



# AGENDA

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## HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

**TUESDAY, NOVEMBER 20, 2012 – 9:30 A.M.**

**COUNCIL CHAMBER**

**SECOND FLOOR, CIVIC CENTRE**

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

[www.mississauga.ca](http://www.mississauga.ca)

### Members

Councillor George Carlson, Ward 11 (CHAIR)

Councillor Jim Tovey, Ward 1 (VICE-CHAIR)

Robert Cutmore, Citizen Member

David Dodaro, Citizen Member

Mohammad N. Haque, Citizen Member

James Holmes, Citizen Member

Rick Mateljan, Citizen Member

Cameron McCuaig, Citizen Member

Deanna Natalizio, Citizen Member

Michael Spaziani, Citizen Member

Michelle Walmsley, Citizen Member

Matthew N. Wilkinson, Citizen Member

**\*\* PLEASE NOTE LATER START TIME (9:30 A.M.) \*\***

CONTACT PERSON: Julie Lavertu, Legislative Coordinator

Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181

[Julie.Lavertu@mississauga.ca](mailto:Julie.Lavertu@mississauga.ca)

CALL TO ORDERDECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTERESTPRESENTATIONS/DEPUTATIONS

- A.     Item 3           Robert Grossmann, Senior Advisor, Adamson Associates Architects, with respect to a proposed heritage designation and partial demolition of heritage listed property, the Port Credit Post Office, Customs House and Armoury, located at 31 Lakeshore Road East, in Ward 1.

UNFINISHED BUSINESS

1.     Alteration to a Heritage Designated Property Without Heritage Permit, 7155 Pond Street, Meadowvale Village Heritage Conservation District, Ward 11

Memorandum dated September 7, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to an alteration to a heritage designated property without heritage permit located at 7155 Pond Street in the Meadowvale Village Heritage Conservation District.

- **The above Memorandum was deferred by the Heritage Advisory Committee at its meeting on September 18, 2012 and resulted in HAC-0074-2012 (please see Item 11, page 10 to review the latter recommendation).**

RECOMMEND RECEIPTMATTERS TO BE CONSIDERED

2.     Approval of Minutes of Previous Meeting

Minutes of the meeting held September 18, 2012.

RECOMMEND APPROVAL

3.     Proposed Heritage Designation and Partial Demolition of Heritage Listed Property, Port Credit Post Office, Customs House and Armoury, 31 Lakeshore Road East, Ward 1

Corporate Report dated November 7, 2012 from the Commissioner of Community Services with respect to a proposed heritage designation and partial demolition of heritage listed property, the Port Credit Post Office, Customs House and Armoury, located at 31 Lakeshore Road East.

(3.) RECOMMENDATION

That the original 1931 portion of the Port Credit Post Office, Customs House and Armoury be designated under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value and that the request to remove the later additions be approved subject to the following conditions:

- (a) That the proponent allow a peer review of the proposal, including the cost list, by a heritage engineer, selected by the Director, Culture Division, to confirm its feasibility and that any further conditions arising from this review be met and adhered to; and
- (b) That a letter of credit, in an amount to be determined by the Director, Culture Division, be provided to the City of Mississauga to cover the cost of replacing and/or restoring any damage that may occur to the original portions of the building during construction and while conservation work takes place, to be held until the building is ready for occupancy.

RECOMMEND APPROVAL

4. Meadowvale Village Heritage Conservation District Plan Review, Ward 11

Corporate Report dated October 29, 2012 from the Commissioner of Community Services with respect to the Meadowvale Village Heritage Conservation District Plan Review.

RECOMMENDATION

That a By-law to designate the Study Area of the Meadowvale Village Heritage Conservation District Review pursuant to the *Ontario Heritage Act* and to set limitations for development of properties within the Study Area for one year, be approved.

RECOMMEND APPROVAL

5. Request to Alter a Heritage Designated Property, 1036 Old Derry Road, Ward 11

Corporate Report dated October 23, 2012 from the Commissioner of Community Services with respect to a request to alter a heritage designated property located at 1036 Old Derry Road.

RECOMMENDATION

That the request to alter the property at 1036 Old Derry Road, as described in the report from the Commissioner of Community Services, dated October 23, 2012, be approved.

RECOMMEND APPROVAL

6. Request to Demolish a Heritage Listed Property, 1976 Pump House, Mississauga Golf & Country Club, 1725 Mississauga Road, Ward 8

Corporate Report dated October 23, 2012 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property, the 1976 Pump House at the Mississauga Golf & Country Club, located at 1725 Mississauga Road.

RECOMMENDATION

That the 1976 pump house at the Mississauga Golf & Country Club, 1725 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process, subject to the following condition:

- (a) That solid wood board hoarding is installed, prior to any demolition occurring, to protect the nearby former 1923 pump house during demolition and construction.

RECOMMEND APPROVAL

7. Heritage Permit Process and Cultural Landscapes

Memorandum dated November 2, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to the Heritage Permit Process and Cultural Landscapes.

RECOMMEND RECEIPT

8. Wood Window Restoration Workshop – Follow Up Memo

Memorandum dated October 30, 2012 from Elaine Eigl, Heritage Coordinator, with respect to the Wood Window Restoration Workshop.

RECOMMEND RECEIPT

9. Heritage Trees Workshop: Toronto

Correspondence with respect to the Heritage Trees Workshop: Toronto on November 9, 2012 at the Ontario Institute for Studies in Education in Toronto, Ontario.

DIRECTION REQUIRED

10. 2013 Heritage Advisory Committee Meeting Dates

Memorandum dated November 9, 2012 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the 2013 Heritage Advisory Committee meeting dates.

RECOMMEND RECEIPT



11. Status of Outstanding Issues from the Heritage Advisory Committee

Chart dated November 20, 2012 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

RECOMMEND RECEIPTSUBCOMMITTEE UPDATES FROM CHAIRS12. Heritage Designation Subcommittee13. Heritage Tree Subcommittee14. Meadowvale Village Heritage Conservation District Review Committee15. Public Awareness SubcommitteeINFORMATION ITEMS16. City of Mississauga Notice of Study Commencement: Municipal Class Environmental Assessment Study for McLaughlin Road

Correspondence dated September 26, 2012 from Abdul Shaikh, Project Manager, City of Mississauga, and Don Drackley, Consultation Manager, IBI Group, with respect to the City of Mississauga Notice of Study Commencement: Municipal Class Environmental Assessment Study for McLaughlin Road

RECOMMEND RECEIPT17. June Callwood Outstanding Achievement Award for Voluntarism in Ontario

Correspondence dated September 2012 from the Honourable Charles Sousa, Minister of Citizenship and Immigration, with respect to the June Callwood Outstanding Achievement Award for Voluntarism in Ontario.

RECOMMEND RECEIPT

DATE OF NEXT MEETING – Tuesday, January 22, 2013 at 9 a.m., Council Chamber

OTHER BUSINESS

ADJOURNMENT

**IT IS RECOMMENDED THAT HERITAGE ADVISORY COMMITTEE MEMBERS  
VISIT THE PROPERTIES LISTED ON THE AGENDA PRIOR TO THE MEETING.**

Heritage Advisory Committee

SEP 18 2012

**Memorandum**Community Services Department  
Culture Division

Heritage Advisory Committee

NOV 20 2012

**TO:** Chair and Members of the Heritage Advisory Committee

**FROM:** Paula Wubbenhorst, Acting Senior Heritage Coordinator

**DATE:** September 7, 2012

**FILE:** 7155 Pond Street

**SUBJECT:** **Alteration to a Heritage Designated Property without Heritage Permit  
7155 Pond Street (Ward 11)  
Meadowvale Village Heritage Conservation District**

Please be advised that alterations to the subject heritage designated property have occurred without a heritage permit. These alterations include the installation of the following:

- A substantial armour stone trench cutting through the north side of the property;
- Hard landscaping of the front yard to form a circular driveway;
- Boulders along the right-of-way; and
- Stone facing around the base of the porch.

Images, taken by City staff in August 2012, follow for your reference.

The subject property forms part of the Meadowvale Village Heritage Conservation District. The guidelines state that the Meadowvale Village Heritage Conservation District "Review Committee would review proposed changes to individual property topography."

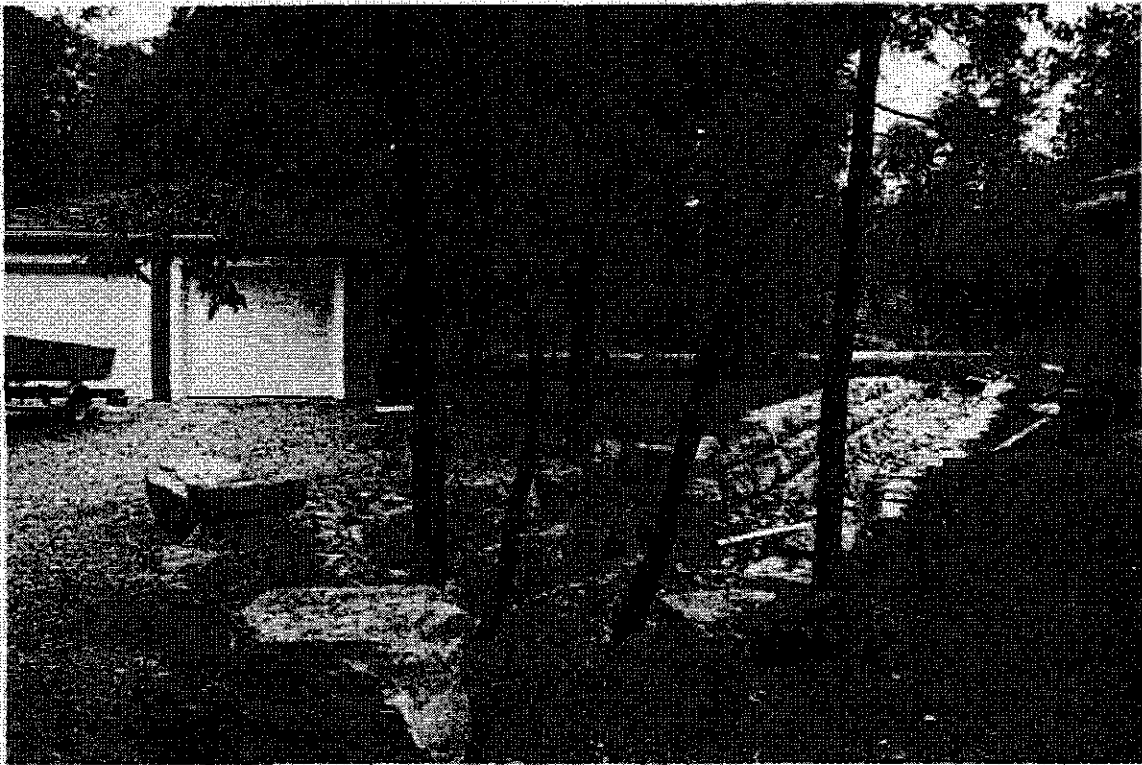
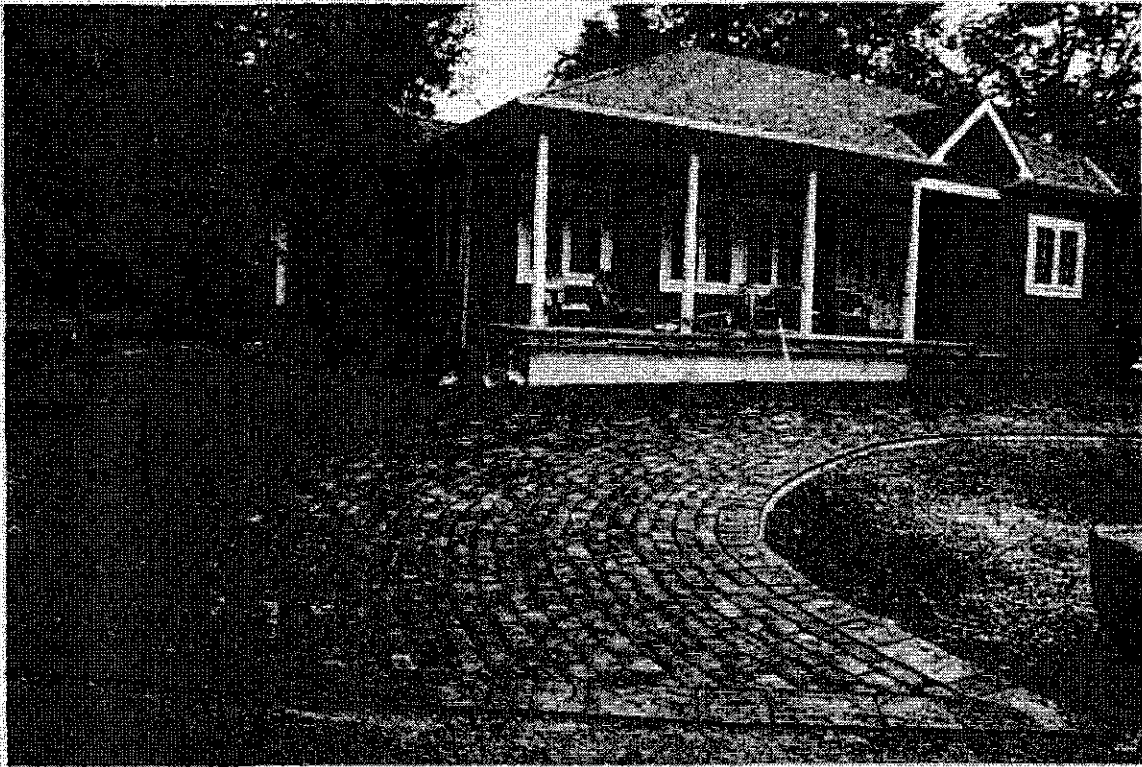
Moreover, section 42.1 of the *Ontario Heritage Act* states that "No owner of a property situated in a heritage conservation district [...] shall do any of the following, unless the owner obtains a permit from the municipality to do so: Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property."

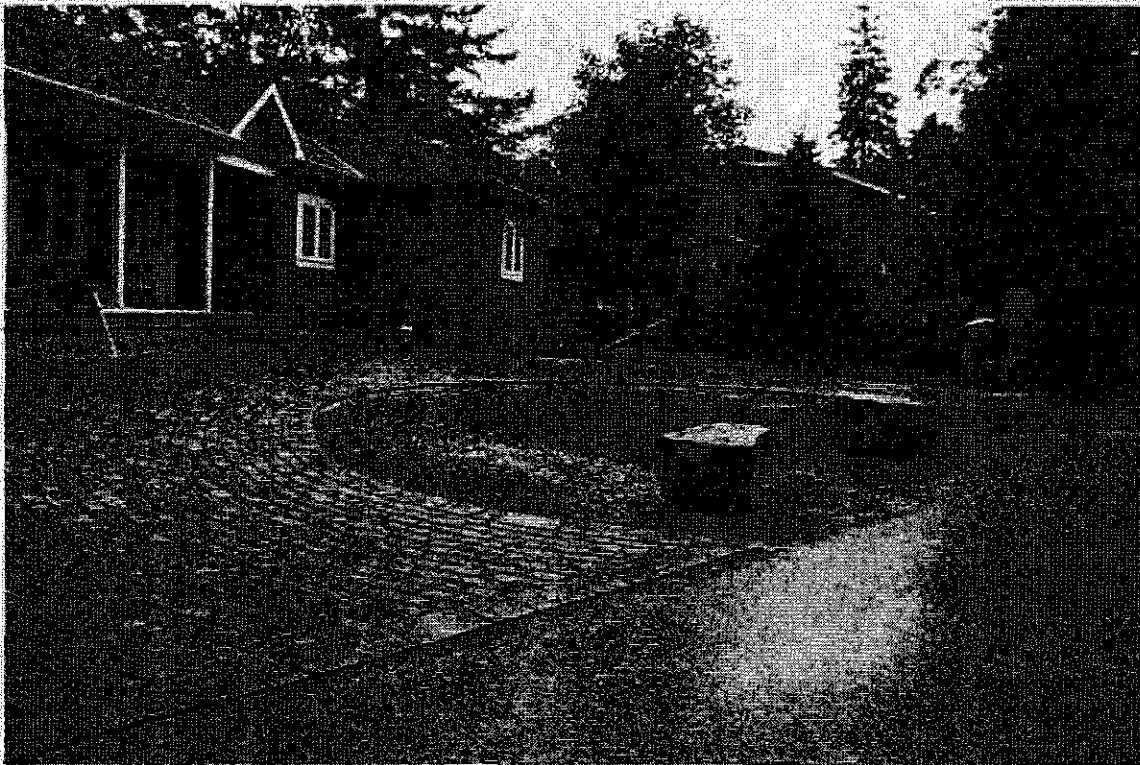
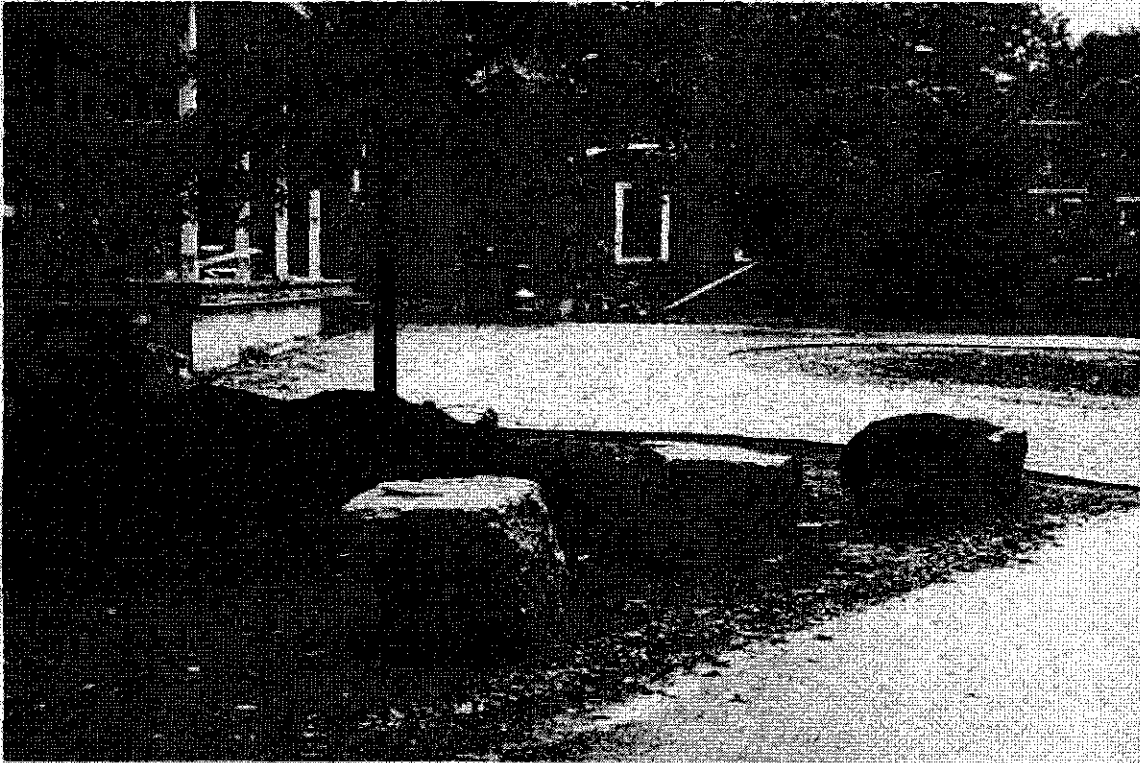
While work was underway, a letter was sent to property owner Steve Zinck indicating that work should cease and that a heritage permit was required. This correspondence was ignored. Another letter was sent two weeks later. Mr. Zinck responded with a phone call to Susan Burt, Director, Culture Division, wherein he agreed to submit a heritage permit application. I followed up with him approximately two weeks later, on Wednesday, September 5, 2012. He indicated that he was still planning on submitting the application. Nothing has been received to date.

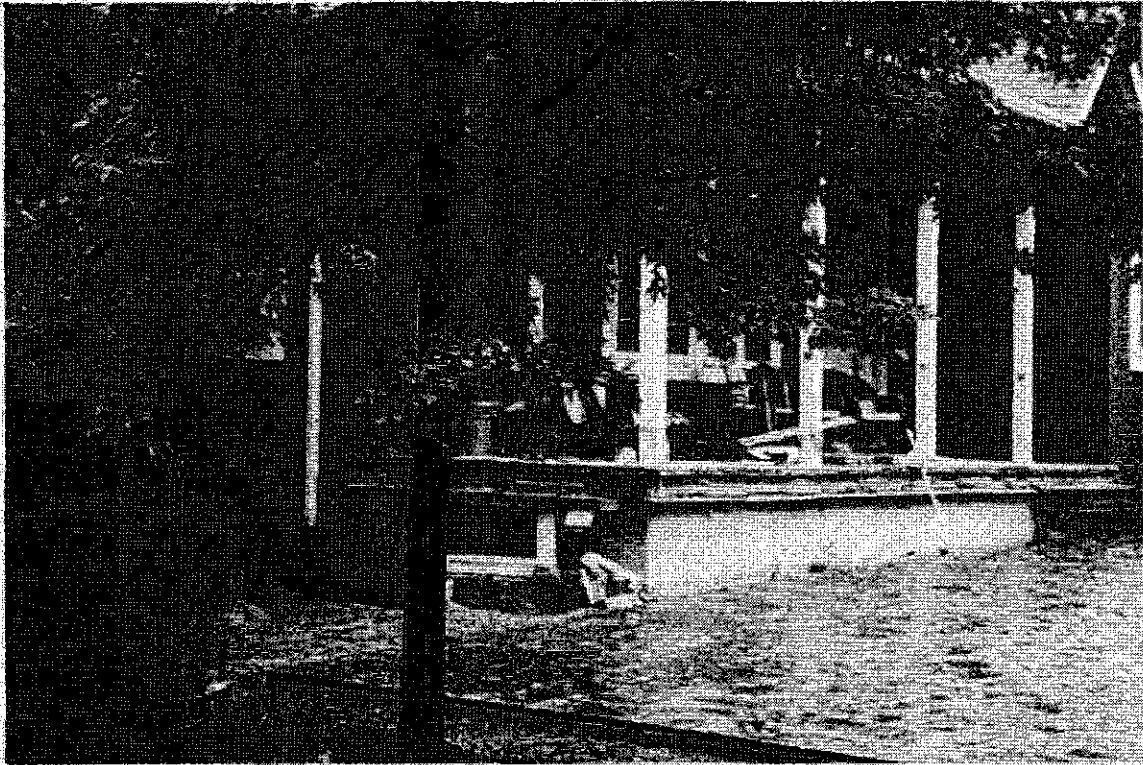
It appears that the work is now complete. The City has an option of pressing charges under the *Ontario Heritage Act* and restoring the property at the expense of the property owner.

A handwritten signature in cursive script that reads "P. Wubbenhorst".

Paula Wubbenhorst  
Acting Senior Heritage Coordinator  
Culture Division







NOV 20 2012



# MINUTES

## HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

**TUESDAY, SEPTEMBER 18, 2012 – 9 A.M.**

**COUNCIL CHAMBER**

**SECOND FLOOR, CIVIC CENTRE**

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

[www.mississauga.ca](http://www.mississauga.ca)

### MEMBERS PRESENT:

Councillor George Carlson, Ward 11 (CHAIR)  
 Robert Cutmore, Citizen Member  
 David Dodaro, Citizen Member (arrival at 9:08 a.m.)  
 Mohammad N. Haque, Citizen Member  
 James Holmes, Citizen Member  
 Rick Mateljan, Citizen Member  
 Cameron McCuaig, Citizen Member  
 Deanna Natalizio, Citizen Member

### MEMBERS ABSENT:

Councillor Jim Tovey, Ward 1 (VICE-CHAIR) (Other Municipal Business)  
 Michael Spaziani, Citizen Member  
 Michelle Walmsley, Citizen Member  
 Matthew N. Wilkinson, Citizen Member

### STAFF PRESENT:

Margaret Beck, Legal Counsel  
 Diana Rusnov, Manager of Legislative Services and Deputy Clerk  
 Karen Spencer, Advisor, City Strategy and Innovations, City Manager's Office  
 Paula Wubbenhorst, Acting Senior Heritage Coordinator

CONTACT PERSON: Julie Lavertu, Legislative Coordinator

Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181

[Julie.Lavertu@mississauga.ca](mailto:Julie.Lavertu@mississauga.ca)



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**NOTE: The Committee changed the order of the Agenda during the meeting.  
These Minutes reflect the order of the meeting.**

CALL TO ORDER – 9:05 a.m.

DECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTEREST

Mr. Mateljan declared conflicts regarding Items 4 and 10 and left the Council Chamber during discussion of these items.

MATTERS CONSIDERED

The Chair noted that Item 5 was being deferred as per a request from the property owner's Corporate Solicitor. Accordingly, the Committee dealt with Item 5 at this time.

5. Alteration to a Heritage Designated Property Without Heritage Permit, 7155 Pond Street, Ward 11, Meadowvale Village Heritage Conservation District

Memorandum dated September 7, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to an alteration to a heritage designated property without heritage permit located at 7155 Pond Street in the Meadowvale Village Heritage Conservation District.

Recommendation  
HAC-0074-2012

1. That the email message dated September 17, 2012 from Miles Backhouse, Corporate Solicitor for the property owner of 7155 Pond Street, requesting deferral of the Memorandum dated September 7, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to an alteration to a heritage designated property without heritage permit located at 7155 Pond Street in the Meadowvale Village Heritage Conservation District be received; and
2. That the Memorandum dated September 7, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to an alteration to a heritage designated property without heritage permit located at 7155 Pond Street in the Meadowvale Village Heritage Conservation District be deferred to the next Heritage Advisory Committee meeting on Tuesday, October 23, 2012.

Received/Deferred (J. Holmes)

PRESENTATIONS/DEPUTATIONS

- A. Item 6 Karen Spencer, Advisor, City Strategy and Innovations, City Manager's Office, with respect to the City Committees of Council Structure Review.



Ms. Spencer discussed the background, goals, and timelines of the Review. She said that 23 Committees were being reviewed, that she would be working closely with the Office of the City Clerk, that all facets of Committee operations would be reviewed (e.g., terms of reference, budgets, subcommittees, membership, etc), and that the Review was expected to take 6-8 months and would report to the Governance Committee with its recommendations. She added that public input was being done by canvassing current Citizen Members via an online survey and encouraged Citizen Members to share their comments, ideas, and concerns. Ms. Spencer remarked that some Citizen Members have belonged to and/or participated in more than one Committee and, as such, their feedback on their individual and overall Committee experiences was being sought in the survey.

Mr. Dodaro arrived at 9:08 a.m.

The Committee decided to deal with Item 6 at this time.

6. City Committees of Council Structure Review

Overview from Karen Spencer, Advisor, City Strategy and Innovations, City Manager's Office, with respect to the City Committees of Council Structure Review.

Committee members asked if such a Review had been undertaken in the past and whether the Review would consider adding new Committees or gaps in Committees. Ms. Spencer responded that this was the first systematic Review encompassing all Committees of Council and that the Review's scope includes reviewing the addition of new Committees.

Recommendation

HAC-0075-2012

That the overview from Karen Spencer, Advisor, City Strategy and Innovations, City Manager's Office, entitled "City Committees of Council Structure Review," be received.

Received (C. McCuaig)

MATTERS CONSIDERED

1. Approval of Minutes of Previous Meeting

Minutes of the meeting held July 24, 2012.

Approved (M. Haque)

2. Request to Alter a Heritage Designated Property, McClure-Lafferty House, 2075 Syntex Court (formerly 2075 Derry Road West), Ward 9

Corporate Report dated August 21, 2012 from the Commissioner of Community Services with respect to a request to alter a heritage designated property, the McClure-Lafferty House, located at 2075 Syntex Court (formerly 2075 Derry Road West).

Ms. Wubbenhorst stated that this Corporate Report formalizes what occurred at the Committee's July 2012 meeting regarding this property. The Chair thanked everyone for their assistance and work on this matter and stated that he looks forward to visiting the relocated and repurposed property in the near future.

Later in the meeting (refer to page 6), the Committee further discussed and revised its recommendation regarding Item 2 (the revised recommendation is included below).

