

THE CORPORATION OF THE CITY OF MISSISSAUGA

By-Law No. XXXX-XXXX

A By-Law to Adopt Mississauga Official Plan Amendment No. XX

WHEREAS in accordance with the provisions of sections 17 or 22 of the *Planning Act*, R.S.O. 190, c.P.13, as amended, (the "*Planning Act*") Council may adopt an Official Plan or an amendment thereto;

AND WHEREAS, pursuant to subsection 17(10) of the *Planning Act*, the Ministry of Municipal Affairs and Housing ("MMAH") authorized the Regional Municipality of Peel (the "Region") an approval authority, to exempt from its approval any or all proposed Local Municipal Official Plan Amendments;

AND WHEREAS, Regional Council passed By-Law Number 1-2000 which exempted all Local Municipal Official Plan Amendments adopted by local councils in the Region after March 1, 2000, provided that they conform with the Regional Official Plan and comply with conditions of exemption;

AND WHEREAS, Council desires to adopt certain amendments to Mississauga Official Plan to permit the re-alignment of the existing land use designation to permit refinement of Greenlands adjacent to the Credit River;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. The document attached hereto, constituting Amendment no. 64 to Mississauga Official Plan, is hereby adopted.

ENACTED and PASSED this _____ day of _____, 2020

MAYOR

CLERK

Amendment No. XX

to

Mississauga Official Plan

The following text and Map "A" attached constitutes Amendment No. XX.

Also attached but not constituting part of the Amendment are Appendices I and II.

Appendix I is a description of the Public Meeting held in connection with this Amendment.

Appendix II is a copy of the Council report dated XXXX, 2020, pertaining to this Amendment.

PURPOSE

The purpose of this Amendment is to permit thirty-seven townhomes and to refine the boundary between designated residential lands and Greenland lands.

LOCATION

The lands affected by this Amendment are located on the east side of Mississauga Road, south of Eglinton Avenue West on Thorny Brae Place. The subject lands are located in the Central Erin Mills Character Area, as identified in the Mississauga Official Plan.

BASIS

Mississauga Official Plan latest office consolidation came into effect on August 2, 2017, save and except for those policies and land use designations which have been appealed to the Ontario Municipal Board.

The subject lands are designated “Residential Low Density I” and “Greenlands” and “Natural Hazards”. “Residential Low Density I” permits detached dwellings, semi-detached dwellings and duplex dwellings. “Greenlands” permits conservation, flood and erosion works, and passive recreational activity. And development is restricted in “Natural Hazards”.

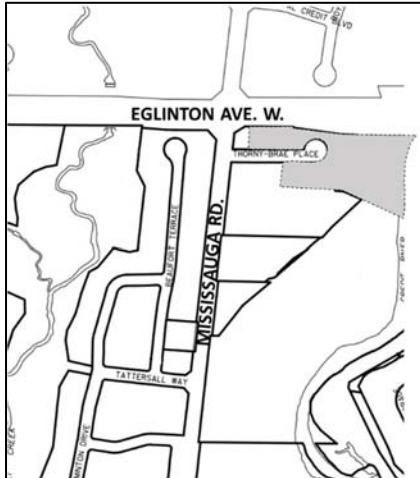
The proposed Amendment is acceptable from a planning standpoint and should be approved for the following reasons.

1. The proposal for street townhouses is compatible with the surrounding land uses and existing character of Mississauga Road as it retains the residential land use presently existing on site.
2. The proposal seeks to refine the “Greenlands” boundary currently identified in Schedule 10 “Land Use Designations” of the Official Plan based on the clearly recognizable physical features of the property as described in a scoped Environmental Impact Assessment.
3. The amendment is a minor modification to the existing designation, which maintains the intent of the Mississauga Official Plan.

DETAILS OF THE AMENDMENT AND POLICIES RELATIVE THERETO

1. Section 16.3, Special Sites, Central Erin Mills Neighbourhood within the Mississauga Official Plan, is hereby amended by adding the following Special Site:

16.3.1.X Site X



16.3.1.X.1 The lands identified as Special Site X are located at the south-east corner of Mississauga Road and Eglinton Avenue West.

16.3.1.X.2 Notwithstanding the policies of this plan, the following additional policy will apply:

- a) A maximum of 37 townhouse dwelling units with building heights not exceeding three storeys of livable space will be provided;
2. Schedule 10 - Land Use Designations, of Mississauga Official Plan, is hereby amended by changing the designations of the subject lands from “Residential Low Density 1” and “Greenlands” to “Residential Medium Density” and “Greenlands” (Schedule A).

