07/13	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		
REMARKS: PR1586854.						
PR1857886	2010/07/13	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		
REMARKS: PR939029.						
PR1951076	2011/01/19	TRANSFER	\$475,000	MARCELLO, GAETANO	SIDDIQI, MUHAMMAD	C
REMARKS: PLANNING ACT STATEMENTS						
PR1951077	2011/01/19	CHARGE	\$385,320	SIDDIQI, MUHAMMAD	HOME TRUST COMPANY	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR1968511	2011/03/01	DISCH OF CHARGE		*** COMPLETELY DELETED *** HOME TRUST COMPANY		
REMARKS: PR1836048.						

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

**PAUL OBERST, OAA, B.Arch, CAHP**  
**CURRICULUM VITAE**

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**EDUCATION**

**1970 B. ARCH (WITH DISTINCTION)** University of Michigan

**PROFESSIONAL HISTORY**

1993 – Present Paul Oberst Architect, Principal

1995-Present Consultant to:  
Phillip H. Carter Architect

1994-1996 Consultant to:  
R. E. Barnett Architect

1989 - 1993 Designer  
Gordon Cheney Architect Inc.

1984 - 1989 Paul Oberst Design, Principal

1981-1984 Designer  
Lloyd Alter Architect

1973-1981 Major Works Building, Principal

**SELECTED PROJECT EXPERIENCE:**

**HERITAGE PROJECTS**



The Beverley Street project preserved a large Victorian row of 16 houses, maintaining their original use as single-family dwellings. It was nominated for an Ontario Renews Award.

**For Lloyd Alter Architect**  
**Contact Lloyd Alter, 416-656-8683**  
**Beverley Street Row, Toronto,**  
Renovation and preservation, 1982

This project was part of the redevelopment of a largely vacant city block. The developer chose to preserve this 16-house Victorian row, an enlightened attitude for the time.

Mr. Oberst worked on several of the houses in the project, with responsibilities including design, construction documents, and field review .

**McCabe Houses, 174-178 St. George Street, Toronto**  
restoration for adaptive re-use, 1982

Mr. Oberst assisted in working drawings and field review.

**For Lloyd Alter Architect**

**Fulton-Vanderburgh House, Richmond Hill,**  
exterior restoration, 1984

This project was part of a development agreement for farmland south of Richmond Hill. CAPHC member David Fayle was the LACAC liaison.

Mr. Oberst handled the project, having full responsibility for design, construction documents, and field review.



The Fulton-Vanderburgh House in Richmond Hill, after its restoration. Built around 1810, this is the oldest house in York Region



Woodstock Public Library. Phillip Carter's project combined sensitive alterations and an addition with the restoration of one of Ontario's finest Carnegie libraries.

**For Phillip H. Carter Architect and Planner**  
Contact Phillip Carter, 416-504-6497  
**Woodstock Public Library,**  
Restoration, addition, and renovations, 1996

Mr. Oberst assisted in the production of working drawings and wrote the specifications.

**Port Hope Public Library, restoration, addition and renovations, 2000**

Mr. Oberst wrote the specifications.





Setting back the third-floor addition allowed the restored bank building to retain its street presence, and maintain the detail significance of the cornice and entry-bay decoration. Preservation Services provided oversight for work under the façade improvement program.

**For Paul Oberst Architect**

### **The Dominion Bank**

2945 Dundas Street W., Toronto

Restoration, addition, and renovation, 2002

This 1915 bank by John M. Lyle Architect was converted to a commercial residential building with a penthouse addition, set back 2.3m from the building line, and following the curve of the façade.

The original structure was restored under a local façade improvement program, including cleaning and installation of replacement 1-over-1 double hung windows on the second floor.

### **Medland Lofts**

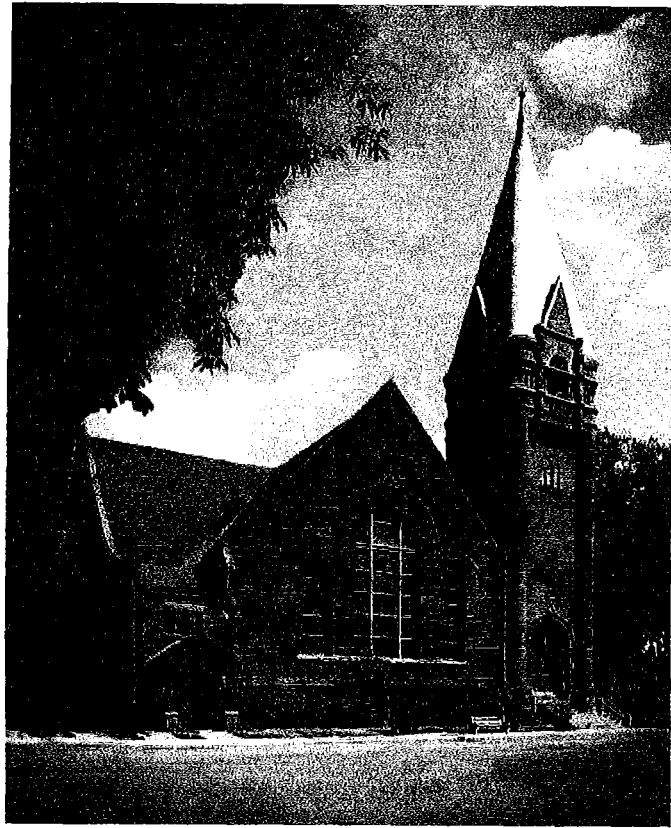
2925 Dundas Street W., Toronto

Restoration, addition, and renovation, 2005

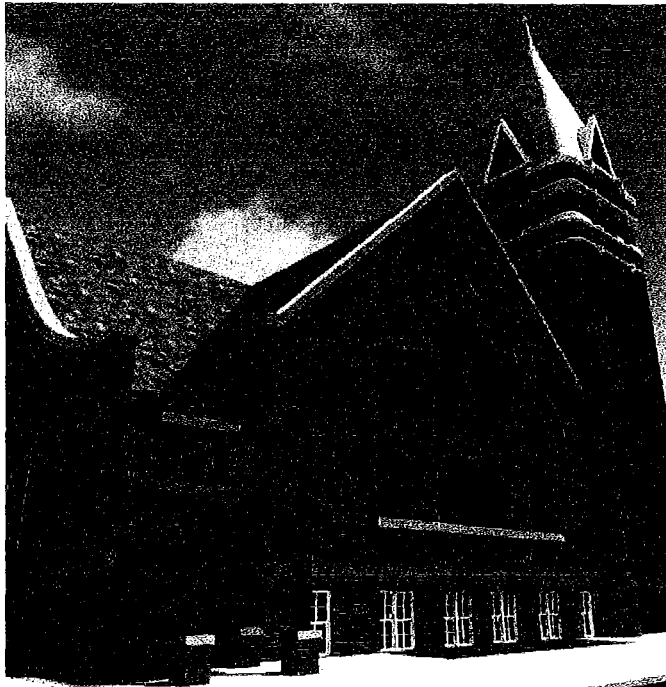
This Art Deco building was in extreme disrepair following an uncompleted renovation. The completed project provided 10 residential and 3 commercial condominium units. It contributes to the revitalization of the Junction commercial area.



This building has a set-back addition similar to the one at the Dominion Bank across the street. In this case the penthouse has a Moderne design, reflecting the Art Deco style of the original building.



Balconies behind the original arches double the window area to meet the requirements of residential use, without cutting new openings in the historic masonry structure.



## For Paul Oberst Architect

### Victoria Lofts

152 Annette Street, Toronto

Residential Conversion,  
Currently in approval stage.

The 1890 Victoria-Royce Presbyterian Church was designed by Knox and Elliot, who were also the architects for the Confederation Life building on Yonge Street. In 2005, the parish ceased operation, no longer having sufficient members to maintain this large and important heritage building.

The project will preserve and restore the building envelope and many of the interior features, and will provide 34 residential condominiums.

Significant elements that will not be used in the project, like the 1908 Casavant organ, and the enormous stained glass windows will be preserved intact in new homes at other churches.

## HERITAGE DISTRICTS

**In association with Phillip H. Carter Architect and Planner**

**Collingwood Downtown Heritage Conservation District Study and Plan, 2001-2002**

**Kleinburg-Nashville Heritage Conservation District Study and Plan, 2002-2003**

**Old Burlington Village Heritage Conservation District Study, 2004-2005.** Resulted in our Urban Design Guidelines for the downtown.

**Northeast Old Aurora Heritage Conservation District Study and Plan, 2005-2006.** Received Honourable Mention (2<sup>nd</sup> place nationally) in the Neighbourhood Plans category—Canadian Institute of Planning, 2007.

**Village of Maple Heritage Conservation District Study and Plan, 2006-2007.**

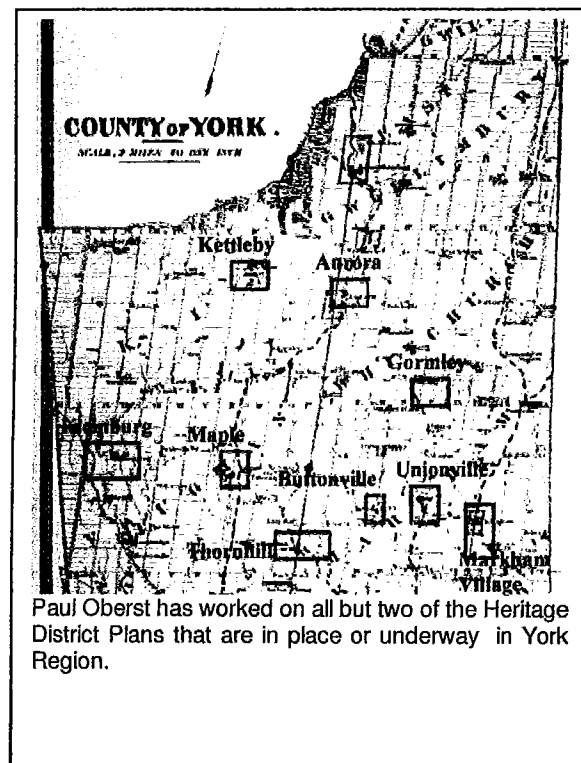
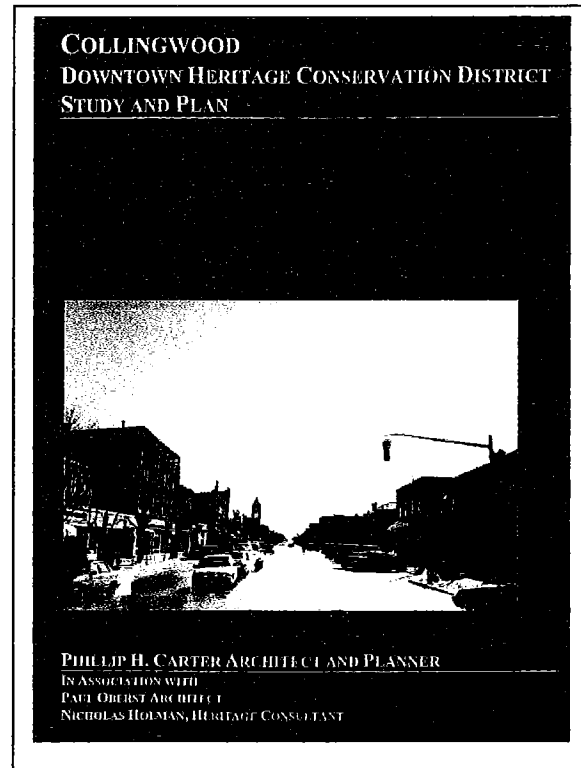
**Buttonville Heritage Conservation District Study and Plan, underway.**

**Thornhill Markham Heritage Conservation District Study and Plan, 2007.**

**Thornhill Vaughan Heritage Conservation District Study and Plan, 2007.**

**Gormley Heritage Conservation District Study and Plan, 2008**

**Kettleby Heritage Conservation District Study and Plan, suspended by Council.**



## Talk of preserving heritage a façade

**Zoning change to Spadina will raze historic buildings**



**JOE FIORITO**  
City columnist

Walk slowly up Spadina, from Dundas to College; it doesn't take much time. Get yourself some barbecued duck, a bowl of pho, a bag of star fruit and keep walking. Look closely at the buildings as you walk. Under decades of neglect and

cheap signage you will see a streetscape of handsome bay windows, latticed brick and old stone cornices — the remnants of Victorian Toronto.

Now listen carefully: Hidden in the noise of traffic, there is another, softer sound — landlords rubbing their hands, lawyers drafting agreements, wrecking crews licking their chops.

Final arguments over a zoning change to Spadina Avenue have just been heard by the Ontario Municipal Board; if the change is approved, those old buildings may topple like dominoes.

To boil it down: Certain developers want a change in zoning to allow an increase in the density of the street, which would make the narrow little properties on Spadina more valuable as real estate, which in turn would make it easy for somebody with the cash to bundle up several of the narrow lots into larger parcels for redevelopment — i.e., demolition. City council has approved the

change, in spite of staff recommendations to the contrary. Perhaps council believes a denser, post-development Spadina will still look like Spadina, only better, healthier, more vibrant; and perhaps one day the fire hydrants will be filled with cherry Kool-Aid.

It could happen, but it ain't likely.

I went to the offices of the OMB last Friday, to listen as the opposition made its case.

I was won over.

Architect and neighbourhood resident Paul Oberst led the arguments by calling a planner for the city, Suzanne Pringle. She explained that if the density along that strip of Spadina were increased, it would make it easy to assemble small lots. However, in order to achieve the proposed density, it would be necessary to demolish what's there and rebuild.

Next, heritage expert Marcia Cuthbert testified that there are a number of architecturally significant buildings along this stretch of Spadina that ought to be considered historic properties. They have not yet been designated as such, partly because the heritage board is overworked, and partly because of delays caused by amalgamation.

See SPADINA on Page A17

## Better safe than sorry?

### SPADINA

Continued from Page A16

Among the more notable buildings are: the Standard, a Yiddish theatre that morphed into the Victory Burlesque which in turn became the Golden Harvest Chinese Theatre, at 285 Spadina; Grossman's Tavern, at 377; the house where Red Emma Goldman lay in state upon her death, at 346; and Broadway Hall, once used by the Women's Christian Temperance Union, at 450 Spadina.

Margie Zeidler, one of the few developers in town who preserves heritage buildings for a living, noted that many of the buildings on this stretch of the street were architecturally outstanding, and in reasonable

shape. She said that the economics of preservation were generally equivalent to the economics of demolition.

Cathy Nasmith, another heritage expert, noted that there were whole blocks of Spadina worth preserving — including one stretch of 11 Victorian buildings in a row. When challenged by a lawyer who said that façades could easily be preserved as a part of redevelopment, she observed succinctly, "If there is a heritage scale, with demolition at one end and renovation at the other, I'd say saving a façade is one step up from demolition." In any case, there's no way to enforce the preservation of façades.

And that is a rather brutal summary of a day's worth of arguments and cross-examinations. A couple of questions:

Why is it that when you knock a building down, what goes up in its place is generally uglier? Why don't we force developers to pay a price for zoning changes that give them profits they don't earn? Why, when it comes to Toronto's irreplaceable architectural heritage, don't we take the position that it's better to be safe than sorry? And why don't we follow the example of certain, um, world-class cities — London, Paris, Edinburgh — and encourage preservation?

I'm not one of those guys who thinks old is intrinsically good; neither am I certain that we should erase, deface, or reface our common heritage for the sake of a few bucks.

It's worth noting that the OMB rarely rules against a decision taken by city council, but it has happened. Yes, and the water in the hydrants could run sweet and red.

National Post

## CITIZEN ADVOCACY

Mr. Oberst was the "Party", before the Ontario Municipal Board, opposing an application for rezoning and Official Plan Amendment on Spadina Avenue in Toronto in 2001. Rezoning threatened 113 heritage properties on one kilometre of street frontage.

He organized and presented the case to the OMB, with the assistance of residents and many heritage activists.

Joe Fiorito's column, to the left, provides a succinct narration.

Mr. Oberst continues to work on heritage issues in the neighbourhood, being involved in the designation of Kensington Market as a National Historic Site, and the preservation of the historic parish of Saint Stephen-in-the-Fields.

### Contact:


Catherine Nasmith  
416-598-4144

Building adaptation

**HONOURABLE MENTION**

Jury comments

The community-driven development process for this project is commendable and as such this residential project deserves recognition that goes beyond its spare architectural treatment and physical form. A skillful rehabilitation of a surplus building not only for residential use but also with adjacent spaces that have been adapted to the visual benefit of the neighbourhood.



Kensington Market Lofts

Architect  
Robert E. Barnett Architect and  
Paul Oberst Architects in Joint Venture

The building on the left was originally a 1927 elementary school. The building on the right was the 1952 Provincial Institute of Trades. Although this is not a restoration project, it retained the main aspects of these traditionalist and early-modern buildings. This contrasts with the advice of a City consultant that they be demolished and replaced with an 8-storey tower.

## OTHER ARCHITECTURAL WORK

### RESIDENTIAL

#### Kensington Market Lofts

Condominium Conversion, George Brown College Kensington Campus, \$13,000,000

Design partner, in joint venture with R.E. Barnett Architect.

At the Toronto Architecture and Urban Design Awards 2000 the jury created the new category of 'Adaptive Re-use' to recognize this project and the Roundhouse. Since it was a new category, we received an honourable mention rather than an award.

#### St John's Lofts

Condominium Conversion, 1 St. John's Road, Toronto, \$1,000,000

Design partner, in joint venture with R.E. Barnett Architect

### COMMERCIAL

Retail/Apartment Building, 80 Kensington Avenue, Toronto, \$400,000

Designer for Paul Oberst Architect

Kings Tower, 393 King Street West Toronto, 12 Storey mixed use building, \$10M

Designer for Gordon Cheney Architect Inc

Office Building, 2026 Yonge Street Toronto, 3 Storey mixed use building, \$3M

Designer for Lloyd Alter Architect

### THEATRE WORK

Set designer, *A Ride Across Lake Constance*, by Peter Handke

New Theatre, Toronto 1975

Set and Costume designer, *The Curse of the Starving Class*, by Sam Shepard

New Theatre, Toronto, 1979

## COMMUNITY WORK

Kensington Market Working Group  
-Board Member  
1994-97 & 2000-2001.  
-Secretary 1994-97.

Kensington Market Action Committee,  
-Board Member 2001-2002.

## WRITINGS

Founding Editor of <i>A.S.</i> A student architecture journal	University of Michigan, 1968-70
Founding Co-editor of <i>FILE Magazine</i>	Toronto, 1972
Author of <i>How Modern is Tomorrow?</i>	File Magazine, Toronto, 1980
Originator and author of <i>Rear Elevation</i> essay series	Toronto Society of Architects Journal, 1994-1996

## PUBLICATION OF WORK

Kensington Market Lofts is listed in: *East/West: A Guide to Where People Live In Downtown Toronto*  
Edited by Nancy Byrtus, Mark Fram, Michael McClelland. Toronto: Coach House Books, 2000

*Class Acts*, by John Ota, Toronto Star, May 20, 2001, describes a Kensington unit in the old elementary school.

*Urban Arcadia*, By Merike Weiler,  
City & Country Home, April 1990

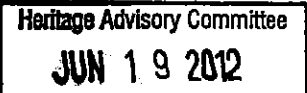
*Customizing your Condo*, by Kathleen M. Smith  
Canadian House and Home, October 1989

*A Place of Your Own*, by Charles Oberdorf and Mechtilde Hoppenrath,  
Homemaker's Magazine, November 1980

*The Invention of Queen Street West*, by Debra Sharpe  
The Globe & Mail *Fanfare* section, January 10, 1980

*Alternatives*, by Charles Oberdorf and Mechtilde Hoppenrath,  
Homemaker's Magazine, April 1979

Various accounts, reviews and/or photographs of heritage work, furniture designs, theatre design work, and exhibitions.



# 43 Mississauga road south

## Addendum

Prepared by Paul Oberst Heritage Architect

Johny Pinkey designer

Muhammad Siddiqi

Demolition is being requested on the property 43 Mississauga rd south for two main reasons. The first reason being due to construction and health issues. The second reason is to better suit the streetscape and overall look and feel of the district plan in conjunction with the communities support and involvement with the demolition proposal.

On subsequent investigation of the foundations it appears that there has been some damage to the brick foundation due to flooding from a water heater breaking. The water heater broke due to old age. Since no one was occupying the premise the leak was discovered after some time. Furthermore mold has developed as result and there are now health issues that will be resolved with the demolition of the property. Since the basement is approximately 5'7 underpinning will be required and as a result of the new damage there may be some difficulties with the constructions aspects of the mentioned plans in the original heritage application. This is one of the reason in which demolitions is requested.

The second reason for the demolition request is due to involvement with the community. As the community became aware of construction plans they approached me by contacting Counsellor Jim Tovey who contacted and facilitated a meeting between myself and the community. Due to the nature of the changes to the house as well as the physical location of the house being on an angle as well as a fair distance behind my adjacent neighbours, it was proposed that demolition should be permitted. This is because demolition will allow the house to improve the overall look of the neighbourhood while allowing everyone to enjoy the community. With the former plans that were presented to heritage due to the physical location of the house on the lot and the massing of the proposed house the



neighbourhood would be disproportionate. This is because the house would stick out to far in the rear yard and the community brought this to my attention at great concern. The demolition would allow the house to be moved up approximately 10 feet thus negating the boxed in feeling the community was having and would now be in line with my neighbours house and straight instead of being on an odd angle. The plans that have been submitted to you have been approved and endorsed by the community and I will also include a document the community has provided me for support in this issue.

Note: due to topological grading issues the garage cannot be located anywhere else on the property otherwise it would not meet city grading requirements. The only changes that have been done from the prior submission in terms of the house is the location of the house on the lot, the detachment of the garage and the modification of the 1<sup>st</sup> story street facing windows from single windows to double windows. All changes have been done with the communities support

# Re: Neighbours' Letter of Support for DEMOLITION Permit re: 43 Mississauga Road South SPI 11/089, 'A' 91/12

From: **Dorothy Tomiuk (TOPCA)** (dtomiuk@topca.net)

Sent: May-04-12 5:54:28 PM

To: Jim Tovey (Ward 1) (jim.tovey@mississauga.ca); George Carlson (Chair, HAC) (george.carlson@mississauga.ca); Bob Cutmore (HAC) (bobcutmore@gmail.com); Richard Collins (TOPCA) (chessie@teksavvy.com); David Martin (Secretary, C. of Adjustment) (dave.martin@mississauga.ca); rob.hughes@mississauga.ca; Ray Poitras (Ray.Poitras@mississauga.ca); Michael Pebesma (Michael.Pebesma@mississauga.ca); giancarlo.tedesco@mississauga.ca; Muhammad Siddiqi (Muhammad.Siddiqi@hotmail.com); Stephanie Segreti (Stephanie.Segreti@mississauga.ca); Julie Lavertu (L.C.) (Julie.Lavertu@mississauga.ca)

Cc: Sandy & John Moher (jsmoher@gmail.com); Bill & Linda Barkhouse (blbarkhouse@rogers.com); Lilia D'Ovidio (lilia.dovidio@sympatico.ca); Pat D'Aurizio (pat.daurizio@nbpcd.com); Nancy Sweete & Kaye Donovan (kaye.nan@rogers.com); Jack King (four.kings@sympatico.ca); Renee Szuhai (rszuhai@yahoo.ca); Ryan Hunwicks (ryan@britonhouse.com)

Hi All – Sorry for the delay, but in follow-up to yesterday's C of A hearing, to let you know that the Owner (Muhammad) was successful in his request for a deferral (to Thurs. June 14), and the next step is the meeting with Coun. Jim Tovey. Thanks to Kaye, Jack and Lilia who also attended in support. Onwards, D.

**From:** Dorothy Tomiuk (TOPCA)

**Sent:** Monday, April 30, 2012 10:01 AM

**To:** Jim Tovey (Ward 1) ; George Carlson (Chair, HAC) ; Bob Cutmore (HAC) ; Richard Collins (TOPCA) ; David Martin (Secretary, C. of Adjustment) ; [rob.hughes@mississauga.ca](mailto:rob.hughes@mississauga.ca) ; Ray Poitras ; Michael Pebesma ; [giancarlo.tedesco@mississauga.ca](mailto:giancarlo.tedesco@mississauga.ca) ; Muhammad Siddiqi ; Stephanie Segreti ; Julie Lavertu (L.C.)