#### Recommendation

HAC-0076-2012

That the request to alter the McClure-Lafferty House property, at 2075 Syntex Court, by relocating it within its current property lot, as described in the Corporate Report dated August 21, 2012 from the Commissioner of Community Services be approved, subject to compliance, to the satisfaction of the Director, Culture Division, with the following conditions:

- (a) The acceptance by Heritage staff of a Conservation Plan by a qualified heritage consultant, which must include an itemized list of the costs to both relocate and conserve the house;
- (b) A detailed plan outlining the full process to be used in moving the structure and that reflects, as a minimum, any relevant recommendations in the Heritage Impact Statement and Conservation Plan, and the move be conducted by an experienced and credible heritage moving company, subject to approval by Heritage staff;
- (c) Written agreement from the owner to the revision of the designation by-law, to current Ministry standards, following the relocation;
- (d) A Heritage Easement Agreement binding the moving plan and conservation plan, including long-term maintenance of the property;
- (e) A letter of credit, in an amount to be determined by the Director, Culture Division, provided to the City of Mississauga to cover the cost of replacing and/or restoring any damage that may occur during the move and while conservation work takes place, before the House is ready for occupancy; and
- (f) All approvals of development applications and approval of the Site Plan including documented reconciliation of grading issues on the proposed development site must be obtained from the City of Mississauga in advance of relocation.

Approved/Direction (M. Haque)

### 3. Request to Demolish a Heritage Listed Property, 1373 Glenwood Drive, Ward 1

Corporate Report dated August 14, 2012 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 1373 Glenwood Drive.

#### Recommendation

HAC-0077-2012

That the property at 1373 Glenwood Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (R. Mateljan)

4. Request to Demolish a Heritage Listed Property, 36 Veronica Drive, Ward 1

Corporate Report dated August 14, 2012 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 36 Veronica Drive.

Recommendation

HAC-0078-2012

That the property at 36 Veronica Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (D. Natalizio)

7. Status of Outstanding Issues from the Heritage Advisory Committee

Chart dated September 18, 2012 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

Ms. Wubbenhorst said that work was ongoing on the Derry House's steps. In response to a question from the Chair, Ms. Wubbenhorst discussed the current status of the Dowling House and said that Heritage staff were working with the property owner to come to a resolution. Committee members discussed the Dowling House's location and status.

Recommendation

HAC-0079-2012

That the chart dated September 18, 2012 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee be received.

Received (R. Mateljan)

SUBCOMMITTEE UPDATES FROM CHAIRS

8. Heritage Designation Subcommittee – Nil

9. Heritage Tree Subcommittee – Nil

10. Meadowvale Village Heritage Conservation District Review Committee – Nil

10.1 Letter dated July 18, 2012 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, with respect to the Parminder and Harjit Pabla residence located at 1092 Old Derry Road in Ward 11.

Mr. Holmes discussed the matter and said that the Review Committee was still waiting to receive the final updated drawings from the property owner.

Recommendation

HAC-0080-2012

That the letter dated July 18, 2012 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, with respect to the Parminder and Harjit Pabla residence located at 1092 Old Derry Road be received.

Received (J. Holmes)

11. Public Awareness Subcommittee – Nil

INFORMATION ITEMS

12. Wood Window Restoration Workshop

Brochure by the City of Mississauga's Culture Division with respect to the Wood Window Restoration Workshop hosted by the City of Mississauga's Heritage Advisory Committee on Saturday, September 22, 2012.

The Chair briefly discussed the Workshop and said that he was looking forward to attending and learning more about wood windows. Ms. Wubbenhorst noted that Elaine Eigl, Heritage Coordinator, was organizing the event and had ordered refreshments.

Recommendation

HAC-0081-2012

That the brochure by the City of Mississauga's Culture Division with respect to the Wood Window Restoration Workshop hosted by the City of Mississauga's Heritage Advisory Committee on Saturday, September 22, 2012 be received.

Received (J. Holmes)

DATE OF NEXT MEETING – Tuesday, October 23, 2012 at 9 a.m., Council Chamber (NOTE: This meeting was cancelled on Friday, October 5, 2012 due to the lack of agenda items).

OTHER BUSINESS

War of 1812 Events in Streetsville Memorial Park on September 15 and 16, 2012

The Chair discussed the success of the recent War of 1812 events in Streetsville Memorial Park, including the re-enactments, said that roughly 10,000 people attended during the course of the weekend, and noted that the fireworks were well-received.

2. Request to Alter a Heritage Designated Property, McClure-Lafferty House, 2075 Syntex Court (formerly 2075 Derry Road West), Ward 9

Corporate Report dated August 21, 2012 from the Commissioner of Community Services with respect to a request to alter a heritage designated property, the McClure-Lafferty House, located at 2075 Syntex Court (formerly 2075 Derry Road West).

At this point, Ms. Wubbenhorst requested that the recommendation regarding Item 2 be revised to include the six conditions listed in the Corporate Report (refer to page 3 for the revised recommendation). Ms. Lavertu briefly discussed the revised recommendation.

Heritage Plaques in Port Credit Memorial Park

Mr. Cutmore discussed the relocation of three heritage plaques in Port Credit Memorial Park during the Southside Shuffle and said that the plaques/pedestals were refurbished and repainted and would be reinstalled near the Credit River in the near future.

Doors Open Event on September 29, 2012

Mr. Cutmore discussed the upcoming Doors Open event. He encouraged Committee members to visit the Small Arms Building and spoke about planned events at this site.

War of 1812 Commemorative Flag-Raising Ceremony in Streetsville

The Chair discussed a flag-raising event at Timothy Street's gravesite in the Streetsville Memorial Cemetery on September 29, 2012 and said that War of 1812 re-enactors would also be present for the event to pay tribute to local veterans.

ADJOURNMENT – 9:20 a.m. (C. McCuaig)



# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee

NOV 20 2012

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**DATE:** November 7, 2012

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: November 20, 2012

**FROM:** Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

**SUBJECT:** **Proposed Heritage Designation and Partial Demolition of Heritage Listed Property**  
**Port Credit Post Office, Customs House and Armoury**  
**31 Lakeshore Road East**  
**(Ward 1)**

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**RECOMMENDATION:** That the original 1931 portion of the Port Credit Post Office, Customs House and Armoury be designated under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value and that the request to remove the later additions be approved subject to the following conditions:

- (a) That the proponent allow a peer review of the proposal, including the cost list, by a heritage engineer, selected by the Director, Culture Division, to confirm its feasibility and that any further conditions arising from this review be met and adhered to; and
- (b) That a letter of credit, in an amount to be determined by the Director, Culture Division, be provided to the City of Mississauga to cover the cost of replacing and/or restoring any damage that may occur to the original portions of the building during construction and while conservation work takes place, to be held until the building is ready for occupancy.

**REPORT****HIGHLIGHTS:**

- City Centre Capital proposes to restore the existing walls of the original 1931 portion of the subject building, save for some of the west wall, which will be salvaged to replicate the original south wall
- The later additions (c. 1953 and 1966), to the west, would be replaced with a large rectilinear glass block that includes commercial portals along Lakeshore Road and a terrace along the Credit River
- Heritage Planning staff recommend that the proposal be approved subject to some conditions, including that the original 1931 walls and architectural detailing be designated under the *Ontario Heritage Act*

**BACKGROUND:**

The federal government erected the Port Credit Post Office, Customs House and Armoury in 1931. Additions were added c. 1953 and 1966. The City added the property to the Heritage Register in 1989.

As a postal facility, the property was in federal ownership until December 30, 2010. Because federal property cannot be subject to a municipal by-law designating it under the *Ontario Heritage Act*, City staff could not recommend that the property be designated until January 2011 when it came into private ownership. However, the City's Heritage Advisory Committee recommended that the heritage designation "be deferred pending the owner's submission of a Heritage Impact Statement that is satisfactory to Culture Division staff." City Council subsequently adopted this recommendation.

**COMMENTS:**

A satisfactory Heritage Impact Statement, by Kearns Mancini Architects Inc., has now been reviewed by City staff. It is attached as Appendix 1. It is based on a Heritage Impact Statement, by Gillespie Heritage Consulting, commissioned by Canada Post in 2008 (attached as Appendix 2). The Kearns Mancini report, and the accompanying site plan application (12/74) drawings and elevations, attached as Appendix 3, form a proposal for a new commercial facility at the southwest corner of Stavebank Road South and Lakeshore Road East.

A conservation plan, also by Kearns Mancini, is attached as Appendix 4. EllisDon has submitted: a cost estimate to replace the heritage walls; including a breakdown; and demolition methodology and safety plan. These documents are attached as Appendices 5, 6 and 7.

City Centre Capital proposes to remove the c. 1953 and 1966 additions to the original 1931 brick structure. The north and east facades, including the jog with the south-facing Customs & Excise entrance, would be retained and restored. Additionally, a small portion of the west façade would be retained and restored. The south wall would be rebuilt with salvaged materials to match the original 1931 fabric. The rebuilding includes matching the stone banding and window aperture and treatment.

In place of the mid twentieth century brick additions, a two storey rectilinear glass block would be added to the west and would extend beyond the south wall towards Lake Ontario. An outdoor terrace would connect the building to the pedestrian area along the Credit River on the west. The front of the glass portion, which would include commercial portals, would come to the property line, i.e. it would extend forward beyond the front façade of the Post Office. However, the built form adjacent to the Post Office would be set back to showcase the heritage component. This set back section would serve as the main entrance to this new commercial facility.

The inside of the original 1931 building would be rebuilt and two levels of underground parking added under the new addition. The roof structure would be replaced to attain loading and fire separation requirements. The floor of the original building would be brought down to grade level and will render the front door an inoperable aesthetic feature of the Edwardian Classical façade only.

Heritage Planning staff recommend that the proposal be approved subject to the following conditions:

- a) That the proponent allow a peer review of the proposal, including the cost list, by a heritage engineer, selected by the Director, Culture Division, to confirm its feasibility and that any further conditions arising from this review be met and adhered to; and
- b) A letter of credit, in an amount to be determined by the Director, Culture Division, provided to the City of Mississauga to cover the cost of replacing and/or restoring any damage that may occur to the original portions of the building during construction and while conservation work takes place, to be held until the building is ready for occupancy.



To ensure that these conditions are met, and to follow through with the 2011 resolution to pursue heritage designation, Heritage Planning staff recommend that the property be designated under the *Ontario Heritage Act*. Ontario Regulation 9/06 prescribes the criteria for determining a property's cultural heritage value or interest. The Port Credit Post Office, Customs House and Armoury meets these criteria:

**Historical/Associative Value:**

The Port Credit Post Office, Customs House & Armoury has historical/associative value for its association with the institution of the federal government and local postal, customs and military activities. It also yields information that contributes to an understanding of the time in which it was built. The original structure demonstrates the work of Thomas Fuller III and Chapman & Oxley, significant Canadian architects.

**Contextual Value:**

The Port Credit Post Office, Customs House & Armoury has contextual value because it contributed to defining the village's stature. It defines and maintains and supports both the public character of the area and the village core. The building supports the heritage character of the east end of Port Credit. It is physically, functionally, visually and historically linked to its surroundings, which it served.

**Physical/Design Value:**

The Port Credit Post Office, Customs House & Armoury is a rare example of public Edwardian Classicism in Mississauga.

For the full report, see the Cultural Heritage Assessment, attached as Appendix 8.

**FINANCIAL IMPACT:** Funding for the peer review is available through the Culture Division's approved 2012 budget.

**CONCLUSION:** City Centre Capital proposes to demolish the c. 1953 and 1966 west additions to the 1931 Port Credit Post Office, Customs House and Armoury. In their place, a large rectilinear glass block would be installed. The original walls of the 1931 building would be retained and restored with a new roof and floor to accommodate the new use.

Heritage Planning staff recommend that the proposal be approved subject to the conditions outlined in this report, including the designation of the original retained portion of the 1931 building under the *Ontario Heritage Act*.

**ATTACHMENTS:**

- Appendix 1: Heritage Impact Statement, Kearns Mancini Architects Inc.
- Appendix 2: Heritage Impact Statement, Gillespie Heritage Consulting
- Appendix 3: Site Plan 12/74 Drawings and Elevations
- Appendix 4: Conservation Plan, Kearns Mancini Architects Inc.
- Appendix 5: EllisDon Heritage Walls Cost Estimate
- Appendix 6: EllisDon Heritage Walls Cost Estimate Breakdown
- Appendix 7: Demolition Methodology and Safety Plan
- Appendix 8: Cultural Heritage Assessment, City of Mississauga



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Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

*Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator*



# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee

NOV 20 2012

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**DATE:** October 29, 2012

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: November 20, 2012

**FROM:** Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

**SUBJECT:** Meadowvale Village Heritage Conservation District Plan Review  
(Ward 11)

---

**RECOMMENDATION:** That a By-law to designate the Study Area of the Meadowvale Village Heritage Conservation District Review pursuant to the *Ontario Heritage Act* and to set limitations for development of properties within the Study Area for one year, be approved.

**REPORT  
HIGHLIGHTS:**

- The Meadowvale Village Heritage Conservation District Plan, By-law 453-80, is outdated and does not meet current legislative requirements. A comprehensive review is underway.
- As part of the Meadowvale Village District Plan Review, a study of the current boundary of the District Plan is required to determine whether the area should be enlarged to include adjacent significant natural and cultural heritage elements.
- A by-law is proposed to define the Study Area and implement limitations on development within the Study Area for a period of one year pursuant to the *Ontario Heritage Act*.

**BACKGROUND:** The City's Heritage Advisory Committee recommended at its meeting of January 24, 2012, "That the corporate report dated November 21, 2011 from the Commissioner of Community Services with respect to

the updating of the Meadowvale Village Heritage Conservation District Plan be approved.” The recommendation and report with the terms of reference for the study was adopted by Council at its meeting of February 8, 2012.

Two Culture Division staff have been seconded to complete the task of processing and overseeing the Meadowvale Village Heritage Conservation District (“HCD”) Plan comprehensive review.

The Meadowvale Village HCD Plan was adopted in 1980, but has not been updated since its inception. The HCD Plan review will include in-depth historical research, a policy review, planning context review and clearly defined design guidelines for future use and development of both natural and cultural heritage properties within, and adjacent to, the HCD. A Project Charter was completed and signed off by the project Steering Committee on June 1, 2012. The Project Charter objective stated, “To update the existing Meadowvale Village Heritage Conservation District Plan by bringing it in line with current *Ontario Heritage Act* regulations, in order to bring improved protection to the HCD and further protect the heritage character of the Village and ensure compatible future urban development in the Village and adjacent properties.” An initial meeting and introduction of the project was presented to the Village residents on May 31, 2012.

Staff has conducted extensive research into the social and economic history of the Village and its immediate area, including detailed histories of each property through documented land registry records, and a Stage 1 archaeological assessment. This extensive background material has provided a foundation to fully understand and document the existing cultural and natural heritage attributes of the HCD and therefore develop policies and guidelines for their protection and conservation. Staff presented the research results to the Village residents at a meeting on October 4, 2012 and have made the information available on-line on the Heritage Planning page of the City’s web site.

**COMMENTS:**Boundary Study

Research conducted to date, as part of the process for the Meadowvale Village HCD Plan Review, has provided confirmation of the exceptional qualities of the Meadowvale Village HCD as a distinct and significant cultural heritage landscape within the province of Ontario. As Meadowvale Village HCD was the first established in Ontario, there were no models or precedents to follow in the writing of an HCD Plan. The principles of heritage conservation related to protecting and preserving a heritage conservation district have evolved since the Plan was adopted in 1980. The current Plan does not include detailed historical research or consider the context of the Village in a growing urban municipality and why conservation should be an important consideration. Therefore, the Plan is outdated and in need of a comprehensive review.

As part of the review, the current HCD boundary needs to be reviewed. By-law 453-80 identified the boundary of the 1980 Meadowvale Village HCD. (Appendix 1) Recent research has revealed a mid nineteenth century survey of Meadowvale Village as a larger community than it is today. The boundary included in By-law 453-80 may have been short sighted in that it did not contemplate the larger historic area as seen in the 1856 Plan of Survey. (Appendix 2 – 1856 Bristow Survey)

The original survey plan for Meadowvale Village has significant historic importance to the development of the area. Meadowvale Village's industrial history on lands immediately adjacent to the current HCD boundary once held built features directly related to the commerce and day to day lives of people in the Village during the mid to late 19<sup>th</sup> century. These lands, adjacent to the Credit River and the Meadowvale Village HCD were under private ownership and development until acquired by the CVC in the mid 20<sup>th</sup> century.

The majority of this area is within the Meadowvale Conservation area, a passive park owned by the Credit Valley Conservation (CVC) and managed by the City of Mississauga. These lands contain significant natural and cultural heritage elements that directly contribute to the HCD. Staff have met and conducted a site visit with representatives of the CVC on the subject lands. The CVC is supportive of the study and does not have an objection to the subject lands being included in

the project study area.

The *Ontario Heritage Act* (OHA) under Section 40 (1) (2) (b) provides the legislative authority for a municipality to “examine and make recommendations as to the geographic boundaries of the area to be designated” when conducting an HDC Study.

It is recommended that a study be undertaken to determine whether the boundary of the Meadowvale Village HCD Plan should be enlarged beyond the current HCD boundary to include the lands as illustrated in Appendix 3. The District Study must be endorsed by Council.

#### Temporary Limitations for Development Under the OHA

In order to further protect and conserve the properties located within the study area it is also recommended that a by-law be enacted to define the Study Area and set limitations on development for the period of one year while the District Study is being conducted.

The *Ontario Heritage Act* provides a municipality with the following authority:

#### **Designation of study area**

**40.1** (1) If the council of a municipality undertakes a study under section 40, the council may by by-law designate the area specified in the by-law as a heritage conservation study area for a period of up to one year. 2005, c. 6. s. 29.

#### **Same**

- (2) A by-law made under subsection (1) may prohibit or set limitations with respect to,
  - (a) the alteration of property situated in the heritage conservation study area; and
  - (b) the erection, demolition or removal of buildings or structures, or classes of buildings or structures, in the heritage conservation study area. 2005, c. 6. s. 29.

A by-law passed under this section provides the City with the opportunity to set limits on development within the Study Area. Development limitations set under this section of the OHA are distinct

and separate from those set under the Planning by-law including that the OHA restricts the use of these limitations to one twelve month period only.

There is potential for development within the Meadowvale HCD boundary and several properties are currently for sale. To protect the existing attributes of the HCD during the study period, staff propose implementing a by-law for the study area to allow any development applications already in the process to continue, but prohibit new applications for a 12 month period. Minor alterations, such as maintenance or repair not altering the property's heritage attributes would be exempt. The conditions are stated in the proposed by-law attached. (Appendix 4) Following Council's approval of the by-law, the OHA requires the City to give 30 days notice in the local media advising of the implementation of the by-law. In addition to this notice, written notification of the by-law will be provided directly to each home and business in the study area.

The Study Area By-law is subject to appeal through the Ontario Municipal Board. Any appeal will be dealt with via the OHA legislation and heritage planning and legal staff, not through the Planning by-law. It is important to note that under the OHA this proposed by-law is only allowed to be in effect for one year and cannot be renewed.

**STRATEGIC PLAN:** Heritage Planning staff met with staff from Legal Services and Planning and Building Department to ensure clarity with this proposal. The local councillor and the Meadowvale Village HCD Review Committee have also been consulted and both are supportive of this approach.

**FINANCIAL IMPACT:** Strategic Pillar, Completing Our Neighbourhoods. "Complete communities or neighbourhoods exist in some of our original villages."

Funding for the Meadowvale Village HCD Plan Review has been provided through the Arts Reserve Fund.

**CONCLUSION:**

The Meadowvale Village Heritage Conservation District was established in 1980. The HCD Plan is outdated and needs to be reviewed and brought up to current legislative and heritage conservation practices. A study is required to determine whether the current HCD boundary should be altered or enlarged to include adjacent lands significant to the development of the Village through the nineteenth and early twentieth centuries.

In order to follow the legislative process outlined in the *Ontario Heritage Act* and to protect and conserve the study area approval of a Heritage Conservation Study Area By-law is recommended. This will provide consent to consider altering the boundaries of the Meadowvale Village HCD and protect it for a one year period from major development that would alter the character of the study area.

**ATTACHMENTS:**

- Appendix 1: By-law 453-80, Boundary of Meadowvale Village Heritage Conservation District
- Appendix 2: Plan of Survey for Meadowvale Village, 1856.
- Appendix 3: Proposed Study Area for the Meadowvale Village Heritage Conservation District Plan Review
- Appendix 4: Proposed by-law for the Study Area and Implement Limitations on Development



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Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

*Prepared By: Mark Warrack, Senior Heritage Coordinator, Special Projects*





## City of Mississauga

MEMORANDUM

To: Mr. B. Thompson

From: Mr. G. Bewick

Dept. Planning

Dept. Clerk's

June 11, 1980

CITY OF MISSISSAUGA	
PLANNING	1
RECEIVED	
JUN 11 1980	
By: _____	For: _____
By: _____	For: _____
By: _____	For: _____
By: _____	For: _____

Re: City of Mississauga By-law 453-80  
 Meadowvale Village Heritage  
 Conservation District

Attached for your files is a certified copy of By-law 453-80,  
 passed by Council on June 9, 1980.

In accordance with the provisions outlined in The Ontario  
 Heritage Act, 1974, I have made application for approval of  
 the by-law to the Ontario Municipal Board, and advised the  
 Ontario Heritage Foundation of such an application.

*Greg Bewick*  
 Greg Bewick  
 Development Coordinator

blb  
 Attachment

cc: Marilou Evans - Parks & Recreation



BY-LAW NUMBER 453-80

A by-law to designate an area of the City as a Heritage Conservation District under Section 41 (1) of The Ontario Heritage Act, 1974, S. O. 1974, c. 122 as amended

WHEREAS Part V of The Ontario Heritage Act, 1974 S.O. 1974, c. 122 as amended contains provisions relating to heritage conservation districts.

AND WHEREAS Council under Section 40 of Part V of the said Ontario Heritage Act has by by-law defined Meadowvale Village as an area to be examined for future designation as a heritage conservation district.

AND WHEREAS the examination of the Meadowvale Village has now been completed.

AND WHEREAS under Section 41 of the said Ontario Heritage Act where there is in effect in a municipality an official plan that contains provisions relating to the establishment of heritage conservation districts Council may by by-law designate any defined area as a heritage conservation district.

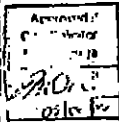
AND WHEREAS there is in effect in the City of Mississauga an official plan that contains provisions relating to the establishment of heritage conservation districts.


NOW THEREFORE the Council of the City of Mississauga ENACTS as follows:

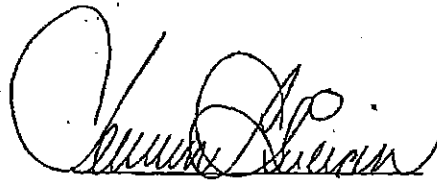
1. The area known locally as Meadowvale Village being located in the vicinity of the intersection of Derry Road West and Second Line West and more particularly shown on Appendix "A" attached hereto is hereby designated as a Heritage Conservation District.

2. This by-law does not come into force until  
approved by the Ontario Municipal Board.

ENACTED and PASSED this *9th* day of *June* 1980.

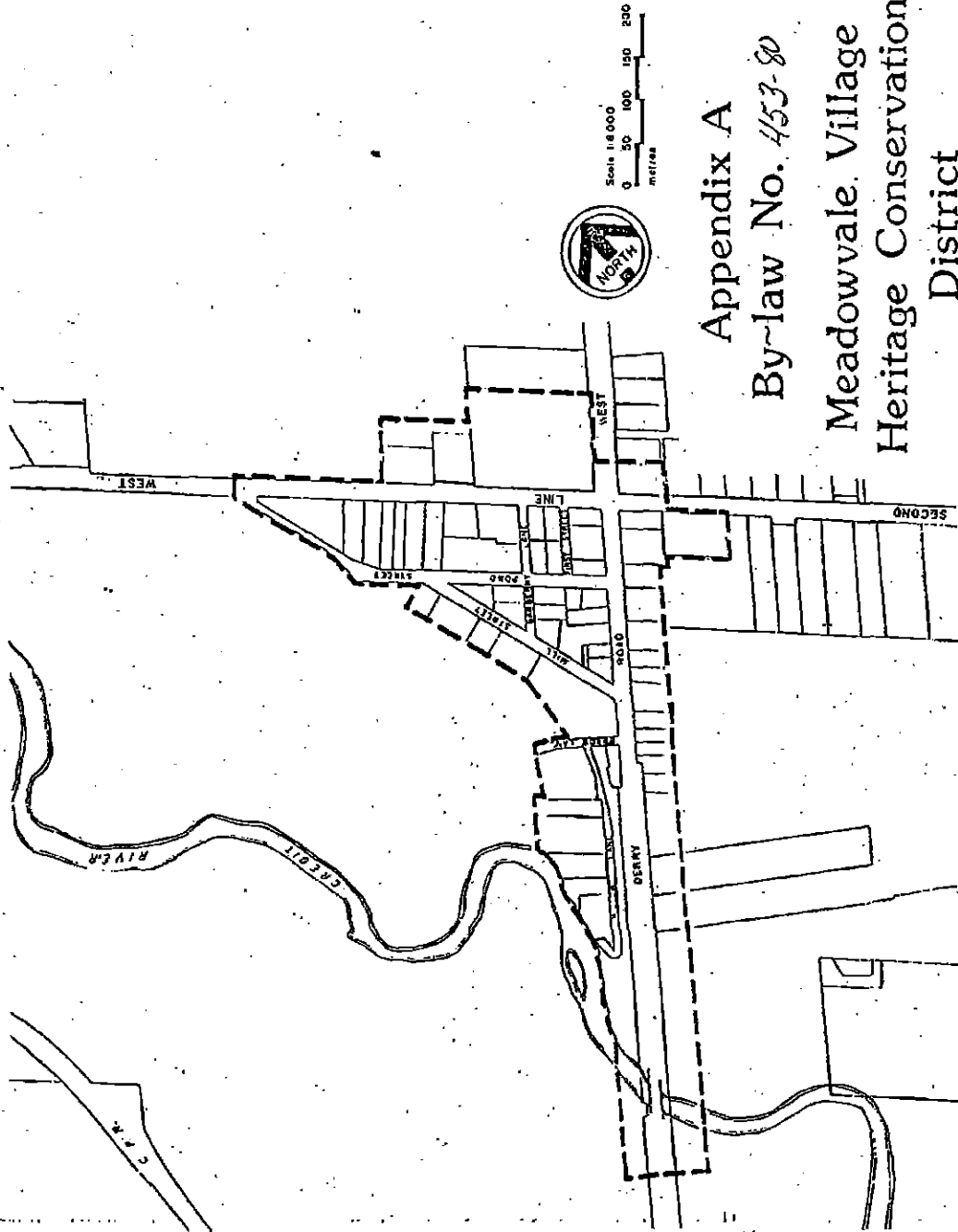


  
MAYOR (Acting)



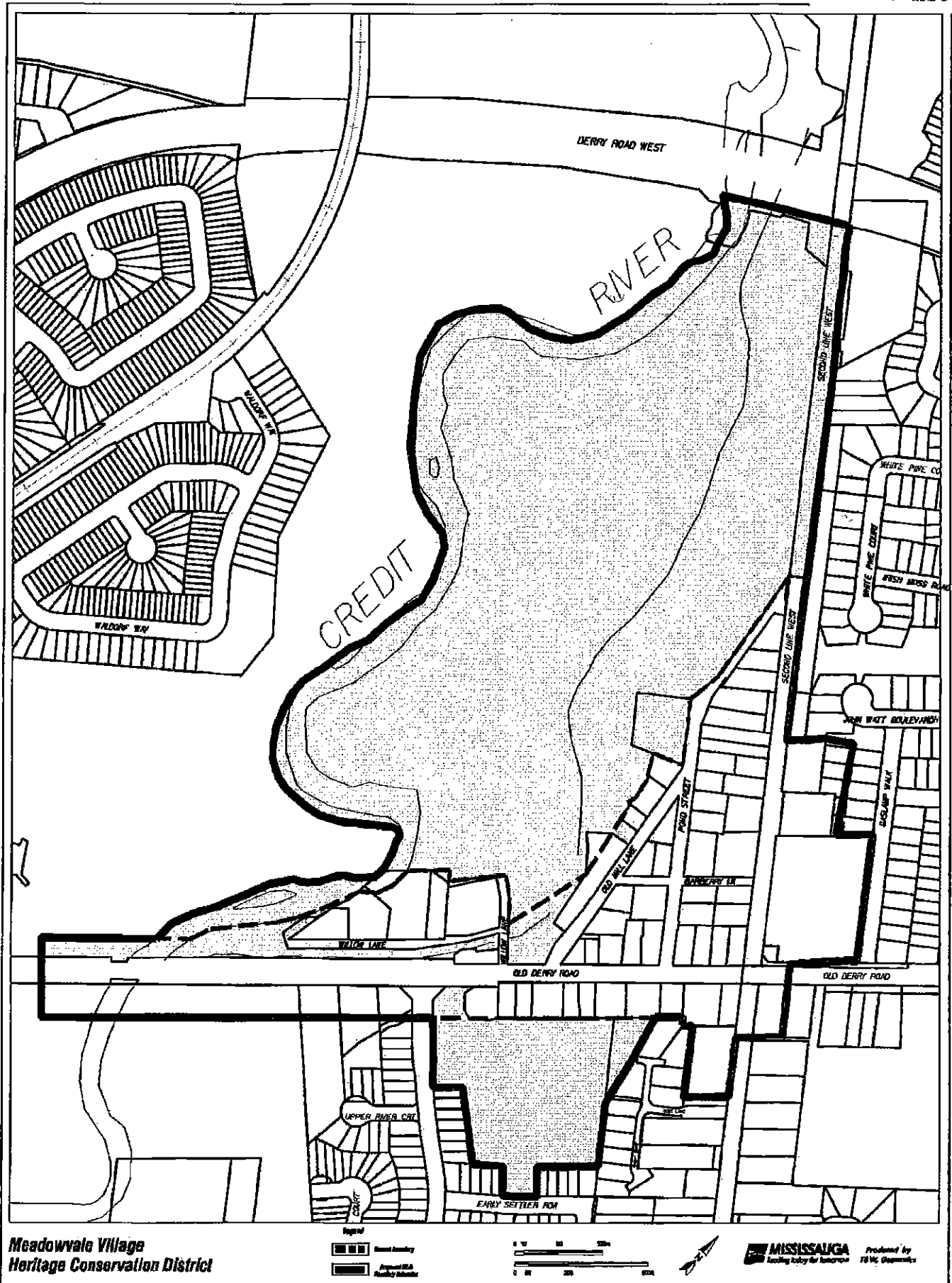
CLERK

  
CITY OF MISSISSAUGA



Appendix A  
By-law No. 453-80  
Meadowvale Village  
Heritage Conservation  
District





**NOTE:** Schedule "A" referenced below is the same as Appendix 3.

A by-law Designating an area as a Heritage Conservation Study Area

**WHEREAS** the Meadowvale Village Heritage District Plan was adopted in 1980 and has not been updated since its inception;

**AND WHEREAS** an update of the Meadowvale Village Heritage District Plan is currently underway;

**AND WHEREAS** in-depth research, policy review, planning context review, and clearly defined design guidelines for future use and development of both natural and cultural heritage properties within and adjacent to the existing Meadowvale Village Heritage Conservation District are needed for the proper protection and conservation of that district;

**AND WHEREAS** research indicates that the Village of Meadowvale was planned in the mid nineteenth century to be larger than it is today and that the boundaries of the Meadowvale Village Heritage Conservation District may have been short sighted and need to be reconsidered;

**AND WHEREAS** the *Ontario Heritage Act* enables municipalities to pass a by-law designating an area as a heritage conservation study area and that such by-law may prohibit or set limitations with respect to the alteration of property and the erection, demolition or removal of buildings or structures within the study area;

**AND WHEREAS** the Council of The Corporation of the City of Mississauga wishes to undertake a heritage conservation study of the lands shown in bold outline, on Schedule "A" to this by-law;

**NOW THEREFORE** the Council of The Corporation of the City of Mississauga **ENACTS** as follows:

1. That the area shown in bold outline, attached hereto as Schedule "A" is hereby designated as a heritage conservation district study area for a period of one year.
2. That the City shall undertake a heritage conservation district study in the heritage conservation district study area in accordance with the requirements of the *Ontario Heritage Act* for the purpose of determining whether the boundary of the current Meadowvale Village Heritage Conservation District should be enlarged.

