

Conservation Principles and Design Guidelines  
for the  
Meadowvale Village Heritage Conservation District  
2003

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## 1. Introduction

Meadowvale Village, at Old Derry and Second Line roads in Mississauga, is an historic community within the modern City of Mississauga. Mississauga recognized the significance of Meadowvale in 1980 by designating it a Heritage Conservation District pursuant to the *Ontario Heritage Act* (1974).

The creation of a district requires three steps: 1) research to determine the distinctive historic features and character, 2) delineation of appropriate boundaries, and 3) preparation of a management plan to preserve the district's buildings and character. That work was published by the City of Mississauga in November 1980 in a report entitled "Meadowvale Village Heritage Conservation District Plan." The City of Mississauga Official Plan (Meadowvale Village Secondary Plan Area (February 1995)) refers to and supports the District Plan.

The district designation recognizes that Meadowvale village has a special character. The designation seeks to preserve the "clear statement of the past" while allowing "orderly growth to continue" (District Plan, 1980, p. 2).

The District Plan has formed the basis for reviewing permit applications within the historic district. This study updates the District Plan. It reiterates the purpose of the district, elaborates the character statement, and refines the design guidelines for additions to existing buildings and new infill houses. Its intent is to help preserve Meadowvale Village by protecting its past and permitting sympathetic changes.

## 2. District Character

The historic village of Meadowvale is situated on land first worked by Irish immigrants in 1819. Loggers were attracted to stands of white pine, and by 1836, the village boasted a sawmill and 250 people. The town reached its greatest size just 30 years later when the Toronto-based distillery firm Gooderham and Worts purchased land, timber, and mills to produce whisky barrels. The mill, millpond, and raceway gave shape to the town; though the mill is long gone, the historic road patterns and many period houses remain. Meadowvale derives its fundamental character from that era.

The village of Meadowvale is now an historic enclave along the Credit River at Old Derry and Second Line roads. Approaching from any direction, the village is nestled among mature trees that stand in contrast to the surrounding development. The street plan is irregular and the roads are narrow, creating an image of connected laneways. However, a more traditional village order is still discernible.

Old Derry Road is the former main street. In the past, the village centre with two hotels and the general store stood here; today, a gasoline service station survives on the south side. Unlike the rest of the village, Derry has paved sidewalks. Buildings on the

north side tend to be close to the sidewalk, placing them closer to the road than is common on the side streets. Residences on Derry tend to be 1½ storeys tall. Brick was used historically at the “brick hotel” (1057), Pearson House (1020), and the church (1010).

The side streets do not have curbs or sidewalks, and, with the exception of Second Line, are considerably narrower than Old Derry. Lots are generally rectangular, but vary in width and depth. The original houses have front, side, and rear yards, and usually have small footprints, covering considerably less than half the lot area. Mature trees shade most houses and plantings ensure privacy. The predominant house form is 1½ storeys tall with gable roofs, though hipped roofs are present. Porches and verandahs are common. Most are frame structures with stucco or wood cladding. Details and ornamentation are minimal or absent. Many houses have outbuildings, some of which have been converted to garages or garden sheds. Garages tend to be separate structures placed behind or beside the house.

The historic village of Meadowvale attained its height during the mid 1800s. It derives its character from that time. Every effort should be made to conserve the buildings, landscape features, and road patterns that come from that period. However, like any Ontario town, some buildings have been built since. They are part of Meadowvale’s history. For the most part, buildings built through the 1960s have been low scale. Those that are stylistically true to their period do not detract from the village. They too should be preserved.

### 3. Purpose

The City of Mississauga has recognized the special character of Meadowvale Village and created the Heritage Conservation District to protect it. The 1980 “Meadowvale Village Heritage Conservation District Plan” contains the following objectives:

- 1) To maintain the scale and cohesiveness of the Heritage Conservation District and to protect existing buildings and related features from any sort of activity which would adversely affect the character of the District.
- 2) To increase resident awareness of the significance of the historical character of the individual properties and the Heritage Conservation District of which they are a part and of the interrelationship of the two.
- 3) To maintain the quiet village-like atmosphere of the community.

These concerns were reiterated by area property owners and residents at a public meeting held at the Meadowvale Village Hall on 17 July 2002.

The purpose of the Heritage Conservation District is to preserve the existing buildings and village appearance. Therefore, no existing buildings should be demolished. While significant interior architectural elements should be retained, buildings may be updated internally and enlarged by additions provided the plans comply with the updated district design guidelines presented below. Effort should be made to design and implement alterations that are reversible. Modern infill construction shall reference and respect the traditional mid-1800s historic character by complying with the updated district design guidelines.

#### 4. Conservation Principles

Professor Herb Stovel has written that historic conservation looks both to the past and to the future. A conservation district preserves part of a community's history – it saves old and irreplaceable places and structures so that people can look back and see, touch, and understand the works of their ancestors. The district also looks forward – future generations will enjoy the same places and be shaped by some of the same forces. To ensure that the continuity is honest, certain principles have been adopted internationally to govern repairs, alterations, and additions to historic buildings and sites. They can be summarized:

- Preserve what exists
- Make changes cautiously and knowledgeably
- Do not misrepresent history.