**Cc:** Sandy & John Moher ; Bill & Linda Barkhouse ; Lilia D'Ovidio ; Pat D'Aurizio ; Nancy Sweete & Kaye Donovan ; Jack King ; Renee Szuhai ; Ryan Hunwicks

**Subject:** Neighbours' Letter of Support for DEMOLITION Permit re: 43 Mississauga Road South SPI 11/089, 'A' 91/12

April 30, 2012

## TO THE ATTENTION OF:

Jim Tovey, Councillor, Ward 1

George Carlson, Chair, Heritage Advisory Committee (HAC)

Bob Cutmore, Member, Heritage Advisory Committee and Member, TOPCA's OPCV Heritage Committee

Richard Collins, TOPCA Liaison, OPCV Heritage Committee

David Martin, Secretary, Committee of Adjustment

Rob Hughes, Planner, Committee of Adjustment

Ray Poitras, Manager, Development South, Development and Design Division

Michael Pebesma, Site Plan Technologist, Development and Design Division

Giancarlo Tedesco, Development Engineering Review, Transportation and Works

**CC:** Muhammad Siddiqi, Property Owner, 43 Mississauga Road South

**RE:** Infill development at 43 Mississauga Road South, Old Port Credit Village Heritage Conservation District

Several residents of the Old Port Credit Heritage District (OPCV) met with the Owner of the above-named property and the Ward 1 Councillor on April 23, 2012, and arrived at a new plan to move the project forward in the best interests of all parties. The result would be a house that better blends with the streetscape and the

overall standard grid pattern of the neighbourhood. As it stands under the present plan, there will be "constructive demolition" of the existing house, which will be completely subsumed by the new house to be built around it. The neighbours would prefer a complete demolition so that other practical benefits might be realized when the new house is built. This approach has also been reviewed by the members of the new OPCV Heritage Committee formed by the Town of Port Credit Association (TOPCA), which includes a resident HAC member (*copied*).

**The Owner has undertaken to:**

1. Provide the neighbours with a legal survey of the property to confirm lot size (to be used in the calculation of the maximum allowable GFA) and boundaries of the property
2. Provide a revised arborist's report (per the revised design/site plan) and the plan for the construction hoarding to protect the existing trees on his and adjoining properties
3. Report back to the neighbours about the grading issues for a proposed detached garage at the rear of the property (*a meeting is expected to take place with the Councillor*)
4. Provide a revised design/site plan as agreed with the neighbours which will set the house straight on the property, feature a detached garage and bring the house forward approx. 10 feet on the lot, so that the front yard set-back is even with the houses on either side (thus minimizing the "wall effect" for the adjoining backyards)
5. Go to the Committee of Adjustment on **May 3, 2012** with local residents to jointly speak to this letter and request a further deferral to allow time for the next steps to occur
6. Go to the Heritage Advisory Committee (HAC) on **May 22** (*ideally*) to amend his Heritage Permit to include a detached garage (as preferred by the neighbours and the Heritage District Plan) and apply for a Demolition Permit (with the neighbours' support via this letter)
7. Apply for a building permit on the basis of the new design/site plan, which shall include any mitigation necessary for the grading issue pertaining to the detached garage

**NOTE:** In the event that the detached garage is not allowed for any reason, we understand the owner will still seek a demolition permit in order to gain the other benefits of compatible front yard setback and 'straight' positioning of the house on the property, and the neighbours support this. *See e-mail regarding the detached garage, further below.*

**This letter is endorsed by the following neighbours:**

Kaye Donovan and Nancy Sweete  
47 Mississauga Road South

Iole and Lilia D'Ovidio

41 Mississauga Road South

John and Sandy Moher  
44 Peter Street South

Renee Szuhai  
58 Lake Street

Maria and Patricia D'Aurizio

39 Mississauga Road South

Jack King and Barbara Murck  
37 Mississauga Road South

Dorothy and Richard Tomiuk  
33 Mississauga Road South

Bill and Linda Barkhouse  
34 Peter Street South

Ryan Hunwicks

36 Lake Street

---

**From:** Michael Pebesma  
**Sent:** Wednesday, April 18, 2012 3:49 PM  
**To:** Dorothy Tomiuk (TOPCA)  
**Cc:** Ray Poltras ; Stephanie Segreti ; Jim Tovey ; Dave Martin ; George Carlson  
**Subject:** RE: 43 Mississauga Road South: SPI 11/089, 'A' 91/12

Zoning has completed its review of the latest revised submission (March 29) and found that with a detached garage, the proposal now complies with the Zoning By-law. A variance is therefore no longer required.

Heritage is requesting the garage (only) go back to HAC.

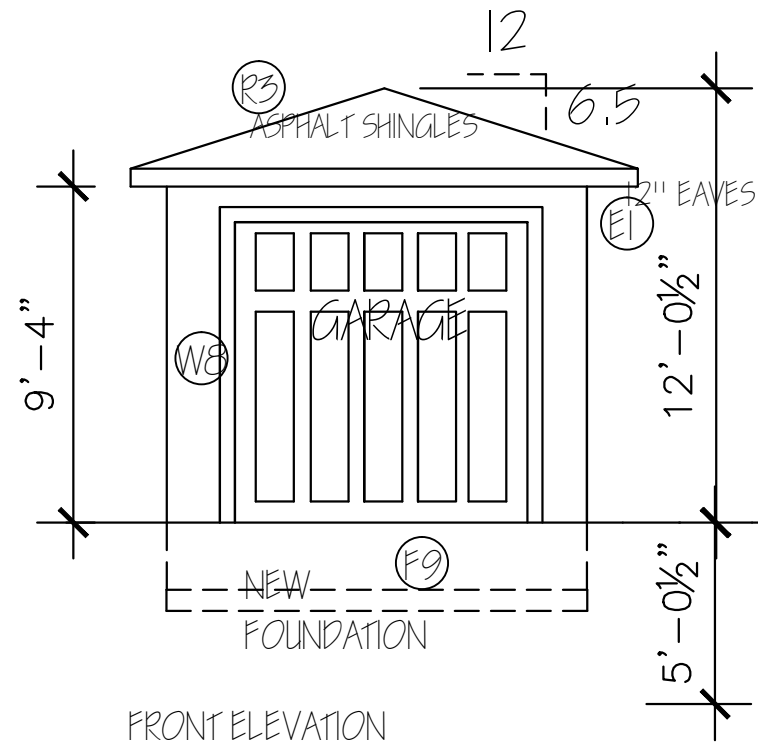
Michael Pebesma, B. Tech., M. Arch.  
Site Plan Technologist  
Development and Design Division

Planning and Building Department

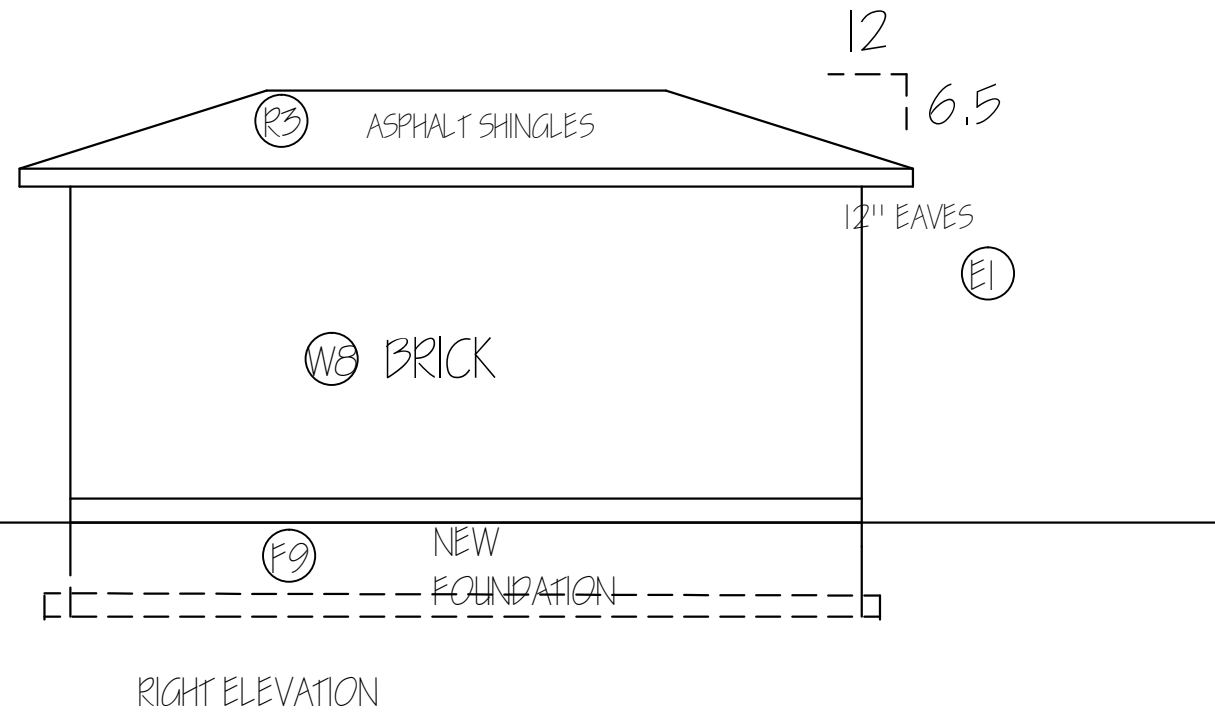
City of Mississauga

☎905-615-3200 ext. 5519

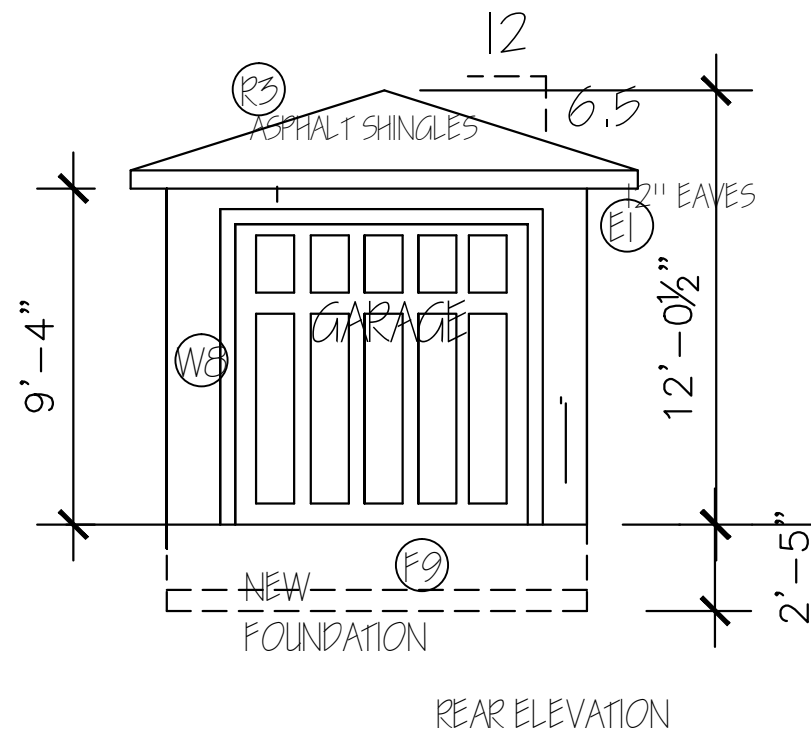




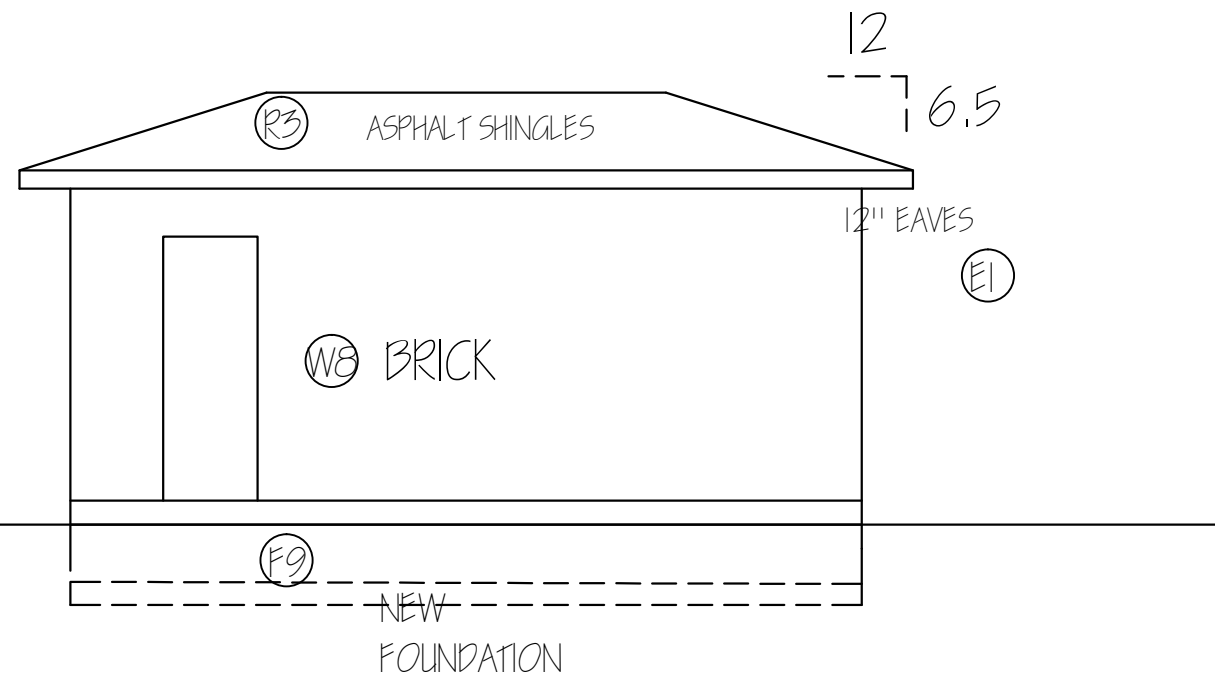
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

43 MISSISSAUGA ST. SOUTH  
PART LOTS 9 AND 10  
NORTH SIDE OF MISSISSAUGA RD.  
REGISTERED PLAN 300  
CITY OF MISSISSAUGA

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2

905-483-2545

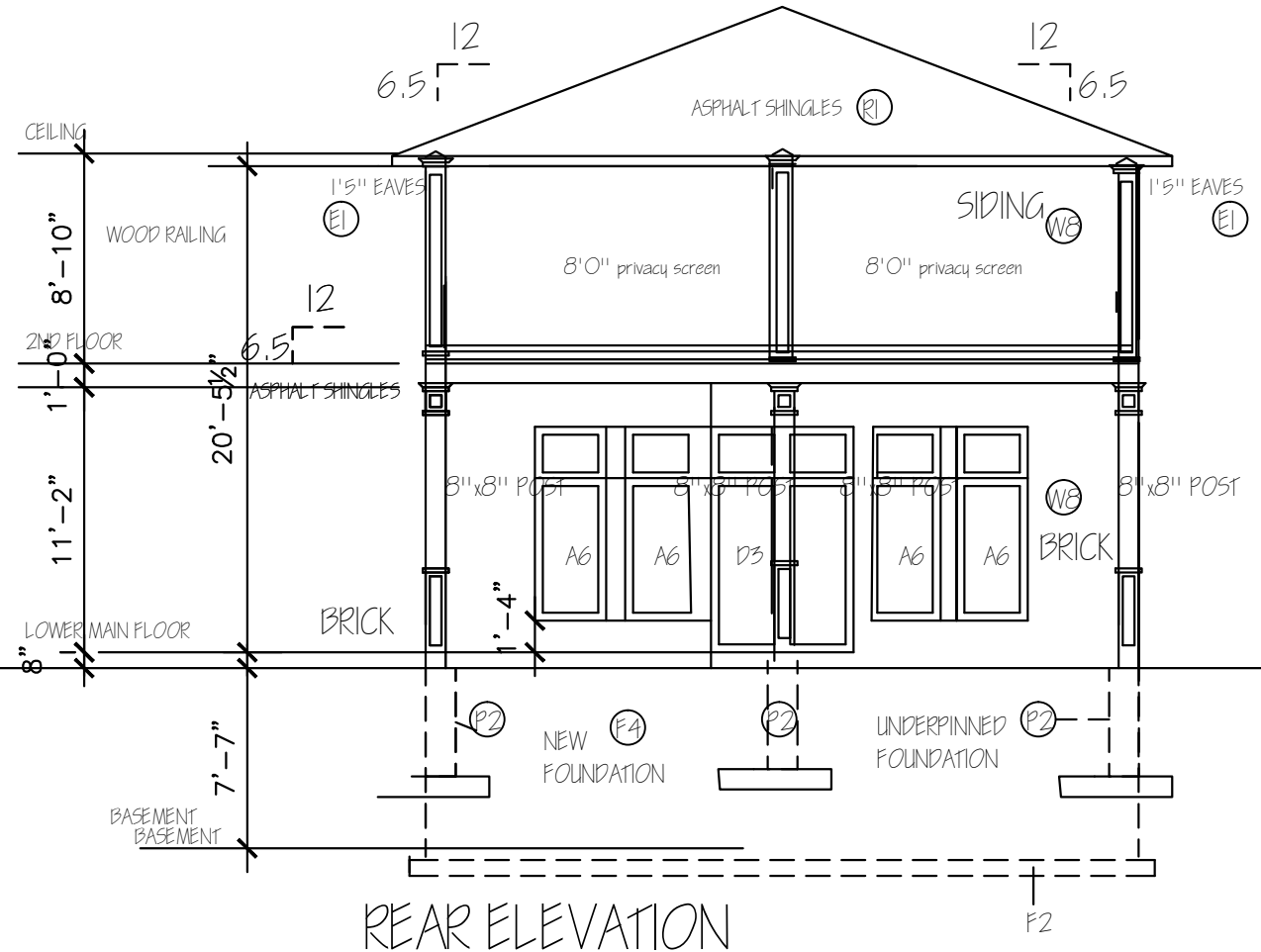
FAX 905 822 4442

MUHAMMAD SIDDIQI  
43 MISSISSAUGA RD.  
MISSISSAUGA, ON.

416 702 8214

GARAGE PLACEMENT  
UNATTACHED  
DATE: 05 / 09 / 12

3/16" = 1'0"



43 MISSISSAUGA ST. SOUTH  
 PART LOTS 9 AND 10  
 NORTH SIDE OF MISSISSAUGA RD.  
 REGISTERED PLAN 300  
 CITY OF MISSISSAUGA

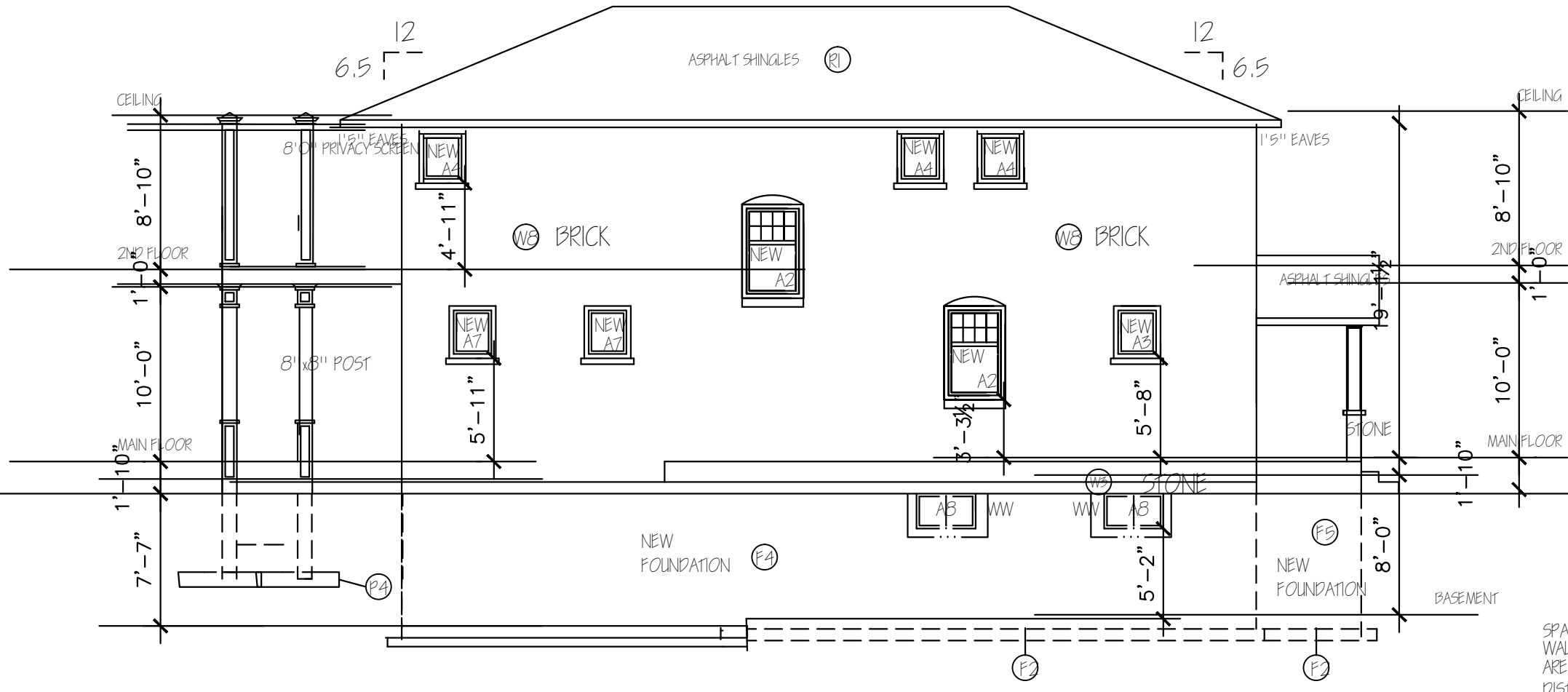
JOHN PINKNEY  
 1340 CONTOUR DR.  
 MISSISSAUGA, ON.  
 L5H 1B2  
 905-483-2545  
 FAX 905 822 4442

MUHAMMAD SIDDIQI  
 43 MISSISSAUGA RD.  
 MISSISSAUGA, ON.

416 702 8214

GARAGE PLACEMENT  
 UNATTACHED  
 DATE: 05 / 09 / 12  
 1/8" = 1'0"

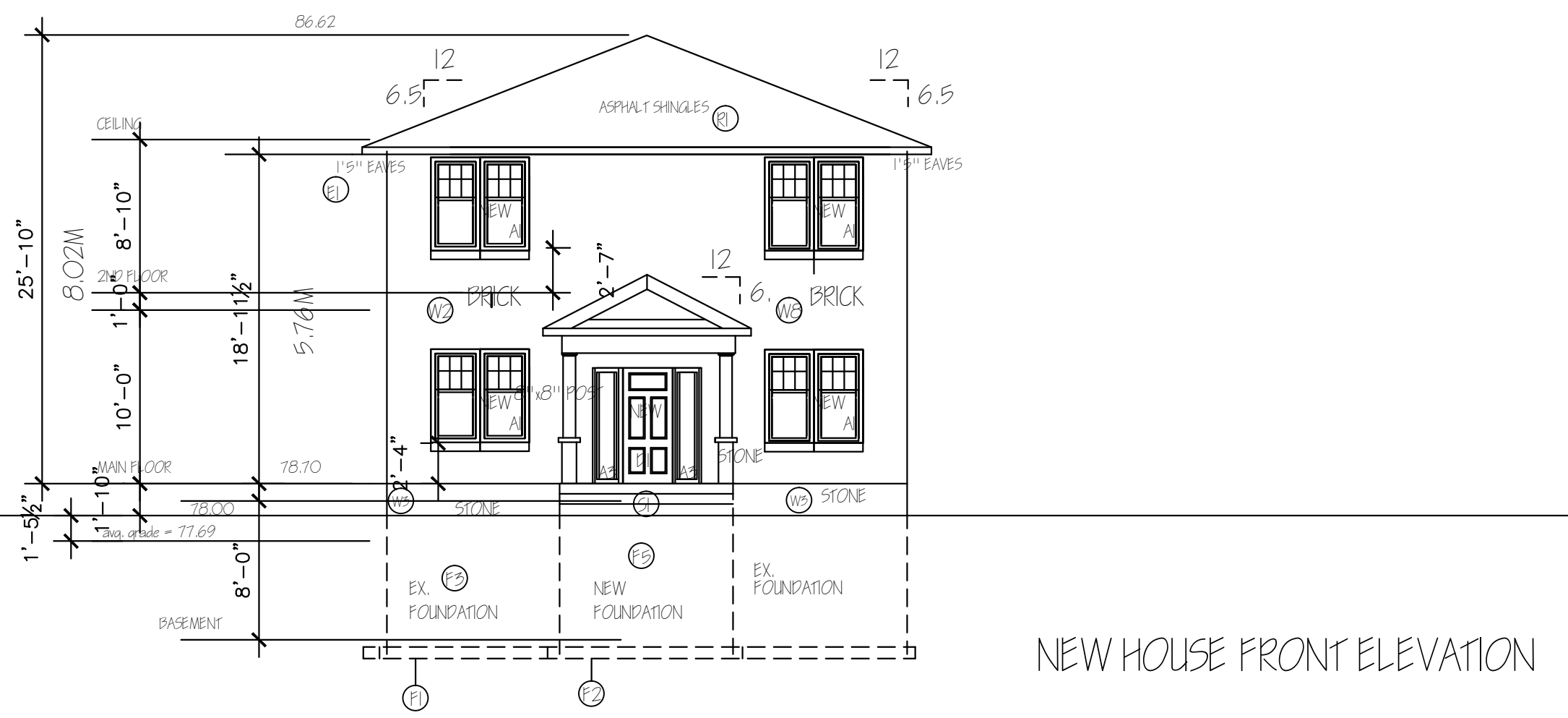
SPATIAL CALCULATIONS  
 WALL AREA = 1045.0 SQ. FT.  
 AREA OF OPENINGS = 80 SQ. FT.  
 DISTANCE FROM LOT LINE = 6'0"  
 ALLOWABLE OPENINGS = 9%  
 ALLOWABLE OPENINGS = 94 SQ. FT.