3. During a period of one year, no person shall:
- a. alter or permit the alteration of any property situated in the heritage conservation district study area; or
  - b. erect, demolish or remove or permit the erection, demolition or removal of any buildings or structures in the heritage conservation district study area

without the prior consent of the City Council, save and except for minimal alterations that do not require a heritage permit.

4. For greater clarity, minimal alterations referred to in Section 3 above include:
- Standard maintenance of features such as gutters and down spouts;
  - Repairs to fencing or landscape elements such as walkways;
  - Painting, with the exception of the painting of unpainted masonry (e.g., brick or stone);
  - Re-roofing in the same materials;
  - Alterations deemed consented to in accordance with the Heritage Conservation District plan.
5. Section 3 above does not apply to properties with development applications already in process with the Planning and Building Department at the time of passing of this by-law.
6. This by-law shall come into force and effect upon its passing.

By-law approved this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk





# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee NOV 20 2012
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**DATE:** October 23, 2012

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: November 20, 2012

**FROM:** Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

**SUBJECT:** Request to Alter a Heritage Designated Property  
1036 Old Derry Road  
(Ward 11)

---

**RECOMMENDATION:** That the request to alter the property at 1036 Old Derry Road, as described in the report from the Commissioner of Community Services, dated October 23, 2012, be approved.

**BACKGROUND:** The City designated the subject property under Part V of the *Ontario Heritage Act* in 1980 as part of the Meadowvale Village Heritage Conservation District (HCD). As such, any changes are subject to approval by Council, in consultation with the City's Heritage Advisory Committee and the Meadowvale Village HCD Review Committee.

**COMMENTS:** The current owner has submitted a heritage permit application to expand the subject one and half storey dwelling. The Heritage Impact Statement (HIS) and proposal, both by Strickland Mateljan Design Associates Ltd., are attached as Appendices 1 and 2 respectively. The HIS suggests that the Preston family likely commissioned the original house in 1945 or shortly thereafter. The dwelling is evident in 1954 aerial photography.

The proposed expansion provides additional space to the rear and east, as well as more head room on the second floor. The roof would be replaced with a taller one that increases the height by four feet. The

streetscape view reveals that, despite this additional height, the residence would still appear appropriately diminutive next to the stately Graham-Pearson House to the east.

In order to break up the visual massing of this taller roof, two shed dormers are proposed. These symmetrically placed windows are also consistent with the symmetrical arrangement of the original façade, which would be retained. Porches, with gable roofs, would be added to the front and west faces. (A recent porch, on the west side, as well as the rear deck, would be removed.)

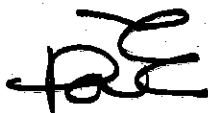
The additional wood sheathed built form, to the rear and east, is designed in such a way as to minimize its visual massing, as well as to preserve as much of the original patterned concrete block façade as possible. An additional porch, and stone fireplace and chimney, are also proposed at the rear. The garage at the southwest corner of the property would be replaced.

Heritage Planning staff, as well as the Meadowvale Village HCD Review Committee, recommend that the proposal be approved. A letter attesting to this, from the Review Committee, is attached as Appendix 3.

**FINANCIAL IMPACT:** There is no financial impact.

**CONCLUSION:** A heritage permit application has been submitted to expand a one and a half storey dwelling in the Meadowvale Village HCD. The proposal retains much of the patterned concrete block façade that makes the dwelling of interest. As such, it is recommended that the proposal be approved.

**ATTACHMENTS:** Appendix 1: Heritage Impact Statement  
Appendix 2: Drawings  
Appendix 3: Meadowvale Village HCD Review Committee Letter



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Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

*Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator*



# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee

NOV 20 2012

---

**DATE:** October 23, 2012

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: November 20, 2012

**FROM:** Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

**SUBJECT:** **Request to Demolish a Heritage Listed Property**  
**1976 Pump House, Mississauga Golf & Country Club**  
**1725 Mississauga Road**  
**(Ward 8)**

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**RECOMMENDATION:** That the 1976 pump house at the Mississauga Golf & Country Club, 1725 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process, subject to the following condition:

- (a) That solid wood board hoarding is installed, prior to any demolition occurring, to protect the nearby former 1923 pump house during demolition and construction.

**BACKGROUND:** Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property proposes to replace the 1976 pump house with a new one. The subject property is listed on the City's Heritage Register as it forms part of several cultural landscapes. These

include the Mississauga Golf & Country Club, Mississauga Road Scenic Route and Credit River Corridor.

**COMMENTS:**

The owner of the subject property requests permission to demolish the 1976 pump house, which was remodelled in 2010. The Heritage Impact Statement, by Paul Dilse, Heritage Planning Consultant, is attached as Appendix 1. (Drawings are attached as Appendix 2.) It is the consultant's conclusion that the 1976 pump house at 1725 Mississauga Road is not worthy of heritage designation. Staff concurs with this opinion.

However, the report also points out the existence of a former pump house in close proximity to that proposed for demolition. The Club erected the former Credit Valley stone pump house in 1923. Dilse recommends that hoarding be erected to protect the former pump house during demolition of the 1976 pump house and construction of the new one. Staff concurs with this opinion.

**FINANCIAL IMPACT:** There is no financial impact

**CONCLUSION:**

The Mississauga Golf & Country Club requests permission to replace the 1976 pump house on site. Staff concur that this pump house is not worthy of heritage designation. However, due to its close proximity to an older 1923 pump house that may have cultural heritage value, staff recommend that the demolition be allowed as long as solid wood board hoarding is installed, prior to demolition, to protect the older pump house, until construction is complete.

**ATTACHMENTS:**

Appendix 1: Heritage Impact Statement

Appendix 2: Drawings



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Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

*Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator*

NOV 20 2012

**Memorandum**Community Services Department  
Culture Division

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**TO:** Chair and Members of the Heritage Advisory Committee

**FROM:** Paula Wubbenhorst, Acting Senior Heritage Coordinator

**DATE:** November 2, 2012

**FILE:** Cultural Landscape Inventory

**SUBJECT:** Heritage Permit Process and Cultural Landscapes

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Due to the high volume of redevelopment applications in the City's Cultural Landscapes, Heritage Planning staff have endeavoured to find a means of streamlining the heritage process for these properties. Staff investigated an avenue by which some properties might be exempt from completing some of the components of the Heritage Impact Statement. Unfortunately, once the proposal was fully investigated, it was found that it would undermine both the objectives of the cultural landscape inventory and the heritage policies in the official plan. As such, we are no longer pursuing this matter at this time.

A handwritten signature in cursive script that reads "P. Wubbenhorst".

Paula Wubbenhorst  
Acting Senior Heritage Coordinator  
Culture Division

NOV 20 2012

**Memorandum**Community Services Department  
Culture Division

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**TO:** Chair and Members of the Heritage Advisory Committee

**FROM:** Elaine Eigl, Heritage Coordinator

**DATE:** October 30, 2012

**SUBJECT:** Wood Window Restoration Workshop – Follow Up Memo

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On September 22<sup>nd</sup>, 2012, the half-day wood window restoration was held in Streetsville. The goals of the workshop were to:

- Remind owners that restoration of heritage resources must occur, whenever possible, before replacement becomes an option;
- Network with designated property owners; and
- Reach a greater audience using fewer resources.

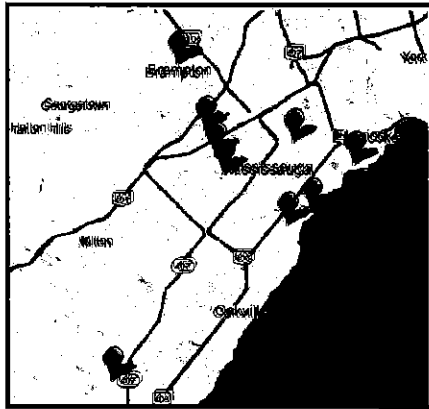
With just over 30 people in attendance, Walter Furlan, of Walter Furlan Heritage Building & Window Restoration, explained that a 100 year old wood window can easily enjoy a further 100 years of useful life with regular maintenance, and by using some of the repair techniques he demonstrated. Walter explained that the jargon “maintenance free” actually means “unable to be maintained” when it comes to vinyl windows.

At the end of the event, participants were invited to complete an anonymous questionnaire, the results of which are attached as Appendix 1. Feedback from the event was positive. One participant stated, “I have completely changed my mind about wood windows (I am amazed at how effective marketing is to create” misinformation, “– I actually thought vinyl windows were superior).”

The estimated cost to cover the facility rental fee and the window restorer’s fee was \$350. After adding the applicable taxes to the hall rental fee and restorer’s invoices, and adding on costs for catering, which weren’t originally factored into the costs estimate, the final cost for the event was \$577.43.

Elaine Eigl  
Heritage Coordinator  
Culture Division

### Wood Window Restoration Workshop – Survey Results



Wood Window Restoration  
Workshop  
Distribution of Survey Respondents

- Based on the postal codes of respondents, those who attended the workshop came from Brampton, Etobicoke, Burlington, and across Mississauga.
- Over half of respondents were made aware of the workshop through either Heritage Mississauga or Heritage Burlington, with the remainder indicating that they received an email or direct mailing, saw the reader board, or were informed by City staff.
- 100% of respondents felt that the event was “very organized” or “organized”.
- 100% of respondents felt that the information presented at the event was “very useful” or “useful”.
- 89% of respondents indicated that they felt “very comfortable” asking questions at the event.
- 89% of respondents felt that the presenter was “very experienced” in the subject matter.
- 75% of respondents felt that there could have been more time for discussion following the presentation.
- 100% of respondents indicated that their expectations for the event were exceeded or met.
- Based on what was learnt from the workshop, 78% of respondents said that they would absolutely attempt minor repair work on their wood windows.
- 100% of respondents said that they would consider attending future events presented by the Heritage Advisory Committee.
- **Suggested topics for future workshops include:**
  - Door repair with regards to wood rot
  - Structural issues with heritage homes
  - Heritage restoration
  - Landscaping – traditional, native trees
  - Construction/restorations – using traditional materials
  - Refinishing woodwork – general outline of architectural detailing

- **Comments:**

- I have completely changed my mind about wood windows (I am amazed at how effective marketing is to create misnomers - I actually thought vinyl windows were superior) Thank you so much.
- The workshop was excellent and Elaine did a superb job facilitating the whole event.
- Great Presentation
- Great Event. Thanks for the effort in putting it together.
- Outstanding workshop - and Elaine is an effective knowledgeable and charming 'host' for the event.





## heritage trees workshop: toronto

Friday, November 9, 2012 - 8:30a.m. - 3:00p.m.

Cost: \$55.00

Registration required

Ontario Institute for Studies in Education (OISE)  
252 Bloor Street W. Room 2214  
Toronto  
Canada

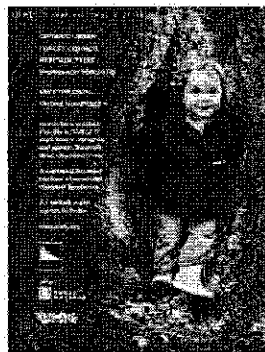
Presented by the Ontario Urban Forest Council (OUFC) and  
Trees Ontario. LEAF is the local partner for Toronto. Special  
thank you to University of Toronto Faculty of Forestry for providing the space.

Learn how to identify, research and nominate heritage trees in your community at this specialized  
Toronto session of the OUFC's province-wide Heritage Tree Training Workshop. Acquire the skills  
and knowledge needed to nominate a living piece of history in your neighbourhood. We will cover:

- formal definition and value of an Ontario heritage tree
- stories about recognized Ontario heritage trees and trees protected by the Ontario Heritage Act
- how to undertake cultural research on trees
- how to understand heritage tree evaluation criteria and celebrate heritage trees in your community
- legal and policy options available for protecting heritage trees under Toronto bylaws and Ontario  
Heritage Act
- proper heritage tree stewardship practices

*This workshop does not provide any legal provisions for heritage trees. The workshop will provide  
first steps in galvanizing support for and key information about advocating for tree protection at  
municipal and provincial levels.*

**All registered attendees will receive further details and an agenda closer to the event  
date. Lunch not provided.**



Heritage Advisory Committee  
NOV 20 2012

S	M	T	W	T	F	S
					1	2
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

### upcoming events



### newsletter



### stay connected



[Create an event](#)[Find events](#)[Email](#)[Share](#)[Tweet](#)[Like](#) 0[Questions? Contact the organizer](#)

## Toronto Heritage Tree Workshop

OUFC in partnership with Trees Ontario, LEAF and U of T Forestry Faculty

Friday, 9 November 2012 from 8:30 AM to 3:00 PM

Toronto, Ontario

### Ticket Information

TICKET TYPE	SALES END	PRICE	FEE	QUANTITY
Heritage Tree workshop only, no toolkit.	1d 17h 16m	\$55.00	\$0.00	0
Heritage Tree Workshop, plus prepay for the 200 pg publication "Securing the Future of Heritage Trees: A Protection Toolkit for Communities". Book will also be available for purchase cash only at the workshop.	1d 16h 46m	\$100.00	\$0.00	0
Student ticket, current student card required	2d 16h 46m	\$25.00	\$0.00	0
Speakers and Planning Committee	2d 18h 46m	\$0.00	\$0.00	0

[Show other payment options](#)

### When & Where



**Ontario Institute of Studies in Education**  
 252 Bloor Street West  
 Room 2214  
 Toronto, Ontario M5S 1V6  
 Canada  
 Friday, 9 November 2012 from 8:30 AM to 3:00 PM

[Add to my calendar](#)

### SHARE THIS EVENT

[Email](#)[Share](#)[Tweet](#)[Like](#)[Sign Up to see what your friends like.](#)

### Event Details



Please join us for an informative Heritage Tree

Workshop presented by OUFC, Trees Ontario and local partners LEAF and University of Toronto Faculty of Forestry.

The Trees Ontario and Ontario Urban Forest Council (OUFC) Heritage Program is a premier program developed to identify, record, collect from and ensure the continuity of the Province's most important historic trees. Any local community group or individual can nominate a Heritage Tree. These are trees which are assessed based on their age, size, appearance as well as cultural and historic significance.

### Organizer

**OUFC in partnership with Trees Ontario, LEAF and U of T Forestry Faculty**

[Contact the Organizer](#)[View organizer profile](#)

1 upcoming event on Eventbrite

NOV 20 2012

# Memorandum



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**TO:** Chair and Members of the Heritage Advisory Committee

**FROM:** Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee

**DATE:** Friday, November 9, 2012

**SUBJECT:** 2013 Heritage Advisory Committee Meeting Dates

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This Memorandum is to advise that the following Heritage Advisory Committee (HAC) meeting dates have been scheduled for 2013:

- Tuesday, January 22
- Tuesday, February 26
- Tuesday, March 19
- Tuesday, April 23
- Tuesday, May 28
- Tuesday, June 18
- Tuesday, July 23
- Tuesday, August 20
- Tuesday, September 17
- Tuesday, October 22
- Tuesday, November 19

All meetings will be held at 9 a.m. in the Council Chamber located on the 2<sup>nd</sup> floor of the City of Mississauga's Civic Centre, 300 City Centre Drive, Mississauga, Ontario, L5B 3C1. Please note that one or more of the above meetings may be cancelled due to insufficient agenda items.

Kindly contact me in advance of meetings if you will be absent and/or late so that quorum issues can be anticipated and dealt with accordingly. Please let me know if you have any questions or concerns.

Sincerely,

Julie Lavertu, MPPA  
Legislative Coordinator, Heritage Advisory Committee  
Corporate Services Department, Legislative Services Division  
300 City Centre Drive, 2<sup>nd</sup> Floor, Mississauga, ON, L5B 3C1  
Telephone: 905-615-3200, ext. 5471; Fax: 905-615-4181  
Email Address: [Julie.Lavertu@mississauga.ca](mailto:Julie.Lavertu@mississauga.ca)

**STATUS OF OUTSTANDING ISSUES FROM THE HERITAGE ADVISORY COMMITTEE**  
**Prepared by Julie Lavertu, Legislative Coordinator, for the November 20, 2012 Heritage Advisory Committee Agenda**

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
<b>Bell Tower Meadowvale Village Hall</b>	Oct/09	6970 Second Line West	HAC-0076-2009	Staff to report back with costing.
	Dec/09		HAC-0083-2009	Deferred for further review of possible options for funding and management of the project.
	Nov/11		Information	The Chair asked that this matter remain on the chart because staff were meeting on this matter today.
	Jan/12		Information	Ms. Wubbenhorst said that Facilities and Property Management staff were working on the Bell Tower at Meadowvale Village Hall and would assess if the roof could hold the Bell Tower.
	Mar 2/12		Information	The Chair gave an update on the Bell Tower, which is proceeding, and indicated that this matter would return to the Committee in the future. Mr. Spaziani asked about the design. Ms. Wubbenhorst responded that the design is based on his design.
	Apr/12		Information	The Chair gave an update on the Bell Tower and briefly discussed a recent meeting regarding this project and upcoming work on the project's structural feasibility.
	Jun/12		Information	Ms. Wubbenhorst said that an engineering report to determine whether the Meadowvale Village Hall can support the Bell Tower is currently being finalized.
<b>Rooftop Solar Panels</b>	Mar/10	N/A	HAC-0026-2010	Heritage staff to review and report back to HAC.
	Feb/11		Information	Ms. Burt indicated that she plans to hire a student to do research on rooftop solar panels.
	Nov/11		Information	Ms. Wubbenhorst noted that this matter was outstanding and should remain on the chart.
<b>Dowling House</b>	Jul/11	2285 Britannia Road West	HAC-0054-2011	That the request by the property owner to relocate the Dowling House located at 2285 Britannia Road West,

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
Dowling House continued...				<p>which is designated under By-law 0249-2010, under Section 29 of the <i>Ontario Heritage Act</i>, be approved by the Director of Culture (or designate) in accordance with By-Law 0184-2011, the By-Law delegating authority to staff during Council's Summer Recess, pending all required approvals from the City of Mississauga for any development applications filed on the lands on which this building is currently located; and compliance, to the satisfaction of the Director of Culture, with all conditions outlined in the report from the Commissioner of Community Service, dated June 29, 2011, including the de-designation of the Dowling House during relocation and re-designation following relocation.</p> <p><b>As a result of the above recommendation, Heritage staff must amend the Designation By-Law and de-designate the property during relocation and re-designate the property following relocation.</b></p>
	Nov/11		Information	<p>Ms. Wubbenhorst noted that this matter was outstanding and should remain on the chart. Mr. Wilkinson asked for an update on the property. Ms. Eigl said that she had not heard from the property owner's agents since August and that Heritage staff were monitoring the property. Mr. Spaziani stated that Mark Hall was no longer an agent for the property owner and that he had been asked to work on the file and had refused. The Chair noted disappointment about the status of the property, especially with the upcoming winter, and asked if by-laws could enforce the property's preservation. Ms. Burt said that Heritage staff would ask Planning and Building staff to visit the property and document any issues.</p>
	Jan/12		Information	<p>Ms. Wubbenhorst stated that a Building Inspector visited the Dowling House and found it secure on January 6, 2012 and that the property owner indicated</p>

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
Dowling House continued...				that the project would proceed.
	Mar 2/12		Information	Committee members asked about the Dowling House and discussed the property's condition, status, and next steps. Ms. Wubbenhorst said that Heritage staff was waiting for the restoration plan. Ms. Eigl said that the property owner had complied with property standards orders. The Chair asked Heritage staff to obtain an update for the next meeting.
	Apr/12		Information	Ms. Wubbenhorst discussed the Dowling House and said that Heritage staff contacted the property owner for an update and that a moving plan was recently submitted which Heritage staff will review along with working on a Letter of Credit. Mr. Wilkinson discussed the Dowling House and construction activities on the property, including a new foundation. Ms. Wubbenhorst said that she would look into this matter.
	May/12		Information	Ms. Wubbenhorst discussed the Dowling House and said that the property was hoisted onto beams, that the property owner has been served with a summons for construction without a building permit, and that Heritage staff are reviewing a revised moving plan and other outstanding items prior to issuing a heritage permit to the property owner.
	Jun/12		Information	Ms. Wubbenhorst said that the Dowling House was recently taken off its foundation and is on a truck. The City obtained a court order to restrain the property owner from further relocating the property. This next court proceeding will be held on June 22, 2012.
	Jul/12		Information	Ms. Wubbenhorst gave an update on the Dowling House, noting that the June 22, 2012 proceeding was adjourned, that the property owner and City are in negotiations, and that the City will be in court soon to proceed with charges under the <i>Ontario Heritage Act</i> .

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
<b>Dowling House continued...</b>	Sept/12		Information	In response to a question from the Chair, Ms. Wubbenhorst discussed the current status of the Dowling House and said that Heritage staff were working with the property owner to come to a resolution. Committee members discussed the Dowling House's location and status.
<b>Port Credit Post Office, Customs House and Armoury</b>	Jan/11	31 Lakeshore Road East	HAC-0001-2011	That the proposed heritage designation of the Port Credit Post Office, Customs House and Armoury, 31 Lakeshore Road East, be deferred pending the owner's submission of a Heritage Impact Statement that is satisfactory to Culture Division staff.
	May/11		Information	Ms. Eigl noted that she would be meeting with the property owner's agents on May 24, 2011 about their plans for the property. The Vice-Chair requested a report from Ms. Eigl after her meeting.
	Jul/11		Information	Ms. Burt said that the property owner had met with his consultant, but that Heritage staff had not received the property's HIS.
	Nov/11		Information	Ms. Wubbenhorst said that Heritage staff had received the HIS and that the Committee would be reviewing this matter at an upcoming Committee meeting in 2012.
	Mar 2/12		Information	Committee members discussed the Port Credit Post Office, Customs House and Armoury and asked staff for an update. Ms. Wubbenhorst said that Heritage staff had not yet received anything further for this property.
	May/12		Information	Ms. Wubbenhorst discussed the Port Credit Post Office, Customs House and Armoury, said that Heritage staff have received a Site Plan for this application, and noted that the Committee would likely be reviewing a HIS for the property within the next few months.
	Jun/12		Information	Ms. Tomiuk requested an update. Ms. Wubbenhorst responded that the Committee would consider this

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
Port Credit Post Office, Customs House and Armoury continued...				<p>matter in the near future and that Heritage staff has not yet accepted the HIS. Mr. Cutmore discussed a recent sign that was placed on the property advertising the availability of commercial space.</p> <p><b>Please refer to Item 3 on the Heritage Advisory Committee's agenda for November 20, 2012.</b></p>
Outdoor Rifle Range	Mar/11	1300 Lakeshore Road East	Information	Ms. Eigl advised that Park Planning staff are working on this matter, that she will look into this matter and update the Committee at a future meeting, and that she will organize a site visit with Councillor Tovey to clarify the location of the property.
	Oct/11		Information	Ms. Wubbenhorst requested clarification that the Rifle Range issue included the designation of the Outdoor Rifle Range and, thus, should remain on the chart. Councillor Tovey indicated that he wanted this property to be designated and that he believed that the Region of Peel supported designation.
	Nov/11		Information	Ms. Wubbenhorst said that Heritage staff would contact the Region of Peel to see if they supported designation. The Vice-Chair encouraged staff to continue working on this matter and indicated that reinstituting a nearby wetland may impact the property and the Region's position. Ms. Burt said that Heritage staff would cooperate with Region staff.
	Jan/12		Information	Ms. Wubbenhorst clarified that Heritage staff needed to draft a report on the Outdoor Rifle Range before asking the Region of Peel about designation. She added that the latter was on the 2012 Workplan.



Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
<b>Outdoor Rifle Range continued...</b>	May/12		Information	The Vice-Chair requested an update on the Outdoor Rifle Range. Ms. Wubbenhorst said that Heritage staff need to draft a Cultural Heritage Assessment (CHA) and converse with the Region of Peel after the completion of the CHA. She indicated that this matter was on Heritage staff's 2012 Workplan and would likely be completed by the end of the year.
	Jun/12		Information	Ms. Wubbenhorst said that Heritage staff will initiate discussions with the Region of Peel about designating the Outdoor Rifle Range based on a previous consultant's report.
<b>Heritage Advisory Committee's Budget</b>	Apr/11	N/A	HAC-0023-2011	That the Legislative Coordinator for the Heritage Advisory Committee, in consultation with the Director of Arts and Culture, prepare a Memorandum for the Heritage Advisory Committee's May 24, 2011 meeting regarding the Heritage Advisory Committee's draft 2011 budget and include information about budget allocations for the City of Mississauga's other Advisory Committees of Council and the Heritage Advisory Committee's budget and spending history.
	May/11		Information	Ms. Lavertu said that she would outline the Committee's budget and spending history after the budgets for the City's Advisory Committees of Council were reviewed as part of the Office of the City Clerk's 2011 Workplan.