IMPLEMENTATION

Upon the approval of this Amendment by the Council of the Corporation of the City of Mississauga, Mississauga Official Plan will be amended in accordance with this Amendment, and thereafter forms part of the Mississauga Official Plan.

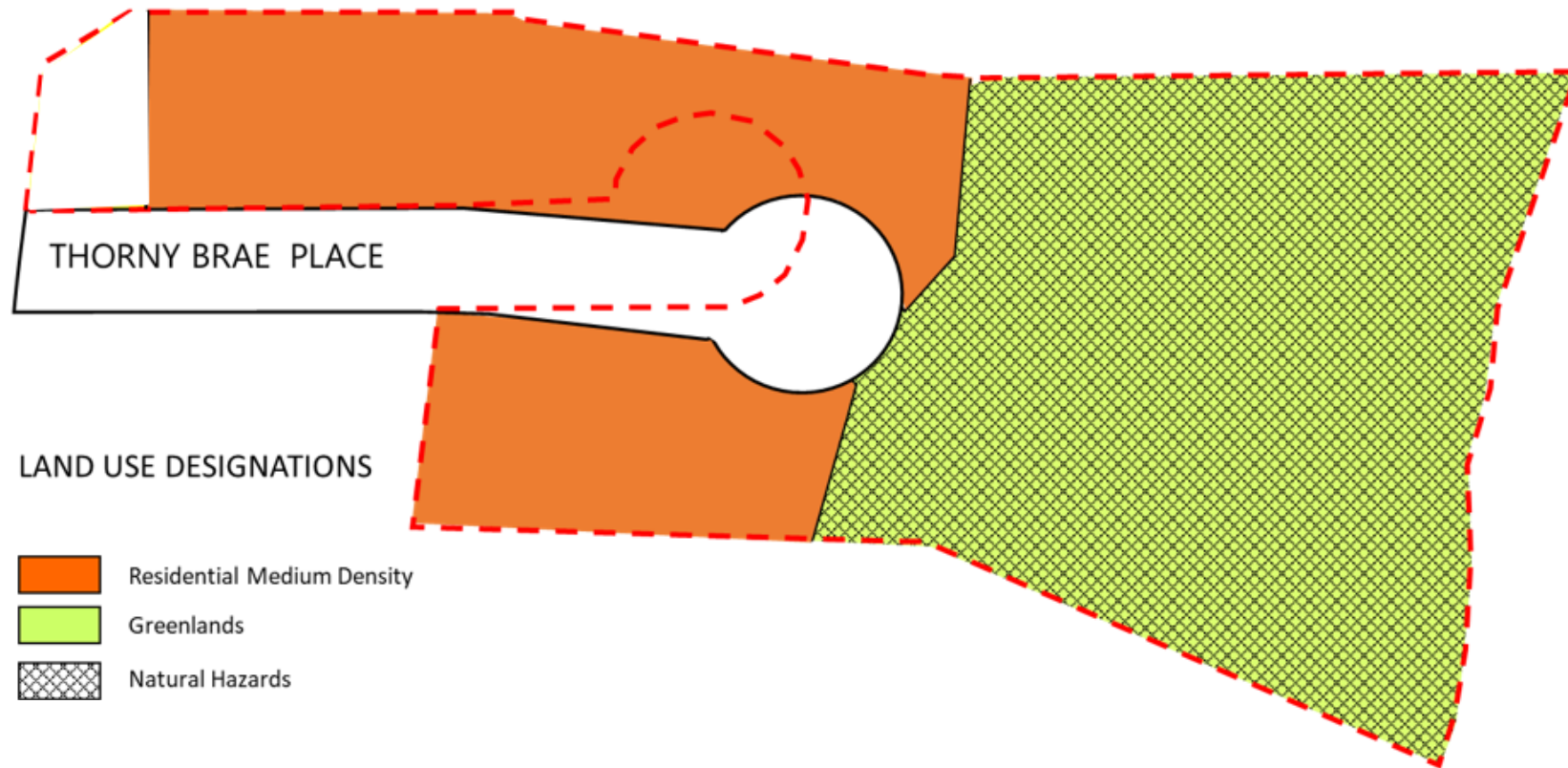
The lands will be rezoned to implement this Amendment.

This Amendment has been prepared based on the Office Consolidation of Mississauga Official Plan dated November 23, 2019.

INTERPRETATION

The provisions of Mississauga Official Plan, as amended from time to time regarding the interpretation of that Plan, will apply in regard to this Amendment.

This Amendment supplements the intent and policies of Mississauga Official Plan.



Schedule "A" of Official Plan Amendment _____ to schedule 10 of City of Mississauga Official Plan