

Draft Zoning By-law Amendment Chart
1 Fairview Road East, City of Mississauga

Zone Regulations		RA5 Zone Requirement	RA5-XX Zone Proposed
2.0	Permitted Uses	Residential Uses: Apartment Long-Term Care Building Retirement Building	Residential Uses: Apartment Commercial Uses: Retail Store
3.0	Minimum Lot Frontage	30.0 m	--
4.0	Minimum Floor Space Index- Apartment Zone	1.9	--
5.0	Maximum Floor Space Index- Apartment Zone	2.9	9.98
6.0	Maximum Gross Floor Area- Apartment Zone Per Storey For Each Storey Above 12 Storeys	1,000 m ²	--
7.0	Maximum Height	77.0 m and 25 Storeys	109.5 m and 34 storeys (excluding mechanical penthouse)
8.0	Minimum Front and Exterior Side Yards		
8.1	For that portion of the dwelling with a height less than or equal to 13.0 m	7.5 m	3.0 m front yard setback 2.2 m exterior side yard setback
8.2	For that portion of the dwelling with a height greater than 13.0 m and less than or equal to 20.0 m	8.5 m	3.0 m front yard setback 4.5 m exterior side yard setback
8.3	For that portion of the dwelling with a height greater than 20.0 m and less than or equal to 26.0 m	9.5 m	6.0 m front yard setback 7.5 m exterior side yard setback
8.4	For that portion of the dwelling with a height greater than 26.0 m	10.5 m	6.0 m front yard setback 7.5 m exterior side yard setback
9.0	Minimum Interior Side Yard		
9.1	For that portion of the dwelling with a height less than or equal to 13.0 m	4.5 m	--
9.2	For that portion of the dwelling with a height greater than 13.0 m and less than or equal to 20.0 m	6.0 m	4.5 m
9.3	For that portion of the dwelling with a height greater than 20.0 m and less than or equal to 26.0 m	7.5 m	--
9.4	For that portion of the dwelling with a height greater than 26.0 m	9.0 m	--

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9.5	Where an interior side lot line , or any portion thereof, abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination of zones thereof	4.5 m	--
9.6	Where an interior lot line , or any portion thereof, abuts a zone permitting detached and/or semi-detached	7.5 m plus 1.0 m for each additional 1.0 m of dwelling height , or portion thereof, exceeding 10.0 m to a maximum setback requirement of 25.5 m	--
10.0	Minimum Rear Yard		
10.1	For that portion of the dwelling with a height less than or equal to 13.0 m	7.5 m	6.5 m
10.2	For that portion of the dwelling with a height greater than 13.0 m and less than or equal to 20.0 m	10.0 m	6.5 m
10.3	For that portion of the dwelling with a height greater than 20.0 m and less than or equal to 26.0 m	12.5 m	--
10.4	For that portion of the dwelling with a height greater than 26.0 m	15.0 m	14.45 m
10.5	Where a rear lot line , or any portion thereof, abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination of zones thereof	4.5 m	--
10.6	Where a rear lot line, or any portion thereof, abuts a zone permitting detached and/or semi-detached	7.5 m plus 1.0 m for each additional 1.0 m of dwelling height , or portion thereof, exceeding 10.0 m to a maximum setback requirement of 25.5 m	--
11.0	Encroachments and Projections		
11.1	Maximum encroachment of a balcony located above the first storey , sunroom, window, chimney , pilaster, cornice, balustrade or roof eaves into a required yard	1.0 m	2.2 m

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11.2	Maximum encroachment into a required yard of a porch, balcony located on the first storey , staircase, landing or awning, provided that each shall have a maximum width of 6.0 m	1.8 m	2.2 m
11.3	Maximum projection of a balcony located above the first storey measured from the outermost face or faces of the building from which the balcony projects	1.0 m	2.2 m
12.0	Minimum Above Grade Separation Between Buildings		
12.1	For that portion of dwelling with a height less than or equal to 13.0 m	3.0 m	--
12.2	For that portion of dwelling with a height greater than 13.0 m and less than or equal to 20.0 m	9.0 m	--
12.3	For that portion of dwelling with a height greater than 20.0 m and less than or equal to 26.0 m	12.0 m	--
12.4	For that portion of dwelling with a height greater than 26.0 m	15.0 m	--
13.0	Parking, Loading, Servicing Area and Parking Structures		
13.1 A	Market Units - Minimum parking spaces	Condominium Apartment 1.00 resident space per studio unit 1.25 resident spaces per one-bedroom unit 1.40 resident spaces per two-bedroom unit 1.75 resident spaces per three-bedroom unit 0.20 visitor spaces per unit Retail Store 5.4 spaces per 100 m ² GFA - non-residential	0.8 / Studio 0.9 / 1-Bedroom 1.0 / 2-Bedroom 0.15 / Visitor Retail parking is to be shared with visitor
13.1 B	Affordable Units – Minimum parking spaces		0
13.2	Minimum setback from surface parking spaces or aisles to a street line	4.5 m	--