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
<b>Heritage Advisory Committee's Budget continued...</b>	Nov/11		Information	Ms. Lavertu noted that the Committee's spending history would be provided in 2012 after the Office of the City Clerk's 2011 Workplan was completed. The Vice-Chair asked if Heritage staff could provide the Committee with a session about the budget for heritage at a future meeting. Ms. Burt provided a brief overview about the budget and noted that no additional money to the tax base was being requested, that more staff would be requested for 2013, as the workload of Heritage staff had increased, and that a brief session about the budget could be provided to the Committee. The Chair said that it would be useful for Heritage staff to review capital amounts for heritage grants for future budget years.
	Jan/12		Information	Ms. Lavertu briefly discussed the Committee's 2011 budget and Recommendation HAC-0023-2011 and noted that this information would be provided to the Committee once the Office of the City Clerk's 2011 Workplan had been finalized.
<b>Heritage Advisory Committee/ Subcommittee Reviewing Preliminary Design Plans for Heritage Listed Properties</b>	Sept/11	N/A	HAC-0077-2011	That Heritage staff follow up with Legal and Planning and Building staff about the possibility of the Heritage Advisory Committee or a Heritage Advisory Committee Subcommittee reviewing preliminary design plans for heritage listed properties in advance of approval by Heritage staff.
	Nov/11		Information	Ms. Burt noted that Heritage staff would be meeting with Planning and Building staff on this matter soon and would update the Committee in 2012.
	Jan/12		Information	Ms. Wubbenhorst said that Heritage staff is working on Recommendation HAC-0077-2011 and would have a Corporate Report at a future Committee

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
				meeting on this matter.
<b>QEW Credit River Bridge Class Environmental Assessment Study</b>	Mar 20/12		Information	Ms. Wubbenhorst said that Heritage staff informed the project team that the bridge and nearby properties are listed. She did not know if this provincial project was subject to a heritage permit and HIS, but noted that she would look into this. Ms. Wubbenhorst noted that, to her knowledge, the Committee had not reviewed the bridge's lights and arches and that staff is working on the Committee's deputation request with the project team.
	Apr/12		Information	Ms. Wubbenhorst said that Heritage staff asked for a HIS and archaeological assessment in March 2010 from the QEW Credit River Bridge project team. She said that the project team advised her that these two documents would be included in their Transportation Environmental Study Report which will be issued in the fall of 2012.
<b>Committee's options for streamlining the current process for properties on the Heritage Register located in Cultural Landscapes</b>	Apr/12	N/A	HAC-0034-2012	That the Legislative Coordinator schedule a meeting in the near future for the Heritage Advisory Committee and Heritage staff to discuss the Committee's options for streamlining the current process for properties on the Heritage Register that are located in Cultural Landscapes.
	May/12		Information	Ms. Wubbenhorst said that Ms. Burt and herself plan to meet with the Chair and Vice-Chair in the near future to discuss next steps regarding this matter. Ms. Burt said that Ms. Wubbenhorst and herself plan would meet with the Chair and Vice-Chair in the near future to discuss HAC-0034-2012 and the Committee's options for streamlining the current

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
Committee's options for streamlining the current process for properties on the Heritage Register located in Cultural Landscapes continued...				process for properties on the Heritage Register located in Cultural Landscapes. She suggested that the Vice-Chair's suggestion for an off-site session for the Committee be discussed in-depth at this time.
	Jun/12		Information	Ms. Wubbenhorst said that the Committee will consider a Memorandum in the near future regarding HAC-0034-2012 (the Committee's options for streamlining the current process for properties on the Heritage Register located in Cultural Landscapes). In response to a question from Mr. McCuaig asked about the scope of the Memorandum regarding HAC-0034-2012, Ms. Wubbenhorst said that the streamlined HIS Terms of Reference would apply to all Cultural Landscapes and that Heritage staff are considering doing a pilot project in the Mineola West Cultural Landscape as a first step.
	Jul/12		Information	Mr. McCuaig requested an update from Heritage staff on HAC-0034-2012 and the proposed pilot project in the Mineola West Cultural Landscape. Ms. Wubbenhorst responded that the Committee would likely review this matter in September and said that she would discuss this subject with Mr. McCuaig and Mr. Dodaro following the meeting.  <b>Please refer to Item 7 on the Heritage Advisory Committee's agenda for November 20, 2012.</b>

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
Derry House	Jul/12	875 Enola Avenue	Information	Mr. Cutmore discussed vandalism to the Derry House's front steps and asked Heritage staff for an update, noting that it has been roughly three months since the vandalism occurred. Ms. Wubbenhorst and Ms. Eigl responded that they would look into the matter.
	Sept/12		Information	Ms. Wubbenhorst said that work was ongoing on the Derry House's steps.
Alteration to a Heritage Designated Property without Heritage Permit	Sept/12	7155 Pond Street	Deferral	<p>HAC-0074-2012</p> <ol style="list-style-type: none"> <li>1. That the email message dated September 17, 2012 from Miles Backhouse, Corporate Solicitor for the property owner of 7155 Pond Street, requesting deferral of the Memorandum dated September 7, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to an alteration to a heritage designated property without heritage permit located at 7155 Pond Street in the Meadowvale Village Heritage Conservation District be received; and</li> <li>2. That the Memorandum dated September 7, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to an alteration to a heritage designated property without heritage permit located at 7155 Pond Street in the Meadowvale Village Heritage Conservation District be deferred to the next Heritage Advisory Committee meeting on Tuesday, October 23, 2012.</li> </ol> <p><b>Please refer to Item 1 on the Heritage Advisory Committee's agenda for November 20, 2012.</b></p>

NOV 20 2012



# CITY OF MISSISSAUGA

## NOTICE OF STUDY COMMENCEMENT

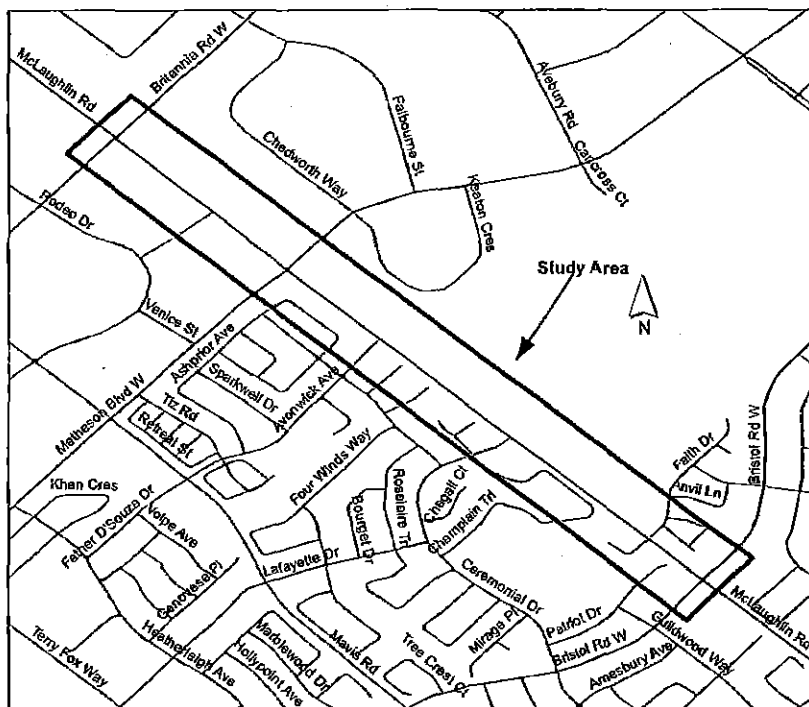
### Municipal Class Environmental Assessment Study for McLaughlin Road

#### THE STUDY:

The City of Mississauga has initiated a Class Environmental Assessment (Class EA) Study 'Schedule C' including Preliminary Design for the section of McLaughlin Road from Bristol Road West to Britannia Road West.

Within the study area, McLaughlin Road is located next to the Britannia Farm woodlot, and consists of two travel lanes, a centre turning lane in some sections, a continuous sidewalk on the west side, partial sidewalk on the east side, and no bike lanes. According to the City's current Official Plan, McLaughlin Road is designated as a Major Collector road within the study area and a Scenic Route from Bristol Road West to Matheson Boulevard West.

The study is being undertaken to investigate the need for additional north-south capacity and traffic management improvements along this section of McLaughlin Road, while taking into consideration the Scenic Road designation, adjacent land uses and plans for a cycling route.



This study will follow a comprehensive, sound and open planning process in order to recognize and accommodate the multi-modal transportation needs of the corridor, through a Context Sensitive Design Approach.

#### THE PROCESS:

The study will be conducted in accordance with the planning and design process for 'Schedule C' projects as outlined in the Municipal Engineers Association "Municipal Class Environmental Assessment," (October 2000, as amended in 2011), which is approved under the Ontario Environmental Assessment Act. The Class EA process includes public/external agency consultation, an evaluation of alternative solutions and alternative design concepts, an assessment of potential impacts associated with the proposed improvements, and development of measures to mitigate identified impacts.

#### COMMENTS:

Public participation will form an integral part of the Class Environmental Assessment study to ensure that the ongoing concerns of the public and affected groups within the study area are identified, documented and assessed. A minimum of two Public Information Centres will be held and advertised in advance to enable the public to meet the project team and to share their feedback to better address needs and opportunities. Upon completion of the study, an Environmental Study Report (ESR) will be prepared and made available for public review and comment. Furthermore, any parties that wish to comment on or to be involved in the Class EA study should indicate their interest, preferably in writing to:

**Abdul Shaikh, P.Eng., PMP**  
**Project Manager**  
 City of Mississauga  
 201 City Centre Drive, Suite 800  
 Mississauga, Ontario, L5B 2T4  
 Tel: 905-615-3200, Ext. 3734  
 Fax: 905-615-3173  
 E-mail: [abdul.shaikh@mississauga.ca](mailto:abdul.shaikh@mississauga.ca)

**Don Drackley MCIP RPP**  
**Consultation Manager**  
 IBI Group  
 30 International Boulevard  
 Toronto, Ontario, M9W 5P3  
 Tel: 416-679-1930  
 Fax: 416-675-4620  
 E-mail: [ddrackley@ibigroup.com](mailto:ddrackley@ibigroup.com)

Ministry of Citizenship  
and Immigration

Minister

6<sup>th</sup> Floor  
400 University Avenue  
Toronto ON M7A 2R9  
Tel.: (416) 325-6200  
Fax: (416) 325-6195

Ministère des Affaires civiques  
et de l'immigration

Ministre

6<sup>e</sup> étage  
400, avenue University  
Toronto ON M7A 2R9  
Tél. : (416) 325-6200  
Téléc. : (416) 325-6195



Heritage Advisory Committee

NOV 20 2012

September 2012

Dear friends,

It is my pleasure to send out the call for nominations for the **June Callwood Outstanding Achievement Award for Voluntarism in Ontario**.

Volunteers play a significant role in leading and supporting services in their communities; they lay the foundation for a strong and dynamic province. This award recognizes exceptional leadership, innovation and creativity in voluntarism and community service. Recipients of this award can include individual volunteers, volunteer groups, businesses and other organizations which have made outstanding contributions to their communities and the province.

Do you know an individual or group that makes an outstanding contribution? You may wish to consider nominating them for this award. Nomination forms and additional information are available on the Ministry of Citizenship and Immigration website at [www.ontario.ca/honoursandawards](http://www.ontario.ca/honoursandawards) or by phone at 416 314-7526, toll free 1 877 832-8622, TTY 416 327-2391. Deadline for nominations is **December 5 2012**.

I hope you will take this opportunity to ensure that volunteers receive the recognition they deserve.

Sincerely,

A handwritten signature in black ink, appearing to read 'Charles Sousa'.

Hon. Charles Sousa  
Minister

Heritage Advisory Committee  
NOV 20 2012

## PORT CREDIT POST OFFICE AND ARMORY HERITAGE IMPACT STATEMENT

PREPARED FOR CENTRE CITY CAPITAL LIMITED  
KEARNS MANCINI ARCHITECTS INC.



Figure 0.1 Entablature

September 14, 2012





Figure 0.2 Proposed New Main North Entry

PORT CREDIT POST OFFICE AND ARMOURY  
31 Lakeshore Road East, Mississauga  
HERITAGE IMPACT STATEMENT



Figure 0.3 Main North Entry



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Figure 0.4 Former Coat of Arms on North Elevation





Figure 1.1 Bird's Eye View from North West



Figure 1.2 Bird's Eye View from North East



Figure 1.3 Bird's Eye View from South East



# 1.0 Overview

## RECENT EVENTS

Canada Post discontinued use of the Port Credit Post Office in 2009 and set about selling the property. Prior to that the property had been on the Mississauga Heritage Register. Municipal designation cannot be applied to a federal property, however upon its sale designation is anticipated. The pending de-federalization of the Post office garnered much interest from local community groups supporting its designation including VIVA Port Credit, Town of Port Credit Village Project, Friends of Old Port Credit Village and the Mississauga South Historical Society. The property had several development proposals proffered during its sale showing a range of ideas and scales (Figures 1.5 and 1.6). They demonstrate the difficulty of attaining a satisfactory balance of contracting new with the old. Many of these proposals were floated to test public and Planning Department support prior to the sale of the property and stirred some criticism. The property was sold in December 2010 and the proposed redevelopment is summarized in this report which is in support of the Site Plan Application.

## PURPOSE OF THE REPORT

The purpose of this report is to provide a Heritage Impact Statement as it pertains to the current understanding of this Building's Heritage attributes and the development proposed by its new owners, Dr. William James and Mr. Jonathan James of Centre City Capital Limited located at 301-1 Port Street East, Mississauga, Ontario, L5G 4N1.

The proposed additions and renovations to the Post Offices were designed by Adamson Associates Architects under principle Robert Grossmann.

This report will summarize the history of the site and the heritage legacy of the Post Office, reviewing the reasons for its proposed designation and will describe the proposed design and its strategy for reuse of the Post Office Building and Site. The Impact of the design will be described herein and assessed against the building's current heritage status defined by the Heritage Impact Statement by Gillespie Heritage Consulting June 2008 and the Cultural Heritage Assessment prepared by the City of Mississauga's Cultural Division January 2011. This report will describe architectural design components that are intended to mitigate diminishment of the heritage stature of the Post Office.

## TERMS OF REFERENCE

Guiding this report are the City of Mississauga's Heritage Impact Statement Terms of Reference summarized herein. The building has been assessed and recommended for designation by the Cultural Heritage Assessment and the Gillespie Report, hence this document will endeavor to define the terms for designation under Mississauga City policy 4.9.2.3, and the Ontario Heritage Act, and will comment on the nature of the proposed development, and how it impacts the heritage attributes of the Post Office.



Figure 1.4 Post Office 1987



Figure 1.5 Low Rise Development Proposal



Figure 1.6 High Rise Development Proposal

## TERMS OF REFERENCE AND PERTINENT SECTION

The following is an abridged excerpt from the City of Mississauga's Heritage Impact Statement Terms of Reference

### *Heritage Impact Statement Requirements*

*The following minimum requirements will be requested in a Heritage Impact Statement:*

*3.1 Present owner contact information for property proposed for development and/or site alteration.*

**This has been provided in Section 1.0**

*3.2 A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s).*

**This has been provided in Section 2.0**

*3.3 A complete listing and full written description of all existing structures, with specific mention of all heritage resources on the subject property to include: structures, buildings, building elements, building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. Description will also include a chronological history of the structure(s) developments, such as additions, deletions, conversions, etc.*

**This has been provided in Section 3.0**

*The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.*

*A location map will be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.*

**This has been provided in Section 4.0**

*3.4 Documentation of the heritage resource will include current photographs, from each elevation, and/or measured drawings, floor plans, and a site map, at an appropriate scale for the given application (i.e. site plan as opposed to subdivision), indicating the context in which the heritage resource is situated. Also to include historical photos, drawings, or other archival material that may be available or relevant.*

**This has been provided in Sections 2.0, 3.0 and 4.0**

*The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)*

**This has been provided in Section 3.0 and 5.0**

*3.5 An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands.*

**This has been provided in Section 6.0**

*Note: A drawing indicating the subject property streetscape and properties to either side of the subject lands will be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any other landscape or landform features.*

*A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.*

**This has been provided in Section 6.0 and 7.0**

*3.6 Options will be provided to the City on how the heritage resource may be conserved, relating to its level of importance. This method of mitigation may include preservation/conservation, adaptive re-use, or incorporation to an altered function. Each mitigative measure is meant to create a sympathetic context for the preserved heritage resource.*

**This has been provided in Section 7.0**

*3.7 A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)*

**This has been provided in Section 1.0**

*3.8 Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.*

**This has been provided in Section 7.0**

*3.9 When a property can not be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered.*

**This does not apply.**

*Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.*

**This does not apply.**

*3.10 The qualifications and background of the person(s) completing the Heritage Impact Statement will be included in the report. The author(s) must demonstrate a level of professional understanding and competence in the heritage conservation field of study. The Statement will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.*

**This has been provided in Section 9.0**

#### *4. Summary Statement and Conservation Recommendations*

*The summary should provide a full description of:*

- the significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable.*
- the identification of any impact that the proposed development will have on the cultural heritage resource*
- an explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended*
- clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate.*

**This has been provided in Section 8.0**



Figure 1.7 Circa 1920s view of Port



Figure 1.8 Fishing at the River 1917





Figure 2.1 1796 Painting of Credit River Mouth



Figure 2.2 1852 Federal Survey of Reserve Lands

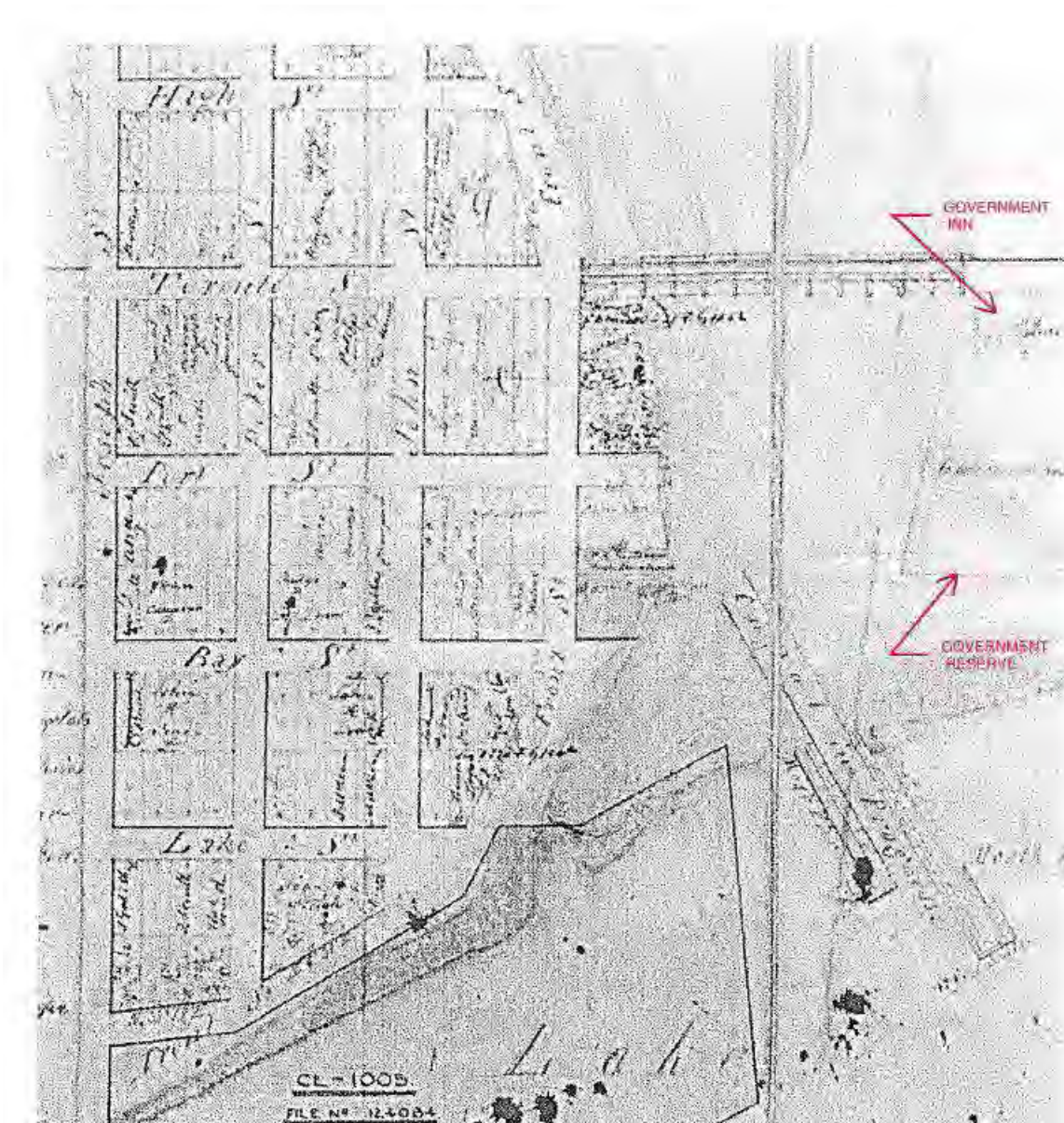


Figure 2.3 1835 Survey of Port Credit Village showing Government Reserve and Inn.

## 2.0 History

Archeological evidence shows occupation of the Post Office site and its environs of the Credit River estuary for several thousand years BP by the First Nations Peoples. In 1700 the area was occupied by the Ojibwa nation by a subtribe known as the Mississaugas. In the 1720s, French fur traders exchanged goods for pelts with the local Mississaugas. After the French withdrawal, the British started several settlements in the area applying the pressure for land acquisition from the indigenous peoples. After a series of treaties in 1805, 1818 and 1820, the Mississaugas were confined to a 200 acre federally built village north of Port Credit (ironically at the site of the present day Mississauga Golf and Country Club). There were still 2 - 1 mile strips of land on either side of the river maintained as aboriginal reserve land. Their occupation continued until 1847, where, decimated by disease and almost landless from ensuing treaties and land forfeiture. They were relocated to reserves in Brantford.

The River, known to the indigenous peoples as 'Missinihe' or 'Trusting Water' was a site for trade and reputedly gained its name "Credit" for the credit transactions that took place there. Seeing the potential of the location, the Federal Government purchased a parcel of land on the east bank just above the reserve strip which became known as the federal reserve. They built a trading post and government inn to capitalize on the trade centre and to establish a federal presence in the area. The inn was later purchased as a residence by the Lynd family and torn down in 1861. The Village of Port Credit (now known as the Old Village of Port Credit) was laid out in 1834 on the west bank opposite the federal reserve, and the harbour was greatly expanded with a permanent deep channel. Numerous levee bridges were built and rebuilt across the Credit along Toronto Street which would become Lakeshore Road with the east bridge end always connecting directly in front of the federal inn and federal reserve.

After brief rapid growth, Port Credit suffered a large fire that greatly destroyed the old village. The separation of the Credit River preserved the federal inn. Coupled with the new railways redirecting growth to Toronto, the village languished for several decades. Bolstered by the stone

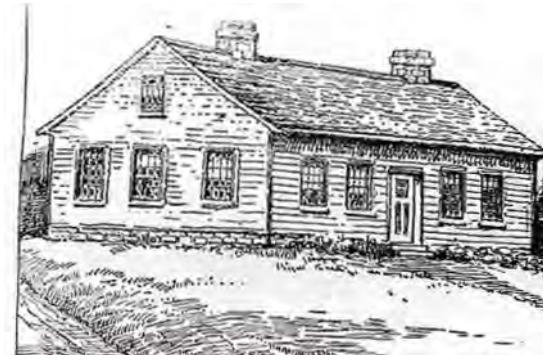


Figure 2.4 18th Century Government Inn at Lot 11 Conc.3



Figure 2.5 Hamilton General Store circa 1910



Figure 2.6 1908 View West at Ontario Street Bridge







Figure 2.9 Bird's Eye View 1930 Original Post Office Construction just Completed



Figure 2.10 Bird's Eye View 1972



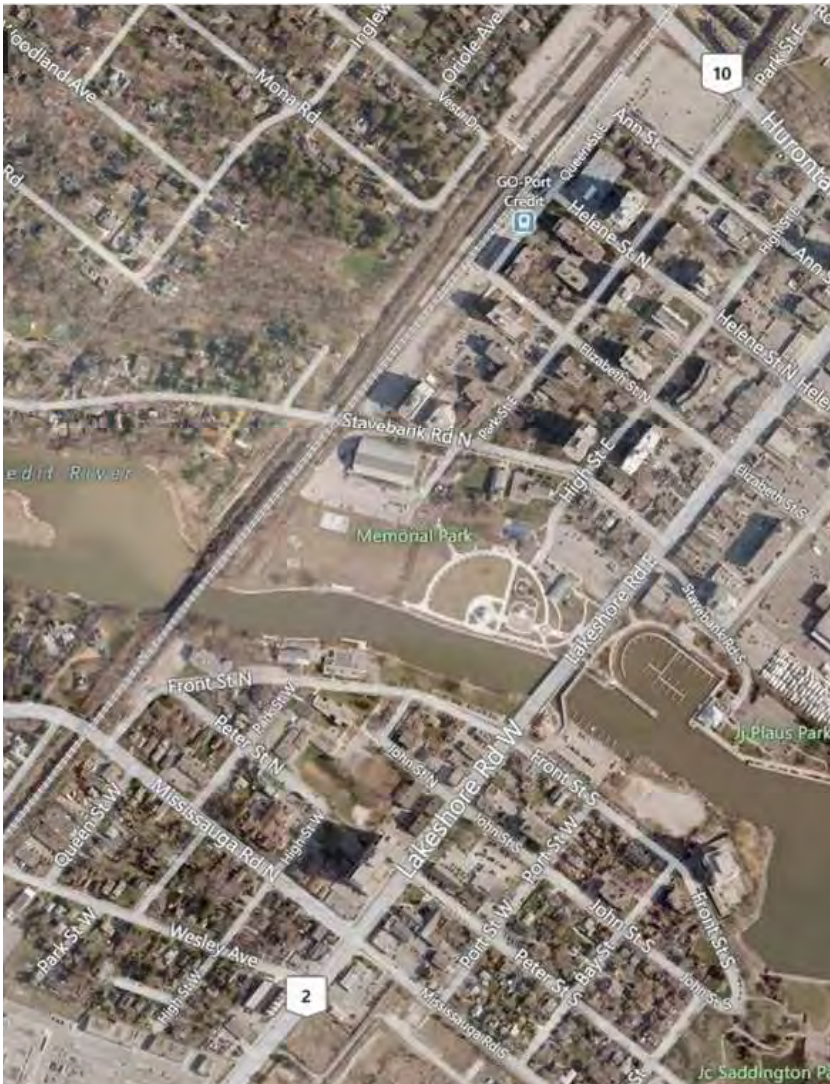


Figure 3.1 - Aerial Photograph of Post Office



Figure 3.2 - NE View of Post Office



Figure 3.3 - E View of Post Office



Figure 3.4 - SE View of Post Office



Figure 3.5 - NW View of Post Office



Figure 3.6 S View of Post Office



## 3.0 Description and Condition

### SITE DESCRIPTION

The site is a corner lot of Lakeshore and Stavebank, and is the South East bridgehead property to the Credit River Bridge. It commands a view to the harbour and river with the west elevation gaining greater exposure as the site slopes to the west down to the river.

The west edge of the property is lined with landscaped Norway Pine, Willow and London Plane trees. The north is bounded by the street boulevard inset parallel parking, and landscaping sidewalk islands, in particular a raised planting bed, tree well and bench area directly in front of the current entry. The East boundary, (Stavebank Road) also borders the site with on-street parking. At the south of the property is an asphalt parking and loading area and a grassed area which slopes westward down to the water's edge boardwalk.