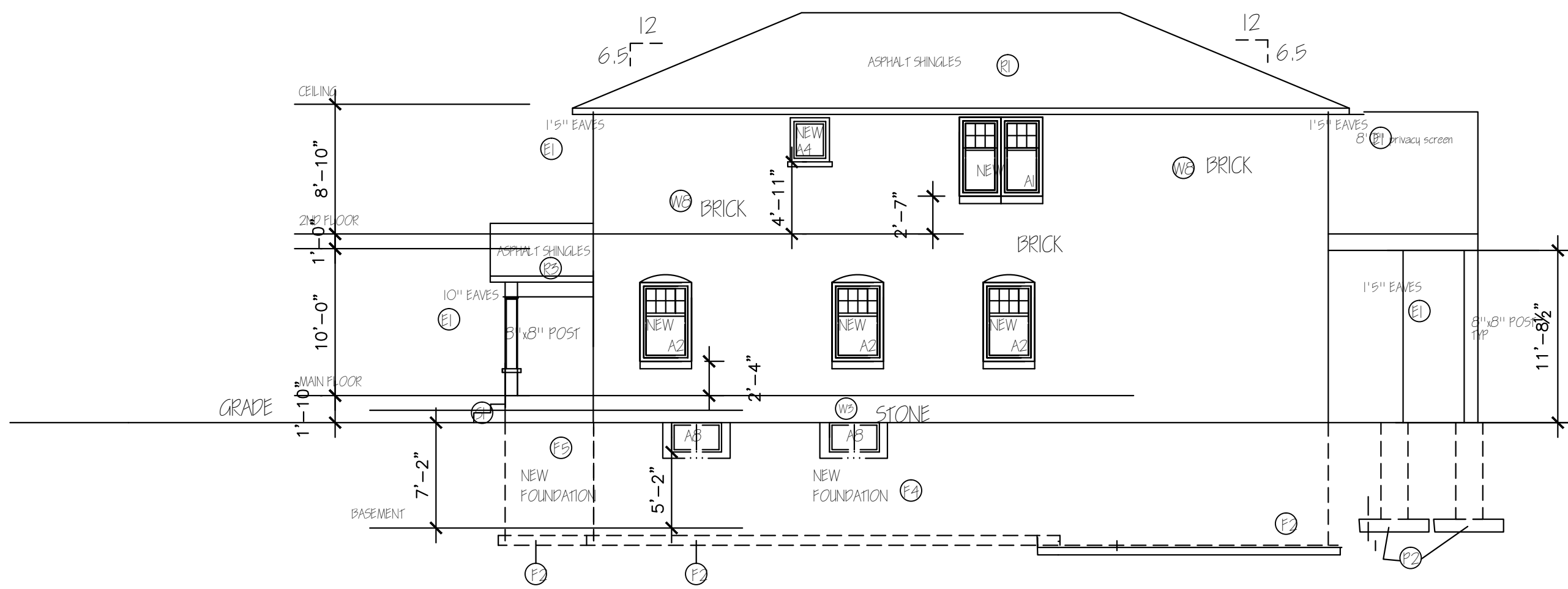
43 MISSISSAUGA ST. SOUTH  
 PART LOTS 9 AND 10  
 NORTH SIDE OF MISSISSAUGA RD.  
 REGISTERED PLAN 300  
 CITY OF MISSISSAUGA

JOHN PINKNEY  
 1340 CONTOUR DR.  
 MISSISSAUGA, ON.  
 L5H1B2  
 905-483-2545  
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MUHAMMAD SIDDIQI  
 43 MISSISSAUGA RD.  
 MISSISSAUGA, ON.  
 416 702 8214

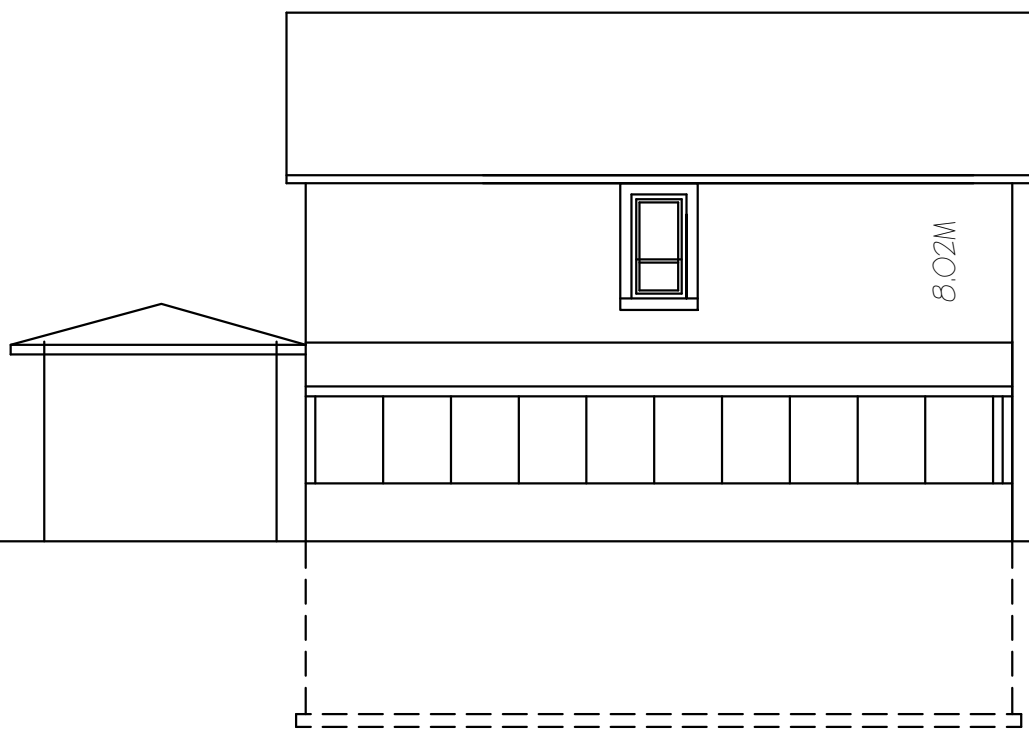


NEW HOUSE FRONT ELEVATION



NEW HOUSE SOUTH ELEVATION

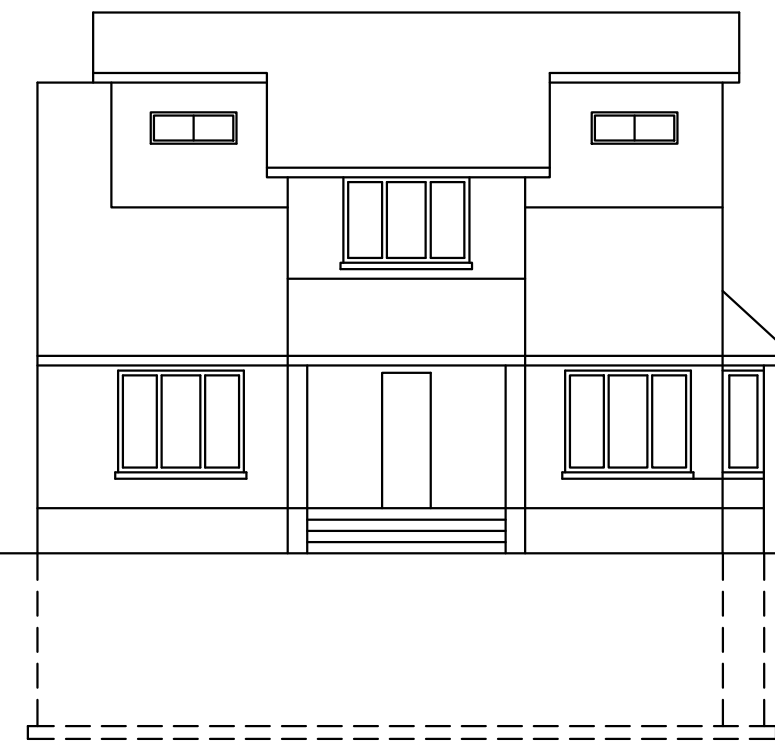
NO GARAGE  
 DATE: 05/09/12  
 1/8" = 1'0"



41 MISSISSAUGA SOUTH



43 MISSISSAUGA SOUTH



45 MISSISSAUGA SOUTH

## NEW STREET ELEVATIONS

JOHN PINKNEY  
1340 CONTOUR DR.  
MISSISSAUGA, ON.  
L5H 1B2

905-483-2545

FAX 905 822 4442

MUHAMMAD SIDDIQI  
43 MISSISSAUGA RD.  
MISSISSAUGA, ON.

416 702 8214

## 43 MISSISSAUGA ST. SOUTH

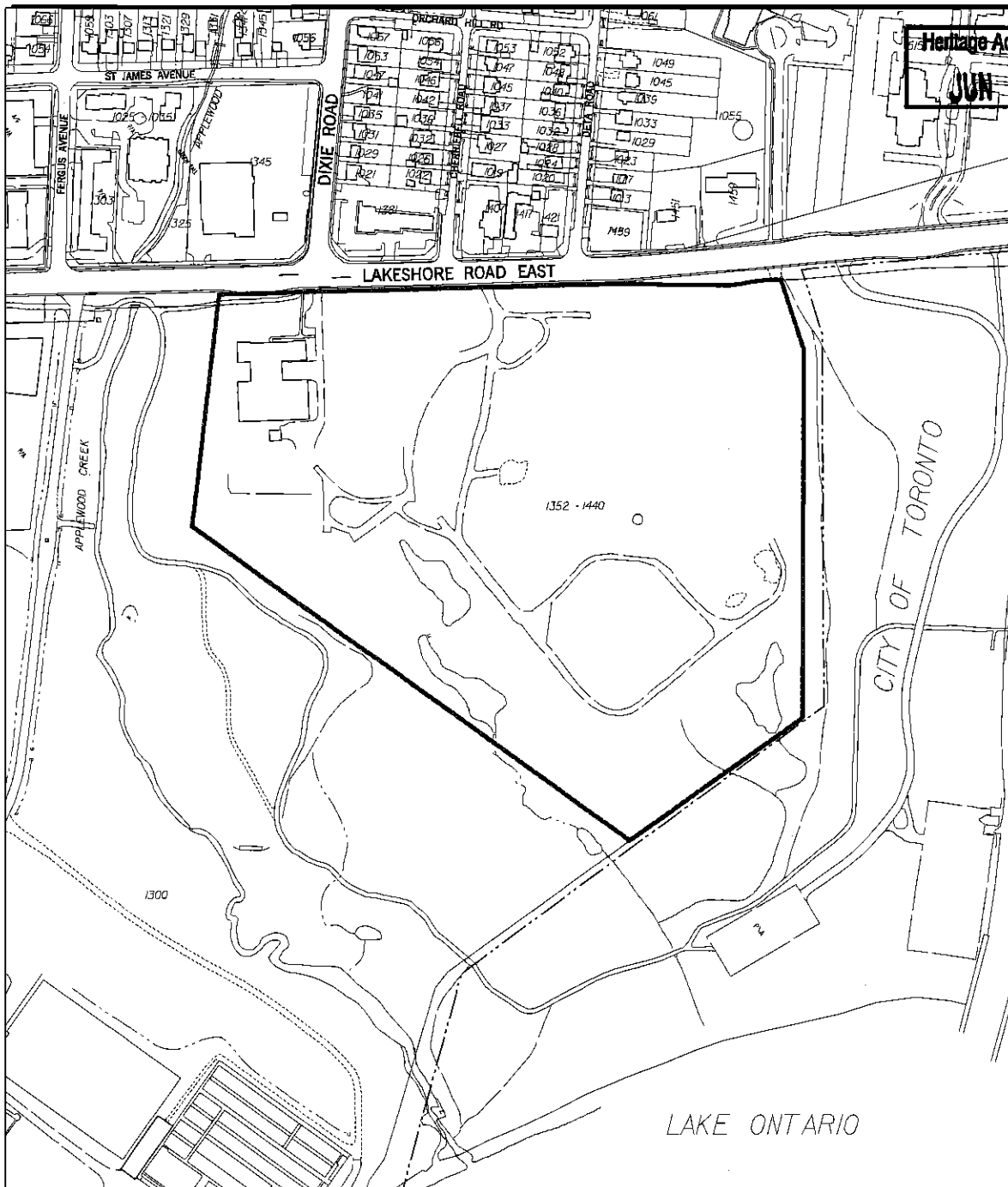
PART LOTS 9 AND 10  
NORTH SIDE OF MISSISSAUGA RD.  
REGISTERED PLAN 300  
CITY OF MISSISSAUGA

STREET ELEVATIONS

DATE: 05 / 09 / 12







# Heritage Property Permit Application



The Corporation of  
Mississauga  
Culture Division  
201 City Centre Drive, Suite 900  
Mississauga, ON L5B 2T4  
FAX: 905-615-3976  
www.mississauga.ca/heritageplanning

Heritage Advisory Committee

JUN 19 2012

The personal information on this form is collected under the authority of the Ontario Heritage Act, R.S.O. 1990, c.O.18, s. 33 (2), s. 42(2.1) and will be used to process the application for a permit to alter or demolish a heritage property. Questions about this collection can be directed to the Senior Heritage Coordinator, 201 City Centre Drive, Suite 900, Tel. 905-896-5314.

## LOCATION DETAILS

(Please Print Clearly)

For Office Use Only:

Heritage Property Permit Number: \_\_\_\_\_

Will the Heritage Advisory Committee review be required? ☐ Yes ☐ No

Municipal Address: Park #358 ("Arsenal Lands") - 1400 Lakeshore Road East, Mississauga

Legal Address: CON 3 SDS PT LOTS 4 & 5 RP 43R4461 Roll# 21-05-070-156-16500-0000

Property Owner: Toronto and Region Conservation Authority Contact Address: 70 Canuck Avenue, Downsview, ON M3K 2C5

Phone: (416) 661-6800 x5230 Fax: (416) 667-6278 e-mail address: kdion@trca.on.ca

HERITAGE DESIGNATION BY-LAW NUMBER (if applicable): 258-2009

What type of Permit is Required?

Alteration or addition

☒ Yes ☐ No

Note: Temporary Alteration

Demolition

☐ Yes ☒ No

New Construction

☐ Yes ☒ No

Repeal of Designation By-law

☐ Yes ☒ No

Is there a corresponding application, such as:

a) Building permit number \_\_\_\_\_

b) Site Plan application number \_\_\_\_\_

c) Rezoning application number \_\_\_\_\_

d) Other Minor Variance Application "A" 181/12WI

Description of Work to be Completed:

Please attach drawings, site plans, and photographs to better illustrate the project. These may be required depending on the scale of the project.

This application is submitted to request approval to temporarily place clean fill and concrete (up to 500,000 m3) on the open space area of the Arsenal Lands, beginning July 2012 with an anticipated completion date of late 2017/2018 in support of the Lakeview Waterfront Connection Project, a first step of implementing the City of Mississauga's Inspiration Lakeview. Upon review of the City of Mississauga's Designation Statement, the key heritage attributes which may be in question as it relates to the proposed stockpile of material, pertain to the water tower and sight lines to the water tower. Geotechnical studies are underway to develop a plan that will ensure that the foundation of the tower remains sound. Sight lines of the tower may be partially impeded for a portion of the time above that the stockpile will exist, from certain directions. No other heritage elements identified with the Arsenal Lands will be impacted by the proposal.

Drawings, site plans, support documents, and photographs, are attached to further explain the requirements and our recommendation.

Name: Kenneth Dion

Date: 2012 / 05 / 16

Please Print.

YYYY / MM / DD

Signature: \_\_\_\_\_

For information or assistance please contact "Heritage Planning, Community Services" at 905-615-3200 ext. 5070 or ext. 5385

# **HERITAGE IMPACT STATEMENT OF PROPOSED TEMPORARY STOCKPILE**

**Park #358 – Arsenal Lands – 1400 Lakeshore Road East, Mississauga**

**In Support of the Lakeview Waterfront Connection Project Environmental Assessment**

**And Inspiration Lakeview**

**Toronto and Region Conservation Authority**

**May 18, 2012**

## **1 INTRODUCTION**

As indicated in our application submitted May 17, 2012, Toronto and Region Conservation Authority (TRCA) is submitting an application to allow for the temporary placement of clean fill and concrete (up to 500,000 m<sup>3</sup>) on approximately 13 to 14 acres of open space in the Arsenal Lands, east of the Small Arms Building. The Arsenal Lands have received Heritage Status Designation under Heritage Designation By-Law #258-2009. This temporary stockpile of material will commence in July 2012 and will likely be cleared by the end of 2017 or early 2018. This stockpile is in support of the Lakeview Waterfront Connection Project, a first step in implementing the City of Mississauga's Inspiration Lakeview Program. This request is submitted as part of Minor Variance Application "A" 181/12WI, which was approved May 10<sup>th</sup> at the Committee of Adjustments, subject to the issuance of a Heritage Permit.

### **1.1 Ownership**

The Project site is in ownership by Toronto and Region Conservation Authority (TRCA).

### **1.2 Past Ownership**

#### **Summary of land ownership.**

- 1805 Mississauga people sold or alienated a portion of their lands to British Crown
- 1817 Samuel B Smith purchased from Crown
- 1843 Colonel Sam Smith died, deeding lot 4 to William Allan, administrator of his estate. The land was sold to Ann Nelles, daughter of Smith
- 1846 Lot 4 sold to Clark Gamble who deeded the land to Samuel Bois Smith, son of Samuel Smith
- 1847 A ten acre parcel was sold by Samuel Bois Smith to Richard Polley
- 1874 Lot 4 sold to Halliday family and farmed
- 1895 Lot 4 sold to Marion Webster
- 1910 Department of National Defense purchased property from Halliday Estate
- 1950 Site allocated to Canadian Arsenals Ltd. and obtained by Public Works Canada
- 1981 Canada Post Purchased the property
- 1992 TRCA purchased the property from Canada Post.

#### **Summary of land use.**

- 1787 First recorded use of the site was a foot trail used by the resident Mississauga First Nations.

- 1874 Lands were farmed
- 1891 Construction of Long Branch Rifle Ranges started between Etobicoke Creek and Aviation Road
- 1940 Signs posted warning public to trespassers that 800 men were engaged in training exercises
- 1941 Small Arms Ltd opened a factory to manufacture rifles and sten guns for Canadian Army.
- 1946 Other private enterprises utilize Arsenal Lands such as:
  - Antoine Vanities (1946-1955) manufactured lighters, compacts and variety cases
  - Adam Hats (1946-1955) hat manufacturer
  - Dominion Metal Ware (1946-1955) sheet metal manufacturing
  - D. Appelby and Co of Canada (1946-1948) assembly of public address systems, record players and cabinets
  - Shelly Films (1946-1960) motion picture production
  - Stabilex Ltd. (1946-early 1950s) moulded plastics
  - Snap on Tools (1947-1955) distributor of hand tools
  - H&R Arms Co. Ltd (1948-1955) small arms manufacturer
- 1950 Canadian Arsenals (until early 1950s) small arms manufacturer
- 1981 Canada Post sorting facility – leased portions of Small Arms Building to OPG administration and the Cadet Organization Police School (COPS)
- 1992 TRCA Obtained ownership of Arsenal Lands. Maintained leases with OPG and COPS.
- 1993-94 Canada Post Sorting Facility demolished
- 1998-99 Stockpile of 72,000 tonnes of fill placed on site.
- 2008 Leases with OPG and COPS expire. Site vacant ever since.

### 1.3 Summary of Structures on Site

The following summary of heritage attributes on site is taken directly from the City of Mississauga's Designation Statement.

*The Small Arms Limited Building, a large low-lying H-shaped facility, & Water Tower are located at the foot of Dixie Road on the south side of Lakeshore Road East.*

#### **Statement of Cultural Heritage Value or Interest**

The Small Arms Limited Building & Water Tower have direct associations with the federal government, World War II, the corresponding Canadian war industry and the World War II influx of working women. The water tower also has direct associations with World War I rifle training. The property yields information that contributes to an understanding of the World War home front and is associated with the development of Lakeview. The Small Arms Building has direct associations with Allward and Gouinlock Architects.

The Small Arms Limited Building & Water Tower define, maintain and support the character of the area, both the industrial character and the community of Lakeview itself. The water tower is a landmark.

The Small Arms Limited Building displays a high degree of craftsmanship and artistic merit. The water tower is rare in Mississauga.

### Description of Heritage Attributes

Key attributes that reflect the Small Arms Limited Building and Water Tower's historical/associative value:

- the Modern and Modern Classical elements of the building, consistent with the World War II period
- ***the shape and form of the water tower, consistent with the World War I period***
- the location of the structures in Lakeview, on former rifle training grounds and near rifle range remnants, including baffles, concrete backstop, indoor rifle range and parade square, at 1300 Lakeshore Road East
- the building's economic materials and construction methods
- the two skylights, within a flat roof, and expansive wraparound glazing, of the rear portion of the building, which allow for an abundance of natural light required for work therein

Key attributes that reflect the Small Arms Limited Building & Water Tower's contextual value:

- their location in Lakeview
- their location on the south side of Lakeshore Road, site of the former Long Branch Rifle Ranges, and alongside other industrial buildings
- ***the height and distinctive shape and form of the water tower***
- ***the water tower's visibility from the surrounding area, including both Lakeview and Long Branch***
- the row of deciduous trees along the west side of the building, which are suggested in historical aerial photography
- the generous setback and open space which allows for full visibility of the building from Lakeshore Road West
- the woodlot to the rear of the property, which is suggested in historical photography

Attributes in ***Bold Italics*** above are the only attributes applicable to this application. Key attributes that reflect the Small Arms Limited Building's physical/design value are not included as the Project will not impact any elements of the Building. Similarly, the project will not influence the row of deciduous trees west of the building nor the woodlot to the rear of the property.

Currently the project site is zoned O2 (Open Space Greenway). Our temporary minor variance seeks to change to Open Space Parkland in order to allow for stockpiling on the property. Our variance application was accepted May 10, 2012 at the Committee of Adjustments subject to Heritage Permit Approvals.

Figure 1 depicts the proposed Stockpile in relation to the Water Tower.





**Figure 2.** Looking south at water tower near fence line at Lakeshore Road East. Foreground would be stockpiled.



**Figure 3.** Looking east towards fence line of Marie Curtis Park. Area in foreground would be stockpiled.





**Figure 4.** Looking southeast towards water tower from near the entrance to the stockpile area.



**Figure 5** – Looking east towards Marie Curtis Park fence line from near access location, across proposed stockpile area.

Other relevant municipal and agency requirements explored included:

1. Ministry of Environment – February 8, 2012: No CoA required. No other MOE requirements necessary.
2. Species at Risk – March 2012. MNR had no issues relating to Species at Risk.
3. TRCA Planning – Planning staff provided clearance to proceed with the stockpile on January 23, 2012.
4. City of Mississauga – City Council provided support to defer implementation of the Arsenal Lands Master Plan to allow for the stockpile to proceed
5. TRCA – Authority Approvals provided to proceed with the stockpile at Arsenal Lands.
6. TRCA – Archaeological review. January 25, 2012 TRCA archaeology provided clearance to proceed with the stockpile at the Arsenal Lands given the past history of stockpiling and site restoration that had occurred previously in the 1990s.
7. City of Mississauga – Committee of Adjustments approval to change zoning to Open Space & Park Land, to allow for stockpiling, subject to Heritage Permit Approvals.
8. Region of Peel (ROP) – A Memorandum of Understanding is under development between ROP and TRCA regarding the operating conditions for the stockpile. City of Mississauga will be able to review the conditions of the MOU.
9. Public consultation:
  - a. Stockpile proposal was presented to the public at PIC #1 for the Lakeview Waterfront Connection Project EA. No concerns were raised.
  - b. A stockpile supplementary newsletter was submitted to the City of Mississauga's Arsenal Lands Master Plan distribution list. No concerns were raised.
  - c. One deputant against the proposal arrived at the Committee of Adjustments Meeting on May 10<sup>th</sup>, 2012.
  - d. The stockpile supplementary newsletter will be available at a number of Community events held throughout south Mississauga in May and June 2012.

## 1.5 Proposed Site Alternation

As stated previously, and as shown in Figure 1, the subject lands will be used to stockpile clean fill and possibly rubble commencing in July 2012. All fill arriving on site will meet **"Fill Quality Guide and Good Management Practices for Shore Infilling in Ontario, March 2011, Table C-1 Confined Fill Guide Parameter List"**. Fill will be generated by Region of Peel and likely City of Mississauga capital works projects between 2012 and 2014 while the Lakeview Waterfront Connection Project EA is underway. Fill will be analyzed at their source to confirm that they meet the required conditions before being sent to the stockpile site. Visual inspections of material arriving on site, and spot analysis will also be used to confirm fill quality meets our high standards.