The principles apply to both alterations to existing structures and to new construction within the district.

The principle of preserving what exists has two aspects: keeping existing structures in good condition and only making the least changes necessary. It is preferable to repair original materials and elements than to replace them. It is preferable to keep an existing floor plan than to rearrange interior spaces, especially if rearranging requires creating new openings for windows and doors. If more space is needed, it is preferable to build a sympathetic addition rather than to demolish and build anew.

The hierarchy of options suggested by this approach is further espoused in the principle to make changes cautiously and knowledgeably. One must understand why a structure has historic value and what its most important aspects are. Changes to a house should be made in less visible areas and should not obliterate or remove features that define its historic character. Where possible, changes should be reversible. These cautious changes are the hallmarks of people and communities that honestly wish to protect and preserve historic houses.

Honesty underlies the final principle: do not misrepresent history. Additions should fit the existing historic structure. Their forms, materials, and finishes should relate to the original, but new construction should not on close inspection be mistaken for

the original. This principle also applies to completely new buildings within conservation districts. New buildings should respect traditional forms and patterns so that they fit into the neighbourhood. However, historians and residents should know the difference.

## 5. Design Guidelines

To retain the village like appearance, the City of Mississauga should ensure the existing laneway aspect to the roads does not change. Steps should include not widening the roads, nor building curbs or sidewalks on streets other than Old Derry Road. Sidewalks should be repaired with like materials and should not be widened.

Street furniture and signs can be used to call attention to the district. The existing signs noting the district are appropriate and generally well regarded by area residents. Street name signs should always be simple in design. The City should only contemplate changes to street signage, new lighting, the introduction of street furniture, and changes to sidewalks in consultation with the Meadowvale Village Heritage Conservation District Review Committee (the "Review Committee").

The Official Plan designates Meadowvale Village "Residential Low Density I," which "...permits detached dwellings on lots with minimum frontages of 22.5 metres [75'] to a maximum density of 10 units per net residential hectare" (§3.4.1.1). The relatively large lots are a significant factor contributing to the village character within the district and proposed severances that create smaller lots than currently permissible within Meadowvale should be rejected.

Topography and landscaping are important elements of the Meadowvale Village properties. The Review Committee would review proposed changes to individual property topography; landscaping should emphasize native species.

Illuminating buildings with floodlights is inappropriate and strongly discouraged.

House design can be appreciated at all levels. One first notices the big picture: massing (how and where a building is placed on a property and how its bulk is organized), height, scale (how the building and its features property relate to the size of an adult human being), roof shape, porches, window patterns, horizontal or vertical emphasis, fences and other landscape elements. As one nears a building, one notices the finer points: exterior finishes, window details, door, hardware, and ornamental details. The Review Committee will assess all aspects to determine whether a proposal is consistent with the district character.

The City of Mississauga will only issue building permits upon the recommendation of the Review Committee (see Procedures). It is advised that potential applicants familiarize themselves with the older houses in the District.

## 5.1 Design Guidelines for New Buildings

**1. Designs should respect adjacent structures and 19<sup>th</sup> century antecedents but should not mimic so that they are indistinguishable from historic originals.** Use new exterior materials rather than recycled materials. Do not incorporate historic elements from other sites and structures.

### **2. Respect prevailing setbacks.**

a) The front of the house should be the same distance from the street as adjacent houses. If the neighbouring houses are different distances from the street, use the mean distance to establish the appropriate modern setback (Figure 1).

b) Consider the relationship of the new building and its side yard setbacks to those of existing buildings. Existing houses have a relatively small footprint when compared to the lot area. New construction should follow this pattern (Figure 1).

c) Setbacks should take into account significant plants and landscape features. In particular, it may be appropriate to introduce a greater setback in cases where there is no history of previous construction and residents are accustomed to a landscaped open space along the street.

### **3. Maintain typical size and shape of historic front facades.**

a) Facades should have similar widths to those found elsewhere on the street. If new construction is to be wider, consider setting back some of the structure so that the projecting portion more closely resembles typical building widths.

b) Facades should have similar heights to those found elsewhere on the street and should not exceed 1½ storeys.

Attic heights should be lower than standard floor-to-ceiling heights so that the roof ridge is less than one full storey above the lower floor (Figure 2).

Historic floor-to-ceiling heights were greater than modern conventions, so consider carefully the height of window openings above the ground and how they relate to adjacent structures.

**4. Maintain typical roof shapes and orientations.** Gable roofs predominate in Meadowvale. The ridge tends to be parallel to the street with gable ends on the sides. Modern construction should follow this pattern (Figure 3).

A single front gable directly above the front entrance is permissible. Care should be taken to ensure that both the height of the gable and the pitch of its roof are appropriate. Finials and bargeboard are inappropriate and will not be approved.

Hipped roofs are permissible. Multiple front gables, mansard roofs and gambrel roofs are inappropriate and will not be approved.