### BUILDING DESCRIPTION AND LAYOUT

The building consists of a clearly defined 1931 two storey masonry block with main facades facing Lakeshore and Stavebank, and 2 one storey additions (1953 and 1966) built westward from the main building. At the South the 1953 addition attaches a two storey extension to the south elevation of the 1931 block. It attempted to be seamless in that it toothed in the new brick with the old but the seam is clearly visible due to the discontinuation of the frieze band.

The 1931 north elevation is a 3 bay symmetrically laid out around stone architrave front entry with entablature capped with a carved federal coat of arms. The frieze band is capped at the entry with the 'Port Credit' insignia. The ground floor windows are set in arched framed blind niches with stone keys, brick voussoirs and stone springer blocks. The upper windows have brick flat arched windows with stone keys. Both upper and lower windows are rectilinear, larger on the ground floor. All the original wood 6 over 6 muntin windows have been replaced with muntinless, sealed aluminum frame sash with double glazing. The East elevation is subdivided into 5 bays with window openings matching the North façade in the first 4 bays with the fifth having a small single window at the second level stairwell.

At the South East the plan steps in to create a secondary stone architrave doorway facing south with 3 small flat arched windows which follow the stairwell landing level. This was the customs office entry after the west entry was blocked by the 1953 addition. The set back east wall has 3 windows 2 upper and 1 lower matching in size to the main east faced except the lower window is without a niche and instead has a keyed flat arch like the second floor windows. Small basement windows align with the east face windows.



Figure 3.7 - South Entry architrave with entablature



Figure 3.8 - Window Detailing and Frieze Band

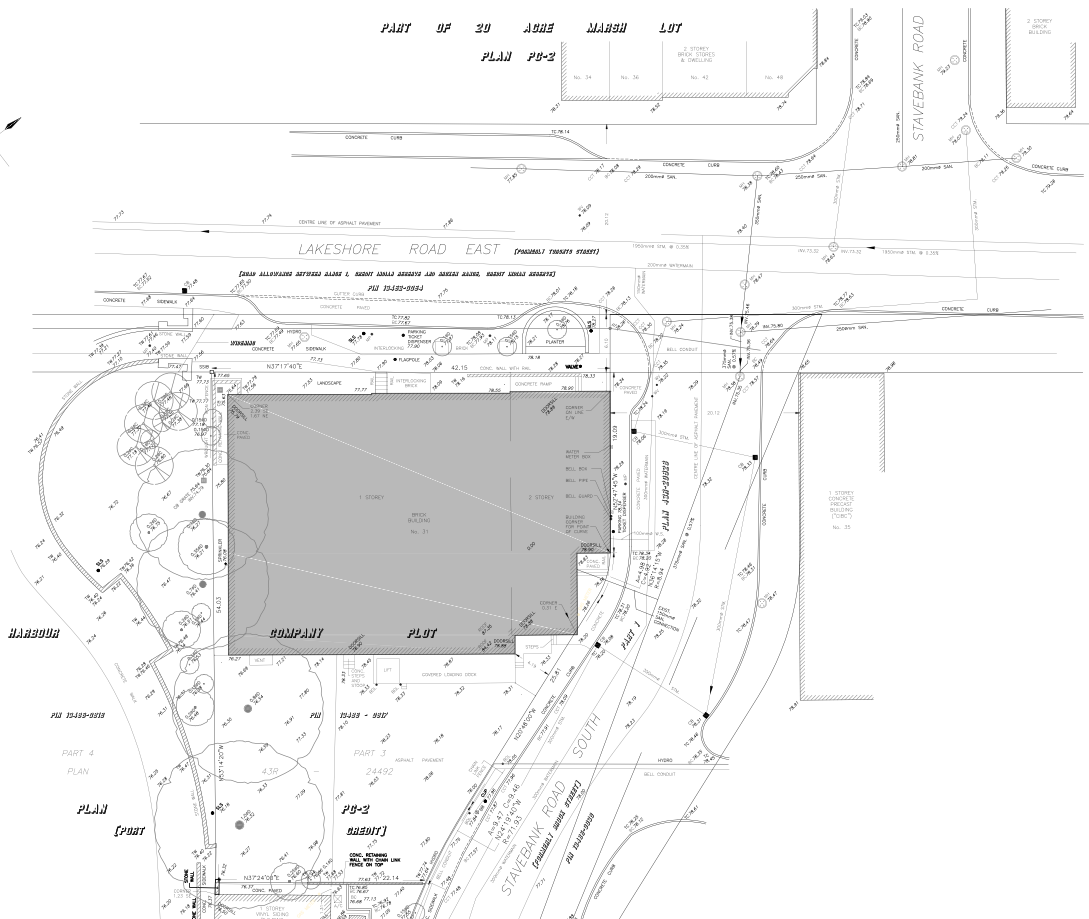


Figure 3.9 Current Survey



Figure 3.10 Aerial View from NE



The 1953 addition is a 1 storey wing added to the west elevation. It was intended to expand the sorting and back of house operations of the post office as well as expand the loading and shipping facilities at the rear of the building. The North elevation has 4 windows set in arched niches matched to the 1931 building but with a tighter spacing. This addition cut out the lower west wall of the 1931 building creating a large open ground floor space. The 1966 addition was a modernist brick box added to further expand the back of house operations and for greater security with no windows facing the street and only high level strip windows at the West and South. The 1931 building and both additions have full basements with the 1966 addition being almost fully exposed due to the change in grade at the river.

Little of the 1931 interiors remain since operation for the facility changed from public post office to a sorting station in the 1960s. The original wooden stair case and balustrade leading to the second floor and basement still exists. The second floor which originally housed the custodian, then later offices has much of the original partitioning; however most of the original woodwork and detailing has been covered over or replaced. The Basement was used for storage and staff locker and training facilities.

### EXISTING CONSTRUCTION AND CONDITION

The 1931 building is solid masonry construction with structural columns and beams and poured concrete floor and roof structure. The basement is reinforced cast-in-place concrete construction throughout.

The 1953 wing is solid masonry walls also with steel framed structure and steel and concrete deck roof structures. The basement is reinforced cast-in-place concrete throughout. The 1966 wing is brick and block masonry walls with steel structure and precast concrete 'T' beam roof deck structure. The basement is reinforced cast-in-place concrete throughout. The exposed foundation wall at the west has been treated as architectural concrete.

The general condition of the building is good with very little masonry deterioration or mortar joint failure. The interiors have many layers of finishes much of which is likely to be lead based paint. The hydronic heating system is still clad in asbestos insulation. Windows have been replaced with anodized 1977 aluminum framed insulated glass fixed windows. The roof is built-up bitumen membrane and appears to be approximately 15 – 20 years old.

### EXISTING ONTARIO BUILDING CODE COMPLIANCE

The existing exit stair from the second floor is non compliant in terms of fire separations and combustibility. The second floor and basement areas are non-compliant for exiting. Fire safety systems throughout the complex appear to be obsolete and non-complying.



Figure 3.11 West Strip Windows



Figure 3.12 Interior View of Entry Screen



Figure 3.13 East Entry former Customs Office entry





Figure3.14 View East along Lakeshore 'Street Wall'.

## EXISTING ZONING

The Property is zoned C4, which is for commercial street orientated retail and commercial properties. Allowed uses are stores, restaurants, entertainment facilities, financial institutions, commercial schools, medical offices, university/college facilities, and apartment dwellings. There are no minimum set backs, with the requirement for building facades to align with adjacent building faces. Building height limits would be Minimum 9 m or 2 storeys, and Maximum 12.5 m or 3 storeys.

## PLANNING POLICIES

The property is included in the area regulated by the Port Credit District Policies of the Mississauga Plan, and comes under the policies listed in the Mainstream Commercial Land Use designation.

The following policies outlined in Section 4.27.3.1.7: Mainstreet Commercial are applicable to the Post Office property:

*"Along Lakeshore Road, mixed-use developments with street-related commercial uses and a rhythm of closely spaced storefronts lining the street are encouraged to foster an active pedestrian street and to minimize the apparent width of Lakeshore Road."*

*"Building heights should be a minimum of two stories and a maximum of three storeys." (MPA-25)*

*"In accordance with the Port Credit District Parking Policies, where possible, parking for this area should be provided on-street or in small, distributed parking lots." Surface parking areas should include landscaped space, planters and other complementary mainstreet elements.*

The following policies outlined in Section 4.2.7 are also applicable to the Post Office property:

*"Lands designated Mainstreet Commercial will provide a mix of pedestrian oriented street related commercial uses, offices, overnight accommodation, community uses and open space."*

*"The lands bounded by Lakeshore Road East and Port Street East, west of Hurontario Street, will be subject to an overall development total Floor Space Index (FSI) of 2.0, of which residential uses will be limited to a maximum Floor Space Index (FSI) of 1.5."*

*"Medium rise mixed use buildings should not exceed six storeys. In order to construct a building of greater height than three stories or as specified in Section 4.1, a change or variance to the Zoning By-law would be required for the Post Office Property."*



Figure 4.1 Port Credit Harbour 1907

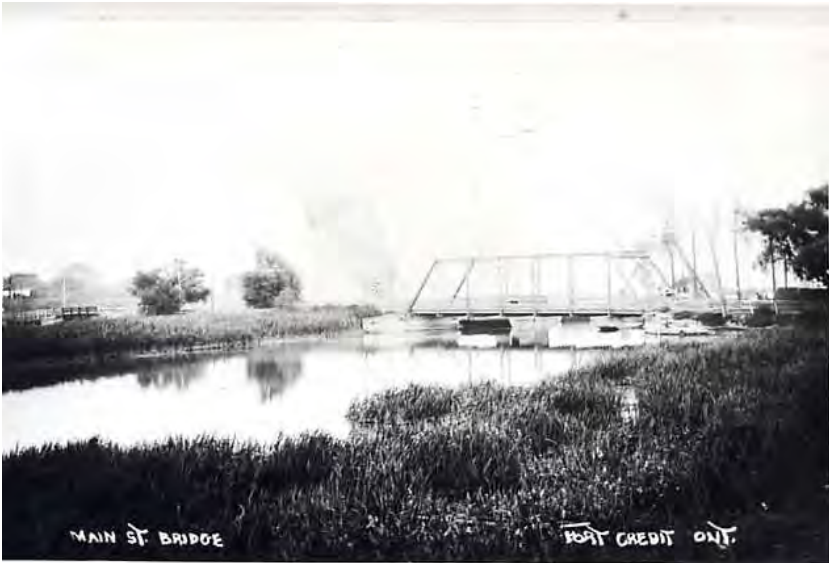


Figure 4.2 Toronto Street Bridge and view of Reserve Lands circa 1903



Figure 4.3 View West along Toronto Street (Lakeshore Road) 1906



## 4.0 Heritage Designation

The Post Office is being considered for designation since its sale to Centre City Capital Limited. Its previous status as a Federal Building kept it from being designated under the Ontario Heritage Act. The basis for possible Designation is described in the Cultural Heritage Assessment prepared by the Cultural Division of Community Services City of Mississauga. Prior to its sale, the Post Office was assessed by Gillespie Heritage Consulting who produced a Heritage Impact Statement for Canada Post and CB Richard Ellis Limited in preparation for its sale. Both the City's Cultural Heritage Assessment and Gillespie's Heritage Impact Statement identify very similar attributes regarding the building's cultural worth in spite of the fact that both documents were written separately and do not reference each other.

The following is a compellation of heritage value comments from the 2 reports along with this report as they relate to the requirements of heritage designation under Provincial Law.

The Ontario Heritage Act, Ontario Regulation 9/06, clause 29 (1) s.1(1) lays out the requirements for heritage designation based on 3 main criteria groupings.

- "1 The property has design value or physical value because it,*
- i. is a rare, unique, representative of early example of a style, type, expression, material or construction method,*
  - ii. displays a high degree of craftsmanship or artistic merit, or*
  - iii. demonstrates a high degree of technical or scientific achievement."*

*"2 The property has historical value or associative value because it,*

    - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,*
    - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
    - iii. demonstrates or reflects the work of ideas of an architect, builder, designer or theorist who is significant to a community."*

*"3 The property has contextual value because it,*

      - i is important in defining, maintaining or supporting the character of the area,*
      - ii is physically, functionally, visually or historically linked to its' surroundings, or*
      - iii is a landmark"*

### **"Design or Physical Value"**

Both reports emphasized the 1931 building as a 'rare and significant example



Figure 4.4 View West from base of Reserve Land



Figure 4.5 Federal Coat of Arms

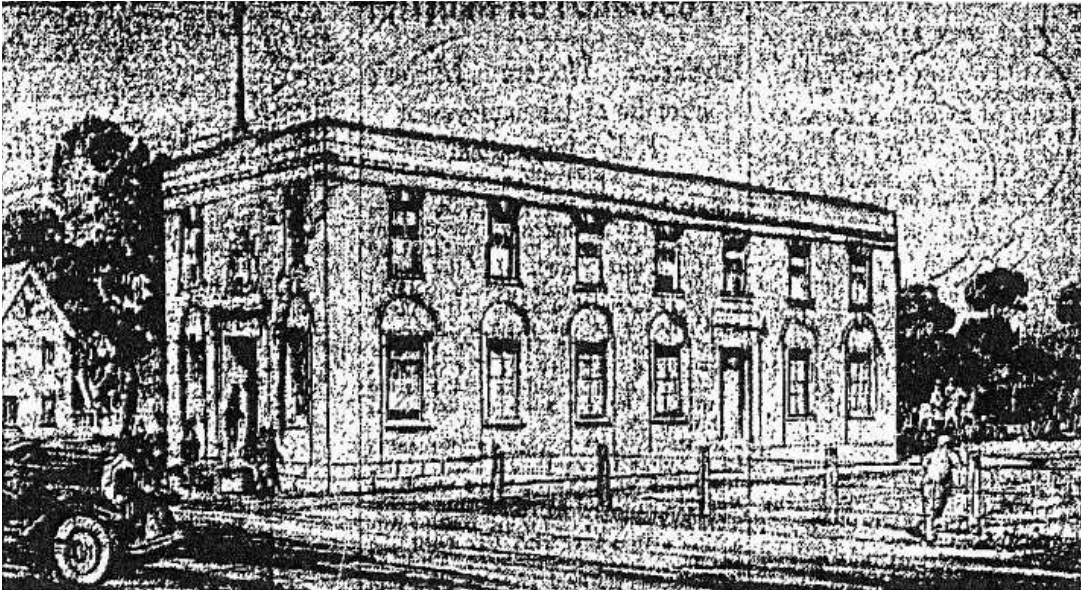


Figure 4.6 1930s sketch of Post Office

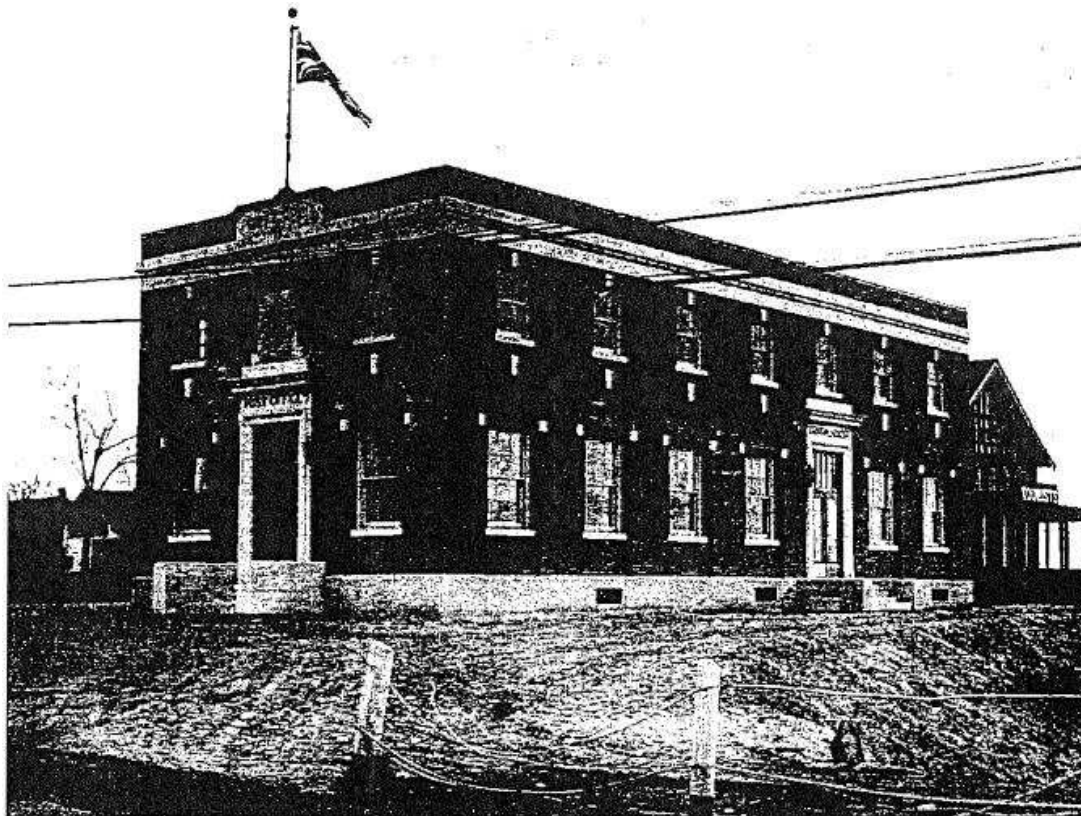


Figure 4.7 1931 Photo just prior to opening

of Edwardian Classicism' not matched anywhere in Mississauga. The Gillespie also noted that it was a simplified form of Beaux Art Classical Style which is what Edwardian Classicism purports to be. Both reports stated the prime architectural components to be the rectilinear massing, the stone architrave entry, the arched and keystone window niches with rectilinear windows, centre balanced façade, brick coining and stone cornice band. Both reports did not list any of the later additions as contributing to the heritage value. It is the opinion of this report that the exterior of the 1931 building holds the prime components for designation merit.

#### ***“Historical or Associative Value”***

The City of Mississauga's Heritage Assessment notes that the site has been federally owned for 190 years and was selected to conform to Federal Public Building requirements of corner lot exposure, good drainage and adjacent to a harbour and railway. The site speaks of the formation of Canada and the efforts of the Federal Government to provide essential services to the growing population and establish a clear and prominent presence in the community. The original 1931 building holds the more significant history in its multi public use as Post Office, Customs and Excise Office and Armory for the Peel and Dufferin Regiment. It speaks also of the depression and the efforts of the Federal Government at the time to provide work for the unemployed. Both the City and Gillespie Reports note the significance of the architects Chapman & Oxley who provided the blueprints for the Post Office and the Chief Architect for the Federal Department of Public Works, Thomas Fuller III, had significant influence in Post War Canada and in the design of many significant Public Buildings, the 1931 Port Credit Post Office being one of them. The 1953 and 1966 additions were made as the postal requirements expanded (supplanting the other uses of the building) and removed most of the west façade including the architrave west entry, except for the top cornice band. While the City's report draws some significance to the latter additions to the Post Office as symbolic of the growth of the region, the Gillespie report does not attribute any significance at all and recommends in its redevelopment that the latter additions carry little worth.

#### ***“Contextual Value”***

Both reports note the main contextual value of the building and the site is its location and visual prominence as a landmark in the developing community of Port Credit. It stands as the last building along the south Lakeshore commercial strip before the Credit River Bridge making it a significant bridgehead or gateway landmark linking the east and west villages. In past, the Post Office was a central communal facility to the east and west villages, albeit in recent time it was closed to the public. Its future use should echo that past public function. The current 1 storey west wings do not engender the same open façade as did the original west façade and have diminished that connective contextual value that the original 1931 building provided.





Figure 5.1 Context Plan

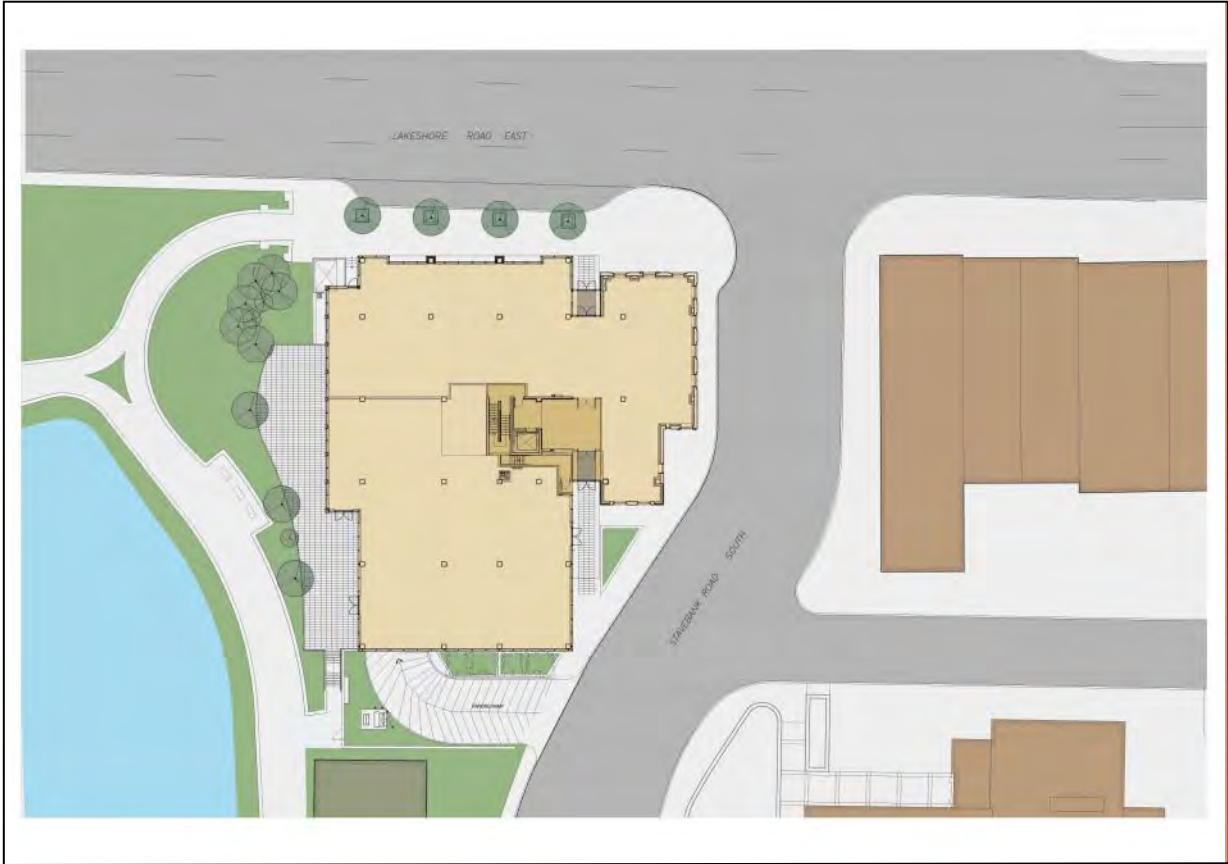


Figure 5.2 Proposed Site Plan

## 5.0 Proposed Reuse

The proposed reuse strategy is to build retail/commercial services at grade level with the possibility of a public institutional use for the ground floor of the original post office such as a bank, and a restaurant/entertainment venue for the western floor area with the possibility a proposed terrace facing the river. The second floor would be used as commercial office space.

The proposed design provides 72 spaces for commercial office rental. This could probably be changed through a bylaw variance application; however, in analyzing the viability of this relatively modest gross floor area, parking becomes an essential component for attracting long term leasing. The two levels of parking that are proposed will essentially fill the site footprint and will require caisson wall construction and a permanent dewatering system. The parking entry is relegated to the rear of the building off of Stavebank Road, removing it from the main North exposure and taking advantage of the natural grade fall at the South West of the Building.

The proposed design maintains and reuses the 1931 East and North masonry walls of the post office including an approximate 4' return portion of the upper West and upper frieze band (the lower portion to be rebuilt with salvaged 1931 brick). The South return wall at the former Excise Office entry would also be retained. The 1953 East and South Wall are to be rebuilt using salvaged brick from the 1931 building and reusing the West stone frieze band. Window and Door openings in the rebuilt east and south facades will be detailed to match the existing East flat arch openings with stone sills with soldier course brick lintels with stone key stones. The existing brown anodized aluminum windows and doors, which are not original, are to be replaced with narrow profiled aluminum framed sash with thermal glazing with glass colour to match the glazing of the new addition. The intent is to have some material link between old and new. All non 1931 fitments and exterior fixtures will be removed. All existing masonry and stone work components on the retained walls are to be fully restored.

Due to the required parking structure below, the original structure of the Post office is not being saved. The intent is to lower the ground floor level to grade eliminating the need for the wheelchair ramp. The second floor and roof structure will be replaced to attain loading and fire separation requirements. The new parking structure will encroach on the root systems of the trees along the West edge of the property line necessitating their removal.

The intent to create an outdoor terrace area along the west area with new trees and landscaping is seen as an enhancement to the wateredge pedestrian experience. The terrace links well with the pedestrian bridge leading across the river, to the boat anchorage to the south as well with the riverside walk along the east bank of the Credit River. The terrace area is in an ideal site and setting for people enjoying the harbour and river and firmly re-establishes the open west face of the site to the west village.



Figure 5.3 Parking Required



Figure 5.4 P1 Parking Level



Figure 5.5 P2 Parking Level





Figure 6.1 Existing View from NE



Figure 6.2 Proposed View from NE

## 6.0 Proposed Design

The intent of the development is to maintain and visually honour the 1931 building block as much as possible, removing the later additions, but giving a sense of their original massing in the new building. The design proposed by Adamson Associates is a modest and restrained 2 storey modern glass commercial building with 2 parking levels below grade. The front face of the building is brought forward to the property line at the north to align with the main commercial building wall to the east and to not align with the front façade of the post office so as to distinguish between the new and old. The first and second floors incorporate the original 1931 post office block into its floor plate.

The new main entry is at the intersection between the post office and the new building and is recessed to create a large 2 storey reveal between the 2 buildings to visually emphasize the autonomy and the identity of the heritage building by revealing the NW corner and a portion of the West cornice band. This entry recess is in fact a lower 2 storey connector that carries through to the south and forms a similar south entry. Both entries are marked with a floating canopy slab that appears to run through the building marking the main circulation axis.

This lower 2 storey connection block is faced with a metallic composite metal panel system that appears to carry through the main new glass 2 storey block and re-emerge at the west as a 2 storey extension to the block that modulates the west façade addressing the Credit River view. The effect is to carry the sense of the post office mass to the west (like its former additions) without making a replication of the brick faced mass.

The massing of the new building is a rectangular glass box with recessed commercial portals at the North façade facing Lakeshore Road. These portals are intentionally used to demark the public front of the building at the North, suggesting distinct storefront entities at the ground level consistent with the existing commercial streetfront.

The ground floor is lowered to grade to allow barrier free access for both the existing building and the proposed adjacent development. The second floor and roof of the Post office align to the floor levels of the proposed development block.

It is proposed that the rear wall of the existing original post office be rebuilt in a manner that it replicates the existing window form and spacing at the East. This rebuilding would entail salvaging and reusing existing brick and would reuse the existing stone freize band which would be salvaged from the residual west facade and reinstalled at the south (see figures 7.2 and 7.4).



Figure 6.3 Proposed Ground Floor



Figure 6.4 Proposed Second Floor





Figure 7.1 Existing View from SE



Figure 7.2 Proposed View from SE

## 7.0 Heritage Impact

The proposed development has many positive and a few negative impacts on the Heritage status of the Port Credit Post Office. The positive items should be considered as part of the mitigating actions for any of the negative factors. The impacts are listed as follows:

### Loss of Original Occupancy, Disuse

While this is beyond anyone's control, its effect is very real. The loss of occupancy and viable use for any Heritage building often leads to its deterioration and often demise. The loss of a long term original usage particularly of a public and community nature such as a post office diminishes the historic and contextual value of the building.

The proposed reuse and redevelopment, just in itself, significantly mitigates this problem. However the proposed ground level retail usage along with a possible public institutional use of the original 1931 building goes much further in re-establishing the contextual connectedness to the community.

The commercial usage at street level connects to the commercial street wall to the East across Stavebank, and the possible terrace restaurant area to the west reestablishes the public open face of the original 1931 site.