Access to the site will be established from the existing gates at Lakeshore Road and/or the parking from the east side of the Small Arms Building. Fill arriving to the site will consist of clean shale bedrock or glacial tills. Construction rubble (clean bricks and concrete) may or may not be brought to the site as well. It is anticipated that the stockpile will have stable slopes at 2:1 to 3:1, and will rise up to a height

of 8m. Best Management Practices will be implemented to control erosion, mud, and dust from the site. The existing fence around the site will be used to secure the property. We anticipate establishing a 10m setback for the stockpile from Lakeshore Road. Stockpiling will be initiated towards the southeastern portions of the site. Efforts will be made to retain views of the Water Tower from Lakeshore Road for as long as possible. Similarly, during the process of depleting stockpile supplies, materials in front of the water tower, from the Lakeshore viewscape, will be a priority, to minimize the period in which views of the tower will be impaired. However, even at full capacity in the temporary stockpile, the public should be able to see the top portions of the water tower from Lakeshore Road. The trees in the foreground of Figure 2 and 4 provide some sense of scale of that the approximate height of the stockpile will reach as they are in the 20-25 feet tall range.

Up to four boreholes around the foundation of the water tower will be established to assess the geotechnical stability of the foundation. Based on the samples, appropriate setbacks will be imposed on the stockpile area to ensure that the foundation of the water tower remains sound.

It is anticipated that once construction of the LWC Project commences around July 2014, all new fill will be diverted directly to the LWC EA project area along the waterfront. No new fill will be placed in the stockpile at Arsenal Lands. Stockpiled materials at the Arsenal Lands will be relocated to the LWC EA Project area along the waterfront during periods of low fill supply from other capital works sites. As such, it is anticipated that there will require a period of 2-3 years for the stockpile to be depleted (perhaps sooner).

Stockpiled fill is anticipated to reach the Lakeview Waterfront Connection Project site via Lakeshore Road, and then down through the G.E. Booth WWTP or through the OPG Lakeview lands. However, those construction access related issues will be confirmed through the LWC EA process.

This stockpile will not impact the Small Arms Building or views to the Building, deciduous row of trees to the west of the Small Arms Building or the woodlot south of the Small Arms Building.

## **1.6 Assessment of Development Options**

In order for the LWC EA to proceed, fill anticipated to be excavated locally by the Region of Peel in 2012-2014 must be collected and stored near the site. Failure to obtain this locally generated fill will significantly impact the viability of the LWC EA to proceed, which is the first component of the City of Mississauga's Inspiration Lakeview program. The proposed stockpile location provides the best large open space area under TRCA or ROP ownership which is close to both the source and final destination for the fill that will be generated during this time. In the absence of a nearby location to stockpile material, fill generated in 2012 and 2013 will need to be disposed of through standard long-haul disposal practices. This will significantly reduce the volume of fill available to implement the LWC Project, and seriously impact our scales of economy to implement the LWC Project. This will significantly increase the risk that the LWC Project will not be deemed viable.

As such, this is the most viable site to provide storage for fill in the Project Study Area.

As indicated previously, the two heritage features of concern with the proposal involve the long-term stability of the water tower; and sight lines to the water tower from the local community.

Given that alternative locations for the stockpile are not viable, TRCA in our application have indicated how we propose to mitigate the two identified potential impacts.

1. Geotechnical studies of the water tower foundation will be undertaken to establish appropriate setbacks from the water tower ensure the proposed stockpile does not initiate settlement.
2. The toe of the stockpile will be setback 10m from Lakeshore Road, and filling and removal of material from the stockpile area will proceed in such a way that will minimize, to the extent possible, the amount of time that sightlines between the water tower and Lakeshore Boulevard will be impaired.
3. The stockpile will only be temporary in nature (removed by the end of 2017 or early 2018), and when the site is vacated, will be left in its original condition or will be re-graded to allow for an expedited implementation of the Arsenal Lands Master Plan that is anticipated to be led by the City of Mississauga and TRCA.

## **1.7 Summary of Conservation Principles to be Incorporated**

The Eight Guiding Principles in the Conservation of Historic Places (Ontario Ministry of Culture) state:

1. Respect for documentary evidence:

Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings, archival records, specifications and physical evidence.

2. Respect for the original location:

Do not move buildings unless there is no other means to save them. Site and its surrounding is an integral component of a building. Change in site diminishes heritage value considerably.

3. Respect for historic material:

Repair/conservate - rather than replace building materials and finishes, except where absolutely necessary or original material is not available. Minimal intervention maintains the historical content of the resource.

4. Respect for original fabric:

Repair with compatible materials. For example use of lime instead of Portland cement to repair / conserve lime masonry / plaster. Repair to return the resource to its prior condition, without altering its integrity.

5. Respect for the building's history:

Do not restore to one period at the expense of another period. Do not destroy later additions to a house solely to restore it to a single time period unless they are compatible and do not diminish the authenticity and integrity of the site.

6. Reversibility:

Alterations should be able to be returned to original conditions. Any addition or alteration to the building should be reversible without any loss to the original fabric of the building. This conserves earlier building design and technique.

7. Legibility:

New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.

8. Maintenance:

With continuous care, future restoration will not be necessary. With regular upkeep of historic structures, major conservation projects and their high costs can be avoided.

With respect to this assessment:

1. The stockpile proposal referenced a myriad of documented historical evidence of the Arsenal Lands site prepared by professional archivists and archaeologists available at TRCA and through the City of Mississauga. The documentation identified that the water tower and viewsapes of the water tower are deemed significant.
2. The stockpile proposal will ensure that the water tower remains in place.
3. The water tower will not be modified or otherwise altered as part of this Project. As such, guiding principles #3, 4, 5, 7 and 8 are not applicable with regards to this application.
4. The stockpile is temporary. As such, upon completion, the viewscape between the community and water tower will be restored.

## **1.8 Impacts of Proposed Alterations on Cultural Heritage Value**

The proposed stockpile activities will not alter or otherwise impact the cultural heritage value of the water tower.

Impacts to the viewscape between the community and water tower will be temporary in nature, and site operations will endeavor, to the extent possible, to minimize the amount of time that views will be impacted. Also, as stated previously, even at full capacity, views of the water tower will not be completely blocked.

## **1.9 Mitigation of Impacts If Property Cannot be Conserved**

Not applicable. No structural alterations to the water tower will occur, and the viewscape impacts will be short-term.

### **1.10 Statement of Qualifications of Author**

This assessment was undertaken by Kenneth Dion, Senior Project Manager at the TRCA. Mr. Dion does not possess professional expertise in the field of heritage conservation. However, given that we are not proposing to alter the structure, and only propose to occupy lands around the structure, the most significant potential impact of the stockpile will be the risk to the foundation of the water tower. The geotechnical analysis will identify the degree of risk that the foundation of the water tower will be exposed to, and the results of the study will allow for appropriate stockpile setbacks to be established to ensure that the foundation is not impacted. Geotechnical analysis and setback recommendations will be undertaken by a professional registered engineer or professional registered geoscientist.

The impact on viewscales from the community to the water tower will be temporary in nature with the period of time minimized to the extent possible.

## **2 Summary Statement and Conservation Recommendations**

Heritage Designation By-Law #258-2009 outlined an extensive list of key heritage attributes associated with the Arsenal Lands Project Site. As it relates to the proposed stockpile works at 1400 Lakeshore Road, the two key attributes are:

- the height and distinctive shape and form of the water tower
- the water tower's visibility from the surrounding area, including both Lakeview and Long Branch

The proposed site alteration has the potential to impact the foundation of the water tower, and will likely impact the visibility of the tower from the Lakeview community.

The project will undertake geotechnical analysis and a professional registered engineer or geoscientist will make recommendations to ensure that the foundation of the tower is not impacted. Operation of the stockpile will proceed based on those recommendations.

Similarly, the stockpile will have a 10m setback from Lakeshore Road, and stockpile operations will be such that, to the extent possible, the total period of time fill will impair viewscales from Lakeshore Road will be minimized. Ultimately, the temporary nature of the proposed stockpile mitigates the impact to the viewscape.

No extraordinary measures are required and no long-term impacts on cultural heritage are anticipated.

## **3 Mandatory Recommendations**

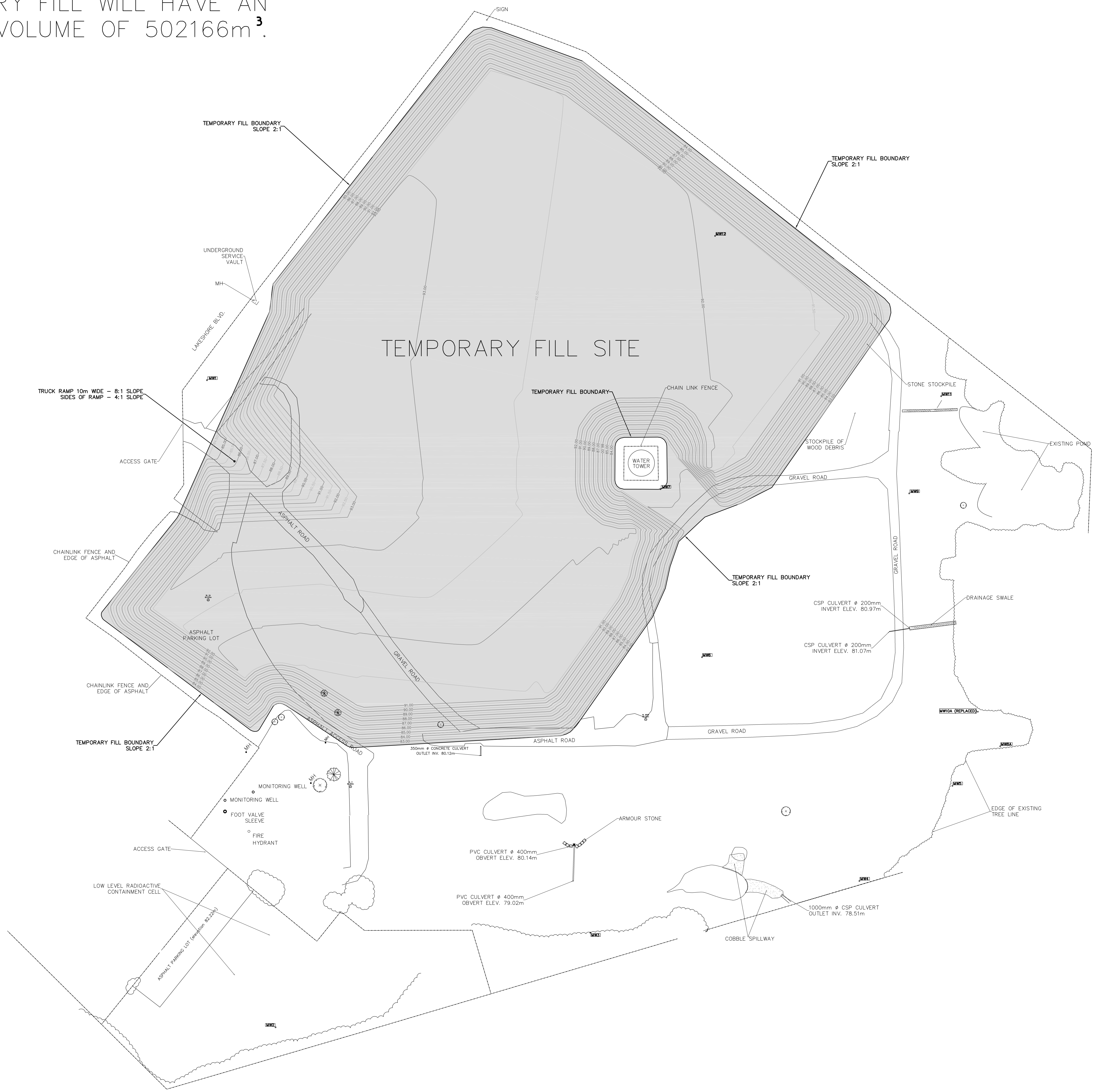
This section is not applicable as the site is already designated as a heritage site, and the proponents are not proposing to change that designation.

CONTACT INFORMATION:

Kenneth Dion, MSc  
Senior Project Manager  
Toronto and Region Conservation Authority  
70 Canuck Avenue, Toronto Ontario, M3K 2C5  
Phone: 416-661-6600 (ext. 5230)  
Email: [kdion@trca.on.ca](mailto:kdion@trca.on.ca)



TEMPORARY FILL WILL HAVE AN APPROXIMATE VOLUME OF 502166m<sup>3</sup>.



5 shoreham drive • downview ontario m3n 1s4 (416) 661-6600

NOTES

- SURVEY PERFORMED BY TRCA STAFF JULY 22, 23, 26, 27 AUG 16 + 17 SEPT 21, 1999 OCT 23, DEC 19 + 20 2001, JAN 02 AND 04 2002.
- CONTOUR INTERVAL IS 0.50 METERS.

LEGEND

- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- LOCAL CONTROL POINT
- FENCE - CHAIN LINK
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- TREE LINE

THE TORONTO AND REGION CONSERVATION AUTHORITY (TRCA) IS NOT LIABLE FOR INFORMATION SHOWN ON THIS DRAWING. PLEASE CONTACT THE TRCA BEFORE REPRODUCING, ALTERING, OR USING THE INFORMATION CONTAINED IN THIS DRAWING IN WHOLE OR IN PART.

ISSUED / REVISIONS			
NO.	DATE	DESCRIPTION	APP'D.
1	APR 8/10	ISSUED FOR REVIEW	
2	FEB23/12	TEMPORARY FILL DESIGN ADDED	

DESIGN	DRAWN	CHECKED
	M.Los	C.Eden

PROJECT TITLE

**ARSENAL LANDS  
PEEL FILL OPTIONS**

1400 LAKESHORE ROAD EAST

DRAWING TITLE

**ARSENAL LANDS  
TEMPORARY FILL SITE**

DRAWING NO.	FILE NO.
F1027	F1027.dwg

DATE	SCALE	REV.
JAN 14, 2002	1:750	





S. PATRIZIO, CHAIR  
D. GEORGE, VICE CHAIR  
R. BENNETT, VICE CHAIR

FILE: "A" 181/12

WARD: 1



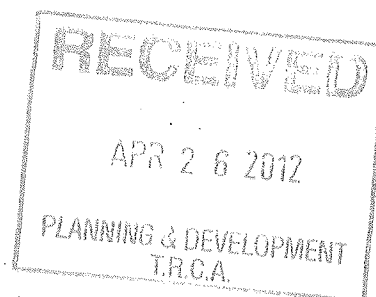
## COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING

**TORONTO & REGION CONSERVATION AUTHORITY** is the owner of Part of Lots 4 and 5, Concession 3, S.D.S., located and known as **1352 and 1400 LAKESHORE ROAD EAST**, zoned OS2, Open Space. The applicant requests the Committee to authorize a minor variance to permit the stockpiling of clean fill and rubble on the subject lands; whereas By-law 0225-2007, as amended, does not permit this use in an OS2, Open Space zone.

The Committee has set **Thursday May 10, 2012 at 1:30 pm** in the **Mississauga Civic Centre, COUNCIL CHAMBERS**, 2nd Floor, 300 City Centre Drive, Mississauga, Ontario for the public hearing.

This notice is sent to you because you are either the applicant concerned, the assessed owner of one of the neighbouring properties, or a person likely to be interested. Should you desire to express your approval or objection to the application, you may do so at the public hearing. If it is inconvenient for you to attend the hearing, signed written submissions shall be accepted by the Secretary-Treasurer prior to or during the hearing and such written submissions shall be available for inspection by any interested person. If you do not make a written submission requesting notification of the Committee's decision or attend the hearing in person or by counsel you will not be entitled to receive a copy of the Committee's decision or any subsequent correspondence relating to any future Ontario Municipal Board proceedings. Requests for deferment of hearing date, by the applicant or representative, must be for reasonable cause and an alternative hearing date will be at the discretion of the Committee. Failure of the Applicant or their Representative to appear at any hearing may result in the automatic dismissal of the application.

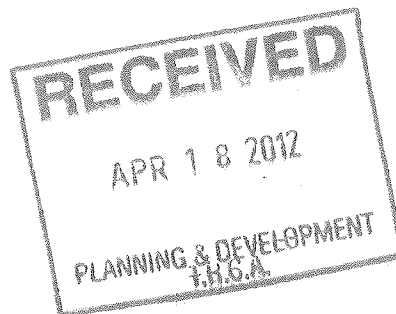
Further information may be obtained between 8:30 a.m. and 4:30 p.m., Monday to Friday at the Mississauga Civic Centre, Committee of Adjustment Office, 2nd Floor, 300 City Centre Drive, Mississauga, Ontario L5B 3C1, Telephone No. 905-896-5000 and Fax No. 905-615-3950.



Committee of Adjustment  
Office of the City Clerk  
Corporate Services Department  
City of Mississauga  
300 City Centre Drive  
MISSISSAUGA ON L5B 3C1  
Tel.: 905-896-5000  
Fax: 905-615-3950



April 10, 2012



Toronto and Region Conservation Authority  
5 Shoreham Drive  
Downsview, Ontario  
M3N 1S4

Dear Sir/Madam:

RE: Committee of Adjustment Minor Variance Application A181/12  
Owner: Toronto & Region Conservation Authority  
Property Address: 1352 and 1400 Lakeshore Road East  
Meeting Date: May 10, 2012

Please find enclosed a copy of the application form, drawings and Notice for your review of the above-noted minor variance application.

If you require additional information, please contact me.

Yours truly,

David E. Martin  
Committee of Adjustment  
City of Mississauga  
300 City Centre Drive, 2nd Floor  
Mississauga, Ontario  
L5B 3C1  
Telephone: 905-615-3200, Extension 5433  
E-mail: [dave.martin@mississauga.ca](mailto:dave.martin@mississauga.ca)  
Fax: 905-615-3950



S. PATRIZIO, CHAIR  
D. GEORGE, VICE CHAIR  
R. BENNETT, VICE CHAIR

FILE: "A" 181/12

WARD: 1

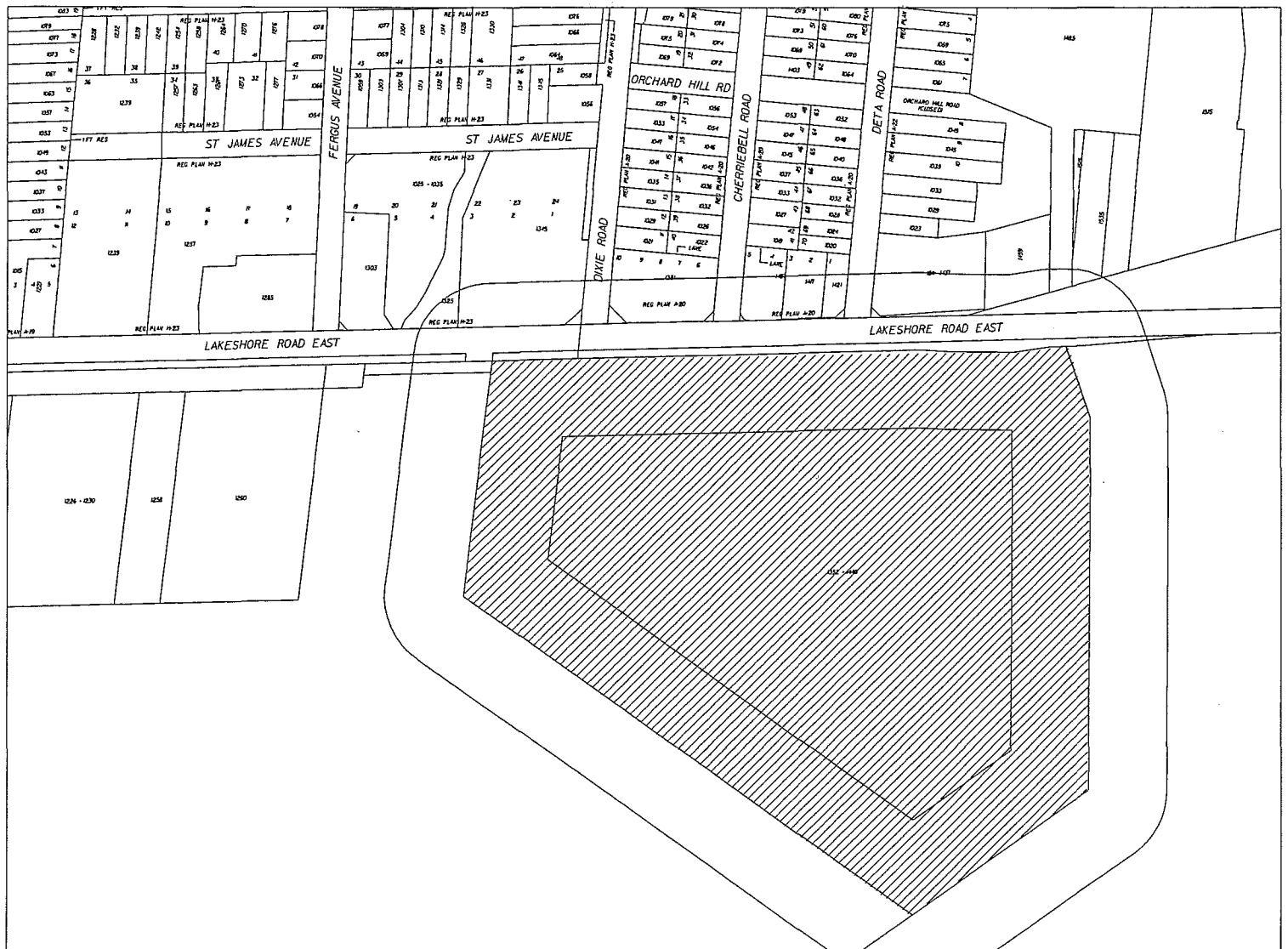
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## Committee of Adjustment

Subject Property : 1352 & 1400 LAKESHORE RD. E.

File Number : A18112

Z Area : 1

Agent : REGION OF PEEL



## Committee of Adjustment

City of Mississauga

300 City Centre Drive

Mississauga ON L5B 3C1

Tel. No. 3-1-1, Fax. No. 905-615-3950

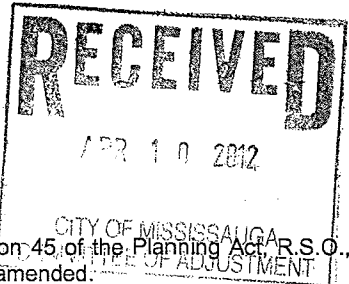
Web address for downloading Committee of Adjustment Information, Forms and Agendas:

www.mississauga.ca/committeeofadjustment



File No. "A"

181/12



### The Planning Act, R.S.O. 1990, c.P.13, as amended APPLICATION FOR MINOR VARIANCE

The undersigned hereby applies to the Committee of Adjustment for the City of Mississauga under Section 45 of the Planning Act, R.S.O., 1990, c.P.13, as amended for relief, as described in this application, from Zoning By-law No. 0225-2007 as amended:

- a) Name of Property Owner Toronto and Region Conservation Authority  
Address 5 Shoreham Drive, Downsview Tel. No. 416 -- 661 -- 6600  
Ontario, M3N 1S4 Fax. No. 416 -- 661 -- 6898  
E-Mail Address: mfenning@trca.on.ca
- b) Name of authorized agent Region of Peel  
Address 10 Peel Centre Drive, Suite A, 4th Floor Tel. No. 905 -- 791 -- 7800  
Brampton, Ontario, L6T 4B9 Fax. No. 905 -- 791 -- 0728  
E-Mail Address: janice.hatton@peelregion.ca
2. Current Official Plan designation of the subject lands: Public Open Space and Greenbelt
3. Current Zoning By-law designation of the subject lands: OS2 (Open Space)
4. Nature and extent of the relief from the Zoning By-law being applied for: (print your request & by-law requirement)  
To permit stockpiling of clean fill and rubble on the  
subject lands
5. Why is it not possible to comply with the provisions of the By-law?  
OS2 zone does not allow the stockpiling of fill
6. Legal description of subject lands (municipal address, lot and registered plan and/or assessment roll number):  
1352 and 1400 Lakeshore Road<sup>E</sup>, Mississauga  
Parts of Lots 4 and 5, concession 3 S.D.S., City of Mississauga,  
Regional Municipality of Peel, designated as Part 1 on Plan 43R-4461

7. Dimensions of subject property (metric units):

Lot Frontage 443m , Lot Depth 346m , Lot Area 15.7ha

8. The existing use for the subject land: Open Space

9. The proposed uses for the subject land: Open Space and Park

10. Type of access to the subject lands (check the appropriate box)

Municipal Road ☒ Private Road ☐ Provincial Highway ☐ Other ☐

If other, please specify by what means: \_\_\_\_\_

11. Particulars of all buildings and structures on the subject land: (Specify: i) type of structure, ii) gross floor area or dimensions of the structure, iii) the front, rear and side yard setbacks, iv) height of the structure)

43,000 square foot industrial building

12. Particulars of all buildings and structures proposed for the subject land: (Specify: i) type of structure, ii) gross floor area or dimension of the structure, iii) the front, rear and side yard setbacks, iv) height of the structure)

N/A

13. The date the subject land was acquired by the current owner: October 30, 1992

14. The date the existing buildings and structures were constructed on the subject land: ± 1940

15. The length of time the existing uses of the subject land have continued: 20 years

16.a. Has the Conservation Authority reviewed the proposed minor variance as it applies to the subject land?:

Yes ☒ No ☐ Not Applicable ☐ (as determined by the relevant Conservation Authority)

b. Has the Conservation Authority review fee been paid? Yes ☐ No ☒

17. Municipal Services provided to the subject lands: (check the appropriate boxes)

☒ Water If not available, by what means is it provided \_\_\_\_\_  
☒ Sanitary Sewers If not available, by what means is it provided \_\_\_\_\_  
☒ Storm Sewers If not available, by what means is it provided \_\_\_\_\_

18. If known, is or was the subject land the subject of any of the following development type applications:

	Yes	No	File
Official Plan Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Zoning By-law Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Plan of Subdivision	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Site Development Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Certificate of Occupancy	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Building Permit	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Sprinkler System</u>
Consent	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Minor Variance (Committee of Adjustment)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____

### DECLARATION OF OWNER OR AUTHORIZED AGENT

I, Elvis Oliveira Janice Hatton of the City of Brampton  
(Print Name of Owner or Authorized Agent) (Print Town or City) (Print Town or City name)  
in the Region of Peel  
(Print Region or Province) (Print Region or Province name)

Solemnly declare that all above statements and the statements contained in all of the exhibits transmitted herewith are true, and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as it made under oath and by virtue of the CANADA EVIDENCE ACT.