**5. Dormers should have a vertical emphasis.** Dormers are a traditional way to provide head room in attic spaces. Dormers should be placed above lower-storey windows and should be subordinate to the ridge height. Oversized dormers are inappropriate and will not be approved. Double dormers and shed dormers will not be approved (Figure 4).

**6. Use traditional roof materials.** Cedar or asphalt shingles are appropriate choices. Shakes are not appropriate. Nontraditional materials such as clay tiles, metal, slate, vinyl and other synthetics are inappropriate and will not be approved.

**7. Respect orientation, dimensions, and simplicity of porches.** Porches and verandahs (the latter extend the full width of the house) were used historically to protect the main entrance. Porches and verandahs should be wood, lack ornamentation, and reflect traditional forms found in the Village. Brick or stone piers and columns are inappropriate. Arches and gingerbread are inappropriate. Iron rails and balusters will not be approved.

Verandahs and porches should project outward from the wall. Verandahs with over-hanging roofs and incorporated as arcades are inappropriate and will not be approved (Figure 5).

**8. Main entrances should be situated in the centre of the façade and face the street.**

**9. Use exterior materials that are similar in finish and texture to those used historically.** Horizontal wood clapboard or stucco is acceptable.

Wood was painted historically. New wood surfaces and elements should be painted. Unfinished wood surfaces are inappropriate and will not be approved.

Natural stone should only be used for foundations and may not extend further above grade than the floor of the lower storey. Concrete and “cast stone” is discouraged.

Modern “low-maintenance” materials are discouraged.

Do not mix materials on the same façade. The cladding on facades should be uniform from top to bottom. Shingles may be used in the interior of the gable, but should not cover the entire surface.

**10. Door proportions and styles should reflect those used historically in the village.** Doors should be simple and unornamented. Raw aluminum doorframes will not be approved.

**11. Use ratios of windows to walls that are similar to historic structures.** In general, about two-thirds of the front façade should be solid.

**12. Window sizes, proportions, and styles should reflect those used widely and historically in the Village.** Windows in the Village historically have been plain. New windows should also be plain. They should have a vertical emphasis (be taller than they are wide). Windows should not be paired or clustered.

Single-hung or double-hung windows with panes, muntins, sashes, and frames in sizes and finishes similar to historical examples are preferred. Particular attention should be given to the number and size of windowpanes. For example, 12-over-12 windows were common in the Georgian period, which was too early for Meadowvale. Similarly, single panes (such as one-over-one) were not common until the end of the 19<sup>th</sup> century and do not reflect Meadowvale's historic character. Single- or double-hung windows should not be paired or clustered (e.g., Palladian) (Figure 6).

Appropriate windows include two-over-two, four-over-four, and six-over-six. Reference to prevailing mid-19<sup>th</sup> century patterns should guide the decision.

Casements, bay windows, single sheets of glass, and horizontally sliding windows are inappropriate and will not be approved. Raw aluminum window frames should not be used and will not be approved.

**13. Shutters should appear to be functional.** Louvred-wood is preferred.

The size and placement of shutters is critical to their appearance. The combined area of the shutters must be equal to the window opening so that the window would be fully covered if the shutters were closed. Smaller shutters will not be approved (Figure 7).

The space between adjacent windows must be greater than the combined area of shutters so that the shutters lie flat against the wall with an appropriate space between them.

**14. Solar panels and skylights should not face the street or project above the roof ridge so as to be visible from the street.**

**15. Centralized heating and cooling units, such as heat pumps, should not be visible from the street.** Ideally, they should be to the rear of the house, though plantings might be used to screen units, provided the plants provide cover in all seasons.

**16. Garages must be detached structures and should be located to the side or rear of the house.** As an outbuilding, the garage should be smaller than the house in all of its dimensions.

**17. Minimize the impact of on-site parking.** Like garages, parking pads should be minimal and located to the side or rear of houses. Use plants and fences to screen parking pads. Plants should provide cover in all seasons.

Circular drives at the front of the property are inappropriate and will not be approved.

**18. Walks and driveways should be constructed so they do not damage tree roots.** Porous surfaces are preferred.

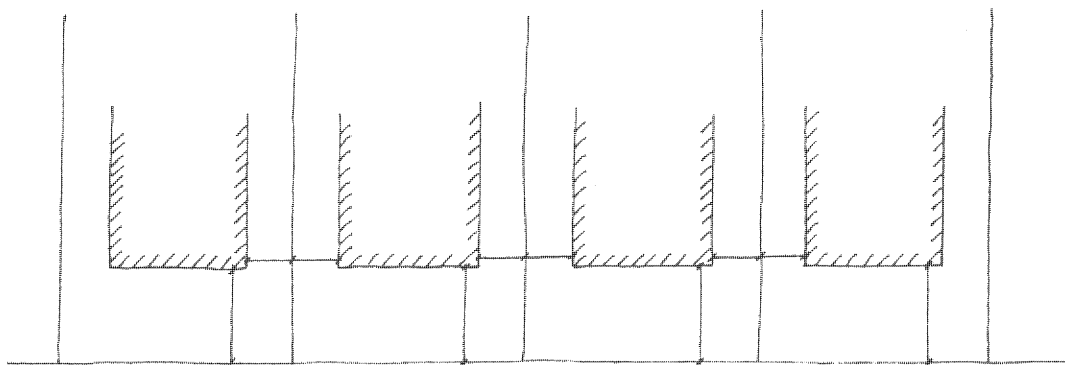


19. **Retain mature trees.** Where removal is unavoidable, plant a new tree for each removed. Historic species are preferred. Refer to City of Mississauga guidelines for the appropriate size of new trees.