### Loss of the 1950s and 60s Wings

It has been established by both the Gillespie Consulting Group and the City's own Cultural Division of Community Services, that the latterday 1 storey wings were not significant from a heritage point of view and their loss would be mitigated in the restoration and reuse of the existing 1931 building. The wings themselves were non public utility usage and diminished the commercial street wall and presented an anonymous face to the North and West. Re-developing this area of the site with public commercial facilities that reinforce the commercial street wall and gives the building back to the public mitigates the loss of the 1950s and 1960's additions.

### Removal of the 1931 Ground Floor Level and Internal Structures

The lowering of the original ground floor level and the gutting and rebuilding of the 1931 structure is proposed to maintain grade level entry for accessibility, to facilitate the construction below grade, to provide non combustible structurally compliant construction, and to ensure full removal of all hazardous materials. As well, it increases the ceiling height for the more public ground floor.

While the Gillespie report recommends some preservation of the original 1931 interior structure, the City's report did not. Both reports noted that there were no original interior spaces left that were worth including in the designation. The structure itself is a mix of steel and concrete and timber with many adaptations and modifications from the original construction. It does not show any

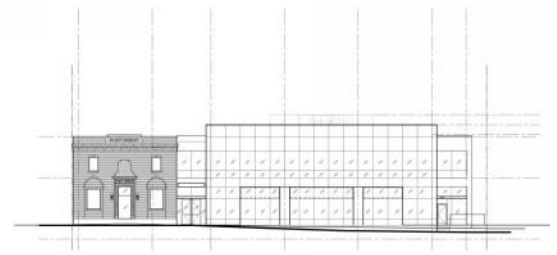


Figure 7.3 Proposed North Elevation

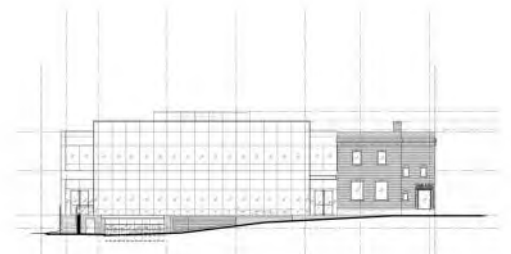


Figure 7.4 Proposed South Elevation



Figure 7.5 Proposed East Elevation

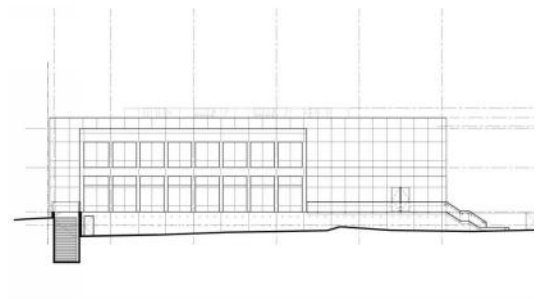


Figure 7.6 Proposed West Elevation





Figure 7.7 Existing View from NW



Figure 7.8 Proposed View from NW showing 2 storey frontage to the river

significance in either design or innovation. None of the original 1931 finishes remain. The benefits for re-structuring enhances the reuse and assures the viability.

The effect of bringing the first floor to grade allows for the elimination of the latter day concrete access ramp, which would return the 1931 façade to its original symmetry. This does, however, require changing the entry door into a window. It would also mean carrying the stone base at grade across the opening. This modification is shown figures 6.2 and 7.3.

**Impact of 2 Storey Addition**

The proposed development block sits adjacent to the 1931 block with its north façade extending to the North property line. There are two lower 2 storey extensions to the East and West of the main 2 storey block. A ground floor outdoor terrace is proposed to extend into City property at the west.

Visually the mass of the new block acts as a continuance of the street wall to the East. To maintain that relationship means the front wall is North of the Post Office wall face by 1.5 m. This does create a small amount of obscuring from the east approach along Lakeshore Road, however it enhances the distinction of the 1931 block as an autonomous building from the East and North views. This autonomy is further emphasized by the recessed metal panel cladding interface wall before engaging the heritage building and the entry recesses that mark the pedestrian axis which also separates the old from new blocks.

The new block is intended to act as backdrop to the existing building, using its simple modern form and frameless glass façade to enhance and contrast to the brick and stone masonry massing and heritage architectural detailing. The development is intended to appear as 2 separate buildings, old and new.

**Heritage Wall Support during Construction**

The masonry walls are to be supported with a rigid structural steel armature that is friction fitted at the window openings and bolted at the brick joints which will be repaired during the masonry and mortar restoration phase of the project. The design and monitoring of the support armature will be performed by structural engineers with extensive experience in safely supporting heritage structures during construction.

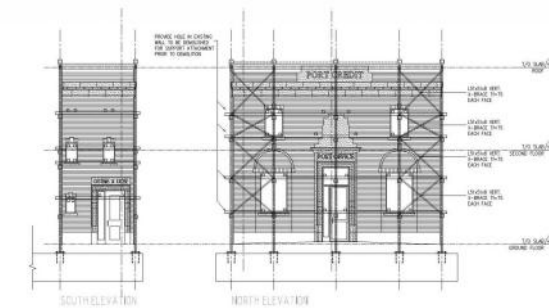


Figure 7.9 Proposed Wall Shoring at North and South

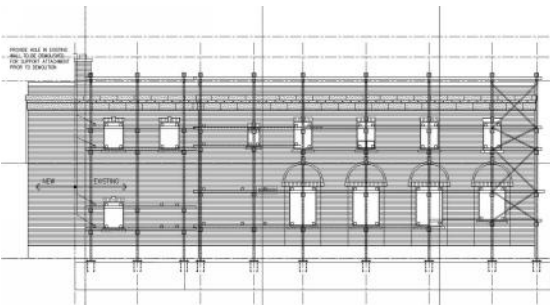


Figure 7.10 Proposed Wall Shoring at East

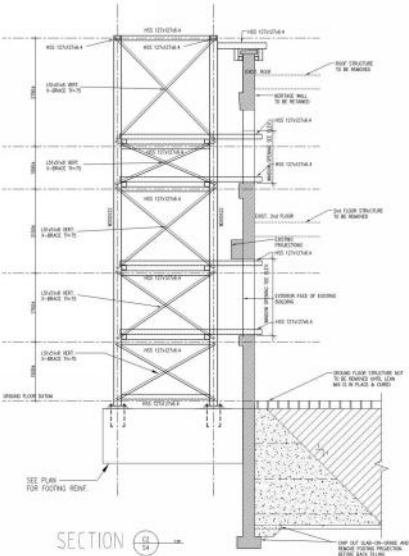


Figure 7.11 Proposed Wall Shoring Section





Figure 7.11 Existing View from SW



Figure 7.12 Proposed View from SW

## 8.0 Summary of Recommendations

### DESIGNATION

As with the previous Gillespie Heritage Impact Statement and the City Cultural Heritage Assessment, it is recommended that the former Port Credit Post Office be designated as a Heritage Property under Mississauga City policy 4.9.2.3, and the Ontario Heritage Act. It is the opinion of this report that the designation be limited to 1931 Post Office Exterior facades and building mass. It is recommended that the exterior masonry be restored and conserved and the 1931 building mass be maintained as an identifiable building block, with no development over top the 1931 building footprint.

### REUSE

The position taken in this review is that the proposed design successfully preserves the most important components of the Post Office building at the same time as proposing a viable reuse that fits well with the existing building both in scale, massing and material treatment. The proposed design also fits well with the urban site, maintaining a limited height and density, respecting views and street wall alignments. It provides amenity and public space to the water front as well as to Lakeshore Road, and provides a distinct bridgehead building to mark the connection point between the bridge West and site of the old Port Credit Village. It is recommended that the tenant usage at grade provide public amenity be it commercial, institutional, retail or entertainment. It is recommended that the original 1931 block house a single tenant at the ground floor level. It is recommended that there is some permanent descriptive display as part of the public entry area that provides a history of the building and the site. It is recommended that proposals for signage for the 1931 block be reviewed by the City of Mississauga's Preservation Services for appropriate design and mounting.

### DESIGN

The strategy of maintaining the physical block of the original 1931 building on 3 sides with a partial returns on the 4th side at the new entries along with maintaining the roof level, contributes to the sense of the heritage building being a complete structure and not simply a façade. While the proposed strategy to remove and rebuild the interior structure (necessitated by the below grade parking requirement) runs against most preservation strategies, it is the opinion of this report, that the interiors were of a much lower heritage significance to the exterior particularly since little of the 1931 interiors remains. The benefit of the rebuilding of the interior allows for a ground floor level change increasing the height and grandness of the public level as well as making the existing and new buildings fully accessible at grade, the resultant benefit being the removal of the ungainly concrete ramp.

In summary the proposed development, supports and enhances the heritage attributes, and provides a viable reuse that successfully integrates to the Post Office and the urban and public environment.



## 9.0 Author Qualifications

### Kearns Mancini Architects Incorporated

Kearns Mancini Architects have been operating since 1984 and have in that 26 year period been dedicated to design excellence in many forms of architecture and building particularly in heritage and adaptive reuse of heritage buildings. Since 2002, Daniel McNeil has been an in house heritage consultant to various projects. The following is a brief synopsis of heritage experience and qualification of both Kearns Mancini and Daniel B. McNeil;

## Britannia Farm Development Framework

Mississauga, Ontario

**Location:**

Mississauga, Ontario

**Project Value:**

To be determined

**Project Gross Area:**

200 acres

**Completion Dates:**

2005 (Development Framework only)

**Reference:**

Peel District School Board: Randy Wright, Chief Planner 905-890-1010

The Development Framework for Britannia Farm represents a unique approach for a unique land asset. Through intensive consultation with the client (PDSB), community and stakeholders, the design team will produce a development framework that will allow a new vision to be realized for the property.

The plan proposes two scales of development using blocks at a village scale and blocks at a rural scale.

The rural scale is used to connect the east and west parts of the property and to form a suitably scaled gateway to the property from Hurontario street.

In recognition of the existing heritage buildings, a smaller, more intimate village scale is introduced within the rural blocks to create a denser, pedestrian oriented environment.



top: existing site photos & precedents  
below: initial proposed master plan



kearns mancini architects inc.

## Welland Court

Elora, Ontario



On an existing site in the old centre of Elora in Centre-Wellington, Ontario, an infill project proposes to increase the existing allowable density from six dwellings to fourteen in a Church and Cloister configuration. The Welland Court proposal will breathe new life back into the Chalmers Church and provide a residential use that is wholly compatible with the surrounding residential context. The principles of heritage conservation are here being applied to a neglected but valuable heritage building; the proposal will save two significant heritage buildings in Elora.

From studying the context it is clear that this small scale court cloister will contribute a very appropriate piece of village architecture to Elora. The architecture has been developed from detailed studies of Elora houses and village buildings including walls and gardens. From an approvals perspective the project challenges the issues of density versus



saving an important heritage building. Our approach is that quality is more important than density where property values are concerned.

Intensification is good for the community and is far superior to suburban sprawl. It makes good use of existing services and infrastructure. The Welland Court proposal will improve the economy and vitality of the village by bringing an increased 'walk to Main Street' population which will assist in supporting the commercial life of Elora's main street.



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## Adelaide Courthouse Alterations

Toronto, Ontario



Toronto's first "serious" court house, the Adelaide Court, as it is now known was converted from theatre uses to restaurant and night club use. The transformation included the reconstruction and restoration of the original courthouse lobby demolished over the years, from period photos. The exterior stone and brick facades were cleaned and repaired.

4.66 County of York Court House, 57 Adelaide Street East (1851-2), Cumberland and Ridout, architects. Cumberland could turn his hand to a variety of historical styles, and this was one of his attempts at Greek. The front is austere, heavy, and forbidding, and not helped by the alteration of the wings that once supported the central mass. One thinks immediately of the suggested epitaph for Sir John Vanbrugh, the architect of Blenheim Palace – 'Lie heavy on him, Earth, he laid many a heavy load on thee.' The Arts and Letters Club of Toronto met for several years earlier in this century in the old assize courtroom. Certainly strange quarters for such a club, but there the members built the 'great fireplace,' and there in 1913 they entertained Sir Wilfrid Laurier. Many of Toronto's most distinguished citizens have belonged to this club, now located in St George's Hall on Elm Street (1891; Edwards and Webster, architects, with additions by Sproatt and Rolph).

4.67 A view of Adelaide Street (south side), looking east from Toronto Street. On the right is the Wesleyan Methodist Church (1832; demolished 1870) at the corner of Adelaide and Toronto Streets. It was the predecessor of the Metropolitan Church at Shuter and Church streets. Adjoining the church is the County of York Court House (1851), showing the wings, which have been sold as separate properties and have gone their own ways, architecturally speaking.



above: Excerpt from *Toronto, No Mean City* by Eric Arthur  
left: Exterior photo of main facade



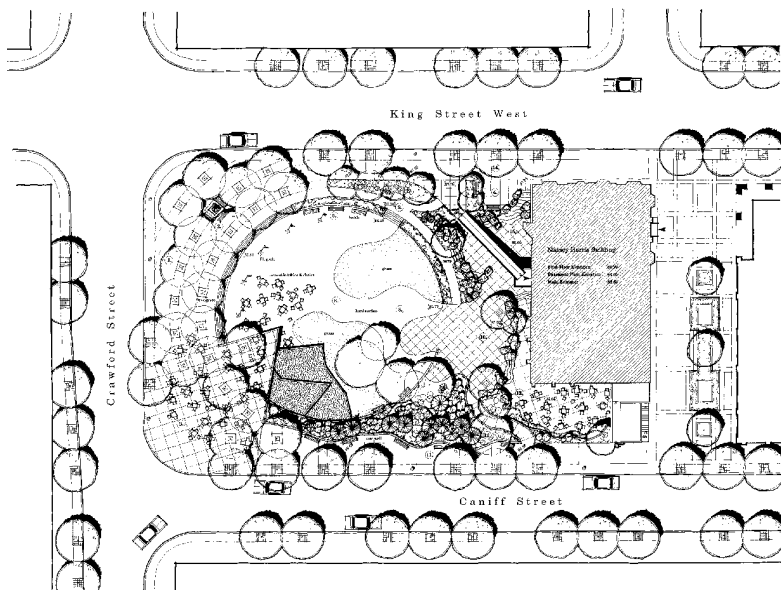
kearns mancini architects inc.

## Massey Harris Building

Canadian Architect, National Design Award of Excellence 1990  
Toronto, Ontario

The program involved providing space for a municipal library and a branch contemporary gallery for the Art Gallery of Ontario within the Massey Harris (later Massey-Ferguson) Building, a historical building on the western edge of downtown Toronto near the CNE. The building is configured with an adjoining park to serve as the focal point for a surrounding redevelopment of 3,000,000 square feet of commercial and information technology space.

The two existing historical facades were faithfully repaired and restored. The two facades that abutted now demolished buildings were entirely reconstructed to provide a new public entry to the building from the park.



top: the refurbished street (north) and new entrance (west) facades.  
above: Site Plan showing the relationship of the building to the new park.  
left: the new rear (south) facade and refurbished (east) facades.

**KMA**

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The program involved the renovation of a 4 storey loft building, including conversion of the basement and ground floor to Brewpub and Restaurant uses and renovation of upper floors for light industrial tenants.

The two full floors of restaurant use established here is significantly larger than would be permitted by the zoning bylaw. The architects convinced the Committee of Adjustment that the brewery and bakery facilities which comprise much of the excess area are in fact light industrial in character, and so fulfill the spirit of the zoning.



*left: A portion of the existing floor was removed to allow views between the bar and the brewing area above. A major goal of the work was to preserve and enhance all existing structural elements of the building.*

*above: view of the second storey brewing facilities enclosed in engineered glass over the bar/restaurant on the lower level.*



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The brewery is located at the front of the ground floor, emphasizing the large brewing capacity, while the bar and restaurant are located in the half basement accessed by an open stair off the corner of King and Portland Street.

A large opening cut through the ground floor surrounded by engineered glass walls allows the production facilities of the brewery to be visible from the bar below. A separate restaurant seating area is located beyond the bar, screened by an interconnecting steel stair which leads to the washrooms and a brewery viewing area above. The street side of the building is flanked by a long boulevard cafe.



top: the exterior features were cleaned and restored and a new entry to the basement bar was added at the corner of the building.

above: article in *Canadian Architect Magazine*.



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## George Brown College, St. James Campus

Toronto, Ontario

### Location:

215 King Street East and  
300 Adelaide Street East,  
Toronto, Ontario

### Project Value:

\$15.7 Million

### Project Gross Area:

36 000 sq.ft.

### Completion Dates:

Construction drawings

### Scope of Work:

Renovation, restoration, retrofit, and  
expansion of two existing buildings

### Client:

George Brown College

### Reference:

Allan Cobham

Facilities Manager

George Brown College

416-415-500 x 4308

The Chef School of George Brown College has gained an international reputation. To support this outstanding program, George Brown College elected to renovate and expand their aging facilities.

The renovation and retrofit of an existing four-storey, 100 year old building, features a publicly accessible student-run restaurant. On the ground and basement levels is the restaurant with associated kitchen and back-of-house facilities. The scheme relocates the existing Siegfried's Dining Room from 300 Adelaide street East to this location. The upper floors house teaching facilities. The approximate area of this building is 18,000 sq.ft.

The Hospitality Building at 300 Adelaide Street East is an expansion and alteration project. A new four-storey 18,000 sq.ft. addition is in front of the existing building. The new addition and alterations include new interactive kitchen classrooms.



top: The renovation of the existing 215 King Street East  
above: The new addition at 300 Adelaide Street East



kearns mancini architects inc.



## DANIEL B. McNEIL Architect

106 Harcourt Avenue,  
Toronto, Ontario, M4K 1J2  
Tel: 416-463-2597 Fax: 416-463-8855  
Email: dbmcneil@sympatico.ca

DANIEL B. MCNEIL, B.E.S., B.ARCH., OAA, MRAIC, CAPHC

Dan McNeil has been specializing in Heritage Architect since opening his firm in 1987. Through his own practice and as a consultant to other architects, his firm has amassed a large body of experience in Heritage Planning, Adaptive Reuse and Historic Restoration on many prominent historic buildings in the Greater Toronto Region.

The firm has worked closely with various architectural practices over the past years on various heritage projects, notably the restoration of the Senator O'Connor Mansion as part of the Senator O'Connor High School and the recently completed Chef's School for George Brown College. Mr. McNeil has also been contracted on various heritage projects as the project architect.

### ACADEMIC

Guest Critic, University of Waterloo - 1994, 1997  
Bachelor of Architecture, University of Waterloo - 1980  
Bachelor of Environmental Studies, University of Waterloo - 1977

### AWARDS

28th Annual Heritage Toronto Award— 2002 - Ridpaths Restoration  
Toronto Urban Design Awards with Hotson Bakker -1995 - John Street Roundhouse

### ASSOCIATIONS

OAA Ontario Association of Architects - Member with Seal  
RAIC Royal Architectural Institute of Canada  
CAPHC Canadian Association of Professional Heritage Consultants  
APT Association of Preservation Technology



RIDPATH FURNITURE  
STORE RESTORATION  
Toronto, Ontario  
Daniel B. McNeil, Architect.



WHITNEY BLOCK RESTORATION  
Toronto, Ontario  
Stevens Burgess, Architects  
Daniel B. McNeil, Consultant.



DANIEL B. McNEIL  
Architect

106 Harcourt Avenue,

Toronto, Ontario, M4K 1J2

Tel: 416-463-2597 Fax: 416-463-8855 Cel: 416-998-2597

Email: dbmcneil@sympatico.ca

RELEVANT PROJECTS

Firm's Projects:

CNIB Heritage Report

Ridpath Furniture Store Heritage Restoration,

University of Toronto Mining Building Heritage Roof Restoration,

Cawthra Mansions Co-operative Heritage Renovations,

Yonge Street Mission Addition and Renovation,

Unionville Main Street Heritage Commercial Building,

Kippendavie Heritage Apartments, Multi-Unit Conversion.

Consultant Projects: Kearns Mancini, Architects

Project Architect – Senator O'Connor College High School

Project Architect - Restoration of Heritage Mansion and Coach House

Project Architect - Centre for Addiction and Mental Health Phase 1A

Project Architect - George Brown College King Street Chefs School

Consultant Projects: Stevens Burgess, Architects

Project Team - The MacDonald Building Heritage Assessment and Feasibility Report, University of Guelph

Project Team - Monk Centre Design Competition, Devonshire Residences, U of T

Project Architect - The Whitney Block Restoration Phases 1, 2 & 3

Project Team - The Whitney Block Heritage Assessment and Feasibility Report

Project Architect - The Old Don Jail Restoration

Consultant Projects: Hotson Bakker, Architects

Project Architect - Gooderham and Worts Case Goods Building Restoration

Project Architect - The John Street Roundhouse Restoration

Project Architect - MTCC Expansion - Heritage Elements

Consultant Projects: Kuwabara Payne McKenna Blumberg Architects

Project Architect - Trinity College Interior restoration and renovation.

Project Architect - Royal Conservatory of Music, Heritage Restoration



OLD DON JAIL RESTORATION

Toronto, Ontario

Stevens Burgess, Architects

Daniel B. McNeil, Consultant.



JOHN STREET ROUNDHOUSE  
DISASSEMBLY, REASSEMBLY AND  
RESTORATION

Toronto, Ontario

Hotson Bakker, Architects

Daniel B. McNeil, Consultant.



## 10.0 References

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# Heritage Impact Statement

Heritage Advisory Committee  
NOV 20 2012

for Canada Post Facility, 31 Lakeshore Road East,

Port Credit,  
City of Mississauga

June 18, 2008



**Gillespie Heritage Consulting**



38 Jerome Park Drive, Dundas, ON L9H 6H2 (905) 627-8607

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# **1 INTRODUCTION AND HISTORICAL BACKGROUND**

## **1.1 Intent of *Heritage Impact Statement* for the Canada Post Property at 31 Lakeshore Road East, Port Credit.**

The Canada Post property at the south-west corner of Lakeshore Road East and Stavebank Road South in downtown Port Credit comprises a 0.56 acre parcel of land, of which more than half is occupied by a building. This property was declared surplus by Canada Post Corporation (CPC) earlier this year and is currently listed for sale by CB Richard Ellis Limited. (Figure 1; Figure 2) Canada Post will continue to occupy the building until late in 2009. Because the property is listed on the City of Mississauga's Heritage Register, Canada Post decided to complete a *Heritage Impact Statement* prior to its sale. The existing building complex comprises three distinct sections (from the outside): the original 1931 federal building and two later additions to the west. Since sometime in the 1980s, the entire building has served as a mail sorting and distribution centre, with public access restricted to an entrance foyer where a bank of post office boxes is located.

The Heritage Co-ordinator, Mark Warrack, has advised that it has been made known to CPC that the building (or at least part of the original portion) may be worthy of designation under the Ontario Heritage Act. However, properties owned by the federal government or a crown corporation are not subject to the regulations of the Ontario Heritage Act. With a prospective sale to a private owner, the City of Mississauga is interested in taking measures to protect the heritage components of the building complex, which could be done under the provisions of the Ontario Heritage Act.

As confirmed through e-mail correspondence with the Heritage Co-ordinator, the purpose of this *Heritage Impact Statement* is to:

1. provide a general site history (not including a title search),
2. provide a full description of all existing structures, with specific mention of all heritage resources on the subject property to include: structures, buildings, building elements, building materials, and architectural and interior finishes, features, including a description and chronology of any new additions and interior/ exterior alterations.
3. provide an evaluation of the building complex and any other heritage attributes of the property in accordance with the "Criteria for Determining Cultural Heritage Value or Interest" provided in Ontario Regulation 9/06 of the Ontario Heritage Act.
4. provide options for how the heritage resource should be conserved, relating to its level of importance, and guidelines with respect to what elements or areas of the existing building could be changed or altered without affecting the more heritage defining elements of the structure.

## **1.2 History of the Port Credit Public Building and its Present Site**

### **1.2.1 History of the Port Credit Post Office and Public Building**

Early post offices were almost always located in a general store and this was the case in Port Credit. In the 1850s, the post office was located in Robert Cotton's General Store, which also served as the telegraph office beginning in 1855. This store stood on Toronto Street (Lakeshore Road) between Elizabeth and Helene Streets.

By the early 20<sup>th</sup> century, many post offices serving villages and towns were housed in multi-purpose "public buildings" designed by the Chief Architect's Branch of the Department of Public Works (see section 1.2.2 for more background). The Port Credit Public Building, as it was originally called, was erected in 1931 as a make-work Depression project. According to the *Report of the Chief Architect, 1931-32*, a contract was awarded in March 1931 "for the construction of a public building to provide accommodation for the postal and custom services, Department of National Defence, and caretaker's quarters". The Report of the Auditor General for the Year ended March 31, 1932 identifies the general contractor as Herod Construction Co. It was built on a site adjoining the river and the north-east corner of the harbour basin with a frontage of 35 feet on Toronto Street and a depth of 100 feet. The width of the site was only six inches greater than the width of the building. The front section was described as 56 feet deep and 36 feet high.

Verna Mae Weeks, in her book *Port Credit: A Glimpse of Other Days*, describes the new building as follows: The new "red brick Federal Building" housing a "Post Office and a Customs Department" opened at the beginning of November 1931 and "Port Credit residents were highly pleased to have such a splendid building". The basement of the building was first used as "an Armouries and Drill Hall for the local militia company of the Peel and Dufferin Regiment". The postmaster was Ernest Hare and the Customs Officer was Charles Brown.

Medium-sized federal buildings erected in villages and small towns across the country in the early 20<sup>th</sup> century typically combined several functions as in the case of the Port Credit Public Building.

Although no original plans for this building have yet been located, the caretaker's apartment would certainly have been located on the second floor and possibly also the customs offices (as was often the case). There is an original staircase to the left of the Customs-Excise entrance at the rear, which could have provided public access to the second floor. Typically, if the entire ground floor was dedicated to post office functions, the public area would have occupied about one-third of the floor space with the remainder devoted to a working area and mail lobby.



The original building was first enlarged in the 1950s by a one-storey addition to the west side, which was slightly larger in footprint size than the original building. *Public Accounts of Canada for the Fiscal Year ended March 31, 1953*, lists an “addition and alterations to the Port Credit Public Building [with] plans and specifications not completed”. However, a survey plan dated February 28, 1955 shows an enlarged lot identified as Reserve Lot 30 measuring approximately 177’ deep with a maximum frontage on Lakeshore Road of approximately 135’, but only the footprint of the original building. A second addition to the first addition was under construction by March 1967, according to *Public Accounts of Canada for the Fiscal Year ended March 31, 1967*. This report also identifies the architect responsible for preparing the plans and specifications: Alexander B. Leman from Don Mills.

When Canada Post Corporation was created as a crown corporation in 1981 as a successor to the Post Office Department, a new direction for the provision of postal services in Canada was initiated. Canada Post began to privatize its retail services and today nearly 80% of these locations are operated by private businesses, a relationship that dates back to the formation of Canada's postal system. It is not known exactly when the Port Credit postal facility was entirely converted to a mail sorting and distribution centre but it is believed to have been in the 1980s, following a nation-wide trend.

### **1.2.2 Role of the Chief Architect’s Office in the Design and Construction of the Port Credit Federal Building**

The Chief Architect’s Branch of the Department of Public Works originated with the appointment of Thomas Seaton Scott as the first chief architect in 1871. He was succeeded by Thomas Fuller and David Ewart. Staff increased steadily under their office, reaching a peak of 41 architects and draftsmen by 1913. Fuller’s son, Thomas William Fuller, became Chief Architect in 1927 and served until 1936. He believed strongly in departmental or in-house design. Hence, the Port Credit Public Building would have been a variation on a standard plan designed by one or more architects working under the supervision of the Chief Architect.

Federal construction was often initiated by citizens of a community who lobbied their Members of Parliament. A new post office, for example, could have resulted from a petition signed by the town residents and submitted to the local postal inspector who transferred the request to the Postmaster General. He then decided on the comparative merits of each case before passing on official requests to the Department of Public Works. To ensure adequate oversight of the whole construction process, the Chief Architect was authorized to hire a locally based supervising architect and clerk of works. However, in some cases, a staff member of the Branch was sent out to supervise construction. It is not known if a local architect was involved with the Port Credit Public Building but no name was recorded in any reports of the Minister of Public Works or the Chief Architect for the years from 1931 to 1933.

### 1.2.3 History of the Site

A section of the 1835 “Plan of the Survey of Port Credit ...”, reproduced in the *Heritage Feasibility Study of Old Port Credit Village* shows that the area on the east side of the river south of the Toronto Street bridge was a Government Reserve and the site of Government Inn, built in 1798. (Figure 3) It was the first building for many miles in every direction from the mouth of the Credit River. When no longer needed as an inn, it became a private residence for the Lynd family and was torn down in 1861.

The street to the east of the Canada Post property, now known as Stavebank Road South, was originally located on Crown land. Prior to 1918 there was an existing roadway in its approximate location that had been used by the public for a number of years. In January of that year, however, the Corporation of the Village of Port Credit applied for permission to improve it as a public highway. Permission was granted for the section between Toronto and Port streets, to be named Brook Street South, as shown on a 1917 plan accompanying the report to the Chief Engineer (but with title remaining with the Crown). (Figure 4). This plan also shows that two parcels of land identified as B and C, which together extended from the proposed roadway to Elizabeth Street and from Port Street to the lakefront were leased to the Village for park purposes.

At that time the Crown property between the harbour and the roadway was still marshland; however, the plan indicates that the harbour was to be dredged to a depth of 16 feet. The soil dredged from the harbour was used to create dry land east of the roadway and south of Toronto Street on which the new federal building was erected in 1931. Prior to its construction, the site was occupied in the 1920s by a livery stable, according to the recollection of the village dressmaker, Jeannie Belford (as described in Betty’s Clarkson’s account in her book *Credit Valley Gateway: The Story of Port Credit*).

In 1959 a parcel of land containing 1.84 acres was transferred from the Crown to the Village of Port Credit for the widening of Toronto Street and the building of two new streets (Brook and Harbour). More Crown land was transferred to the Department of Transport in 1962. Excluded was the parcel occupied by the federal building and identified as Reserve Lot 30 on a 1955 plan prepared by Speight, Van Nostrand, Ward & Anderson, Ontario Land Surveyors, which shows the present-day property boundaries. (Figure 5)

### 1.2.4 Present Setting (Photo 1–Photo 8)

The present building complex occupies approximately two-thirds of an irregularly shaped lot owned by CPC and comprising Lot 30 Pt Lot 31 of Plan 300E. On the north and east sides, it is built up to the sidewalks of Lakeshore Road East and Stavebank Road South. The small piece of vacant land behind the building consists of the paved driveway to the loading dock with a small area of grass to the west, which merges seamlessly with the grassy area of the City-owned parkland with a paved walkway running around the harbor at the mouth of the Credit River. The harbour has been redeveloped into a public waterfront facility

with a first-class transient marina (Credit Village Marina), and public parkland with walking and cycling paths. Diagonally to the north west of the Canada Post property on the north side of Lakeshore Road is Memorial Park. North east across Lakeshore Road is a row of commercial buildings. Directly to the south of the Canada Post property is the marina facility which appears in the aerial photo overlaid with the public washroom logo. The western property line is very close to the west wall of the 1967 addition. There is a row of semi-mature deciduous trees beside this wall on or close to the property line as well as two semi-mature maples on the grassy area behind the Canada Post building.

The Canada Post property stands at the west end of the commercial area on the eastern side of the bridge over the Credit River, in the heart of the former village of Port Credit. It blends in well with the low-rise scale of the commercial buildings along Lakeshore Road East. Overshadowing the Canada Post building to the south-east is the high-rise hotel at 15 Stavebank Road South, built in the early to mid 1960s and now known as the Waterside Inn.

## **2 DESCRIPTION OF THE BUILDING COMPLEX**

### **2.1 1931 Federal Building** (Photo 9–Photo 15)

The original brick masonry building was a two-storey structure with a full basement. The *Report of the Chief Architect, 1931-32* provides the following description of its construction. “The walls are of brick on a concrete foundation with a cut stone base, entrances, main cornice and trimmings. The wooden joists and roof are supported by steel posts and beams.” This combination of steel, wood, concrete and brick and stone masonry was typical of medium-sized federal buildings erected in the first half of the 20<sup>th</sup> century. However, a visual inspection of the Port Credit building reveals that concrete was substituted for the base and all of the decorative elements for which stone was originally specified. It may be surmised that this was a cost-cutting measure, given that the building was erected in the Depression.

The building has a three-bay symmetrical façade with a central doorway flanked by two sets of identical windows. It originally had two formal entrances: one at the front for the Post Office and one at the rear for the Customs and Excise department, both of which have survived.

Stylistically, the building may be described as a simplified version of the Beaux Arts Classical style adopted for some of the standard plans developed in the first decade of the 20<sup>th</sup> century, as illustrated by Standard Public Building design “B” (ca. 1907) and two built examples, one from Maple Creek, Saskatchewan and one from Westville, Nova Scotia, both built in 1908. The Port Credit Public Building has quite an elaborate front entrance featuring a classically-derived surround with an entablature surmounted by the Canadian coat-of-arms but other architectural elements, such as the classical entablature and decorative brick and stone masonry details are simple and restrained.

Most of the original ground floor windows are set into round-arched rectangular recesses. All of the windows have stone sills and keystones. The original window openings are all intact but all of the windows have been replaced. Originally, the windows would have been one-over-one wood sash windows, which appear to have been replaced in the 1980s with more energy-efficient fixed pane windows with aluminum-clad frames. It may be noted that the Standard Design “B” has similar round-arched window openings on the first storey but the arch is filled with a glass transom. The brick infill of the masonry arch of the Port Credit building could have been another measure of economy given the date of construction. The front window configuration is repeated on the east façade of the building facing Stavebank.

Running below the roof parapet is a simplified classical entablature with a row of dentils and in the centre a sign with recessed lettering spelling out the place name of the postal facility: “Port Credit”. Above the main doorway is the original brass letter sign for the “Post Office”. The original front doorway likely consisted of double wood doors with glazed panels and transom light above as shown on the proposed front elevation for standard plan “B”. A similar “Customs-Excise” sign was located over the rear public entrance but was removed when this function ceased, leaving the present ghost sign.

Only an L-shaped wall section of the original building is still exposed at the rear, where a new two-storey addition was erected, likely in the 1950s, given the tall proportions of the windows and the concrete window sills.

The original concrete foundation had an exposed aggregate finish which is now visible in places where more recent paving has come loose and fallen off. The original stairway, consisting of two sets of three steps up to a landing, has been rather unsympathetically altered by a concrete ramp with an aluminum railing. This was likely built for Canada Post when other exterior alterations were made in the 1980s.

## **2.2 Later Additions** (Photo 1; Photo 16–Photo 22)

With the first one-storey extension added in the 1950s an effort was made to match the configuration of the original ground floor windows with the round arched openings and stone or concrete keystones. The windows were likely replaced at the same time as the original windows in the 1913 building. The 1967 extension is a more utilitarian brick box (slightly taller than the 1953 addition) sitting on a poured concrete foundation. The foundation wall is largely exposed on the west façade where the land slopes down to the harbour. Fenestration on the west façade consists of three evenly spaced narrow band windows on both the upper brick and lower concrete walls. There are two identical windows on the rear façade but none on the front façade. The austerity of the blank front façade is alleviated by a cast metal version of the Canadian coat-of-arms.

## **2.3 Interior of the Existing Building** (Photo 23–Photo 39)

The interior of the existing building comprises a ground floor with a full basement and second floor in the 1913 building. The total floor area including all three levels is 25,615 square feet. (Figure 7; Figure 8)

The ground floor of the building complex is now largely one continuous open space which serves as the mail sorting and distribution centre. Just inside the front entrance is a foyer or room containing a bank of post office boxes on the back wall and a doorway (with a wicket) to an enclosed office area occupying the north-east corner of the original building. The relatively recent mosaic tile floor of the entrance foyer extends across this office area right to the rear façade where the Customs and Excise entrance was located. The remainder of the floor throughout the ground floor appears to be covered with linoleum. From the office one enters a large open space extending the full length of the building. Two partitioned spaces with windows facing Lakeshore Road serve as offices. Also located on this floor are washrooms and the vault, built on the outside of west wall of the 1913 building, as part of the 1950s addition. In total, four sections of the original wall were preserved, as shown on an undated floor plan (1967 or later) found tacked to a bulletin board on the main floor.

When the 1950s addition was erected the abutting portion of the west wall of the original building was entirely removed. Likewise, the west wall of the 1950s addition was removed when the 1967 addition was erected. It is not known exactly when the original Customs and Post Office areas were removed but there is no sign of any of the original walls, counters, doorways, etc. These changes would also likely have taken place 1980s.

The large basement area appears to be underutilized but does serve to provide lockers and a kitchen/ eating area for outside postal workers, as well as meeting rooms. Likewise the second floor space contains washrooms and a number of rooms used for office/ storage/ food storage and consumption space.

The second floor is divided into a number of rooms that were part of the 1913 building, all or most of which appear to be intact with original baseboards, wood doors, etc. It includes two washrooms, one of which would have been part of the concierge's apartment.

The only original interior features of any architectural interest are a partially painted wood staircase leading from the basement up to the second floor as well as original paneled doors with moulded wood frames (some with transom lights) on the second floor. Original architectural drawings for the Keewatin Post Office, also erected in 1931, indicate that the original flooring was terrazzo, as was probably the case with the Port Credit Public Building. If so, it may be just covered with the existing tile and linoleum.



### **3 HERITAGE EVALUATION OF THE BUILDING COMPLEX**

#### **3.1 Criteria for Evaluating Properties for Designation under the Ontario Heritage Act**

As previously stated, the building complex has been listed on the City of Mississauga's Heritage Register. No specific reasons are given but it may be inferred that the listing is based on its local landmark status and intrinsic architectural merit of the surviving facades of the original building. The following evaluation of its heritage significance is based on the "Criteria for Determining Cultural Heritage Value or Interest, Ontario Regulation" under the Ontario Heritage Act, R.S.O. 1990, c.O.18 (enabling statute) as summarized below:

A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
  - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
  - ii. displays a high degree of craftsmanship or artistic merit, or
  - iii. demonstrates a high degree of technical or scientific achievement
2. The property has historical or associative value because it,
  - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
  - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture,
  - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
3. The property has contextual value because it,
  - i. is important in defining, maintaining or supporting the character of an area,
  - ii. is physically, functionally, visually or historically linked to its surroundings.

### **3.2 Evaluation of the Canada Post Property according to the above Criteria**

1. The original 1931 Port Credit Public Building is a representative example of one of the standard designs generated by the Chief Architect's Branch of the Department of Public Works in the 1920s and 1930s. The brick masonry exterior with stone or concrete trim is also a typical form of construction associated with these standard plans. Unfortunately, no documentation was found for any federal buildings which closely resemble the one built in Port Credit. Former Parks Canada historian, Dana Johnson, prepared a FHBRO report (see last paragraph of this section for an explanation) about 25 years ago for a very similar federal building in Richmond Hill but no trace could be found of it in the Canadian Inventory of Historic Buildings library and on-line searches did not produce any historic or current photographs of the building.

The integrity of the Port Credit building exterior has been somewhat compromised by the replacement of the original wood doorways and windows, the removal of about two-thirds of the west wall when the 1950s addition was erected, and the relatively recent rear addition.

Nevertheless, a large part of the original brick masonry construction and stone trim remains intact and appears to be in good condition. The interior has been significantly compromised by renovations undertaken by Canada Post to convert the entire building to a mail distribution centre, at which time any original counters and wickets defining the public spaces and other original fittings would have been removed

2. The original portion of the building has direct associations with the Chief Architect's Branch of the Department of Public Works, which made a major contribution to Canada's architectural heritage. During the Depression years, government funded projects represented the bulk of construction activity, creating employment for workers in many trades. The Department of Public Works left an important legacy of federal buildings, from the 1870s to the mid 1930s, when most of post offices and multi-use public buildings were designed by the Chief Architect's Branch. The Port Credit Public Building reflects the high standard of design and construction set by the Chief Architect's Branch, for buildings (both small and large) erected across the country to house post offices, customs offices and other federal services.
3. The property has contextual value because of the architectural merit of the original building and its visual prominence (due to its corner location). Since its construction, the 1913 building has always been a physical and cultural landmark on the main street of Port Credit. The present building complex is even more prominent due to its enlarged frontage on Lakeshore Road but the later additions neither enhance nor detract from the streetscape value of the original building.

The above evaluation confirms that the 1931 building is of sufficient architectural and historical interest to be worthy of designation under the Ontario Heritage Act. It is therefore proposed that the Municipal Heritage Committee for the City of Mississauga consider recommending that the property be designated under the Ontario Heritage, with the Reasons for Designation applying only to the original 1931 building. The later additions could be retained but they are not considered to have sufficient architectural or historical interest to be included as features important to the designation. The by-law should go into effect when the property is sold.

The intent of designation should not just be to protect the original facades but also the structural integrity of the building. The 1950s addition could likely be removed without affecting the structural integrity of what remains of the west wall as steel beams would have been installed to span the new wall openings in order to provide support for the remaining portion of the upper wall. However, this would need to be confirmed by a professional engineer before any demolition near the juncture of the 1931 wall and the 1950s addition was allowed to take place.

The Reasons for Designation should emphasize the importance of the original architectural facades but exclude the aluminum-framed doorway and windows, which could be replaced with windows and doorways more appropriate to the design and age of the building. The designation by-law should protect the entire shell of the building and the floor and roof structures as well as any load-bearing walls, columns and pillars. However, since no original interior finishes of any significance have survived and the original doorways and staircase are not of sufficient value to warrant protection through the designation by-law, the inclusion of any non-structural interior elements in the Reasons for Designation is not warranted.

It should be noted that federally-owned buildings may also be designated as “recognized” or “classified” by the Minister of the Environment on the advice of the Federal Heritage Buildings Committee, afforded some measure of protection according to the level of classification. Government departments must arrange for the Federal Heritage Buildings Review Office to evaluate buildings 40 years of age or older. A number of buildings owned by the Post Office Department were evaluated by FHBRO before Canada Post Corporation was formed in the 1981 and as late as 1987 (hence, the references to various FHBRO reports prepared by historians working for the Architectural History Branch of Parks Canada in 1987 in the Sources section of this report). Since then no FHBRO reports have been prepared because CPC is exempt from this process as a crown corporation.

## 4 PLANNING POLICIES AND REGULATIONS

### 4.1 Zoning

The Canada Post property is zoned C4, a designation for mainstreet areas identified as pedestrian-oriented street-related retail areas. A wide range of uses are permitted in the C4 zone. These include but are not limited to retail stores both less than or greater than 600 m<sup>2</sup>, sit-in and take-out restaurants, a commercial school, financial institution, medical office, recreational or entertainment establishment, a university/ college, and an apartment dwelling or dwelling above the first floor. There are no minimum front or side yard setback requirements as the intent is for new buildings to align with existing structures, which in a traditional main street context abut the sidewalks. Only lots abutting a Residential Zone require a specified minimum interior side yard and rear yard setback.

Permitted heights are specified as follows for a building in the C4 zone:

#### BUILDING WITH A SLOPED ROOF

Minimum height: the lesser of 10.7 m or 2 storeys

Maximum height: the lesser of 16 m or 3 storeys

#### BUILDING WITH A FLAT ROOF

Minimum height: the lesser of 9 m or 2 storeys

Maximum height: the lesser of 12.5 m or 3 storeys

### 4.2 Planning Policies

The Canada Post property is included in the **Mainstream Commercial** Land Use designation in the *Port Credit District Policies of Mississauga Plan*, which extends east along Lakeshore Road East from the Canada Post property to the eastern boundary of Port Credit and a shorter distance west along Lakeshore Road West. The adjacent City-owned parkland is designated Park Open Space.

This area is defined by its main street character, which features spacious sidewalks for active pedestrian use and 1-2 storey buildings with small storefront shops. The central portion of Port Credit, defined as the *Port Credit Node*, is described as an area in transition with the potential for appropriate infill, intensification and redevelopment. The Plan encourages the creation of “a distinctive urban waterfront centre which combines residential uses, cultural activities, shopping, dining, commerce, tourism and recreation, while maintaining its existing character, living environment and sense of community”. New commercial development should be compatible with existing Mainstreet Commercial uses and should occur along Lakeshore Road and the vicinity of Port Credit Harbour.

The following policies outlined in Section 4.27.3.1.7: Mainstreet Commercial are applicable to the Canada Post property.

- a. “Along Lakeshore Road, mixed-use developments with street-related commercial uses and a rhythm of closely spaced storefronts lining the street are encouraged to foster an active pedestrian street and to minimize the apparent width of Lakeshore Road.”
- c. “Building heights should be a minimum of two stories and a maximum of three storeys.” (MPA-25)
- d. “In accordance with the Port Credit District Parking Policies, where possible, parking for this area should be provided on-street or in small, distributed parking lots.” Surface parking areas should include landscaped space, planters and other complementary mainstreet elements.

The following policies outlined in Section 4.2.7 are also applicable to the Canada Post property.

“Lands designated Mainstreet Commercial will provide a mix of pedestrian-oriented street-related commercial uses, offices, overnight accommodation, community uses and open space.”

“The lands bounded by Lakeshore Road East and Port Street East, west of Hurontario Street, will be subject to an overall development total Floor Space Index (FSI) of 2.0, of which residential uses will be limited to a maximum Floor Space Index (FSI) of 1.5. Medium rise mixed use buildings should not exceed six storeys.” In order to construct a building of greater height than three stories or as specified in Section 4.1, a change or variance to the Zoning By-law would be required for the Canada Post property.

## **5 PRESERVATION AND DEVELOPMENT OPTIONS**

According to the Heritage Co-ordinator this Heritage Impact Statement could provide “suggestions or guidelines as to what elements or areas of the existing building could be changed and altered without affecting the more heritage defining elements of the structure (i.e. the original portion of the building).” Any development options would be constrained by the City’s Zoning By-law regulations and should comply with the policies of Mississauga Plan (the Official Plan for the City of Mississauga).

The only portion of the existing building complex considered to be worthy of designation under the Ontario Heritage Act are portions of the original 1931 building. Hence, the retention of the later side additions to the west is considered to be optional. Three different but equally acceptable development options are therefore presented below.



## **5.1 Adaptive Re-use of the Existing Building Complex**

The existing building could be adaptively reused in its entirety, keeping only the interior features, finishes or mechanical equipment that would serve the new use(s). Possible uses are identified below.

One option would be a single retail store, with warehouse facilities in the basement and office space on the second floor. The C4 zoning regulations allow for a retail store with no minimum or maximum size. Other plausible single permitted uses include, among other possibilities, a commercial school, financial institution, pub/restaurant, or medical clinic.

Alternatively, the building could accommodate a variety of commercial uses. One viable option would be an indoor mall offering space to a number of commercial tenants for boutiques, cafes, etc. with shared security and washroom facilities. With this scenario, the second floor could provide office space for one or more tenants. The large basement area would be ideal for a fitness club.

## **5.2 Adaptive Re-use of the 1931 Building with the Construction of a New Mixed Use Building**

Given that the property is located within the Mainstreet Commercial area, a second option for the overall site would be mixed commercial residential, accommodated in separate or interconnected buildings.

The original 1931 building is well-suited for office or mixed retail office use. The front section of the building or the entire main floor would be suitable for a retail use, with public access provided by the front Post Office entrance. The Customs and Excise entrance at the rear could serve as the main entrance to offices on the ground and second floors or just the second floor. The treatment of the missing sections of the west wall would depend on the nature of the new development and whether the two buildings are connected or not. If free-standing, the masonry wall could be rebuilt and the original window configuration restored. If connected to an adjacent new building, the masonry wall could be restored as required with one or more openings left for connecting links. This would preferably comprise an atrium or a glass-walled structure that would create a virtually transparent indoor space connecting the old and new buildings. The first floor plan reveals that part of the original rear wall was retained on the ground floor to create an entrance vestibule and corridor. However, as it has been removed on the second floor, this rear addition would either need to be retained for structural reasons or replaced. Given the site constraints, replacement does not seem like an economically viable option as there is no room to build a larger addition.

In accordance with the Mississauga Plan policy that allows for medium rise mixed use buildings up to six storeys in height, it might be possible to construct a building with commercial space on the ground floor only and residential units above, if the original 1913 building is entirely devoted to commercial use. The

Floor Space Index limits residential use in mixed use buildings of up to six storeys to 1.5 out of 2.0, which means that 25% of the space provided on a given site must accommodate a commercial use. Given the proximity of the site to the harbour and its unobstructed views of Lake Ontario, looking south or south-west, it would be a highly desirable location for a multi-storey residential condominium building combined with a restaurant and an outdoor patio on the ground floor. The exterior cladding should include as much glass as possible to minimize its visual impact and complement rather than compete with the restored and rehabilitated 1913 building. However, the viability of constructing a multi-storey building on this site would depend on the stability of the ground. Clearly, soil testing would need to be done by a structural engineer to determine whether or not such a building a multi-storey building could be erected on land which was created from harbour dredge.

If it is technically feasible to erect a new building of up to six storeys on the site, then the following design guidelines are suggested.

1. Design the new building in a modern style with as much glazing as possible, to minimize its visual impact and complement the adjacent historic building.
2. If the new building abuts the west façade of the 1913 building, its front facade should be set back from the original building by a minimum of 3 feet.
3. Alternatively, the façade of the new building could be aligned with the 1913 façade but would be separated from the original building on its west side by a specified minimum distance (excluding any connecting link on the ground floor).

### **5.3 Adaptive Re-use of the 1931 Building with the Construction of a New Commercial Building**

A third option would to retain and rehabilitate the 1931 building as described above but build a new 2-3 storey commercial building on the site of the later additions. Both the new and the old building would accommodate a variety of commercial uses, as permitted under the C4 zoning and previously described. It should have a number of storefronts for retail/ restaurant uses facing Lakeshore Road. The façade could be built as close to the sidewalk as the existing later additions. It is anticipated that such a building would be built right up to the west wall of the existing 1913 building. However, its façade treatment should be distinct from that of the original building and not attempt to mimic the design and construction of the original façade. A modern style of commercial building is preferred in this scenario.

## **6 CONCLUSIONS**

Based on the evaluation of the existing Canada Post building complex, in accordance with the provincial Criteria for Determining Cultural Heritage Value or

Interest, the exterior of the 1913 portion of the building was determined to be worthy of designation under the Ontario Heritage Act. If a by-law is passed by City Council, it should go into effect on the date that the new owner takes possession of the property.

All of the original facades, and the structural components (supporting posts, beams and joists) should be retained. It is recommended that a heritage consultant/ restoration architect be retained to provide advice and specifications for the conservation of the exterior brick and concrete masonry facades, repair and reinforcement of the lower west wall. (if the 1950s addition is removed), as well as barrier-free access, and the design and construction of any proposed new windows and doorways. A structural engineer should also be consulted if the abutting addition is to be removed.

Three development options were presented based on the zoning regulations and Mississauga Plan policies, two of which could be carried out within the C4 provisions of the Zoning By-law.

## **7 SOURCES**

NOTE: A number of the sources cited below are on-line resources provided by the City of Mississauga on its website (abbreviated as CM). Navigation links are provided below for documents available on-line.

### Planning Documents

Mississauga Plan District Land Use Index Map and Mississauga Plan, Section 4.2.7: Port Credit District Policies of Mississauga Plan (amended September 2007) [CM > Residents > Planning & Building > Official Plans & Zoning By-laws > Mississauga Plan]

New Mississauga Zoning By-law Index Map (area) and Zoning By-law 0225-2007 (approved by Council, June 2007): Table 6.2.1 (C1 – C5 Permitted Uses and Zone Regulations); Table 4.2.4 (R3 Infill Exception Regulations) [CM > Residents > Planning & Building > Official Plans & Zoning By-laws]

### Aerial Photographs

1952 to 2006 [CM > eMaps > Map Layers > Aerial Photography]

### Architectural Drawings

Poor copies of undated (1967 or later) floor plans found in the Port Credit Canada Post facility. NOTE: The original architectural drawings for the 1913 building may be in a record group at the National Archives, but they are not listed on-line and according to Margaret Carter and Dana Johnson may not have been easily or quickly found by the student sub-contracted to undertake research at the National Archives and the Canadian Inventory of Historic Buildings for this Heritage Impact Statement.

### Local History Publications and Manuscripts

Betty Clarkson, *Credit Valley Gateway: The Story of Port Credit*, Port Credit Public Library Board: 1967

Verna Mae Weeks, *Port Credit: A Glimpse of Other Days* (Mississauga, Ont.: Verna Mae Weeks, 1995)

George Robb Architect, *Heritage Conservation Feasibility Study of Old Port Credit Village* and the accompanying Building Inventory (Nov. 23, 2003)

### Other Secondary Sources

The Canadian Encyclopedia [on-line version], entry for "Canada Post Corporation".

### Parks Canada Publications, Reports and Web Resources

Margaret Archibald, *By Federal Design The Chief Architect's Branch of the Department of Public Works, 1881-1914* (Parks Canada, 1983)

Federal Heritage Buildings Review Office, Building Reports 87-01, 87-02, 87-03, 87-04, 87-30 (five Ontario post office buildings).

Federal Heritage Buildings Review Office, Building Report 87-29 (Keewatin Post Office, Keewatin, Ontario).

Federal Heritage Buildings Review Office, Building Report 87-06 (Postal Station D, Toronto, Ontario).

Parks Canada website: Federal Heritage Buildings Review Office; Standards and Guidelines for the Conservation of Historic Places in Canada [www.pc.gc.ca]

### National Archives and Library Canada

Public Accounts for the Fiscal Year ended March 31, 1931  
Port Credit – Public Building – under contract (\$40,000)

*Report of the Auditor General for the Year ended March 31, 1931, Vol. 1 (Public Works: Chargeable to Income)*

Port Credit Public Building – public expenditures amounting to \$1077, including architect's services (J.M. Oxley)

*Report of the Auditor General for the Year ended March 31, 1932, Vol. 1: Part V (Public Works)*

Port Credit Public Building – construction of building by Herod Construction Co. (\$34,948); Port Credit, Post Office: caretaker, E.S.Trotter, Oct. 15 –\_Mar. 31 (payment for salary, utilities and sundries)

*Report of the Minister of Public Works on the Works under his Control for the Fiscal Year ended March 31, 1932, Vol. 1 (Report of the Chief Architect, 1931-*

32)

[Paragraph description of the site and construction of the Port Credit Public Building]

*Report of the Minister of Public Works on the Works under his Control for the Fiscal Year ended March 31, 1933*

[Port Credit Public Building included in list of Ontario buildings to which minor improvements, repairs or painting were done]

*Public Accounts of Canada for the Fiscal Year ended March 31, 1953 and Report of the Auditor General*

Port Credit Public Building – additions and alterations; plans and specifications not completed (estimate: \$75,000)

*Public Accounts of Canada for the Fiscal Year ended March 31, 1967, Vol.1: Summary Report and Financial Statements.*

Port Credit – Public Building: additions and alterations (to complete); Alexander B. Leman, Don Mills, received \$10,824 for the preparation of plans and specifications; estimates: \$250,000; expenditures: \$93,842.

Legal Documents (from CPC in Ottawa and provided by Wally Pollock)

Documents referred to in this report:

Department of Public Works to The Corporation of the Village of Port Credit – Order in Council granting permission to the Corporation of Port Credit , to improve the portion of the roadway running through the Government property at Port Credit, Ont., January 1918; attached “Plan accompanying report of Nov. 22, 1917 to Chief Engineer”.

Minutes of a Meeting of the Committee of the Privy Council approved by His Excellency the Governor General on the 18<sup>th</sup> June 1959; attached to this document was part of a survey plan assumed to be the one referred to in the document, prepared by Speight, Van Nostrand, Ward & Anderson, Ontario Land Surveyors, dated February 28, 1955.

Criteria for Determining Cultural Heritage Value or Interest, O.Reg. 9/06

[download from the Canadian Legal Information Institute:  
[www.canlii.org/on/laws/regu/2006r.9/20070614/whole/html](http://www.canlii.org/on/laws/regu/2006r.9/20070614/whole/html)]



## **8 CONTACTS, SITE VISITS AND QUALIFICATIONS**

### **8.1 Contacts**

- W.J. (Wally) Pollock, Senior Vice President, Director-Corporate Services, CB Richard Ellis Ltd., Toronto
- Lindsay Walker, Sales Representative, Global Corporate Services, CB Richard Ellis Ltd., Toronto
- Margaret Carter, Heritage Resource Associates, Inc, Ottawa (supplied an M.A. student to undertake research at the National Archives and the Canadian Inventory of Historic Buildings)
- Dana Johnson, retired Parks Canada historian and heritage consultant, Ottawa
- Mark Warrack (Heritage Co-ordinator, Community Services, City of Mississauga)

### **8.2 Site Visits**

Two site visits were made: the first with Wally Pollock and Lindsay Walker on May 8 and the second with Lindsay Walker on June 11.