For the purposes of the FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the PLANNING ACT for the purposes of processing this application and correspondence purposes. Questions about this collection should be directed to the Committee of Adjustment Secretary-Treasurer, City of Mississauga, 300 City Centre Drive, Mississauga, Ontario L5B 3C1, telephone 905-615-3200 ext. 5433.

NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner, etc.  
A Commissioner is available in the Committee of Adjustment office, if needed.

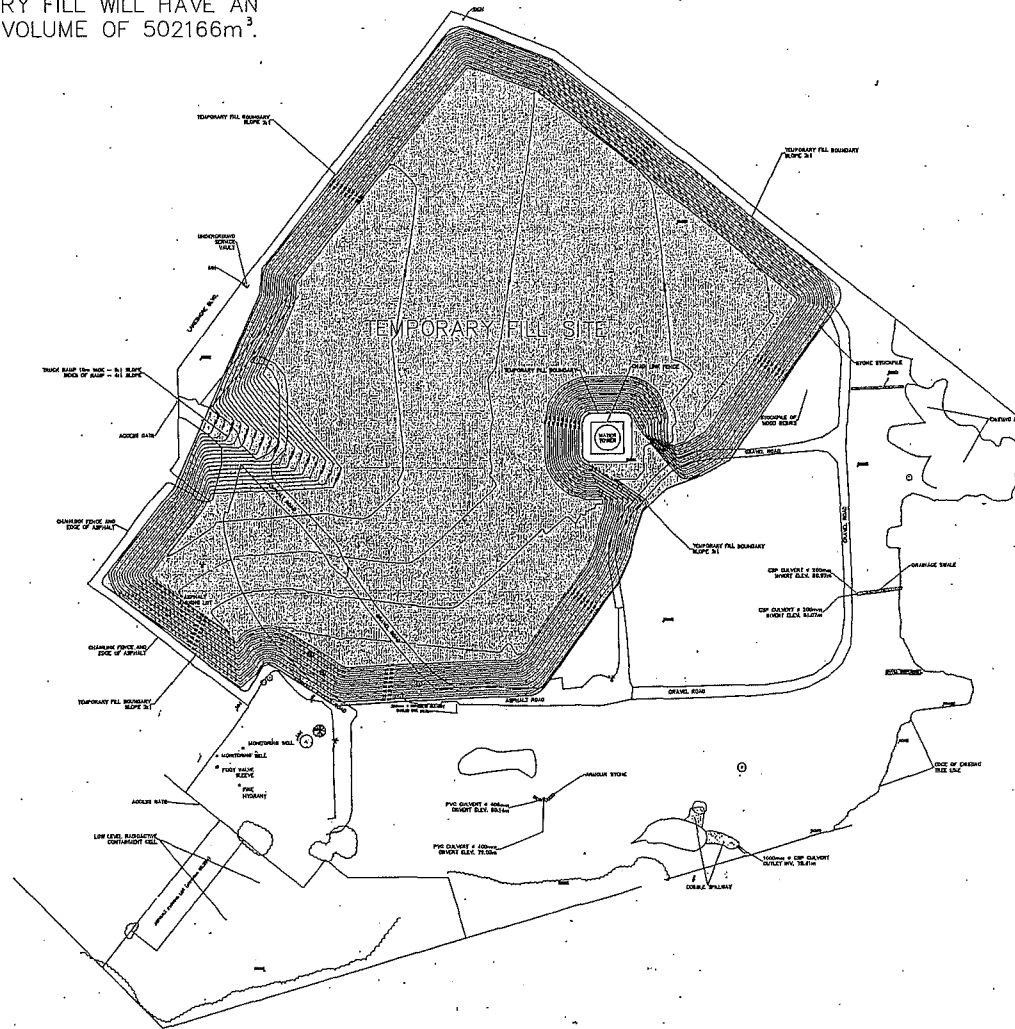
Declared before me at the City of Mississauga  
in the Region of Peel  
this 12 day of April AD 20 12

[Signature]  
Signature of applicant or authorized agent  
☒ I have authority to bind the Corporation

[Signature]  
Signature of applicant or authorized agent  
☐ I have authority to bind the Corporation

DAVID LESLIE MARTIN, a Commissioner, etc.,  
Regional Municipality of Peel, for the  
Corporation of the City of Mississauga.  
Expires May 10, 2014.

TEMPORARY FILL WILL HAVE AN  
APPROXIMATE VOLUME OF 502166m<sup>3</sup>.



**Conservation**  
TORONTO AND REGION  
5 Sheppard Ave. E. - Downsview Ontario M3J 1A1 (416) 581-6600

#### NOTES

1. SURVEY PERFORMED BY IRGA STAFF JULY 22, 23, 26, 27, AUG 16 + 17 SEPT 21, 1999 OCT 23, DEC 19 + 20 2001, JAN 02 AND 04 2002.
2. CONTOUR INTERVAL IS 0.50 METERS.

#### LEGEND

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- EXISTING CONIFEROUS TREE
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#### ISSUED / REVISIONS

NO.	DATE	DESCRIPTION	APP'D.
1	APR 6/10	ISSUED FOR REVIEW	
2	FEBRUARY 12	TEMPORARY FILL DESIGN ADDED	

DESIGN	DRAWN	CHECKED
	M. Lee	C. Lee

PROJECT TITLE  
**ARSENAL LANDS  
PEEL FILL OPTIONS  
1400 LAKESHORE ROAD EAST**

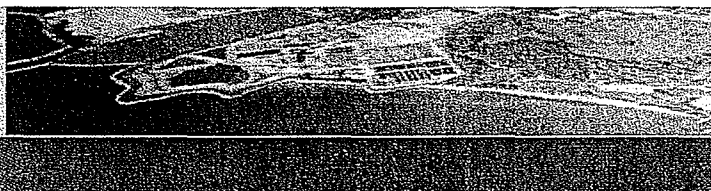
DRAWING TITLE  
**ARSENAL LANDS  
TEMPORARY FILL SITE**

DRAWING NO. F1027	FILE NO. F1027.dwg
DATE JAN 14, 2002	SCALE 1:750



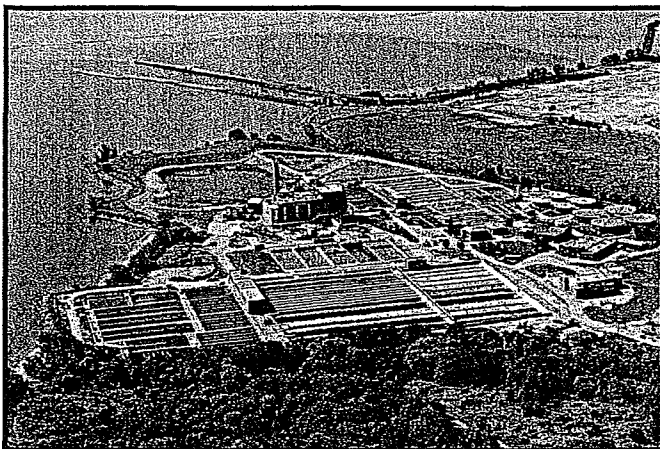
# LAKEVIEW WATERFRONT CONNECTION PROJECT

Special Edition Advisory, March 2012



## Background

The Lakeview Waterfront Connection Project (LWC), an early phase of the City of Mississauga's Inspiration Lakeview, seeks to improve aquatic and terrestrial habitat and public access and recreation along the Lake Ontario Waterfront in southeast Mississauga, while at the same time, offers a sustainable and cost-effective solution for reusing locally generated fill as part of the Region of Peel's and City of Mississauga's Capital Works Infrastructure expansion plans over the next 10 years. An Individual Environment Assessment (EA) is being undertaken by Credit Valley Conservation (CVC) and Peel Region with support from Toronto and Region Conservation (TRCA) and the City over the next couple of years to develop and select the best solution to meet the project needs. For details on the LWC EA, please visit: <http://www.creditvalleyca.ca/lwc>



## Temporary Stockpile at Aresenal Lands

TRCA and the Region of Peel plan to create a temporary stockpile on the Aresenal Lands to store clean fill generated by the Region of Peel capital works projects, while CVC and the Region proceed with the LWC EA.

The temporary stockpile will be designed to store between 400,000 and 500,000 m<sup>3</sup> of fill and will cover approximately 13-14 acres to a height of ~8m. Much of the fill (around 150,000 m<sup>3</sup>) will be generated locally through a tunnel shaft at the Aresenal Lands as part of the Region's Hanlan Feedermain work. This would have the immediate effect of eliminating



~15,000 trucks from local streets. The remaining fill will be generated from other Region and possibly City of Mississauga capital work project sites, and transported via major arteries to the Aresenal Lands. The site will be within the existing fenced area, and will have controlled access. Operations are expected to occur between Monday to Friday during normal operating hours. Local wetlands, and the historic water tower will be protected. A dust, mud and erosion control strategy will be implemented. In the event that the LWC Project does not proceed to implementation, stockpiled material will be removed from the Aresenal Lands.

Once the LWC EA is approved and detailed designs/permits completed, fill in the stockpile will be reused along the Lake Ontario shoreline south of the G.E. Booth Wastewater Treatment Plant in order to recreate new aquatic and terrestrial habitats, and establish a new publicly accessible natural waterfront park. To maximize cost efficiency for the project, it is important to maximize the reuse of fill that will be generated close to the LWC Project site, such as those produced by the Hanlan Feedermain works scheduled in 2012. As such, a temporary stockpile location is required to capture that material while the LWC proceeds through the EA process. It is expected that the Aresenal Lands temporary stockpile area will be available for Master Plan implementation by 2017. All areas currently publicly accessible in Marie Curtis Park, the beach and Waterfront Trail will remain accessible during the LWC EA process.

## QUESTIONS ABOUT THE TEMPORARY STOCKPILE?

Please contact:

Mr. David Hatton

[dhatton@trca.on.ca](mailto:dhatton@trca.on.ca)

(416) 661-6600 (ext. 5365)

Activities associated with the stockpile that the public may see include:

- Site clearing for the stockpile area in late-March 2012
- Borehole surveys around the base of the water tower in April 2012
- Anticipate stockpiling activities to begin in May 2012.



**Region of Peel**  
Working for you





#### LAND USE DESIGNATIONS

- Residential - Low Density I
- Residential - Low Density II
- Residential - Medium Density I
- Residential - High Density I
- Residential - High Density II
- Mainstreet Retail Commercial
- General Retail Commercial
- Convenience Retail Commercial
- Motor Vehicle Commercial
- Business Employment
- Public Open Space
- Private Open Space
- Greenbelt
- Utility

#### LAND USE LEGEND

- Regulatory Floodplain
- Golf Course
- Proposed Stormwater Management Facility
- Planning District
- Special Site Areas (See Special Site Policies)

#### TRANSPORTATION LEGEND

- Provincial Highway and Interchange
- Arterial
- Major Collector
- Major Collector (Scenic Route)
- Minor Collector
- Local Road
- Existing Commuter Rail
- GO Transit Station

NOTE:  
ANY PART OF THE ROAD NETWORK SHOWN  
OUTSIDE THE CITY BOUNDARIES IS SHOWN  
FOR INFORMATION PURPOSES ONLY.

0 100 200 300 400  
metres



### Lakeview District Land Use Map

This Consolidation Includes Latest Approved Amendment - No. 40  
OMB File No. PL080347 2010 February 23

City of Mississauga 2010 April



May 17, 2012

Heritage Advisory Committee  
Corporation of the City of Mississauga  
300 City Centre Drive, Suite 900,  
Mississauga, Ontario L5B 2T4

**Re: Region of Peel Proposal to Stockpile  
Material on Park #358 ("Arsenals") (Ward 1)**

Dear Sir/ Madame,

This letter has been prepared to accompany the supporting documents and application for a Heritage Permit to request approval to stockpile material on the lands of Park #358 (informally known as "Arsenals") as early as July 2012 until late 2017/2018.

Credit Valley Conservation (CVC), on behalf of the Region of Peel (ROP) and with the support of the City of Mississauga (City) and Toronto and Region Conservation Authority (TRCA), is embarking on a new project titled Lakeview Waterfront Connection. The Lakeview Waterfront Connection Project (LWC), an element of the Inspiration Lakeview visioning process in 2010, includes the creation of a new waterfront park along the Mississauga shoreline. The LWC is an opportunity for the sustainable re-use of fill on a large initiative, on Mississauga's Eastern Shoreline, that will provide increased recreational and environmental (aquatic and terrestrial) opportunities. To make the project as successful as possible it is necessary to start stockpiling the fill in a temporary location until approvals have been received to begin the lakefill process.

The stockpile proposal has been supported by City Council and the TRCA Authority Board. City Parks have deferred implementation of Park #358 Arsenal Lands Master Plan to allow for the stockpiling to proceed. Applications for approval have been submitted to the Committee of Adjustments for a minor variance and to the Heritage Advisory Committee for approval.

If the Heritage Advisory Committee finds merit in this request and approves this application, the City of Mississauga Inspiration Lakeview team will continue to work collaboratively with the TRCA, CVC and the ROP to ensure all the associated initiatives remain aligned.

This is a critical first step of revitalizing the Mississauga's eastern waterfront, a goal of the City, ROP, CVC and TRCA.

If you have any questions or concerns please feel free to contact me.

Thank you,

A handwritten signature in black ink, appearing to read "Darlene Utarid", written over a circular stamp.

Darlene Utarid

Project Manager - Inspiration Lakeview, Strategic Community Initiatives  
City Manager's Department

Heritage Advisory Committee  
JUN 19 2012

## HERITAGE IMPACT STATEMENT

MORRA RESIDENCE

925 LONGFELLOW AVENUE

THE HICKS PARTNERSHIP INC.



April 23, 2012



**hicks partners**  
DISTINCTIVE ARCHITECTURE

## **AUTHOR**

Hicks Partnership Architects Inc. is an architectural design firm that has been in practice since 1980 under different partnership forms. The firm's area of specialty is infill housing in very sensitive areas within Mississauga and Oakville area for the most part. In addition the firm is renowned for its work with designing golf club clubhouses throughout North America.

William Hicks has been practicing as an architect for over 32 years and has designed over 1200 new infill homes across the general GTA area. The firm is known for its design excellence and it has won awards for over 15 different projects including a number of heritage sensitive projects.

The firm prides itself in its ability to design houses which fit the scale and character of the neighbourhood and the firm has designed more than 30 to 40 houses in this immediate area. The author William Hicks lives in the estates and in fact lives around the corner from the site within one block of the site.

The firm has completed heritage impact studies for a number of homes and commercial properties within the Oakville area and we have worked with the Heritage Advisory Committee and the City of Mississauga on some projects in Historic Meadowvale Village and Port Credit. William Hicks was one of the original owners of the Wilcox Hotel on Front Street in Port Credit which was restored by a predecessor firm in the 80's.

## **LORNE PARK ESTATES NEIGHBOURHOOD / CULTURAL LANDSCAPE**

Lorne Park Estates was developed originally as a summer resort in the late 1880's. It has existed ever since as a privately held condominium corporation in essence with its own board of directors. The roads and ravines are owned privately and the Lorne Park estates area has been in essence self regulated for the past 130 years.

It is a unique area with a wide variety of housing types. There are very few original cottages that remain in the estates although there are some that have been renovated so many times that the original house has in essence disappeared.

The original Estates was designed as a series of shingle style cottages with some arts and craft cottages that are existing as well.

The streets and ravines are heavily treed and the area is in fact designated in the Province as a Carolinian forest example. The Association maintains the forests and practices new planting and preservation within the area.

What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings.

A gradual infilling has not increased the density over the years as there have been very few opportunities for land division and the ravines remain protected from development by the park itself. Great care has been taken to ensure that redevelopment in the area in the end, does not ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Lorne Park Estates neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves.

#### **LORNE PARK ESTATES NEIGHBOURHOOD UNIQUE ASPECTS**

The neighbourhood of Lorne Park Estates is known for a number of unique attributes including in summary the following:

##### **Vegetation**

The area is dominated with mature landscaping and large trees that create a canopy over the road in many areas thus adding to the unique charm of the area. A number of the properties have boundary landscaping planted many years ago that help to define the neighbourhood properties and thus add to the character.

The area consists of over 45 acres of naturalized development with ravines and minor water courses crossing the area in a number of locations. The location on Lake Ontario and the natural beaches that exist add yet another unique quality to the neighbourhood.

##### **Engineering Infrastructure**

The area does not consist of engineered streets with curbs and gutters, but instead it is made up out of simple paved roads with ditches and a large number of mature trees within the road right of way unlike newer sub-divisions developed elsewhere within the City of Mississauga. There is a quaint charm to the streets. There are no sewers and all properties are on private septic systems. There are no storm sewers and all drainage is via surface run off towards the ravine areas and the lake.

**HERITAGE IMPACT STATEMENT / MORRA RESIDENCE**  
**925 LONGFELLOW AVENUE, MISSISSAUGA**  
**THE HICKS PARTNERSHIP INC.**

---

**Housing Variety**

The area has a wide variety of housing types ranging from Historic homes to bungalows', to large scale homes of every size. One of the things that make it unique is that this wide variety of housing types and configurations exist, thus adding to the character and diversity. All the homes coexist comfortably in the neighbourhood in large part because of the retained landscaping versus the actual style of the house.

**HISTORICAL ASSOCIATIONS**

The following is a brief history of the Lorne Park Estates area. The area was initiated as a 75 acre parcel of land on the shores of Lake Ontario and became known as the Lorne Park Pleasure resort in 1879. In 1886 the Toronto and Lorne Park Summer Resort Company acquired the property and a built a number of summer cottages.

The lots were severed into a series of lots that were typically 50' x 100 feet in depth except along the many ravines that cross through the site.

**PROPERTY DETAILS**

Municipal Address	925 Longfellow Avenue
Legal Description	All of Lots 69, 85 and part of lots 70 & 84 Rplan A-23
Municipal Ward	Ward 2
Zoning	R2-4
Lot Frontage	22.83M
Lot Depth	60.96 M
Lot Area	1,382 m2
Orientation	East side of Longfellow Avenue
Existing house type	Single Family Bungalow with walkout to ravine
Existing Vegetation	Substantial trees in front and back yards
Current Property owners	Virginia Morra 925 Longfellow Avenue Lorne Park Estates Mississauga, Ontario

Construction date for house 1950's with additions in the 60's

### **HISTORY OF OWNERSHIP**

The following data has been gathered from the Ontario Land registry Office.

Original Plan of subdivision for this lot appears to have been in July Of 1886 when it was transferred to J. W. Stockwell one of the owners of the Lorne Park Summer Resort Company

See appendix L attached for documentation

The following data has been gathered from the Ontario Land registry Office.

Original Plan of subdivision for this lot appears to have been in July Of 1886 when it was transferred to J. W Stockwell one of the owners of the Lorne Park Summer Resort Company

See appendix L attached for documentation

After reviewing the land registry abstracts and indentures, as well as files relating to Lorne Park Estates, I am comfortable in suggesting that the subject home at 925 Longfellow Avenue in Lorne Park Estates was built in the early 1950s, like between 1951 and 1952.

Individual building permits and/or lot surveys for this property were not located. That being said, the sale of the property in 1951 from the Estate of Mary Louise Clarke to Wilfred S. McCord and Lillian J. McCord is most likely the sale of the empty lot as the indenture lists several conditions relating to building on the property. McCord is also listed as a carpenter by trade, which might suggest that a dwelling on the property may be built by him (this is supposition).

Mary Louise Clarke had a summer property elsewhere in Lorne Park (documented), and lent significant amounts to keep the cottage resort operating. She also owned several parcels of land throughout what is now Lorne Park Estates, likely including this property.

The McCord's sold the property in 1952, just over a year after they bought it, for \$2. This transaction amount suggests either an existing relationship was in place between buyer and seller, or an agreement to sell or monies were exchanged outside of the transfer agreement. The indenture for this transaction was not located. Given the duration of ownership and tenure by Lucy and Edward Riggs, from 1952-1964, it suggests a dwelling was in place during this time period, further lending credence (albeit circumstantial) that the home was most likely in 1951-52.

I have found no reference to the individual Wilfred S McCord to suggest that he was of particular interest from a historical perspective.



## **EXISTING BUILDING DETAILS**

### **CONSTRUCTION**

The house is constructed on a concrete block foundation with a mix of wood frame exterior, walls clad with wood siding which was typical for this period of construction.

Windows are generally wood frame and aluminum frame subject to which area of the house is considered. They are large openings punched through the brick exterior wall and they have no architectural importance or integrity. The roof is finished in asphalt shingles.

There are no meaningful architectural elements within the existing house that are worthy of preservation. Baseboards are minimal as are window casings and trim detailing in general. When the current owners purchased the house substantial demolition had occurred within the house for salvage purposes by the previous owners.

The interior finishes are drywall, wood flooring in some areas, vinyl flooring in others.

There are no details of any particular character or interest within the house and it appears it has remained as built for at least 60 years with ongoing maintenance and upgrades as required over the years. There was an addition built in the mid 1980" when the home was owned by the Ritchie family.

See Appendix A for the lot location. Site context map

See Appendix B for the current lot survey

### **EXISTING FLOOR PLANS**

See attached floor plans which represent the current state of the house upon acquisition by Virginia Morra. See Appendix I attached herewith for copies of these floor plans.

The home is built on one floor with a full basement. The area of the existing finished house is approximately 1,529 sq. ft.

### **EXTERIOR PHOTOS**

The exterior photos were taken on January 30, 2012 and they depict the current state of the existing house. See Photos in the attached Appendix. E

## **INTERIOR PHOTOS**

Refer to Photos of the interior on attached Appendix F. There are no remarkable characteristics of the home interior and certainly nothing worthy of preservation for any reason.

## **PROPOSED DEVELOPMENT DETAILS**

### **Proposed Development**

The owners' intent is to demolish the existing house and construct a new house generally in a similar location to the existing house. Refer to Appendix C showing the proposed new house footprint on lot and its relationship to the new house currently under construction on the south side. There are no houses to the north of the property but simply forest.

The owner is maintaining most of the trees on the lot. There are a total of 12 trees being removed to facilitate construction and some light on the property.

The ravine to the East of the house has a large number of trees some of which have blown over in recent storms.

There was an arborist report submitted as part of the redevelopment plan and it is attached herewith as appendix H.

### **Proposed Streetscape**

Refer to Appendix D to show the elevations of the new house from the street. It should be noted that all houses on this side of the street are new and will be the same height. Refer to proposed landscape plan which is found under Appendix J.

Refer to Appendix K for a complete set of the floor plan submission drawings.

### **AREA DESCRIPTION**

The Lorne Park Estates area in which this property is found has been designated as a cultural landscape area and as such, the requirement exists to submit a Heritage Impact Statement report to justify the removal of the existing house on the property which has been recently occupied as a single family home by one owner for 40 years.

The area is not designated as a Heritage District under the Act.

The specific area in which this property is located has undergone recent redevelopment in the past few years and is currently continuing to be redeveloped. See Photos in Appendix G which represent both new and existing homes on the same street and within the block in which this house is located.. The new owners of the property intend to demolish and reconstruct a new two storey single family home as per the drawings that are attached.

The property was acquired by the current owners in 2011 after it had been lived in by four owners for the past 60 years. The house was constructed in the early 1950's and is but one example of a traditional ranch style bungalow which was predominant in the area.