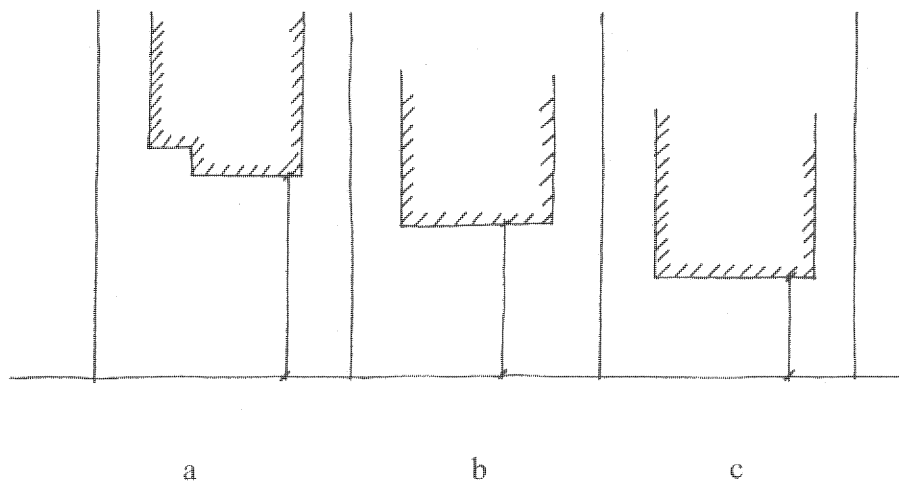
20. **Fences demarking property lines have been used historically.** Where fences are desired, they should be open, such as wood picket fences. Split rail may be considered for rear and side lot lines, but should not be used in front yards. Chain link and wrought iron fences are discouraged. Closed wood fences without gaps are not permissible. Stone fences and gates are inappropriate.

## ILLUSTRATIONS

Figure 1. Setbacks

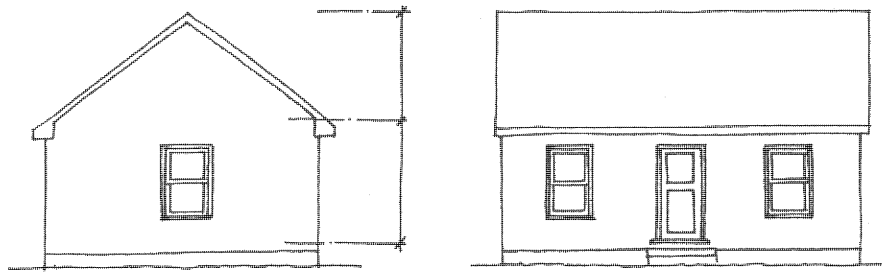


Respect prevailing front and side yard setbacks.

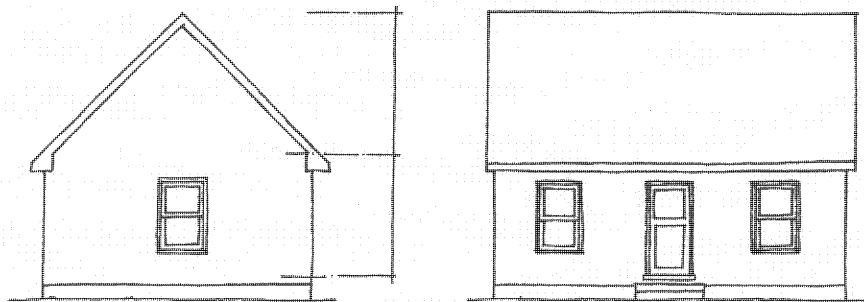


Where setbacks vary, the setback of new construction should be equal to the mean distance of adjacent structures. The new house "b" is set back midway between the houses "a" and "c".

Figure 2. Attic Proportions.



Attic heights should be less than the floor-to-ceiling height of lower floors.



In this example, the attic height is greater than the floor-to-ceiling height of the lower floor, resulting in an over-sized roof with ungainly and inappropriate proportions.

Figure 3. Roof Styles



Gable roofs are the predominant style. House “a” includes a front gable. The hipped roof shown in “c” is also a common form.