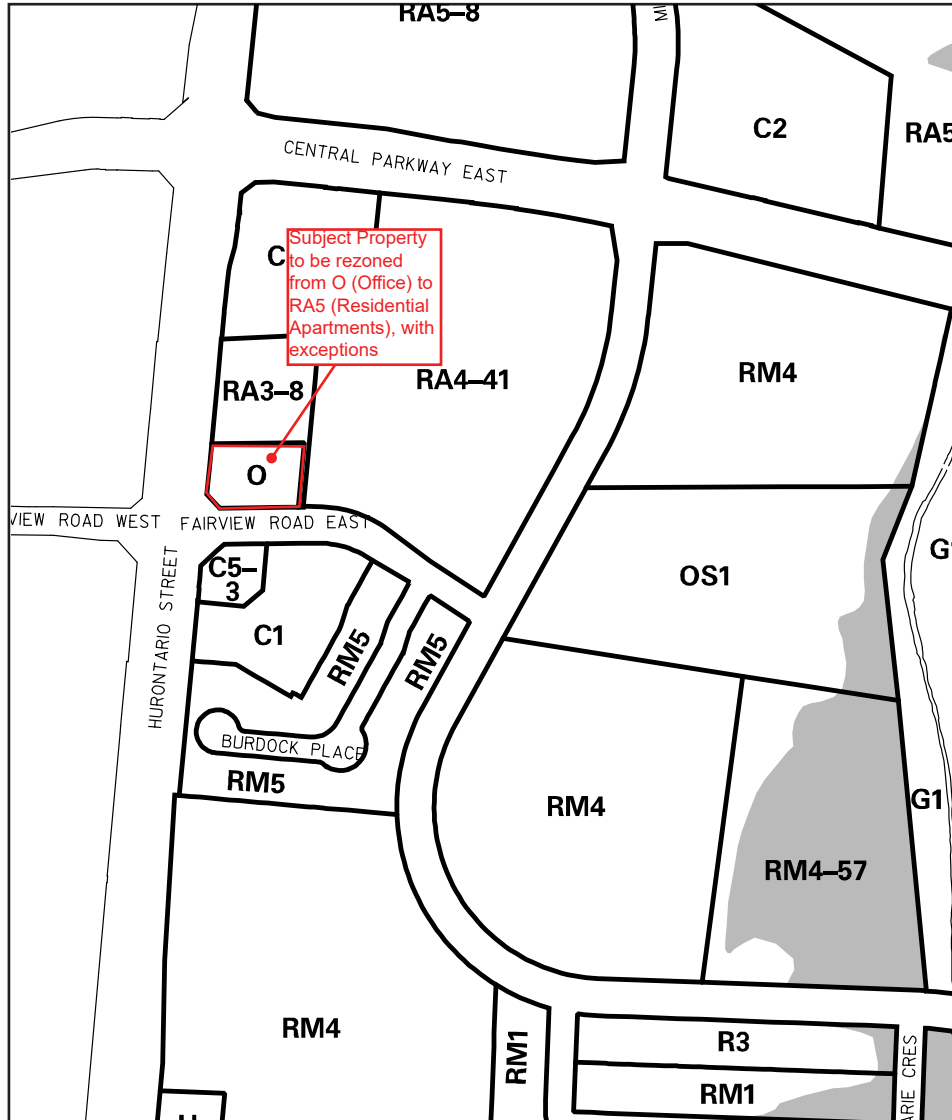
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13.3	Minimum setback from surface parking spaces or aisles to any other lot line	3.0 m	--
13.4	Minimum setback from a parking structure above or partially above finished grade to any lot line	7.5 m	--
13.5	Minimum setback from a parking structure completely below finished grade, inclusive of external access stairwells, to any lot line	3.0 m	0.0 m
13.6	Minimum setback from a waste enclosure/loading area to a street line	10.0 m	--
13.7	Minimum setback from a waste enclosure/loading area to a zone permitting detached and/or semi-detached	10.0 m	--
14.0	Condominium Roads and Aisles		
14.1	Condominium roads and aisles are permitted to be shared with abutting lands zoned to permit back to back and stacked townhouses, townhouses or apartments , or any combination thereof	✓	--
15.0	Minimum Landscaped Area, Landscape Buffer and Amenity Area		
15.1	Minimum landscaped area	40% of the lot area	16% of the lot area
15.2	Minimum depth of a landscaped buffer abutting a lot line that is a street line and/or abutting lands with an Open Space, Greenlands and/or a Residential Zone with the exception of an Apartment Zone	4.5 m	0.0 m
15.3	Minimum depth of a landscaped buffer along any other lot line	3.0 m	--
15.4	Minimum amenity area	The greater of 5.6 m ² per dwelling unit or 10% of the site area	4.25 m ² per dwelling unit
15.5	Minimum percentage of total required amenity area to be provided in one contiguous area	50%	--
15.6	Minimum amenity area to be provided outside at grade	55.0 m ²	--
16.0	Accessory buildings and structures	✓	✓

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Zone Regulations		General Requirement	RA5-XX Zone Proposed
Table 3.1.4.3 (Line 1.0)	Required Number of Loading Spaces Gross Floor Area - Non-Residential of Building	Minimum Number of Off-Street Loading Spaces	--
3.0	Greater than 250 m ² but less than or equal to 2 350 m ²	1 space	0 space
3.1.4.5	Required Number of Loading Spaces for Apartment and/or Retirement Buildings One loading space per apartment and/or retirement building containing a minimum of 30 dwelling units , shall be required	1 space	1 space (to be shared with the Non-Residential loading space)

SCHEDULE 'B'



LOCATION:

PL 359 PT LTS 2, 3, RP 43R10450 PTS 3, 4, 7, 8.
 City of Mississauga
 Regional Municipality of Peel
 Subject Property (1 Fairview Road East)

Not to Scale

THIS IS SCHEDULE XX
 TO BY-LAW AMENDMENT _____



November XX, 2020

Sajecki →
Planning