There have been a number of additions and renovations to the existing building over the past 60 years including additions on the south side of the house , a new pool in the front yard and a freestanding garage in front of the pool.

The building does not have any specific architectural interest as it was most likely one of a number of similar or identical houses built in that period from standard developers and builders plans that were available at that time.

## **CONCLUSIONS**

There are certain specific criteria laid out in the Official Plan for the area which note the reasons for the area being designated as a Cultural Heritage Area.

### **EVALUATION CRITERIA**

The Lorne Park Estates neighbourhood has been included in the Cultural Landscape Inventory within the City of Mississauga. It is included for its neighbourhood character versus being of any specific heritage interest. It is also an area of significant ecological interest.

The inventory describes the areas of specific interest within the neighbourhood which should be reviewed. These include the following:

#### **Landscape Environment**

- Scenic and Visual Quality
- Natural Environment
- Landscape Design

#### **Historical Association**

- Styles, Trends and Patterns
- Social and Physical Development

#### **Built Environment**

- Aesthetic / Visual Quality
- Scale of Built Features

### **LANDSCAPE ENVIRONMENT SCENIC AND VISUAL QUALITY**

This unique shoreline community combines a low density residential development established in the 1880's with the protection and management of an amazing forested community which is representative of the pre settlement shoreline of Lake Ontario. A mature Carolinian forest made up of white pine, red oak and red pine gives this residential community a unique visual quality.

The proposed development maintains this relationship between the new home and the street which is consistent with the neighbourhood which while having undergone substantial redevelopment in past years it has maintained its character of place.

The proponent intends to maintain a large specimen tree on the site and to remove some trees which are in question due to past practices including bolting and wiring the trees. The new landscape plan intends to replace these lost trees with an interesting and full landscape plan.

Thus in the opinion of the author of this report neither the removal of the exiting house or the proposed new development will alter negatively the scenic and visual quality of the neighbourhood. In fact in our opinion, it will be enhanced.

### **NATURAL ENVIRONMENT**

The trees on site are being retained. The back of the lot is heavily forested on the edge and this will be retained. There will be no impact on the natural environment caused by removal of the house or the construction of the new home.

### **LANDSCAPE DESIGN**

As noted in the attached landscape plan, the proposed development includes a very rich landscape plan that reinforces both the character of the lot and of the neighbourhood as a whole. The resulting new house and landscape will be an enhancement to the area and it will preserve the character of the Lorne Park Estates, neighbourhood.

### **HISTORICAL ASSOCIATIONS** **STYLE AND PATTERN**

The existing neighbourhood has a wide variety of lots, shapes and patterns but they are consistent in the way they address the road with a seamless landscape from asphalt to front door. The pattern of the existing immediate neighbourhood includes buildings of varying setbacks and depths of lots.

The proposed new house maintains this sense of style and pattern and it inserts a new home that meets all of the design intent of the Urban Design Policies implemented as part of the site plan process.

### **PHYSICAL DEVELOPMENT**

The removal of the existing home and the creation of the new house do not affect the strong history and or character of the area. Lorne Park Estates remains a wonderful example of a unique development in the City.

### **AESTHETIC AND VISUAL QUALITY**

The existing modest house does not represent a rare or unique example of a particular style or type or construction methodology. There is no evidence of a high degree of craftsmanship or artistic merit in the existing structure. Its removal will not impact on the aesthetic or visual quality of the neighbourhood.

### **SCALE**

The existing street has a wide variety of house types on it but the predominant character of the area might be described as one of 1.5 and 1 storey houses. The existing house is a bungalow which has been substantially modified. The proposed new home is a 1.5 storey house which fits in with the context of the site and streetscape. It has been designed so as to be able to cohabitate with the existing dwellings in the area.

It is the conclusion of the writer that the while this property is listed on the register under the Lorne Park Estates Cultural Landscape, the existing house has not been designated and does not merit conservation measures of any kind.

The impact of the proposed new home has taken into consideration the surrounding neighbourhood, and the preservation of streetscape character. The new home matches the existing front yard setback of the original house and thus is appropriate in terms of impact on the street scape.

Thus it is the conclusion that the proposed demolition and new construction do not contravene the intentions of the Lorne Park Estates Cultural Landscape Listing.

**ONTARIO REGULATIONS 9/06**

Under Ontario regulation 9/06 which is part of the Ontario Heritage Act, one must consider the criteria for determining if the specific property is of cultural value or Interest. There are nine criteria for this evaluation including the following:

1. i Is it a rare example that is unique or representative of a style or expression or a unique construction method. Certainly this house when it was built was one of many typical to the area and was considered to be a subdivision type house with little or no interest from an architectural perspective. While the house is listed on the heritage register under the Lorne Park Estates cultural landscape, the existing dwelling has not been specifically designated. The existing house does not meet the general or specific criteria set out in Regulation 9/06
- 1.ii The house does not represent or display a high degree of craftsmanship or artistic merit in the opinion of the writer there is nothing unique about the architectural expression or detailing found in this home. The house is not known to represent any significance related to theme, events, beliefs, persons, activities or organizations or institutions in the community.
1. iii The house certainly does not display nor is it representative of a high degree of technical or scientific achievement . It is built following traditional construction methodologies of that period with a brick and frame construction.
- 2.i The specific house through its history, has not been associated with any particular event , or owner or institution that is significant to the community.
- 2.ii The house does not hold any clues to a better understanding of the community or culture within which it is located.
- 2.iii The house is not known to be designed by an architect and was a typical plan type built in that period as part of a new plan of subdivision. It is not attributed to an architect, builder or designer that is significant to the community.
- 3.i The architecture does not define the character of the area and I would suggest does not support the current character of the area which is in a state of transition.
- 3.ii The house is not physically, functionally or visually linked to its surroundings.
- 3.iii The house can certainly not be considered a landmark in the community.

**HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.**

---

Based on the 9 criteria noted above, the house is certainly not of cultural or heritage value or interest and is appropriate for demolition. The existing dwelling does not warrant conservation

**FINAL CONCLUSION**

The removal of the house will have no impact on the Lorne Park Estates Cultural Landscape. As noted under Section 9/06 the existing structure does not meet any of the prescribed criteria for evaluation and preservation.

Thus, it is recommended that the existing structure be removed and the new structure is an appropriate and desirable addition to the context of the neighbourhood.

Report prepared by:  
**The Hicks Partnership Inc.**

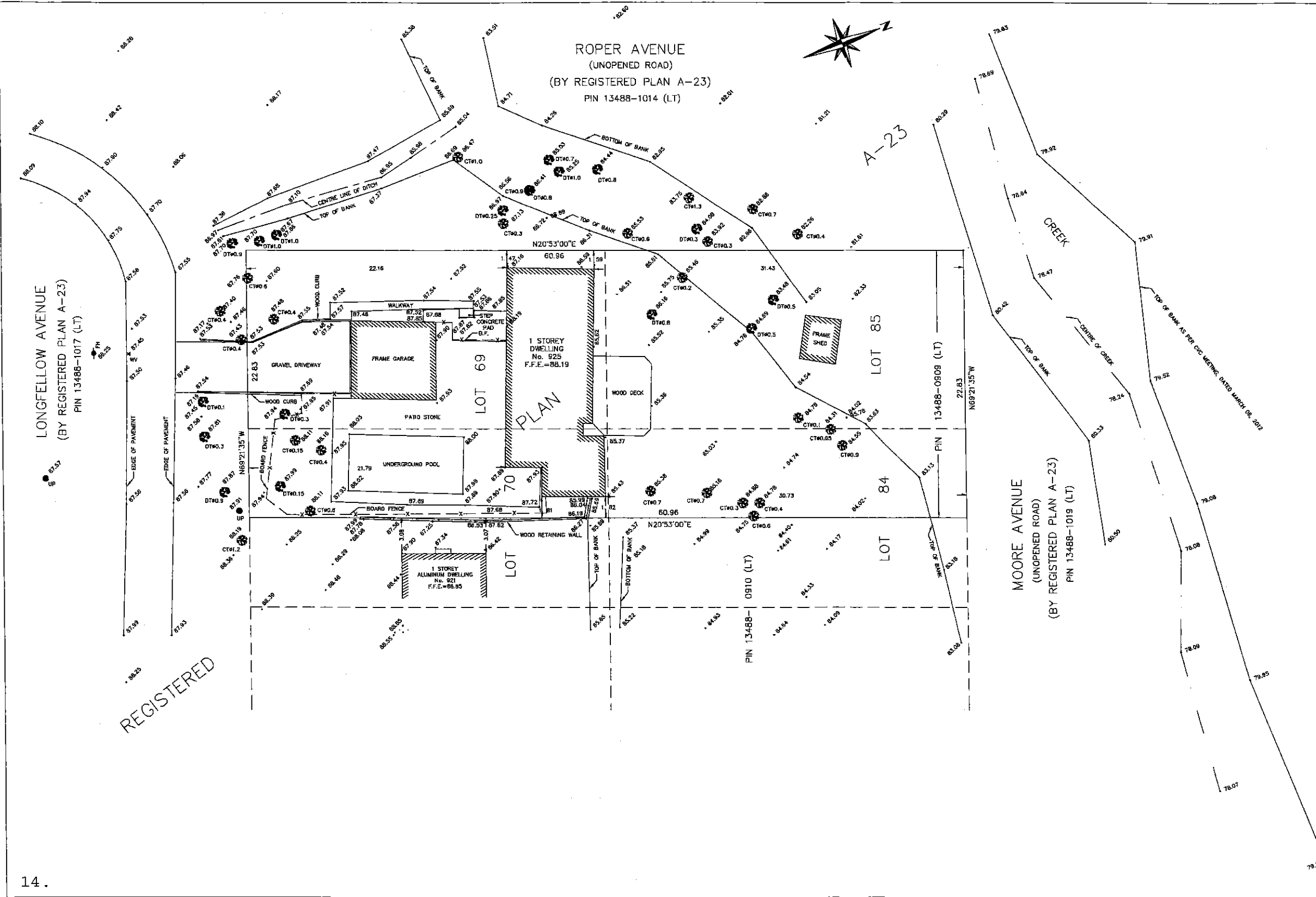


**William R Hicks  
B. Arch. MRAIC., OAA, AIBC, NSAA, MAA,  
NYSAA, NBAA**









SKETCH SHOWING ELEVATIONS OF  
ALL OF LOTS 69 & 85 AND  
PART OF LOTS 70 & 84  
REGISTERED PLAN A-23  
CITY OF MISSISSAUGA  
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:200  
10m 5 0 10 METRES

THAM SHANMUGARAJAH SURVEYING LTD., O.L.S. ©  
METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE  
CONVERTED TO FEET BY DIVIDING BY 0.3048

**LEGEND**

PIN DENOTES PROPERTY IDENTIFIER NUMBER  
F.F.E. DENOTES FINISHED SILL ELEVATION AT ENTRY  
B.F. DENOTES BOARD FENCE  
DTW0.3 DENOTES DECIDUOUS TREE AND DIAMETER  
DTW0.4 DENOTES CONIFEROUS TREE AND DIAMETER  
WV DENOTES WATER VALVE  
UP DENOTES UTILITY POLE  
FH DENOTES FIRE HYDRANT

**BENCHMARK NOTE**

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE TOWNSHIP OF  
LIMEHOUSE BENCHMARK No. 00185U557, 65U557, TT-132, VA33 (001196SU557), HAVING  
AN ELEVATION OF 93.507 METRES. LOCATED AT RED BRICK HOUSE NO. 1023 ON NORTH  
SIDE OF LORNE PARK ROAD, 70 METRES WEST OF LAKE SHORE ROAD WEST (HIGHWAY  
No. 2), PLATE IN SOUTH FACE AT SOUTHEAST CORNER. ESTABLISHED BY TOWNSHIP OF  
TORONTO.

**CERTIFICATE**

THE FIELD OBSERVATIONS REPRESENTED ON THIS PLAN  
WERE COMPLETED ON THE 28th DAY OF JULY, 2011

**CAUTION**

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE  
USED FOR MORTGAGE OR TRANSACTION PURPOSES.

**THAM SURVEYING LIMITED**  
SHANMUGARAJAH  
8888 KEELE STREET, UNIT 7 PHONE: 905-761-6521 FAX: 905-761-6523  
VAUGHAN, ONTARIO, L4K 2N2 www.thamsurvey.ca

DRAWN BY: S.W.	CHECKED BY: V.R.	CAD NUMBER: 11-093TP	JOB NUMBER: 11-093
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Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



REF.	DATE	DESCRIPTION
4	4.09.12	ISSUED FOR REVIEW
3	4.03.12	REVISED FOR S.P.A.
3	4.03.12	ISSUED FOR GRADING CERT.
2	1.16.12	ISSUED FOR S.P.A.
1	11.15.11	ISSUED FOR REVIEW
REVISIONS / ISSUANCE		



THE HICKS PARTNERSHIP INC.  
1 MILLIKEN RD. SUITE 100 MISSISSAUGA, ON L4X 1L2  
WWW.HICKSPARTNERSHIP.COM

CLIENT:  
**MAURO-MORRA  
RESIDENCE**

ADDRESS: 925 LONGFELLOW AVE  
CITY: MISSISSAUGA, ON

DRAWING TITLE:  
**WEST ELEVATION**

DRAWN: J.Mc.  
DATE: 11.15.11  
JOB NUMBER:

SCALE: 1/4"=1'-0"  
SHEET NUMBER:

1810-11  
**A4.1**





Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



4	4.09.12	ISSUED FOR REVIEW
3	4.03.12	REVISED FOR S.P.A.
3	4.03.12	ISSUED FOR GRADING CERT.
2	1.16.12	ISSUED FOR S.P.A.
1	11.15.11	ISSUED FOR REVIEW

REF. DATE: DESCRIPTION:  
REVISIONS / ISSUANCE

  
**hicks partners**  
DISTINCTIVE ARCHITECTURE

THE HICKS PARTNERSHIP INC.  
100 LAKESHORE ROAD E. SUITE 400 MISSISSAUGA ON L4Y 1G1  
WWW.HICKSPARTNERS.COM P 905.882.0724 F 905.882.0725

CLIENT:  
**MAURO-MORRA  
RESIDENCE**

ADDRESS: 925 LONGFELLOW AVE  
CITY: MISSISSAUGA, ON

DRAWING TITLE:  
**SOUTH ELEVATION**

DRAWN: J Mc	DATE: 11.15.11	SCALE: 1/4"=1'-0"
JOB NUMBER: 1810-11	SHEET NUMBER: <b>A4.2</b>	



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



4	4.09.12	ISSUED FOR REVIEW
3	4.03.12	REVISED FOR S.P.A.
3	4.03.12	ISSUED FOR GRADING CERT.
2	1.16.12	ISSUED FOR S.P.A.
1	11.15.11	ISSUED FOR REVIEW
REF.	DATE	DESCRIPTION
REVISIONS / ISSUANCE		



CLIENT  
**MAURO-MORRA  
RESIDENCE**

ADDRESS: 925 LONGFELLOW AVE  
CITY: MISSISSAUGA, ON

DRAWING TITLE:  
**EAST ELEVATION**

DRAWN: J.Mc	SCALE: 1/4"=1'-0"
DATE: 11.15.11	SHEET NUMBER
JOB NUMBER: 1810-11	<b>A4.3</b>



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

PRELIMINARY,  
NOT FOR  
CONSTRUCTION



4	4.09.12	ISSUED FOR REVIEW
3	4.03.12	REVISED FOR S.P.A.
3	4.03.12	ISSUED FOR GRADING CERT.
2	1.16.12	ISSUED FOR S.P.A.
1	11.15.11	ISSUED FOR REVIEW
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE		

**hicks partners**  
DISTINCTIVE ARCHITECTURE

THE HICKS PARTNERSHIP INC.  
150 KENNEDY AVENUE, SUITE 400, MISSISSAUGA, ONTARIO L4Y 1G7  
WWW.HICKSPARTNERSHIP.COM

CLIENT:  
**MAURO-MORRA  
RESIDENCE**

ADDRESS: 925 LONGFELLOW AVE  
CITY: MISSISSAUGA, ON

DRAWING TITLE:  
**NORTH ELEVATION**

DRAWN: J.Mc.

DATE: 11.15.11 SCALE: 1/4"=1'-0"

JOB NUMBER: SHEET NUMBER:

1810-11 **A4.4**



## APPENDIX E

HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.

---



EXISTING BACK OF HOUSE



FRONT FACE OF EXISTING HOUSE INTERIOR



**APPENDIX E**

**HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.**

---



INTERIOR SIDE OF GARAGE NORTH FACE



EXISTING FRONT OF HOUSE / GARAGE

## APPENDIX F EXISTING INTERIOR PHOTOS

HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.

---

EXISTING HOUSE INTERIOR



EXISTING HOUSE KITCHEN



EXISTING HOUSE GREAT ROOM ADDITION



## APPENDIX F EXISTING INTERIOR PHOTOS

HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.

---



EXISTING HOUSE BATHROOMS TYPICAL



EXISTING INTERIOR VIEW

**APPENDIX F EXISTING INTERIOR PHOTOS**

**HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.**

---



**EXISTING HOUSE B**



**EXISTING HOUSE MAIN STAIR TO BASEMENT**

## APPENDIX F EXISTING INTERIOR PHOTOS

HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.

---



EXISTING HOUSE BASEMENT FAMILY ROOM



EXISTING HOUSE CONSTRUCTION



## APPENDIX G

HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.

---



EXISTING HOUSE ON LONGFELLOW



EXISTING HOUSE ON SANGSTER



**APPENDIX G**

**HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.**

---



EXISTING HOUSE ON LONGFELLOW



NEW HOUSE TWO HOUSES SOUTH

## APPENDIX G

HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.

---



EXISTING NEW HOUSE PARTIALLY COMPLETED SOUTH OF PROPOSED



EXISTING HOUSE ON LONGFELLOW



## APPENDIX G

**HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.**

---



EXISTING HOUSE SANGSTER NEW 2004



EXISTING HOUSE DIRECTLY WEST ACROSS ROAD

**APPENDIX G**

**HERITAGE IMPACT STATEMENT / MORRA RESIDENCE  
925 LONGFELLOW AVENUE, MISSISSAUGA  
THE HICKS PARTNERSHIP INC.**

---



EXISTING HOUSE LONGFELLOW SOUTH OF PROPERTY



Welwyn Consulting

APPENDIX H

January 23, 2012

David and Virginia Mauro  
c/o 925 Longfellow Avenue  
Mississauga, Ontario  
L5H 2X9  
Cell: (647) 624-9878

**SUBJECT: Arborist Report and Tree Preservation Plan  
925 Longfellow Avenue, Mississauga**

Dear David and Virginia:

Attached please find the Arborist Report and Tree Preservation Plan that I have prepared for your property.

My report includes an evaluation of all trees on or within 6 metres of the subject site's property lines with a diameter at breast height (DBH) of 15cm or greater. This evaluation includes the DBH, height, canopy spread, health, and structural condition of all trees that may be affected by the currently proposed site plan. My report also provides a Tree Preservation Plan for the property, including the appropriate Tree Protection Zones (TPZ).

This information complies with the City of Mississauga's *Private Tree By-Law #454-05* as part of the requirements to obtain a Site Alteration Permit.

Included in the report are Valuation Appraisals of any City-owned trees as required by the City of Mississauga to obtain the necessary tree permits.

This letter is part of the Arborist Report and Tree Preservation Plan and may not be used separately. Please feel free to contact me to discuss this report further.

Best regards,

Tom Bradley B.Sc. (Agr)  
ASCA Registered Consulting Arborist #492  
ISA Certified Arborist #ON-1182A  
Welwyn Consulting  
[welwyntrees@gmail.com](mailto:welwyntrees@gmail.com)  
(905)301-2925



Welwyn Consulting

# **Arborist Report and Tree Preservation Plan**

**925 Longfellow Avenue, Mississauga**

**Prepared For**

David and Virginia Mauro  
c/o 925 Longfellow Avenue  
Mississauga, Ontario  
L5H 2X9  
Cell: (647) 624-9878

**Prepared By**

Tom Bradley  
ASCA Registered Consulting Arborist #492  
ISA Certified Arborist #ON-1182A  
Welwyn Consulting  
1222 Welwyn Drive  
Mississauga, Ontario  
L5J 3J3

**Prepared On**

January 23, 2012





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### Summary

This Arborist Report and Tree Preservation Plan addresses all of the trees with a diameter at breast height (D.B.H.) of 15cm or greater and within 6 metres of the subject site that may be affected by the proposed property development, and provides recommendations for their preservation and/or removal. This report also includes hoarding distances for the Tree Protection Zones (TPZ), and provides recommendations for current and future tree health care.

Based upon the Tree Inventory for this property, there are 45 trees that may be affected by the proposed site development plan:

- 24 trees on the subject site
- 2 neighbouring trees within 6 metres of the subject site property line
- 0 shared ownership trees
- 19 trees on lands managed by the Credit Valley Conservation Authority (CVCA)
- 0 City-owned trees (see note below)

**Table 1:** Tree Preservation and Removal

<u>TREES TO PRESERVE</u>	<u>TREE NUMBER</u>	<u>TOTAL</u>
i) Subject Site Trees	6, 12, 13, 14, 15, 35, 36, 37, 38, 39	10
ii) Neighbouring Trees	1, 41	2
iii) Conservation Land trees	16 - 34	19
	<b>#of Trees To Be Preserved:</b>	<b>31</b>
<u>TREES TO BE REMOVED</u>	<u>TREE NUMBER</u>	<u>TOTAL</u>
i) Subject Site Trees	2, 3, 4, 5, 7, 8, 9, 10, 11, 40, 42, 43, 44, 45	14
ii) Neighbouring Trees	0	0
iii) Conservation Land trees	0	0
	<b>#of Trees To Be Removed:</b>	<b>14</b>
	<b>Total trees on or adjacent to subject site:</b>	<b>45</b>

**Specific tree-related issues on this site:**

- 1.) 925 Longfellow Avenue is located within a private residential area called Lorne Park Estates. As explained to Welwyn Consulting by a City of Mississauga Tree Inspector, an agreement exists between the City of Mississauga and Lorne Park Estates which states that all trees other than those managed by the Credit Valley Conservation Authority (CVCA) are the responsibility of Lorne Park Estates. Therefore there are no City-owned or maintained trees on this property or within this private community.



Welwyn Consulting

## Introduction

This Arborist Report and Tree Preservation Plan provides the current condition of all trees with a D.B.H of 15cm or greater on or adjacent to the subject site that may be affected by the proposed site development plan, including any City and/or neighbouring trees within 6 metres of the subject site's property lines as indicated by the attached site plan in Appendix A. The intent of the Tree Preservation Plan is to retain as many trees on the site as is reasonable through the use of Tree Protection Zones (TPZ) and other generally recognized arboricultural practices, and to minimize the potential impact of construction injury to the trees.

## Assignment

I was contacted by David Mauro to provide an Arborist Report and Tree Preservation Plan, as required by the City of Mississauga's *Private Tree By-Law #454-05*, to minimize the impact that the proposed construction may have on the trees on or adjacent to this property. My report shall list specific trees to be preserved or removed, recommend any immediate maintenance required to create a safer environment for contractors and the property owner, and provide a long-term tree preservation and management plan for the site.

## Limits of Assignment

This report is limited to assessing and documenting the health and structural condition of the trees with a D.B.H of 15cm or greater on or 6 metres from the subject site during my site survey on August 12, 2011. My evaluation is based upon a visual inspection of the trees from the ground, and the analysis of photos and any samples taken during that inspection. Unless specifically stated in the report, neither aerial inspections nor root excavations were performed on any trees on site or within 6 metres of the subject site.

## Purpose and Use

The purpose of this report is to document the current health and structural condition of the trees with a D.B.H of 15cm or greater on and within 6 metres of the subject site property, and to provide an Arborist Report and Tree Preservation Plan that complies with the City of Mississauga's *Private Tree By-Law #454-05*. This report is intended for the exclusive use of David and Virginia Mauro, and upon submission will become their property to use at their discretion.



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### Observations

The proposed development is located in the private residential area of Lorne Park Estates near the intersection of Longfellow Avenue and Roper Avenue within the City of Mississauga. This site presently contains a residential dwelling that will be demolished and replaced with a new home. I visited the site on August 12, 2011 to conduct my tree inventory and take photographs of the trees on site, as well as any neighbouring or City-owned trees that may be affected by the proposed site plan.



Photo #1



Photo #2

**Figure #1:** These 2 photos show the front and back yard of the subject site at 925 Longfellow Avenue as they appeared during the tree inventory conducted on August 12, 2011.

### Appendices

**Appendix A** contains the most current site plan supplied by Hicks Partners Inc., and provides the following information:

- The location of the trees on or adjacent to the subject site
- Property lines for the subject site and neighbouring properties
- Property lines for City-owned lands adjacent to the subject site
- All existing buildings and hard surfaces
- An outline of the proposed building

**Appendix B** contains the Tree Inventory for this site. All trees were assigned numbers, and measured for diameter at breast height (DBH=1.4m), height, and canopy spread. The trees' health and structural condition were evaluated, which provides the basis for their recommended preservation or removal.