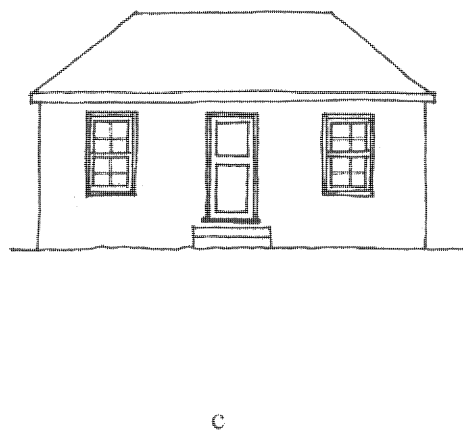
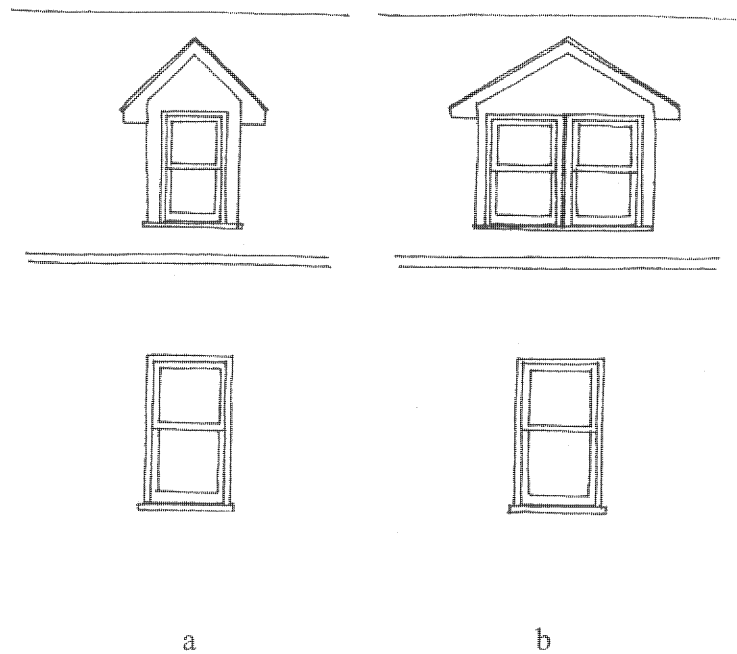


Figure 4. Dormers



Dormers are a traditional way of making attic space more livable. The dormer in “a” shows traditional attributes that should be emulated. The dormer is directly above the lower window and does not extend above the roof. The window opening is smaller than on the main living floor below. Dormer “b” is a double dormer and inappropriate. Dormer “c” extends above the roof peak and is inappropriate. Dormer “d” is a shed dormer and generally inappropriate.

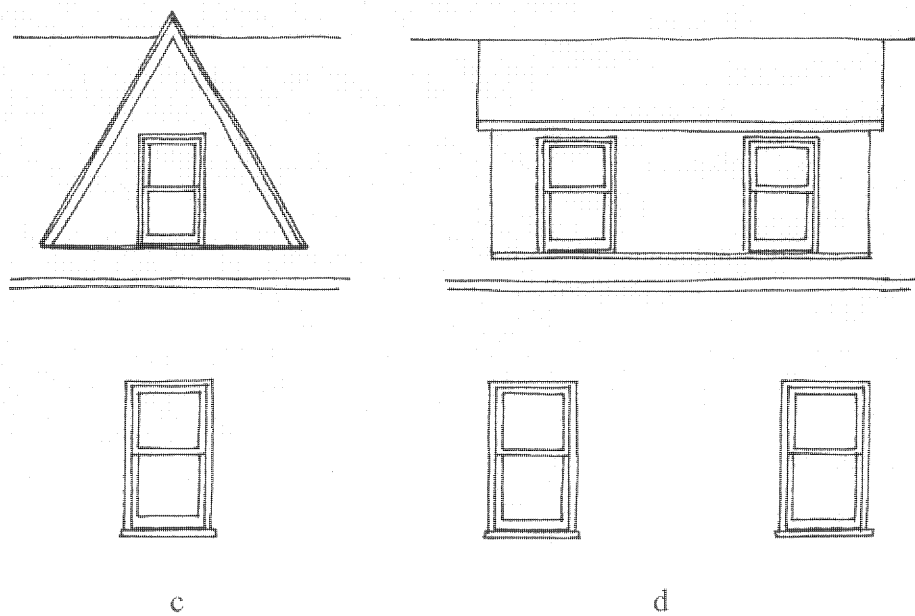
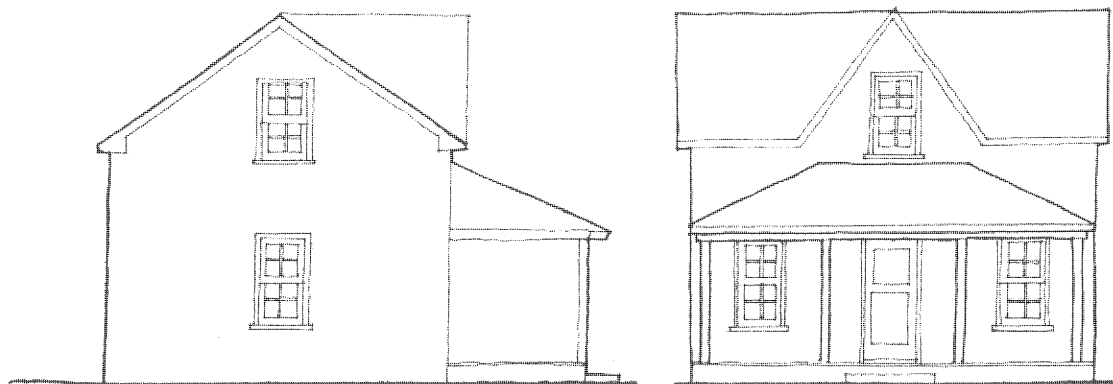


Figure 5. Porches



Traditional porches and verandahs, such as the one depicted above, project outward from the structure to provide protection from the weather. Note the simplicity of the design. Porches that have an overhanging roof so that they are incorporated as arcades (below) are inappropriate and will not be approved.