### **8.3 Qualifications of Ann Gillespie**

The author of this Heritage Impact Statement, Ann Gillespie, graduated in 1985 from the Institute of Canadian Studies, Carleton University, Ottawa with an M.A. (1985) specializing in the history of Canadian architecture and building technology. Her thesis topic focused on the manufacture and use of decorative sheet-metal building components in Canada from 1870 to 1930 (galvanized iron cornices, pressed-metal ceilings, etc.).

After graduation Ann joined the Research Sub-committee of the Hamilton LACAC (Local Architectural Conservation Advisory Committee) and soon afterwards gained employment with the City of Hamilton as a research assistant to the Architectural Historian, Nina Chapple. Ann remained with the City in the position of Heritage Researcher/ Planner for 16 years. During this time she researched and prepared numerous designation reports for buildings to be designated under Part IV the Ontario Heritage Act. She also contributed to the research for and preparation of feasibility studies and plans for several heritage conservation districts in the former City of Hamilton and was the principal author of the *St. Boulevard Heritage Conservation District and Plan* (April 1992). After taking early retirement at the end of 2001, she became a heritage consultant, working on a part-time basis, first in partnership with Mary Kramer as *Gillespie-Kramer Heritage Consulting* and since 2006, on her own as *Gillespie Heritage Consulting*. Ann has been a member of CAPHC (Canadian Association of Professional Heritage Consultants) since 2002.

Over the years Ann has contributed numerous articles on architectural history/ heritage topics to ACORN, the journal of the Architectural Conservancy of Ontario (ACO) as well as local publications. She has also been actively involved in the heritage conservation field on a volunteer basis, as a member of various groups and committees, such as the Hamilton Branch of the ACO, the Beach Canal Lighthouse Group, and several sub-committees of the Hamilton LACAC, including the Education Sub-committee, the Permit Review Sub-committee and CHAP Dundas (Community Heritage Advisory Panel for the former Town of Dundas).

Most relevant to this HIS are heritage impact assessments/ statements previously undertaken for the following buildings, which included architectural research and assessment, photographic recording, and the recommendation of mitigation measures.

*Heritage Impact Statement for 60 Inglewood Drive, Mineolas West Cultural Landscape, City of Mississauga* for the property owner, Ivan Petrovic (March, 2008)

*Heritage Impact Statement for 1525 Glenburnie Road, Mineola West Cultural Landscape, City of Mississauga* for the property owner, Manju Kuppa (February 2008)

*Heritage Impact Statement for 14 Princess Street, Streetsville, City of Mississauga* for the property owner, Steve Radat (December, 2007)

*Heritage Impact Statement for 16 Front Street, Old Port Credit Heritage Conservation District, City of Mississauga* for the property owner, Sam Peruzza (November, 2006)

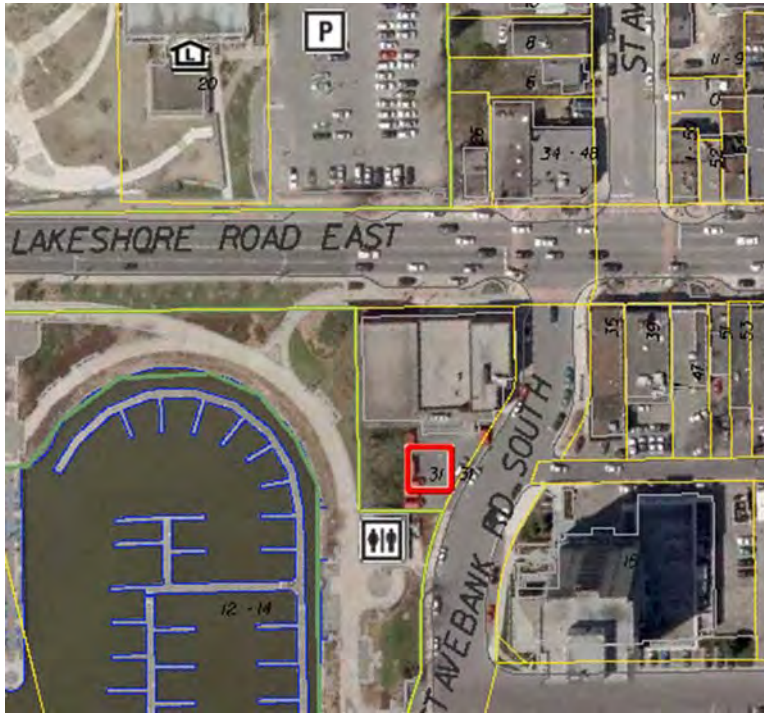
*Heritage Impact Assessment for 204 Kitchener Road in the City of Cambridge (Town of Galt)* for the property owner, Marian Wood (January 2007)

*Heritage Assessment of the Former Hamilton Thistle Club, 85 Robinson Street, City of Hamilton* for Vince Molinari, President, V&R Investments, (developer), 2004. :

*Heritage Assessment of House at 284 Brock Road, Bullock's Corners, City of Hamilton* for the Hamilton Conservation Authority (property owner), 2003.

## 9 ILLUSTRATIONS

Identified below and in the body of the report as **Figure 1, 2**, etc. Includes copies of photographs, aerial photos and maps from web sources, archival and secondary sources,



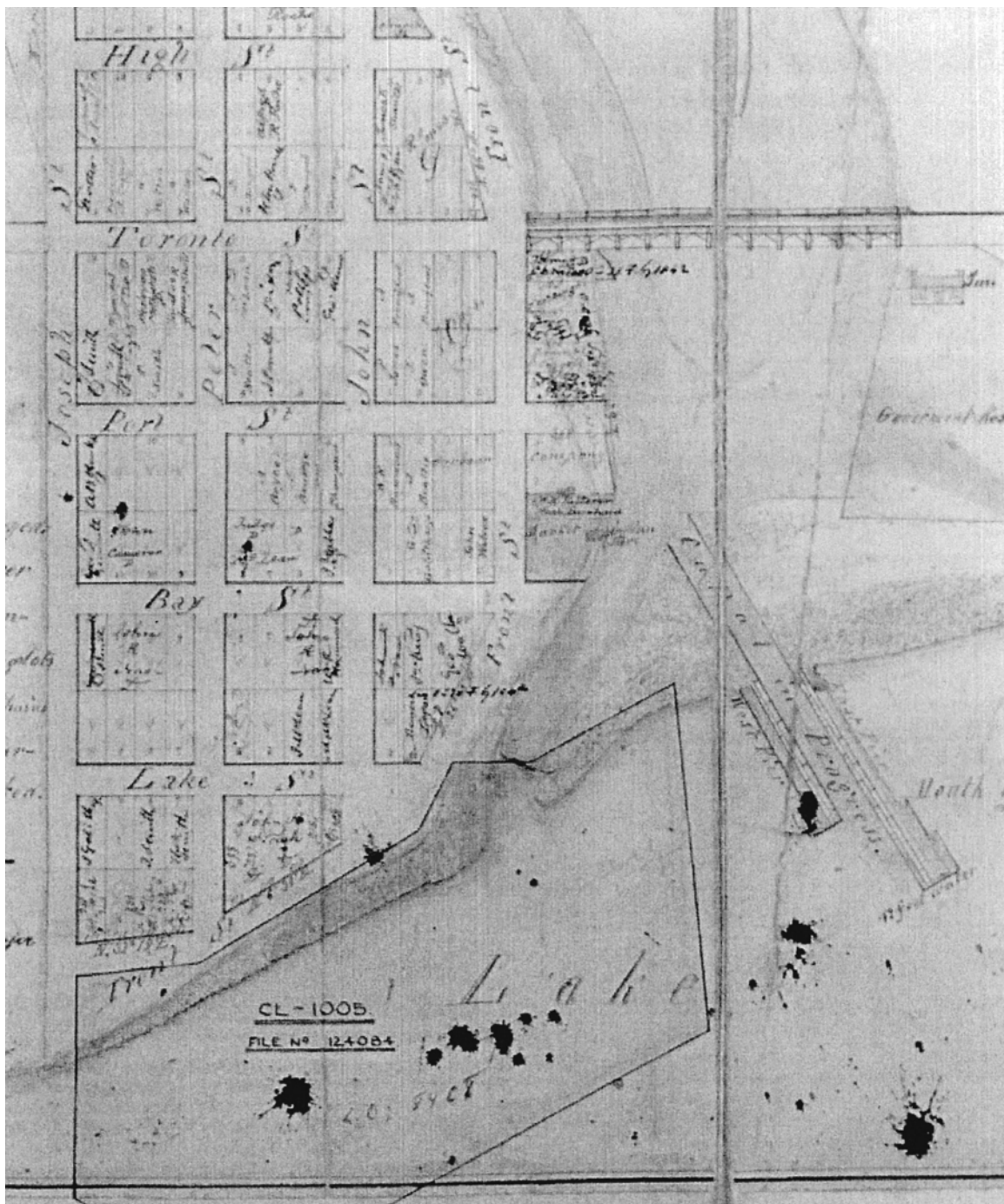
**Figure 1**

2006 Aerial View showing the location of the Canada Post property at the south-west corner of Lakeshore Road East and Stavebank Road South and its immediate setting: with the Credit Village Marina to the south-west, the Waterside Inn to the south-east and the southern end of Memorial Park to the Park to the north-west with its public parking area and commercial development to the north and east. (CM > eMaps > aerial views)



**Figure 2**

Zoomed-in view of the 2006 Aerial Photo showing more clearly the Canada Post property and the roofs of the three distinct sections of the building: the original 1931 building at the corner of Lakeshore and Stavebank, the 1950s addition in the middle and the 1967 addition to the west.

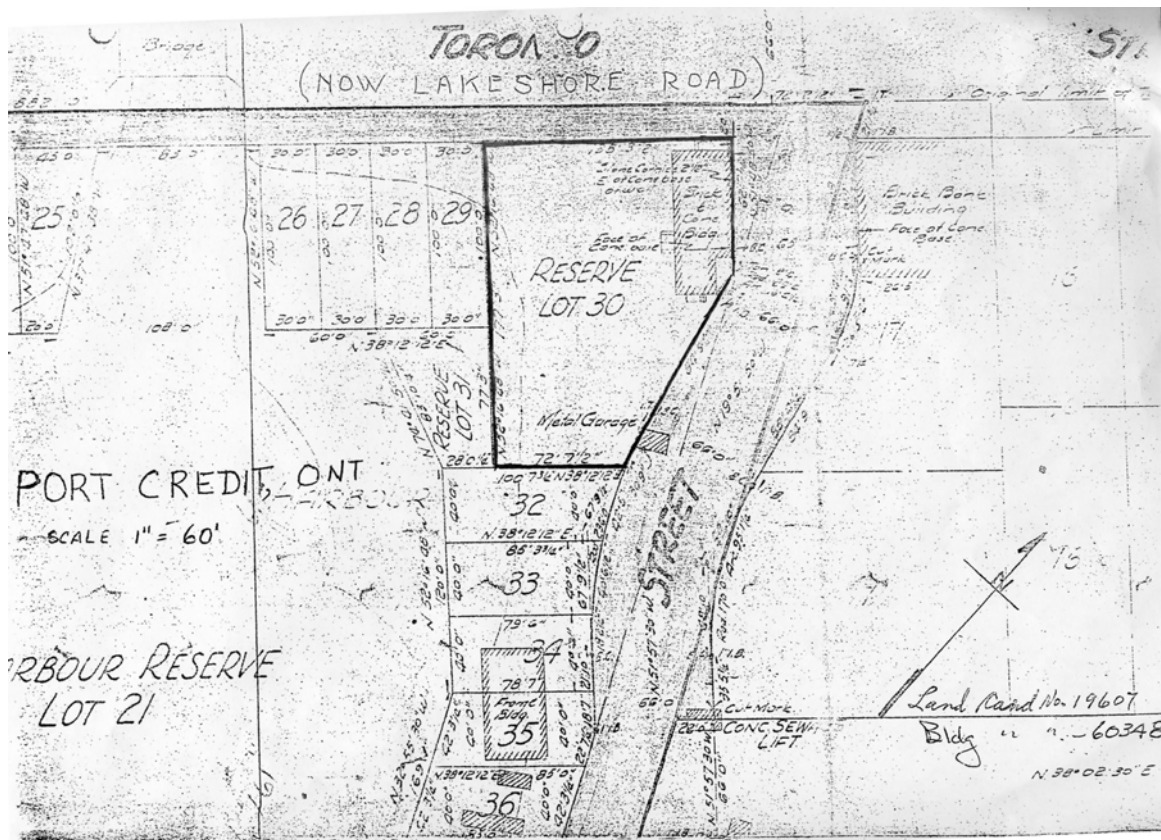


**Figure 3**

Robert Lynn, "Plan of the Survey of Port Credit, A Village Plot at the mouth of the River Credit, on the Indian Reserve, laid out by order from the Surveyor General, dated 20 June 1835", surveyed 11 November 1837 (copy of the original plan in the Archives of Ontario, published in the *Heritage Conservation District Feasibility of Old Port Credit Village*).

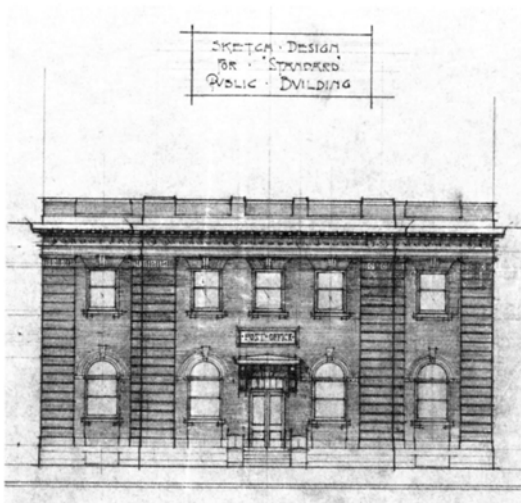






**Figure 5**

Section of map with no title or date, showing the footprint of the original building on a parcel of land which appears to match the current configuration of the lot and property boundaries. Map is stapled to a copy of the Minute of a Meeting of the Committee of the Privy Council approved 18<sup>th</sup> June 1959, which refers to a plan showing Reserve Lot 30, prepared by Speight, Van Nostrand, Ward & Anderson, Ontario Land Surveyors, dated February 28, 1955, on file in Department of Public Works.



17 Proposed front elevation, Standard Public Building design "B," ca. 1907. (Public Archives Canada, RG 11, Vol. 2711, file 1556-20-A.)



18 Standard Public Building design "B," executed in Maple Creek, Saskatchewan, 1908. (Public Archives Canada, PA 46547.)

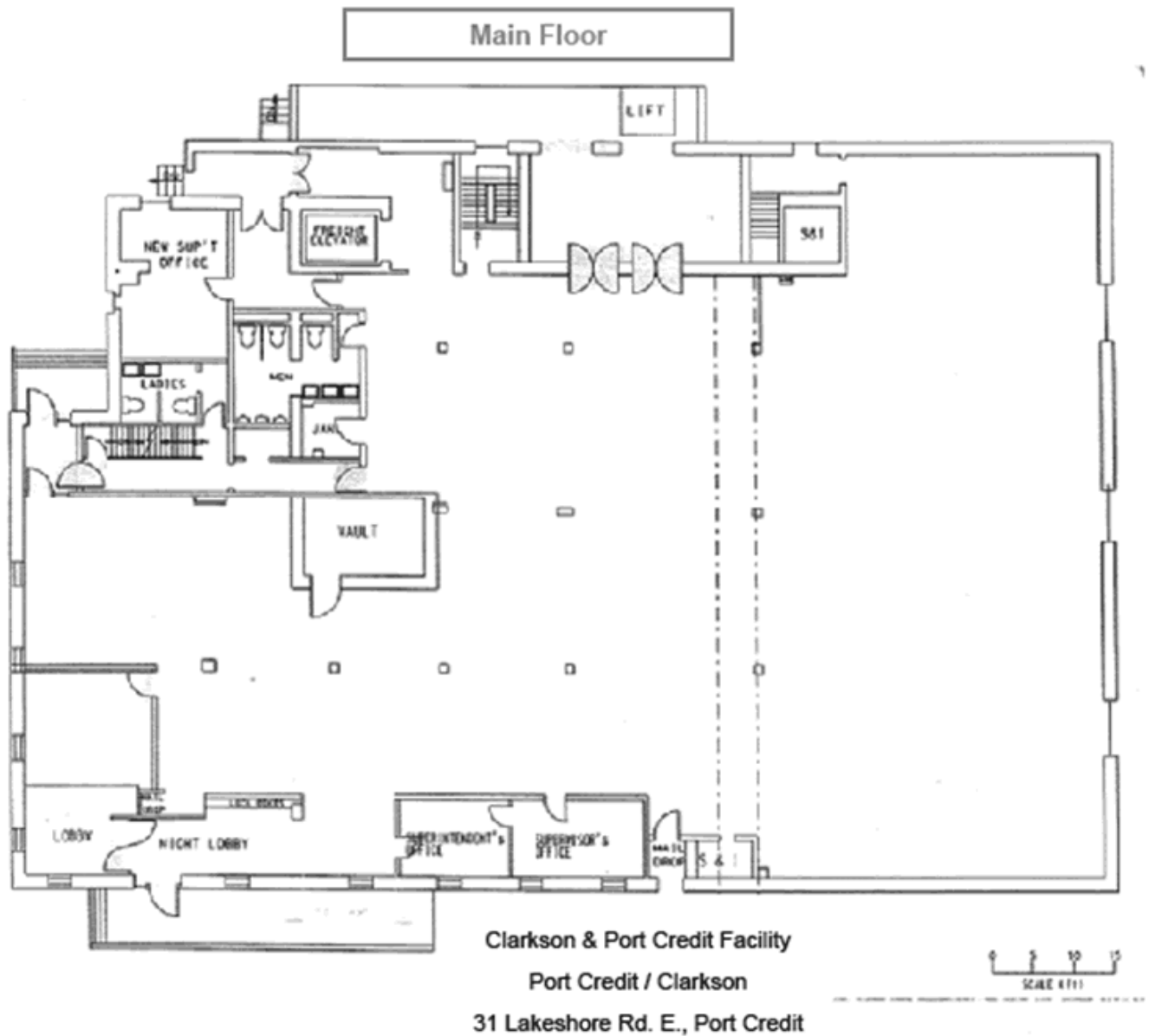


19 Standard Public Building design "B," executed in Westville, Nova Scotia, 1908. (Public Archives Canada, PA 46728.)

## Figure 6

Proposed elevation for Standard Public Building design "B" and two examples built in 1908, in Maple Creek, Saskatchewan and Westville, Nova Scotia. Illustrations scanned as a group from p. 38 of Margaret Archibald's *By Federal Design* (see Sources: Section 7).





**Figure 8**

Larger scale version of the ground floor plan. Note that the foyer identified as the Night Lobby is now closed off on the west side. Thicker wall sections on the east side of the vault, janitor's closet, the freight elevator, and partition wall in the men's washroom appear to be surviving sections of the original west wall of the 1913 building.

## 10 SITE VISIT PHOTOS

The following photographs were taken by Ann Gillespie or Stewart Patch (husband) on three site visits: February (prior to submitting a fee proposal), May and June, unless otherwise indicated.



**Photo 1**

View of the front (north) façade of the Canada Post facility looking south towards Lake Ontario. Behind the 1913 portion of the building is the Waterside Inn.



**Photo 2**

View of the Canada Post facility looking south-west from the north side of Lakeshore Road East at the intersection of Stavebank Road South.





**Photo 3**

View of the south side of Lakeshore Road East, looking east from near the corner of the Canada Post building complex.



**Photo 4**

View of the main street of Port Credit (Lakeshore Road East), looking east towards the intersections of Stavebank Road South and North.





**Photo 5**

View of the west and south (rear) facades of the Canada Post building from the pedestrian path on City-owned property. In the foreground is the corner of the Credit Village Marina building.



**Photo 6**

View from across the harbour looking north-east towards the Canada Post building, well-screened by tree foliage when this photo was taken in June.





**Photo 7**

View looking east towards the Canada Post building and the Waterside Inn from the pedestrian walkway at the north end of the harbour and marina. (early May )



**Photo 8**

View of the Waterside Inn looking south-east across Stavebank Road South from the rear of the Canada Post property.



**Photo 9**

View of the Canada Post facility looking south-west from the corner of Lakeshore Road East and Stavebank Road South. (Photo supplied by Wally Pollock, CB Richard Ellis)



**Photo 10**

Detail of front entrance showing the decorative concrete door surround and Canadian coat-of-arms, and the relatively recent aluminum and glass doorway.





**Photo 11**

Detail of concrete foundation adjacent to the steps up to the landing of the front entrance. The original exposed aggregate finish was covered at some point with parging, which is now falling off in places.



**Photo 12**

View of the side (east wall) of the original building looking directly west from Stavebank Road South.



**Photo 13**

View looking north-west of the east and rear façade with its more recent addition. The cornice and line in the brickwork shows clearly where the original building ends.



**Photo 14**

Detail of the window sill of the lower window of the rear wing of the original building (partially obscured by the vehicle in the photo above). Photo also shows the aluminum clad frames of the replacement windows.





**Photo 15**

Original Customs and Excise entrance, with its concrete surround and shadow letters of the metal letter sign that has been removed.



**Photo 16**

View looking north-west from Stavebank Road of the rear additions, including a covered loading dock.



**Photo 17**

View looking directly north of most of the rear façade, including the surviving portion of the 1913 building, the two-storey rear addition, the 1950s addition, and most of the 1967 addition. It is not known when the covered loading docked was added.



**Photo 18**

View of the rear façade of the 1967 addition and the loading dock, looking north-east from the City-owned pedestrian walkway around the harbour.





**Photo 19**

View of the west wall of the 1967 addition looking directly east from the pedestrian walkway.



**Photo 20**

Detail of the cast metal Canadian coat-of-arms at the west end of the front façade of the 1967 addition (facing Lakeshore Road).



**Photo 21**

Front façade of the 1950s addition, which originally had a recessed “mail drop” doorway to the right of the windows, as shown on the main floor plan (Figure 8).



**Photo 22**

View from second floor window of the storage room in the rear wing of the original building looking west over the roof of the flat roof of the 1950s addition.





**Photo 23**

View from entrance lobby with doorway to the office in the north-east corner of the building partially visible.



**Photo 24**

View of the entrance foyer looking towards the west wall with the bank of post office boxes on the rear wall. Note that the floor plan (Figure 8) shows an opening in the west wall which provided open access to the main interior space.





**Photo 25**

Front office looking north-east out of the corner windows. Flooring is the same mosaic tile laid in the entrance foyer.



**Photo 26**

View from the front office looking south-west into the open space in the original building.



**Photo 27**

View from the 1950s addition looking towards the east wall of the original building, with the vault on the right. Persons in view are Lindsay Walker and Wally Pollock.



**Photo 28**

View from the middle of the 1950s addition looking north to the front of the building, with the west wall of the vault visible to the left.





**Photo 29**

View from the front of the 1950s addition looking south towards the stairwell and loading dock area to the right. West wall of the vault visible to the left.



**Photo 30**

View looking south from near the office areas at the front of the 1950s addition toward the loading dock doors at the rear.



**Photo 31**

View from the front of the 1967 addition looking towards the south-west corner of the building.



**Photo 32**

View of the interior of the 1967 addition looking slightly south-west towards the west wall.





**Photo 33**

View of the large meeting and training room in the north-west corner of the basement, facing the west wall with its above grade long horizontal windows. .



**Photo 34**

View of the central locker area in the basement of the 1950s addition, facing the back of the building (south).





**Photo 35**

View of the lunch room in the front of the basement of the original building, looking towards the south-east corner.



**Photo 36**

Room at the back of the original building on the second floor, which is currently used for storage purposes. View looking towards the south wall with the two windows.



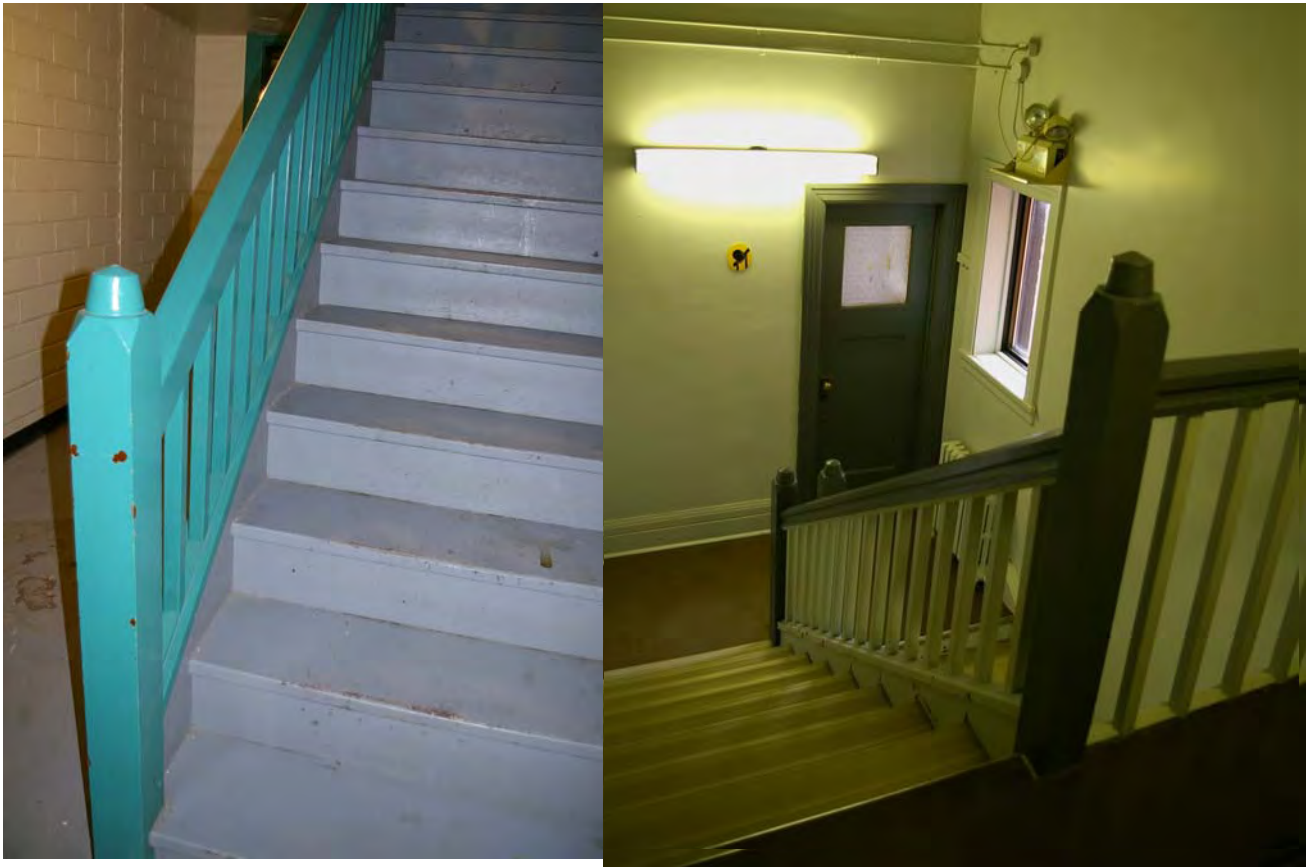
**Photo 37**

View of the lunch room on the second floor with windows looking out over Stavebank Road (east).



**Photo 38**

Original doorway off the second floor landing; one of several featuring a moulded wood frame surrounding a paneled wood door with a multi-paned transom light above.



**Photo 39**

Stairwell in the original 1913 building from the basement (left) up to the second floor. To the right, a view looking south-east from the second floor looking down to the landing with a door leading to a small washroom. The small window looks out to the rear. See the second floor plan (Figure 7). The staircase originally all wood but the stair risers from the ground floor up have been covered. The entire basement balustrade has been painted whereas the one leading to the second floor is likely may be in its original condition with natural finished wood newel posts and banisters.