**Appendix C** contains selected photos of trees on this site.





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### Trees to Preserve (31)

Prior to any work commencing, an on site meeting should take place with the following people to discuss the Tree Preservation Plan:

- A Certified Consulting Arborist
- A representative from the City of Mississauga's Urban Forestry Department
- The property owner (s)
- Any Architects, Landscape Architects, Engineers, contractor and/or sub contractors involved with the project

▪ **Tree #1** **Hemlock (neighbouring tree)**

This large-caliper tree is located in the front yard of the neighbour's property east of the subject site. The tree's roots and canopy could be injured by the movement of materials and equipment through the proposed construction access area for 925 Longfellow Avenue to the west of the tree.

This neighbouring tree must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 10 of this report should result in the tree's continued survival.

▪ **Tree #6** **Norway Maple (subject site)**

This tree is located in the front yard of 925 Longfellow Avenue, and its roots and canopy will more than likely be injured during excavation and installation of the proposed driveway adjacent to the east side of the tree's base.

*A Certified Consulting Arborist should be on-site during the proposed driveway foundation excavation to determine the size and quantity of Tree #6's roots that could be affected. Any roots in the immediate area of the excavation could be assessed and properly pruned by the attending Arborist. This action should reduce the potential for root injury caused by the excavating equipment, and provide any pruned roots with the best opportunity to regenerate.*

This tree should be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 10 of this report should result in the tree's continued survival.



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- **Trees #12-15**                      **Subject site trees (Front yard)**  
These trees are located to the west of the existing gravel driveway at 925 Longfellow Avenue. The driveway is scheduled to be removed and replaced with topsoil and sod.

These trees should be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 10 of this report should result in the trees' continued survival.

- **Trees #16-34**                      **Trees on Conservation Authority Lands**  
These trees are located along the northwest property line at 925 Longfellow Avenue on lands managed by the Credit Valley Conservation Authority. This area will remain undisturbed including vegetation and drainage patterns, and the grades will remain unchanged along the property limit.

There will be no construction access permitted through this area.

These trees on Conservation Authority lands must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 10 of this report should result in the trees' continued survival.

- **Trees #35-39 and 41**              **Subject site and neighbour's trees (Back yard)**  
These trees are located in the back yard of 925 Longfellow Avenue and the neighbour's property to the east. The roots of Trees #36-39 could be injured during installation of the proposed septic filter field.

These trees should be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 10 of this report should result in the trees' continued survival.

**NOTE:**

Tree # 39 (White Pine – DBH = 64cm) should be considered for installation of a Dynamic cabling system to support its co-dominant stems.



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### Trees to Remove (14)

Prior to construction, all trees scheduled for removal should be removed to grade level to increase the safety for both the property owner and any contractors.

■ **Trees #2, 3, 40, and 42**

Trees #2 and 3 have large cavities at their bases, and pose an immediate safety risk. Tree #40 is dead, and Tree #42 has 10% live canopy remaining. These trees are potential safety hazards and should be removed as soon as possible.

■ **Trees #4, 5, 7, 8, 9, 10, 43, 44, and 45**

These trees are in conflict with the proposed site plan, and should be safely removed to grade level prior to the commencement of on-site construction activities.

■ **Tree #11                      Silver Fir (subject site tree)**

The homeowner has requested that this tree be removed.



## Tree Care Recommendations

### **Cabling**

Cabling is a practice which provides physical support for trees with structurally weak limbs, co-dominant stems, any branch or trunk unions with included bark, and tree species generally known to be weak-wooded. An aerial inspection of the tree's structural condition should be performed prior to cable installation, and any dead, diseased, or hazardous wood should be removed. Cabled trees should be inspected annually to assess both the cabling hardware and the tree's structural condition. Cabling reduces but does not eliminate a tree's hazard or failure potential.

#### **Tree # 39: White Pine (subject site)**

- This tree should have an approved Dynamic Cabling System installed to help support the co-dominant stems.

### **Fertilization**

Current research conducted through the International Society of Arboriculture (I.S.A.) indicates that preserved trees within close proximity of proposed construction activities should not be fertilized during the 1<sup>st</sup> year following construction injury. Uptake of nutrients and water in compacted soils can be reduced, and fertilizer salts may actually remove water from a tree's root zone. If and when supplemental fertilization is deemed necessary, products which stimulate root growth should be employed over those that stimulate shoot and foliage growth and be applied at low application rates.

*Supplemental fertilization needs should be assessed by a Certified Consulting Arborist upon completion of all on-site construction activities, and any recommendations should be based on site-specific soil nutrient deficiencies determined primarily through soil testing and secondarily by visual analysis of nutrient deficiencies in foliage, twigs, buds, and roots.*

### **Pruning**

Pruning is a practice which removes dead, diseased, broken, rubbing, crossing, and hazardous limbs 2.5 cm and larger from trees to create a safer working environment and improve tree health and vigor. Pruning also provides an excellent opportunity for an aerial inspection of the structural integrity of the tree(s). All pruning should be completed prior to any site demolition or construction.

#### **Trees #20, 22, 23, 24, 25, 27, and 29-34: Conservation Authority trees**

- Contact Conservation Authority to have large-caliper hazardous deadwood removed

#### **Trees #1, 12, 13, 37, 38, and 39 – subject site trees**

- Remove large-caliper hazardous deadwood



### Root Pruning

Root pruning is performed to minimize a tree's potential loss of structural stability through root removal and/or injury due to excavation within close proximity of its root zone. While not always feasible for all projects, root pruning should occur in late autumn during tree dormancy and ideally one full growing season prior to any on-site construction or demolition to allow for root regeneration. Root pruning should be performed by a Certified Arborist in accordance with generally recognized standards and principles within the field of Arboriculture.

*Hydro-Vac or Air-Spade technologies provide two of the least invasive methods for root zone excavation, and should be performed under the supervision of a Certified Arborist.*

- **Tree #6: Norway Maple (subject site)**

A Certified Consulting Arborist should be on-site during the proposed driveway foundation excavation to determine the size and quantity of this tree's roots that could be affected. Any roots in the immediate area of the excavation could be assessed and properly pruned by the attending Arborist.

### Irrigation

An irrigation plan for preserved trees should be designed and implemented with the assistance of a Certified Consulting Arborist. The amount and frequency of irrigation will depend on factors such as soil type, local and seasonal precipitation patterns, duration of droughts, and the amount of construction activity near specific trees.

The top 30 cm of soil in a tree's root zone should be kept moist without being saturated. Infrequent deep watering produces trees with deeper roots, while frequent shallow watering produces shallow-rooted trees.

*When combined with soil aeration improvement techniques such as vertical mulching, drill holes, and radial trenching, an adequate but not excessive supply of moisture to a tree's root zone can be an effective and efficient way to help alleviate construction injury.*

Preserved trees should be monitored at regular intervals by a Certified Consulting Arborist for signs of drought stress or excess irrigation.

- An irrigation plan has not been established at this time.



### Mulching

It may be determined by the Certified Consulting Arborist that trees within close proximity of construction activities will require a layer of composted wood chip mulch applied to the root zones inside the TPZ hoarding. Decomposed wood mulch 5–10 cm (2-4 inches) deep applied to a tree's root zone should help to retain soil moisture, regulate soil temperature, and provide a natural organic source of nutrients in their elemental form over time. Piling of mulch against the tree stem should be avoided. Fresh wood chip mulch should be applied to a depth of 20 – 30 cm over steel plates or plywood on vehicle and equipment traffic areas within close proximity to the TPZ to distribute weight on the soil and help reduce potential root zone soil compaction.

- There are no specific mulching requirements at this time.

### Root Zone Aeration Improvements

Aeration improvement techniques such as drill holes, vertical mulching, soil fracturing, and radial trenching have the ability to reduce various degrees of soil compaction by increasing the amount of soil macro and micropores. Any form of root zone aeration improvement should be performed post-construction and under the supervision of a Certified Consulting Arborist to help remediate soil compaction caused by construction activity near preserved trees.

- There are no root zone aeration improvements required at this time.

### Transplanting

Transplanting of larger caliper trees, through either hand digging or tree spade, allows for relocation and retention of desirable trees that might have otherwise been removed due to conflict with the proposed property construction design. Trees should be tree-spaded out by a reputable operator, and are best transplanted during dormancy in late autumn. No construction activity should take place near re-located trees either before or after transplantation.

Any transplanted trees should be fertilized using a complete fertilizer with a preferred nitrogen/phosphorus/potassium ratio of 1-2-2, with the Nitrogen component in slow release form. A 10 cm layer of composted wood mulch should be applied to the root zone, and the tree should receive regular irrigation for a period of at least one year. The tree may also require staking for a period of 1 year to provide stability while it re-establishes its root system.

- There are no trees scheduled for transplanting at this time.





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### Tree Preservation Plan

The following Tree Preservation Plan should be implemented prior to any on-site construction activity.

#### **Hoarding**

Hoarding is used to define the **Tree Protection Zone (TPZ)**, which protects a tree's root zone, trunk, and branches from injury during both construction and landscaping phases of the project. Hoarding should be installed prior to any construction activity, and remain intact until construction and landscaping is completed. No TPZ should be used for the temporary storage of building materials, storage or washing of equipment, or the dumping of construction debris, excess fill, or topsoil.

*As required by the City of Mississauga, hoarding should be constructed of 4x8 plywood sheets using 2x4 top and bottom rail construction supported by 4x4 wooden posts. A TPZ may be constructed of orange safety fencing using 2x4 top and bottom rail construction and supported by t-bar supports when protecting street trees where site line obstruction is a concern. TPZ signage should be posted in visible locations on the TPZ hoarding. T-bar supports for solid hoarding will only be allowed through pre-approval from the City of Mississauga's Development and Design Department.*

The architect of record for the project should update the most current site plan/grading plan to include all existing trees properly plotted and numbered, with TPZ hoarding locations clearly indicated.

#### **Hoarding Installation**

A diagram of the proposed hoarding plan for this site can be found in Appendix A on Page 18 of this report. The recommended radial distances from the trunk for installation of TPZ hoarding are listed in Appendix B starting on Page 19 of this report, and the hoarding should be installed using the following guidelines:

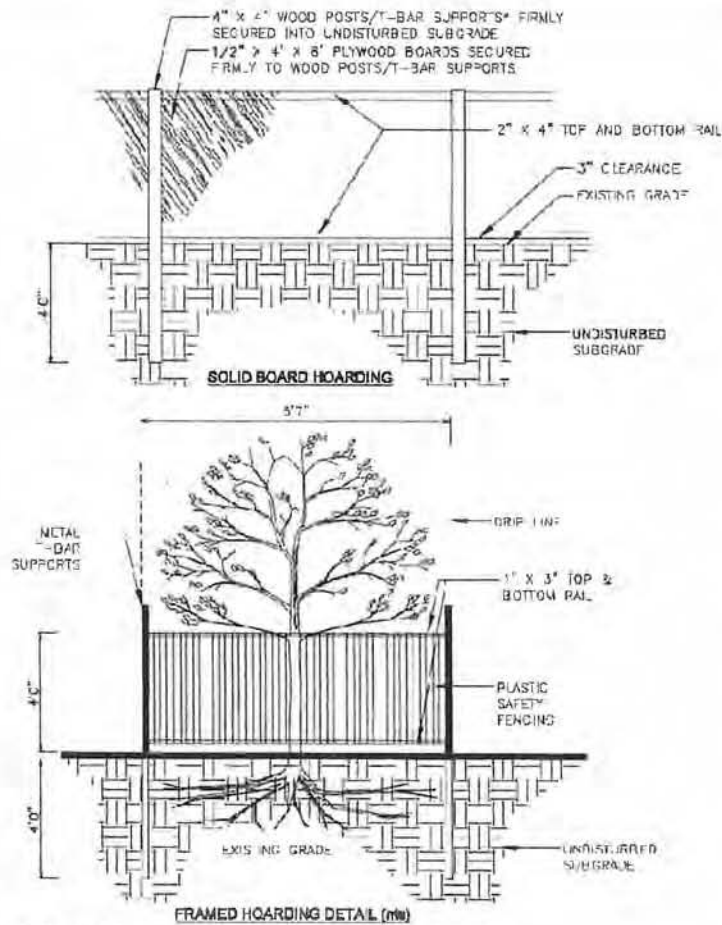
- 1) All TPZ hoarding should be placed at the recommended radial distance from the base of all trees to be protected, or up to all existing and/or proposed hard surfaces to allow for construction.
- 2) Any large numbers of trees that can be grouped together in a closed box or continuous line system for protection should have their TPZ hoarding placed at the recommended radial distance from the base of all of the largest peripheral trees of the system, or up to all existing and/or proposed hard surfaces to allow for construction.
- 3) Encroachment within a tree's TPZ may require a special permit from the City of Mississauga and/or on-site supervision by a Certified Consulting Arborist during any proposed excavation activities for root pruning and assessment.



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## City of Mississauga TPZ Hoarding Example

The diagram below provides the City of Mississauga's standards for Tree Protection Zone (T.P.Z) hoarding.



### NOTES:

1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
2. HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION, UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM DEVELOPMENT AND DESIGN.
4. DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.
- \* T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH PRE-APPROVAL FROM DEVELOPMENT AND DESIGN.

**MISSISSAUGA**  
Development and Design

SCALE: N.T.S.  
DATE: JAN, 2008

DEVELOPMENT & DESIGN CONSTRUCTION HOARDING





## Tree Preservation Plan Summary

### I.) Pre-Construction Phase

- If necessary, have the Certified Consulting Arborist schedule an on-site meeting with a representative from the City of Mississauga's Urban Forestry Department, the property owner(s), and any Architects, Engineers, and contractors involved with the project to discuss the Tree Preservation Plan.
- Complete all Tree Care Recommendations, including pruning and any required tree removals.
- Install Tree Protection Zone (TPZ) hoarding as required.
- Where required, apply composted wood mulch to tree root zones within the TPZ hoarding, and apply fresh wood mulch over steel plates and/or plywood to any high-traffic areas immediately adjacent to the TPZ hoarding to help reduce soil compaction.
- If feasible, root-prune any preserved trees adjacent to excavation areas prior to construction under the supervision of a Certified Consulting Arborist.
- Establish an irrigation plan with the assistance of a Certified Consulting Arborist.

### II.) Construction Phase

- Maintain and respect TPZ hoarding throughout the construction phase. Do not store or dump materials in this area.
- Continue irrigation plan as directed by a Certified Consulting Arborist.
- Prune any roots exposed during excavation under the supervision of a Certified Consulting Arborist.
- On-going monitoring by a Certified Consulting Arborist to evaluate construction injury/stress and make recommendations.

### III.) Post-Construction Phase

- Remove hoarding only after permission from the City of Mississauga.
- Continue irrigation program as directed by a Certified Consulting Arborist.
- Supplemental fertilizer needs assessment by a Certified Consulting Arborist.
- Post-construction monitoring of all trees by a Certified Consulting Arborist.

#### NOTE:

#### Post-Construction Monitoring

Construction injury may take several years to become apparent. All preserved trees should be inspected by a Certified Consulting Arborist on a semi-annual basis for a period of up to 2 years to pro-actively address any tree health related issues as they occur.



## ASSUMPTIONS AND LIMITING CONDITIONS

Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, by-laws, or other governmental regulations.

Care has been taken to obtain all information from reliable sources, and all data has been verified insofar as possible. The consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

Loss or alteration of any part of this report invalidates the entire report.

Possession of this report or a copy thereof does not imply right of publication or use for any purpose by anyone other than the person to whom it is addressed without the prior expressed written or verbal consent of the consultant/appraiser.

Neither all nor any part of the contents of this report, nor any copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media without the prior expressed written or verbal consent of the consultant/appraiser particularly as to value conclusions, identity of the consultant/appraiser, or any reference to any professional society, institute, or any initialed designation conferred upon the consultant/appraiser as stated in his/her qualification.

This report and the values expressed herein represent the opinion of the consultant/appraiser, and the consultant/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as either engineering or architectural reports or surveys.

Unless expressed otherwise: 1) Information contained in this report covers only those items that were examined and reflections the condition of those items at the time of inspection, and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.



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### CERTIFICATE OF PERFORMANCE

I, Tom Bradley, certify that:

- I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of any evaluation or appraisal is stated in the attached report and the Limits of Assignment.
- I have no current or prospective interest in the vegetation of the property that is the subject of this report, and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts.
- My compensation is not contingent upon the reporting of a pre-determined conclusion that favours the cause of the client or any other party, or upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.
- My analysis, opinions and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices.
- No one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a Registered Consulting Arborist through the American Society of Consulting Arborists (A.S.C.A), and a Certified Arborist with the International Society of Arboriculture (I.S.A). I have been involved in the fields of Arboriculture and Horticulture in a full-time capacity for a period of more than 20 years.

Signed: 

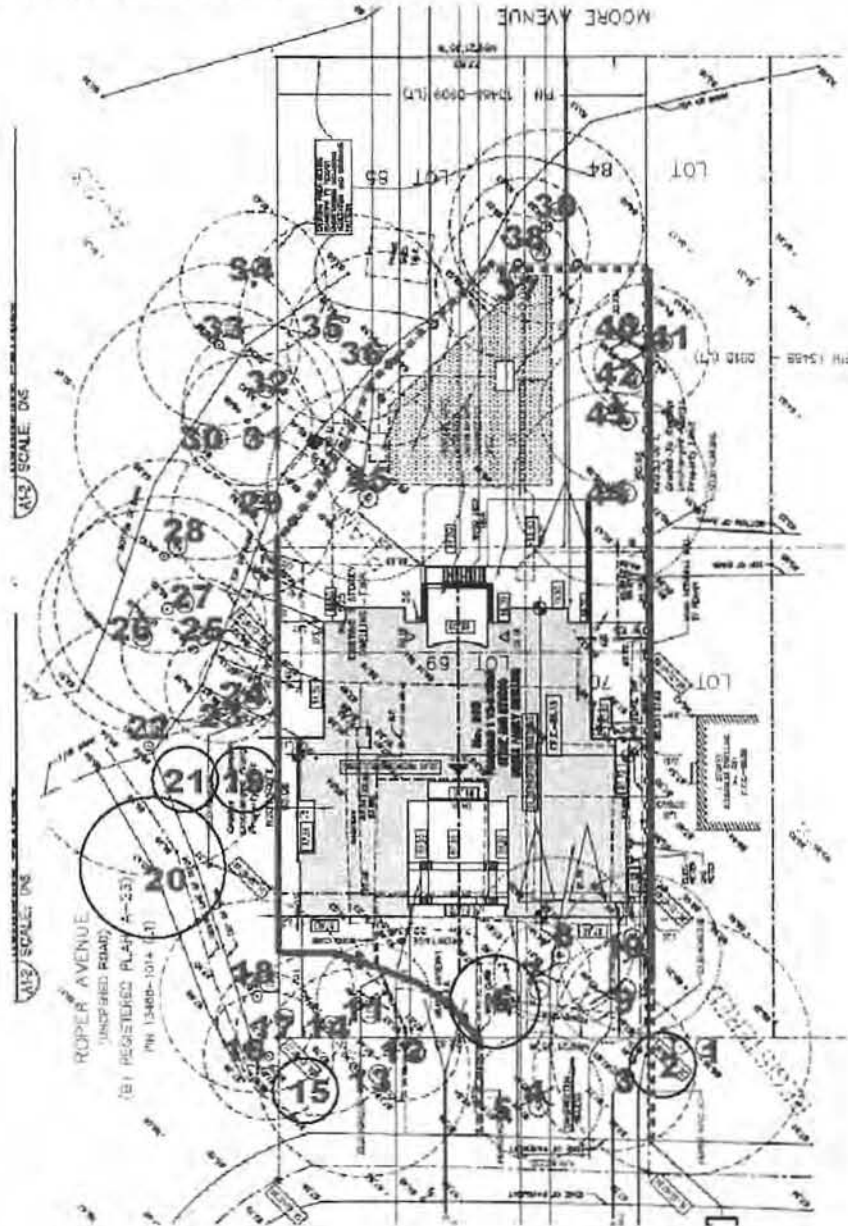
Date: January 23, 2012



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## Appendix A: Proposed Site Plan

Note: The locations of Trees #2, 6, 15, 19, 20 and 21 are approximations. The proposed Tree Protection Zone (TPZ) hoarding is drawn as red lines, and is not to scale on this drawing.



### Legend:

Solid Hoarding —————

Framed Hoarding - - - - -



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## Appendix B: Tree Survey

ID #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
1	Neighbour	Hemlock	<i>Tsuga canadensis</i>	88.5	23	16	Good	Good	Large-caliper deadwood in canopy, lower canopy branches removed 8m from tree base	Preserve TPZ = 6.4m
2	Subject Site	Red Maple	<i>Acer rubrum</i>	30	20	8	Poor	Poor	Approximately 90% dead tree with hollow cavity and reverse tree taper at base	<b>Remove:</b> <b>Potential safety hazard</b>
3	Subject Site	Red Maple	<i>Acer rubrum</i>	45	20	10	Good	Poor	Large-caliper deadwood in canopy, 10cm wide x 20cm tall x 24cm deep cavity at tree base, branch canopy reduced on east side due to shading	<b>Remove:</b> <b>Potential safety hazard</b>
4	Subject Site	Red Maple	<i>Acer rubrum</i>	24	12	8	Good	Good	Large-caliper deadwood in canopy, co-dominant stems with included bark union at 6m from tree base, branch canopy shaded on north side due to competing tree species	<u>Remove:</u> <u>Proposed site plan in conflict with the tree</u>
5	Subject Site	White Spruce	<i>Picea glauca</i>	14	10	4	Good	Good	Small-caliper deadwood in canopy, branch canopy shaded on north side due to competing tree species, strand of Christmas lights on lower stem	<u>Remove:</u> <u>Proposed site plan in conflict with the tree</u>
6	Subject Site	Norway Maple	<i>Acer platanoides</i>	25.5	14	9	Fair	Fair	Large-caliper deadwood in canopy, co-dominant stems with included bark union at 4m, reduced canopy branching east side due to shading, existing fence and driveway within close proximity to tree base on east and west sides	Preserve TPZ = 2.4m
7	Subject Site	White Spruce	<i>Picea glauca</i>	20	16	6	Fair	Good	Small-caliper deadwood in canopy, lower branches clearance pruned 4m from tree base, thin foliage in lower north canopy due to shading, vine growing at tree base	<u>Remove:</u> <u>Proposed site plan in conflict with the tree</u>
8	Subject Site	Blue Spruce	<i>Picea pungens</i> "Glaucæ"	34	18	10	Good	Good	Large-caliper deadwood in canopy, lower scaffold branches removed 4.5m from tree base, shaded on south side of canopy	<u>Remove:</u> <u>Proposed site plan in conflict with the tree</u>



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ID #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
9	Subject Site	Paper Birch	<i>Betula papyrifera</i>	18.5	16	4	Good	Poor	Small-caliper deadwood in canopy, stem leans approx. 30 degrees north towards existing swimming pool, branch canopy begins 8m from tree base, north side of canopy shaded by competing tree species	Remove. Proposed site plan in conflict with the tree
10	Subject Site	Norway Spruce	<i>Picea abies</i>	42	20	10	Good	Good	Small-caliper deadwood in canopy, lower canopy clearance pruned on east side 3m from wooden privacy fence	Remove. Proposed site plan in conflict with the tree
11	Subject Site	Silver Fir	<i>Abies concolor</i>	36	21	7	Good	Good	Small-caliper deadwood in canopy, lower canopy shaded west and east sides by competing tree species, lower branches clearance-pruned 5m from tree base for driveway, base of tree on east side within 1m of existing driveway	Remove at request of homeowner
12	Subject Site	Silver Fir	<i>Abies concolor</i>	33	21	7	Good	Fair	Large-caliper deadwood in lower interior canopy, lower branches clearance-pruned 4m over driveway on east side, lower canopy on north side shaded, stem leans approx. 10 degrees east, large exposed tension root on east side at tree base	Preserve TPZ = 2.4m
13	Subject Site	Hemlock	<i>Tsuga canadensis</i>	31	16	13	Good	Good	Large-caliper deadwood in canopy, branch canopy shaded on north and west sides	Preserve TPZ = 2.4m
14	Subject Site	Hemlock	<i>Tsuga canadensis</i>	14, 12.5, 20.5, 7 (22)	12	10	Good	Fair	Small-caliper deadwood and hazardous hanging branches in canopy, co-dominant stems with included bark union at tree base, 1 stem dead on west side of tree	Preserve TPZ = 2.4m
15	Subject Site	Hemlock	<i>Tsuga canadensis</i>	11, 10, 16 (24)	9	6	Good	Fair	Co-dominant stems with included bark union at tree base, 1 stem on west side of tree dead	Preserve TPZ = 2.4m
16	Conservation Authority	Red Oak	<i>Quercus rubra</i>	53.5	23	8	Good	Good	Small-caliper deadwood in canopy, branch canopy begins at 12m, reduced canopy branching on east side due to shading	Preserve TPZ = 3.6m





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ID #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
17	Conservation Authority	Hemlock	<i>Tsuga canadensis</i>	16	8	6	Good	Good	Small-caliper deadwood in canopy, branch canopy shaded on west side	Preserve TPZ = 2.4m
18	Conservation Authority	Red Maple	<i>Acer rubrum</i>	63	23	12	Good	Good	Small-caliper deadwood in canopy, reduced canopy branching on west side due to shading, canopy branching begins at 12m	Preserve TPZ = 4.2m
19	Conservation Authority	White Spruce	<i>Picea glauca</i>	19	9	5	Good	Good	Small-caliper deadwood in canopy, lower branches clearance pruned 3m, branch canopy shaded on north and west sides	Preserve TPZ = 2.4m
20	Conservation Authority	Red Oak	<i>Quercus rubra</i>	59 69.5 (102)	24	18	Good	Poor	Large-caliper deadwood in canopy, co-dominant stems with included bark union at tree base	Preserve TPZ = 6.0m
21	Conservation Authority	Paper Birch	<i>Betula papyrifera</i>	17, 21 (30)	16	6	Good	Fair	Co-dominant stems with included bark union at base, canopy branching begins at 10m, tree growing on western edge of drainage ditch	Preserve TPZ = 2.4m
22	Conservation Authority	Hemlock	<i>Tsuga canadensis</i>	56	22	16	Good	Poor	Large-caliper deadwood and branch stubs in canopy, co-dominant stems with narrow included bark union at 6m, failed branch on east side	Preserve TPZ = 3.6m
23	Conservation Authority	Red Maple	<i>Acer rubrum</i>	24	16	7	Good	Fair	Large-caliper deadwood in canopy, surface roots and portion of root plate visible on west side of tree	Preserve TPZ = 2.4m
24	Conservation Authority	Silver Fir	<i>Abies concolor</i>	25	16	5	Good	Fair	Large-caliper deadwood in canopy, reduced canopy branching on west side due to shading, main stem leans east approx. 10-15 degrees	Preserve TPZ = 2.4m
25	Conservation Authority	Red Pine	<i>Pinus resinosa</i>	52	20	9	Good	Good	Large-caliper deadwood in canopy, branch canopy begins at 14m, utility wire located on east side of tree canopy at 6m	Preserve TPZ = 3.6m
26	Conservation Authority	Red Maple	<i>Acer rubrum</i>	52	19	14	Good	Good	Small-caliper deadwood in canopy, canopy bends west at 10m	Preserve TPZ = 3.6m





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ID #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
27	Conservation Authority	Red Oak	<i>Quercus rubra</i>	72	21	14	Good	Good	Large-caliper deadwood in canopy, reduced canopy branching on west side due to shade, upper branch canopy on east side extends over existing home on subject site	Preserve TPZ = 4.2m
28	Conservation Authority	Red Maple	<i>Acer rubrum</i>	53	21	12	Good	Fair	Small-caliper deadwood in canopy, branch canopy begins at 10m, upper stem bends north at 10m	Preserve TPZ = 3.6m
29	Conservation Authority	Norway Spruce	<i>Picea abies</i>	36	20	10	Good	Good	Large-caliper deadwood in lower interior branch canopy, exposed roots on west hillside	Preserve TPZ = 2.4m
30	Conservation Authority	Hemlock	<i>Tsuga canadensis</i>	81	23	16	Good	Good	Large-caliper deadwood and hazardous hanging branches in upper canopy, hollow cavity on north side between roots 9cm wide x 5cm deep	Preserve TPZ = 5.4m
31	Conservation Authority	Paper Birch	<i>Betula papyrifera</i>	29	18	8	Good	Fair	Large-caliper deadwood in lower branch canopy, shaded by surrounding tree canopies; stem leans east at 10m	Preserve TPZ = 2.4m
32	Conservation Authority	Hemlock	<i>Tsuga canadensis</i>	33	18	12	Good	Good	Large-caliper deadwood in lower branch canopy	Preserve TPZ = 2.4m
33	Conservation Authority	White Pine	<i>Pinus strobus</i>	53	23	10	Good	Fair	Large-caliper deadwood and branch stubs in canopy, stem bends at 12m for 2m and then corrects itself	Preserve TPZ = 3.6m
34	Conservation Authority	Hemlock	<i>Tsuga canadensis</i>	33.5	16	8	Good	Good	Large-caliper deadwood in lower branch canopy, stem leans north and then corrects at 4m	Preserve TPZ = 2.4m
35	Subject Site	Black Walnut	<i>Juglans nigra</i>	46	22	13	Good	Good	Small-caliper deadwood in canopy, branch canopy begins at 10m	Preserve TPZ = 3.0m
36	Subject Site	Paper Birch	<i>Betula papyrifera</i>	42	16	12	Good	Good	Small-caliper deadwood in canopy	Preserve TPZ = 3.0m
37	Subject Site	Hemlock	<i>Tsuga canadensis</i>	57	19	9	Good	Good	Large-caliper deadwood in canopy, girdling root on northwest side of tree, stem leans slightly east at 6m	Preserve TPZ = 3.6m
38	Subject Site	White Pine	<i>Pinus strobus</i>	46	21	8	Good	Fair	Large-caliper deadwood in canopy, branch canopy begins at 15m, holes in bark from woodpecker injury on north, west, and south sides of stem at 4 and 10m	Preserve TPZ = 3.0m



# Welwyn Consulting

ID #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
39	Subject Site	White Pine	<i>Pinus strobus</i>	65	24	12	Good	Fair	Small-caliper deadwood in canopy, co-dominant stems with included bark union at 15m	Preserve TPZ = 4.2m  <u>Consider installing Dynamic cabling system to support co-dominant stems</u>
40	Subject Site	White Spruce	<i>Picea glauca</i>	36	12	-	--	--	Dead tree	<b>Remove: Potential safety hazard</b>
41	Neighbour	White Spruce	<i>Picea glauca</i>	41	16	3	Good	Fair	Large-caliper deadwood in lower branch canopy, stem leans 10-15 degrees east	Preserve TPZ = 3.0m
42	Subject Site	White Spruce	<i>Picea glauca</i>	27	13	4	Poor	Poor	Approx 10% live canopy at 11m, broken central leader	<b>Remove: Potential safety hazard</b>
43	Subject Site	Silver Fir	<i>Abies concolor</i>	44	19	9	Good	Good	Large-caliper deadwood in lower interior branch canopy, live canopy begins at 10m, stem leans approx 5-10 degrees south	<u>Remove: Proposed site plan in conflict with the tree</u>
44	Subject Site	White Spruce	<i>Picea glauca</i>	46	16	12	Good	Good	Small-caliper deadwood in canopy, lower canopy branches on south side of tree extend and touch existing house	<u>Remove: Proposed site plan in conflict with the tree</u>
45	Subject Site	American Beech	<i>Fagus grandifolia</i>	42	14	12	Good	Good	Small-caliper deadwood in canopy, reduced canopy branching on north side, lower south side branch canopy extends and touches existing house	<u>Remove: Proposed site plan in conflict with the tree</u>



## Appendix C: Site Photos

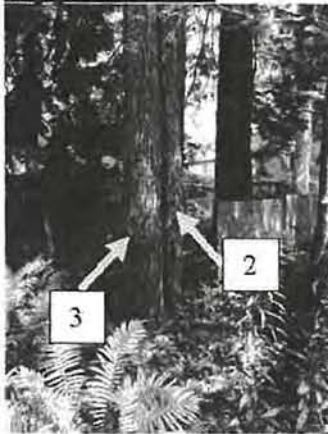


Photo #3



Photo #4



Photo #5



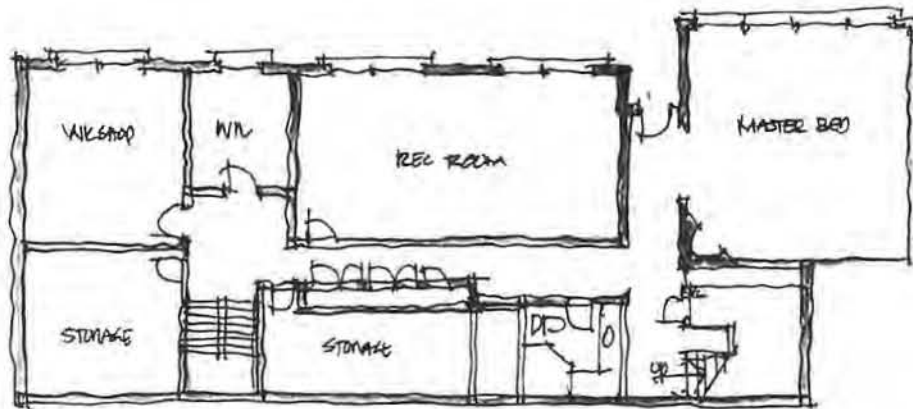
Photo #6

**Figure #2:** Trees #2 and 3 (Boulevard in front of 925 Longfellow Avenue)

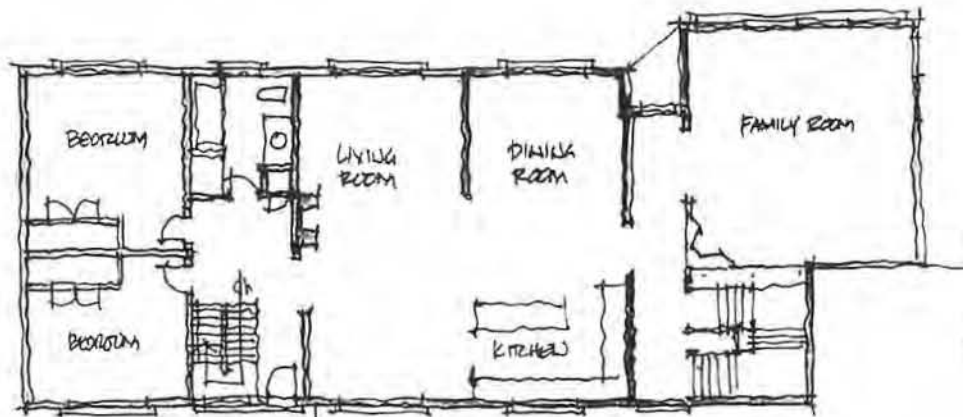
The above photos provide the following information:

- Photo #3 shows Trees #2 and 3 in general
- Photo #4 shows the cavity on the west side of Tree #2's base
- Photo #5 shows the cavity 1.5m up Tree #2's stem on the west side
- Photo #6 shows the cavity on the west side of Tree #3's base

These trees are potential safety hazards, and should be removed as soon as possible.



LOWER LEVEL WALKOUT EASTING



MAIN FLOOR EXISTING

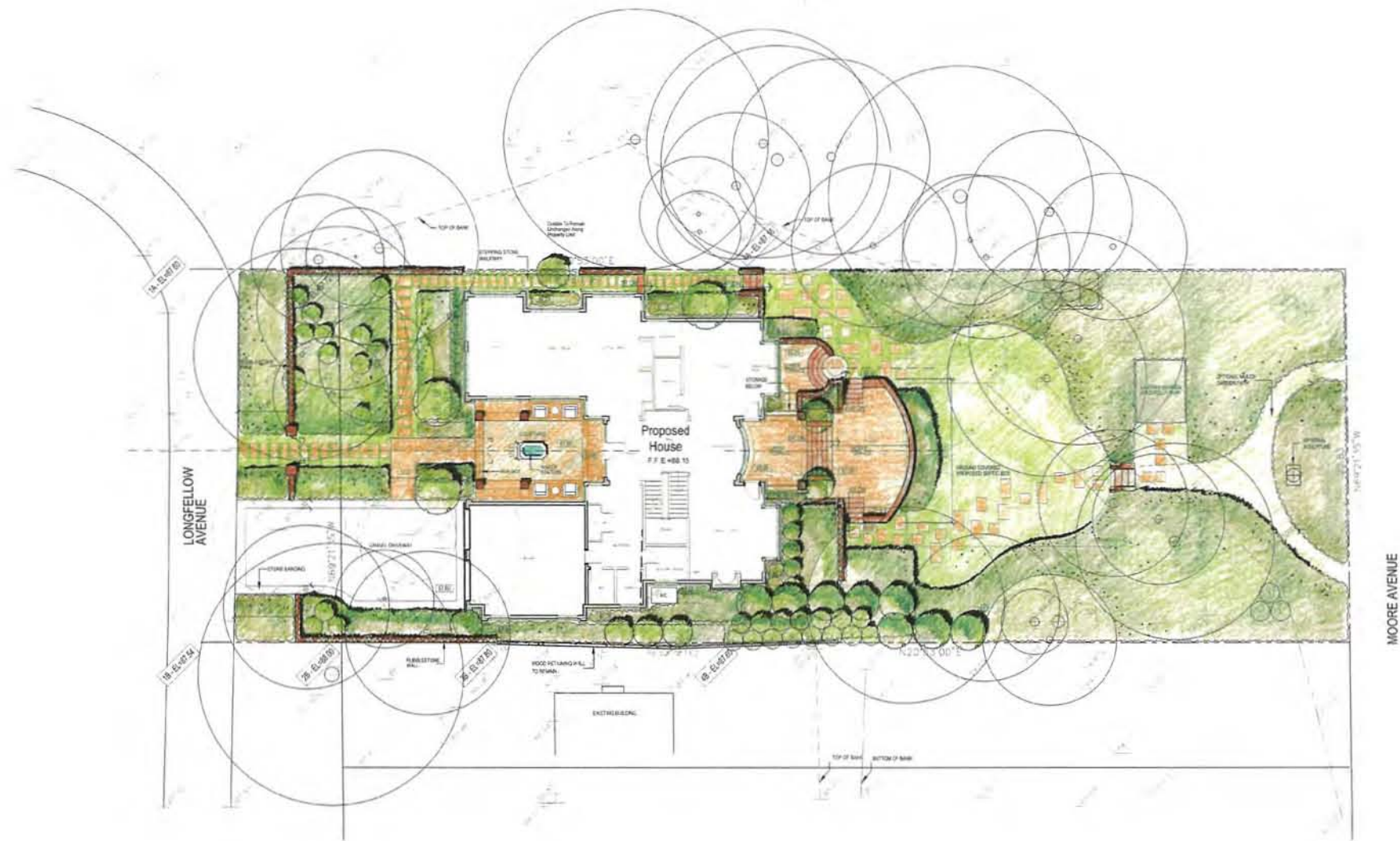
1529 A

COURTYARD

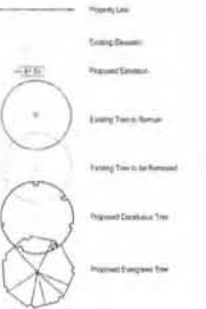
POOL

GARAGE





# LEGEND



NO. DATE PRINT & REVISION RECORD



LANDSCAPE CONSULTANT  
**MDP**  
 LANDSCAPE CONSULTANTS LIMITED  
 1040 KING STREET, SUITE 101  
 MISSISSAUGA, ONTARIO L4X 1A7  
 TEL: (905) 811-4847 FAX: (905) 811-4848

PROJECT  
**MAURO-MORRA  
 LORNE PARK ESTATE**  
 925 LONGFELLOW AVE. MISSISSAUGA, ON

DRAWING TITLE  
**LANDSCAPE  
 CONCEPT PLAN**

DESIGNED BY C.W.	CHECKED BY M.P.
SCALE 1:125	DATE FEB 11, 2011
PROJECT NUMBER	DRAWING NO. <b>L-1</b>
ISSUED FOR CLIENT PRESENTATION	

63'-0" [19.20m] OVERALL DWELLING DEPTH

STEPPING STONE WALKWAY

1R DN

4R DN

STUDY  
11'-0"x20'-0"

DINING ROOM  
12'-6"x17'-0"

SITTING AREA  
11'-0"x24'-0"

SERVERY

PANTRY

KITCHEN  
15'-0"x19'-0"

BREAKFAST AREA

LOWER TERRACE

6R DN

COURTYARD

COURTYARD  
20'-0"x24'-0"

IRON GATE

WATER FEATURE

FOYER

HALL

CONSERVATORY

6R DN

COVERED TERRACE

MIDDLE TERRACE

LANDSCAPED TERRACE BY OTHERS

6R DN

STAIRS

GREAT ROOM  
15'-0"(18'-0")x19'-0"

GRAVEL DRIVEWAY

2-CAR GARAGE  
117  
24'-0"x20'-0"

MUDROOM

LAUNDRY ROOM

WIC

POWDER

A/C

GROSS FLOOR AREA

GROUND FLOOR 2,465.00 SQ.FT.

GARAGE 551.00 SQ.FT.

COVERAGE:

COVERED AREAS AND TERRACES 374.00 SQ.FT.

TOTAL COVERAGE 3,390.00 SQ.FT.



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

4	4.09.12	ISSUED FOR REVIEW
3	4.03.12	REVISED FOR S.P.A.
3	4.03.12	ISSUED FOR GRADING CERT.
2	1.16.12	ISSUED FOR S.P.A.
1	11.15.11	ISSUED FOR REVIEW

REF. DATE: DESCRIPTION:  
REVISIONS / ISSUANCE

**hicks partners**  
DISTINCTIVE ARCHITECTURE

THE HICKS PARTNERSHIP INC.  
SHEARWATER ROAD, SUITE 400, MISSISSAUGA, ON L4V 1L1  
(905) 276-1111 FAX (905) 276-1112

CLIENT:  
**MAURO-MORRA  
RESIDENCE**

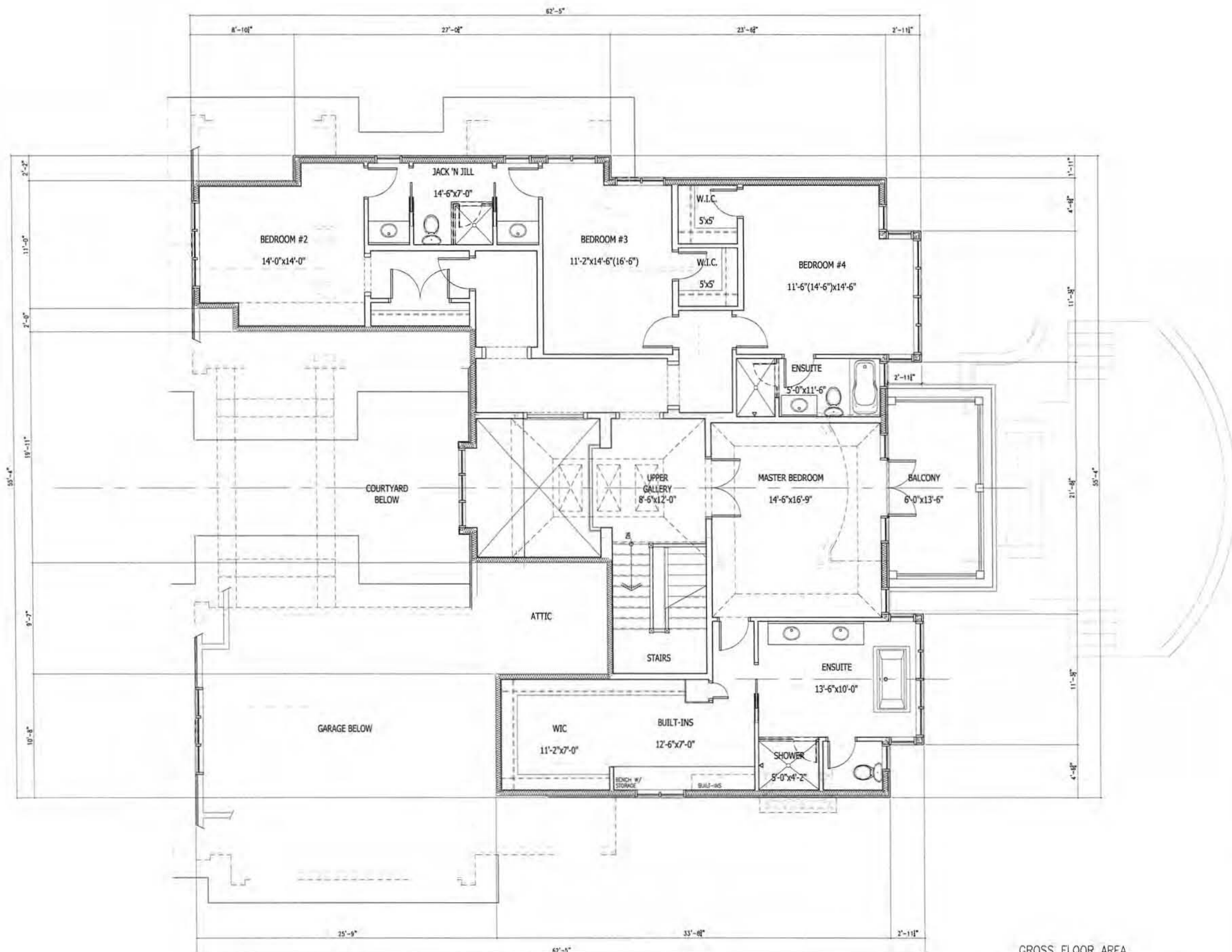
ADDRESS: 925 LONGFELLOW AVE.  
CITY: MISSISSAUGA, ON

DRAWING TITLE:  
**GROUND FLOOR PLAN**

DRAWN: J.Mc.  
DATE: 11.15.11 SCALE: 1/4"=1'-0"

JOB NUMBER: SHEET NUMBER:

1810-11 **A3.2**



GROSS FLOOR AREA	
SECOND FLOOR	1,965.00 SQ.FT.
TOTAL GFA	4,981.00 SQ.FT.



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

4	4.09.12	ISSUED FOR REVIEW
3	4.03.12	REVISED FOR S.P.A.
3	4.03.12	ISSUED FOR GRADING CERT.
2	1.16.12	ISSUED FOR S.P.A.
1	11.15.11	ISSUED FOR REVIEW
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



CLIENT:  
**MAURO-MORRA RESIDENCE**

ADDRESS: 925 LONGFELLOW AVE.  
CITY: MISSISSAUGA, ON

DRAWING TITLE:  
**SECOND FLOOR PLAN**

DRAWN: J.Mc.	DATE: 11.15.11	SCALE: 1/4"=1'-0"
JOB NUMBER: 1810-11	SHEET NUMBER: A3.3	



Chain of Title for PIN 13488-0909(LT) Lots 69 & 85 and Part of Lots 70 & 84 Plan A23 as in RO921140 925 Longfellow Avenue, Mississauga			
Deed #	Date	Transferor	Transferee
		Lots 22 & 23 Con 3 SDS Tor Twp	
Patent	July 23 1833	The Crown	Arthur Jones
10781	May 27 1834	Arthur Jones	Frederick C. Capreol
		Break in Chain	
42812	Jan 13 1852	K. McKay Sutherland	Alexander H. Grant
11678	Nov 16 1863	Alexander H. Grant	Ross W. Wood
64	July 11 1868	Ross W. Wood	John D. Wood
		Break in Chain	
1329	Jan 14 1874	James Leslie	Joseph Orr
2231	July 6 1877	Joseph Orr	Wm. Andrew Orr
2436	April 3 1878	Joseph Orr	C. H. Greene
2662	Jan 31 1879	C. H. Greene	Neaven McConnell
5559	Feb 16 1886	Thomas Clark	Neaven McConnell
5709	June 19 1886	George Jones	Neaven McConnell
5739	July 16 1886	Carrie McCandless	Neaven McConnell
5740	July 16 1886	Neaven McConnell	J. W. Stockwell
5761	July 31 1886	J. W. Stockwell	Toronto & Lorne Park Summer Resort Co.
		Lots 1, 2, 3, & 4, in Block E, Plan B88	
7733	Dec 11 1891	The Toronto & Lorne Park Summer Resort Company	Frederick Roper
7734	Dec 11 1891	Frederick Roper	The Lorne Park Company
13498	June 15 1909	The Lorne Park Company Limited	William R. Travers Frank McPhillips
13499	June 15 1909	William R. Travers Frank McPhillips	The Lake Shore Country Club Limited
		Break in Chain	
14490	May 8 1911	John Earls	Sydney Small

19909	July 16 1919	Sydney Small	The Lorne Park Estates Limited
		Plan A23	
51933	March 4 1948	Lorne Park Estates Limited	Mary L. Clarke - Estate
64620	Oct 1 1951	Mary L. Clarke - Estate	Wilfred S. McCord Lillian J. McCord
70397	Oct 17 1952	Wilfred S. McCord Lillian J. McCord	Lucy E. Riggs Edwar R. Riggs
170315	Aug 3 1964	Lucy E. Riggs Edwar R. Riggs	Stuart W. Ritchie Glenna K. Ritchie
921140	Dec 12 1989	Stuart Warren Ritchie Glenna Kathleen Ritchie	Henry Kucharzyk
PR297074	Aug 15 2002	Henry Kucharzyk	Henry Kucharzyk Susan Cash
PR2075279	Sept 16 2011	Henry Kucharzyk Susan Cash	Virginia Morra
Plans attached: A23, B88			
Title Chain from The Crown by abstract name. Instruments not reviewed.			
For summary purpose only. For further details see Abstracts attached.			