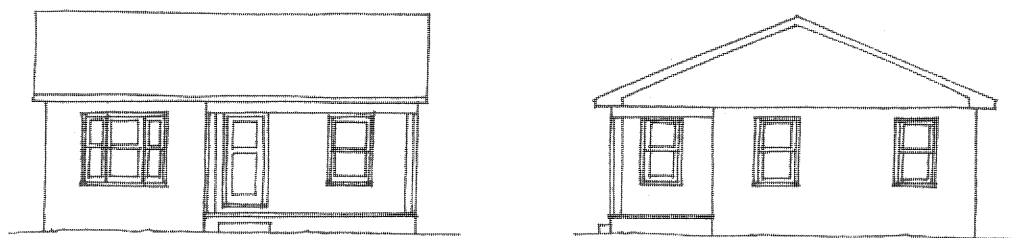
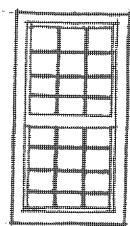
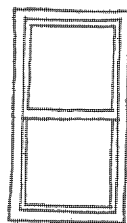


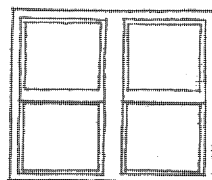
Figure 6. Windows



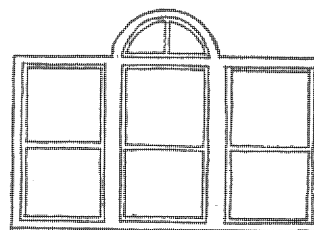
a



b



c



d

The windows shown above are all examples of inappropriate choices for Meadowvale. The four-over-four and six-over-six windows below are generally appropriate choices.

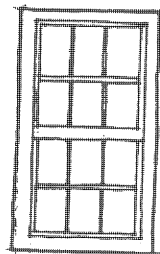
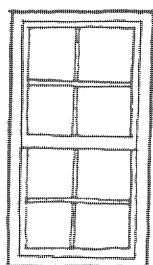
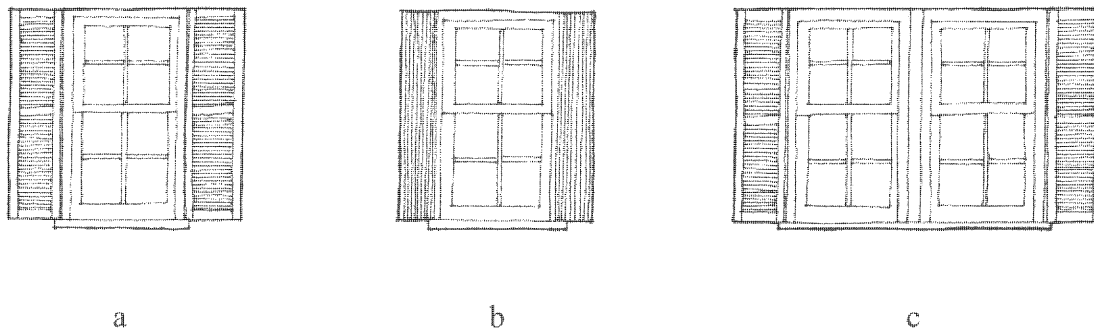


Figure 7. Shutters



Shutters should be able to cover the window opening when closed. The shutters in “a” are the correct size. The shutters in “b” are too small, since the window would not be covered, and the vertical emphasis of the wood is not traditional. Likewise, the shutters in “c” would be correct for a single window, but would be insufficient to cover the paired windows. If two windows are desired, the paired windows should be separated and have their own sets of shutters.



## 5.2 Alterations and Additions to Existing Buildings

**1. Preserve and use existing buildings.** Repair rather than replace original elements and materials. Repairs should be accurate based on an understanding of the material and how it was used historically. Recycled materials may be used to ensure the proper fit. Where possible, alterations should be reversible.

Repairs should not add detail (e.g., bargeboard or finials) that was never present.

Owners are encouraged to uncover and restore original details that are hidden. Missing elements may be replaced only if proper research and documentation shows the missing elements and their forms. Where it is clear that an element is missing but no evidence of the original appearance is available, replacement elements should be similar to examples used historically in the village.

Owners are encouraged to keep original interior architectural elements, fixtures, and finishes.

**2. Buildings should not be moved to accommodate new additions or uses.**

**3. Alterations should not make the structure appear to be older than it is.**

**4. Additions should take into account and respect the form, use, and setting of the original structure.** Additions should be compatible in form, texture, and palette, seeking to complement the original structure. Most Meadowvale houses are modest – additions should not dominate the original structure in scale or be heavily ornamented.

**5. Locate additions so that no alteration is made to the front façade.**

**6. Maintain the original roof shape and orientation.** Roof materials should be cedar or asphalt shingles. Shakes are inappropriate. Metal, clay tiles, slate, vinyl and other synthetic materials are inappropriate and will not be approved.

Framing and flashing should be an appropriate colour.

Retain original chimneys. If they are no longer in use, cap rather than remove.

**7. Dormers may be added to increase headroom.** Ensure dormers have a vertical emphasis (are taller than they are wide) and that windows are smaller in scale than those on lower floors. Dormers should be positioned directly above lower-storey windows. Consider carefully historic proportions, especially the roof pitch and height. Oversized dormers (too tall) are inappropriate and will not be approved (Figure 4).

**8. Skylights and solar panels should not face the street.** Ensure that they do not project above the ridge so that they are visible from the street.

**9. Maintain original front porches and verandahs.** Replace missing wood balusters and rails. Decorative columns and trim are inappropriate. Iron railings are inappropriate and will not be approved.

Verandahs and porches should project outward from the house. Alterations above verandahs that result in the verandahs becoming arcades (have an overhanging roof) are inappropriate and will not be approved (Figure 5).

**10. Maintain primary entrance in its original location.** Do not add doorways to front facades. Maintain original door proportions and simple doors that are consistent with those used historically. Doorframes should be painted. Raw aluminum frames are inappropriate.

**11. Side and rear doors should be simple and unornamented.** Ensure secondary doors are not mistaken for primary entrances.

**12. Maintain original windows pattern and proportions.** Do not relocate windows. Do not add additional windows to the street façade. Do not alter window proportions by increasing or decreasing the size of the window openings.

**13. Repair and retain original windows.** Windows greatly affect the appearance of a house. Refer to existing windows to determine appropriate windows for additions.

Single-hung and double-hung sash windows are the predominant forms. The number of panes and the size and profile of the frame, sash, and muntins should be maintained (Figure 6). For example, 12-over-12 and one-over-one windows are inappropriate in Meadowvale. Simulated dividers, such as “snap-in” muntins, should not be used.

If it is necessary to replace windows, try to match the original. Do not replace windows with single fixed sheets of glass, casements, bay windows, or horizontally sliding windows, unless the originals are such. Raw aluminum frames are inappropriate.

Storm windows should match the sash of the original window.

When building additions, windows should not be paired or clustered (e.g., Palladian) (Figure 6).

**14. Maintain original exterior cladding.**

Brick should not be painted. Brick may not be sandblasted. Painted brick may be cleaned only by methods approved by the Design Review Committee in consultation with the Heritage Coordinator, City of Mississauga.

Wood was historically painted. Repairs to wood siding should match the original dimensions and orientation. Wood clapboard on additions should match the original orientation. Wood was painted traditionally. On both original buildings and additions,

wood should not be stripped and left raw or coated with a clear finish. Shingles should not be used as siding, though may be used as exterior cladding within a gable.

Modern “low maintenance” materials are discouraged. Aluminum, glass, plastic, concrete, and angelstone are inappropriate and will not be approved.

The use of stone is only appropriate for foundation walls.

As a rule, do not mix materials on the same façade (e.g., brick on the lower storey with clapboard on the upper storey).

**15. Centralized heating and cooling units, such as heat pumps, should not be visible from the street.** Ideally, they should be to the rear of the house, though plantings might be used to screen units, provided the plants provide cover in all seasons.

**16. Garages must be detached structures and should be located to the side or rear of the house.** As an outbuilding, the garage should be smaller than the house in all of its dimensions.

**17. Minimize the impact of on-site parking.** Like garages, parking pads should be minimal and located to the side or rear of houses. Use plants and fences to screen parking pads. Plants should provide cover in all seasons.

Circular drives at the front of the property are inappropriate and will not be approved.

**18. Walks and driveways should be constructed so they do not damage tree roots.** Porous surfaces are preferred. Interlocking brick is inappropriate and will not be approved.

**19. Retain mature trees.** Where removal is unavoidable, plant a new tree for each removed. Historic species are preferred. Refer to City of Mississauga guidelines for the appropriate size of new trees.

**20. Fences demarking property lines should be retained.** Repair picket fences rather than replacing with other styles. Chain link and wrought iron fences are discouraged. Closed wood fences without gaps are not permissible. Stone fences and gates are inappropriate.

### 5.3 Design Guidelines for Special Sites

The Meadowvale Village Heritage Conservation District Plan (§4.4) identifies four special sites that have specific provisions: 1) the Village Commercial Centre (site of the service station); 2) Credit Valley Conservation (CVC) lands along Mill Street containing traces of the old mill; 3) CVC and private land in the floodplain along Old Derry Road at the west end of the Conservation District; and, 4) the Gooderham Estate on the northeast corner of Old Derry and Second Line roads. In addition, residents have special concerns about the Community Hall.

#### 5.3.1 CVC Lands

The District Plan states that no development should occur on private lands along Old Derry Road that lie in the floodplain or on CVC lands surrounding the bridge over the Credit River. That policy should continue.

The foundation ruins of the mill are an important component of the village history. They should be accessible and commemorated with an explanatory plaque. Plants should not obscure the mill ruins from passersby on Mill Street.

The CVC also owns a property on Old Mill Lane that serves as a garage. If the garage were to close, the property could be redeveloped as a residential property. The guidelines for new infill should apply.

#### 5.3.2 Village Commercial Centre

The Village Commercial Centre comprises lands at 1056 (service station) and 1060 (former general store) Old Derry Road. Both the Official Plan and the District Plan encourage the continuation of commercial uses in the area. Residential growth around Meadowvale Village suggests that commercial uses could prosper for years to come.

The former general store was converted to residential uses before the conservation district was created in 1980. Should a future owner wish to restore the building to a commercial use, restoration should be based on careful research that documents the appearance of the original door, windows, trim, lighting and signage. If documentation is not found, changes should be quite restrained, since all historic photographs of Meadowvale show modest buildings with little ornamentation.

The service station is an historic building and proposed alterations should be reviewed very carefully. The large glazed tiles are examples of an original historic material that has vanished in many parts of North America; they should not be removed. The repair and restoration of the façade is strongly encouraged. Replacing the service station with a modern gas bar will not be permitted. Instead, changes should take place within the existing structure and with minimal impact on the front façade. Signs should be in keeping with a human scale; backlit illuminated signs will not be approved.

### 5.3.3 Gooderham Estate

In 2002, the former Gooderham estate is owned and operated as a private school. Two substantial areas of the lot are not developed.

The front (south) portion between Old Derry Road and the swale immediately south of the extant structure should not be developed in the future. The area has been zoned as open space and serves as a valuable community park that reinforces the importance of mature trees to the village while recalling the historic position of the prominent Gooderham family. Enhancements to create a pedestrian entrance from Old Derry Road are permissible but should be restrained.

When considering additions or new construction, it is important to preserve both the historic structure and views of the existing structure from the east, south, and west. Additions have been to the rear (north) and that is appropriate. No new construction will be approved for the east side of the property. New construction should be located to the north and west, with a generous setback from the existing structure.

The massing and scale of a new structure or addition should respect the existing structure. Trees currently mark the property boundary along Second Line West. A landscape plan for new development would be submitted to the Review Committee for approval. Any application would be subject to site plan control.

It is noted that the portico on the former Gooderham house is a recent addition. Removing the portico and restoring the historic front façade would be desirable.

### 5.3.4 Community Hall

The former school, on Second Line West just south of Old Derry, now serves as the Community Hall. The building is a frame structure on a stone foundation with an addition to the rear (west). A tennis court and children's playground occupies part of the property.

The Community Hall is an important community facility and reminder of the village's history. The structure, features, and associated equipment should be maintained and preserved.

## 6. Procedures

The Meadowvale Village Heritage Conservation District Plan requires all proposed alterations, additions, and new construction to be reviewed by the Review Committee, composed of three district residents, one member of the Heritage Advisory Committee, and one city staff. The District Plan states that permits shall only be issued "... on the basis of recommendations from the Review Committee" (§5.1). Proponents are therefore encouraged to request a preliminary meeting with the Review Committee to discuss plans at the conceptual level. Having a mutual understanding of the project will expedite the approval process.

The Meadowvale Village Heritage Conservation District Plan requires that all applications for building permits to construct new buildings be subject to site plan control. This mechanism allows city officials to ensure that massing (where a building is placed on a property and how its bulk is organized) respects the topography and is consistent with historic patterns and norms. Reviewing the placement and massing of new construction is a fundamental part of any permit review within the district. An application for a building permit will not be accepted until the site plan is approved.

When ready to apply for a building permit, the City of Mississauga requires proponents within the Meadowvale Village Heritage Conservation District to submit a fully completed "Application to Alter a Heritage Structure," available from the municipality. The application requires more information than a normal application for a building permit.

While city staff ensures the proposal complies with zoning, building code, and applicable by-laws, the application will be referred to the Review Committee. The committee will seek to ensure that the proposal complies with the design guidelines in this report and that the finished building or addition will not detract from the district.

In addition, the *Ontario Heritage Act* requires municipal councils to solicit comment on proposals within Heritage Conservation Districts from their municipal-wide local heritage committees. In Mississauga, the Heritage Advisory Committee, which includes representation from Meadowvale, will review the application after it has been considered by the Review Committee. The Heritage Advisory Committee is an independent body that has the authority to recommend that a permit not be issued. The final decision rests with Mississauga City Council.

Persons contemplating work on a property within the district boundaries are urged to familiarize themselves with the application requirements, zoning, and applicable design guidelines contained in this report prior to making a formal application. Refer to existing windows to determine appropriate windows for additions.

The steps for reviewing applications are:

