

BY-LAW NUMBER XX-XX

-of-

THE CORPORATION OF THE CITY OF MISSISSAUGA

To amend By-law Number 0225-2007, as amended.

WHEREAS pursuant to section 34 of the Planning Act, R.S.O. 1990, c.P.13, as amended, the council of a local municipality may pass a zoning by-law;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding following table:

4.2.5.XX	Exception: R4-XX	Map #X	By-law:
In a R4-XX zone the permitted uses and applicable regulation shall be as specified for a R4 zone except that the following regulations shall apply:			
Regulations			
4.2.5.XX.1	Minimum rear yard		6.0 m
4.2.5.XX.2	Maximum height		11.5 m
4.2.5.XX.3	Minimum landscaped soft area in the yard containing the driveway and walkway (%)		40% of the rear yard
4.2.5.XX.4	Notwithstanding the definitions in Section 1.2; the front yard is considered the lot line abutting Mississauga Road, the exterior side yard is considered the lot line abutting Eglinton Avenue W., and the rear yard is considered the lot line abutting Thorny Brae Place.		
4.2.5.XX.5	For the purpose of determining Front Lot Line, Exterior Side Lot Line, and Rear Lot Line abutting a street, a daylight triangle is deemed <u>not</u> to exist provided that the minimum distance of the prescribed setbacks, in the By-law is maintained.		
4.2.3.XX.6	Notwithstanding the definitions in Section 1.2 and other provisions contained in this by-law; Height will be defined as "the maximum height from the established grade to mean (average) height level between eaves and ridge of roof".		

2. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding following table:

4.11.2.XX	Exception: RM5-XX	Map #X	By-law:
In a RM5-XX zone the permitted uses and applicable regulation shall be as specified for a RM5 zone except that the following regulations shall apply:			
Regulations			
4.11.2.XX.1	Minimum lot area – interior lot		170 m ²
4.11.2.XX.2	Minimum lot frontage – interior lot		5.0 m
4.11.2.XX.3	Minimum interior side yard – unattached side		1.2 m

4.11.2.XX.4	Minimum rear yard	6.0 m
4.11.2.XX.5	Maximum height measured from established grade	13.25 m and 3 storeys
4.11.2.XX.6	Minimum landscaped area	20% of the lot area
4.11.2.XX.7	Maximum gross floor area - residential	1.6 times the lot area
4.11.2.XX.8	Maximum encroachment of a balcony , covered or uncovered into a required rear yard	1.5 m
4.11.2.XX.9	Maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard	2.5 m
4.11.2.XX.10	Notwithstanding the definitions in Section 1.2; the front yard is considered the lot line abutting Eglinton Avenue W., and the rear yard is considered the lot line abutting Thorny Brae Place.	
4.11.2.XX.11	Notwithstanding the definitions in Section 1.2 and other provisions contained in this by-law; Height will be defined as “the maximum height from the established grade to mean (average) height level between eaves and ridge of roof”.	

3. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding following table:

4.11.2.YY	Exception: RM5-YY	Map #Y	By-law:
In a RM5-YY zone the permitted uses and applicable regulation shall be as specified for a RM5 zone except that the following regulations shall apply:			
Regulations			
4.11.2.YY.1	Minimum lot area – interior lot		130 m ²
4.11.2.YY.2	Minimum lot frontage – interior lot		5.0 m
4.11.2.YY.3	Minimum rear yard		4.5 m
4.11.2.YY.4	Maximum height		13.25 m and 3 storeys
4.11.2.YY.5	Minimum landscaped area		20% of the lot area
4.11.2.YY.6	Maximum gross floor area - residential		1.7 times the lot area
4.11.2.YY.7	Maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard		2.5 m
4.11.2.YY.8	Maximum encroachment of a balcony , covered or uncovered into a required rear yard		3 m
4.11.2.YY.9	Notwithstanding Section 4.1.8.1, minimum setback for all buildings, structures, parking areas and swimming pools in RM5-YY Zone to all lands zoned G1 or G2 (Greenlands), shall be the greater of 3.0m or the required yard/setback.		3 m
4.11.2.YY.10	Notwithstanding the definitions in Section 1.2; the front yard is considered the lot line abutting Eglinton Avenue W., and the rear yard is considered the lot line abutting Thorny Brae Place.		
4.11.2.YY.11	Notwithstanding the definitions in Section 1.2 and other provisions contained in this by-law; Height will be defined as “the maximum height from the established grade to mean (average) height level between eaves and ridge of roof”.		

4. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding following table:

4.11.2.ZZ	Exception: RM5-ZZ	Map #Z	By-law:
In a RM5-ZZ zone the permitted uses and applicable regulation shall be as specified for a RM5 zone except that the following regulations shall apply:			
Regulations			
4.11.2.ZZ.1	Minimum lot frontage – interior lot		5.5 m
4.11.2.ZZ.2	Minimum rear yard		7.0 m
4.11.2.ZZ.3	Maximum height		13.25 m and 3 storeys
4.11.2.ZZ.4	Maximum gross floor area - residential		1.7 times the lot area
4.11.2.ZZ.5	Maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard		2.5 m
4.11.2.ZZ.6	Notwithstanding Section 4.1.8.1, minimum setback for all buildings, structures, parking areas and swimming pools in RM5-ZZ Zone to all lands zoned G1 or G2 (Greenlands), shall be the greater of 3.0m or the required yard/setback.		3 m
4.11.2.YY.11	Notwithstanding the definitions in Section 1.2 and other provisions contained in this by-law; Height will be defined as “the maximum height from the established grade to mean (average) height level between eaves and ridge of roof”.		

5. Map Number 31 of Schedule “B” to By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by changing thereon from “R1”, “G1” and “G2” to “R4-XX”, “RM5-XX”, “RM5-YY”, “RM5-ZZ”, and “G1” PROVIDED HOWEVER THAT the “R4-XX”, “RM5-XX”, “RM5-YY”, and “RM5-ZZ”, shall only apply to the lands which are shown on the attached Schedule “A” outlined in the heaviest line with the “R4-XX”, “RM5-XX”, “RM5-YY”, and “RM5-ZZ” zoning indicated thereon.
6. This By-law shall not come into force until Mississauga Official Plan Amendment Number XX is in full force and effect.

ENACTED and PASSED this _____ day of _____ 2020.

THE CORPORATION OF THE CITY OF MISSISSAUGA

Mayor

Clerk

APPENDIX “A” TO BY-LAW NUMBER _____

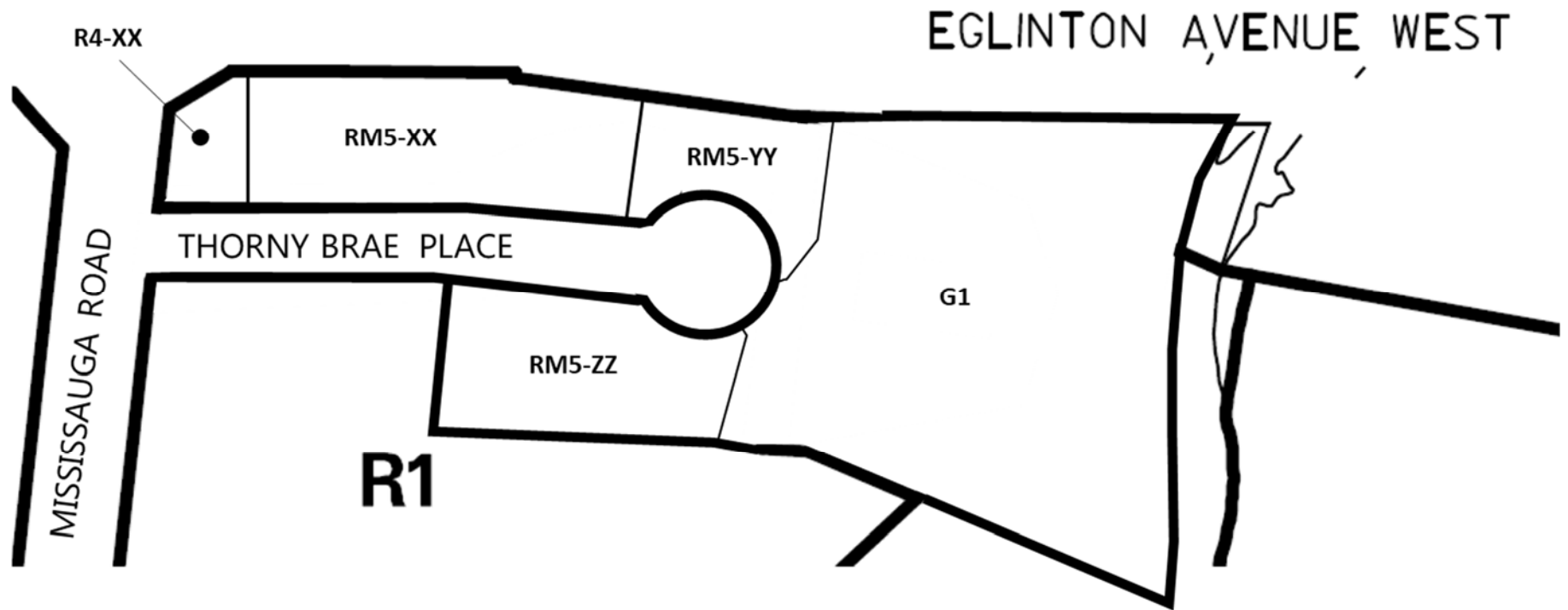
Explanation of the Purpose and Effect of the By-law

The purpose of this By-law is to amend various section of the Zoning By-law pertaining to Thorny Brae Place. Changes include the following:

- Rezone lands identified on Schedule “A” from “R1” to “R4-XX” and establish a minimum rear yard, a maximum height and min. Landscape Soft Area;
- Rezone lands identified on Schedule “A” from “R1” to “RM5-XX” and establish a minimum lot area, a minimum lot frontage, a minimum interior side yard, a minimum rear yard, a maximum height, a minimum landscaped area, and a maximum gross floor area, minimum encroachment of a balcony, a maximum encroachment of porch or deck;
- Rezone lands identified on Schedule “A” from “R1” to “RM5-YY” and establish a minimum lot area, a minimum lot frontage, a minimum rear yard, a maximum height, a minimum landscaped area, and a maximum gross floor area, minimum encroachment of a balcony, a maximum encroachment of porch or deck;
- Rezone lands identified on Schedule “A” from “R1” to “RM5-ZZ” and establish a minimum lot frontage, a minimum rear yard, a maximum height, and a maximum gross floor area and a maximum encroachment of porch or deck;
- Refinement of Definitions for Minimum Landscape Soft Area to include driveways and walkway for lands identified as “R4-XX” on Schedule “A”;
- Refinement of Definitions for Height in Section 1.2 for lands identified as “R4-XX, RM5-XX, RM5-YY and RM5-ZZ” on Schedule “A”;
- Refinement of the Definitions for Front Yard and Rear Yard in Section 1.2 for lands identified as “R4-XX, RM5-XX, and RM5-YY” on Schedule “A”;
- Refinement of the “Greenlands” boundaries (as per Official Plan Amendment XX) and establish a minimum Greenland setback abutting lands identified as “RM5-YY” and RM5-ZZ” on Schedule “A”.

Location of Lands Affected

Lands located on the east side of Mississauga Road, south of Eglinton Avenue West on Thorny Brae Place in the Mississauga, as shown on the attached Maps designated as Schedule “A” and Schedule “B”.



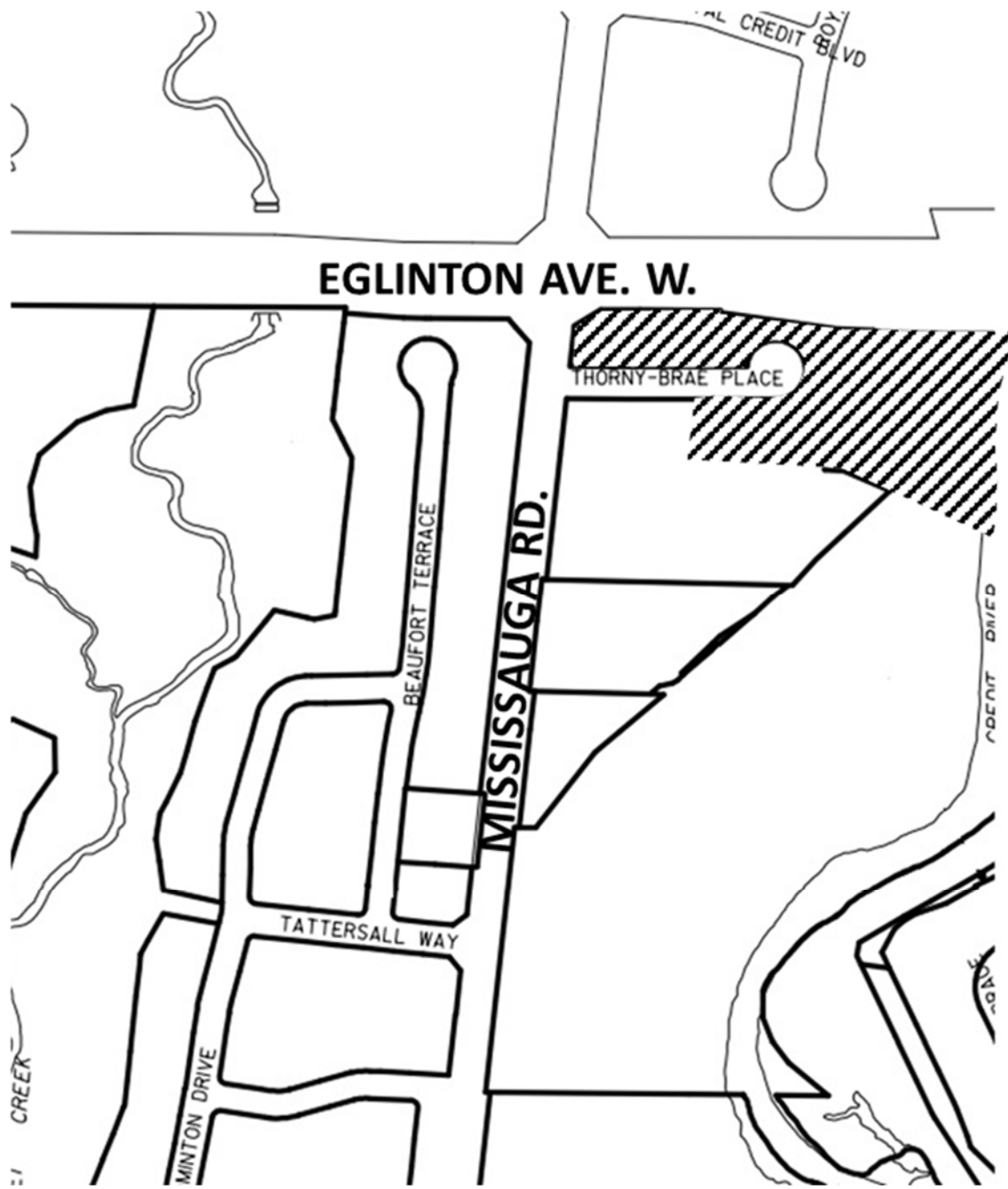
This is not a Plan of Survey.



CITY OF MISSISSAUGA

**THIS IS SCHEDULE "A" TO
BY-LAW _____**

**PASSES BY COUNCIL ON
_____**



CITY OF MISSISSAUGA

**THIS IS SCHEDULE "B" TO
BY-LAW _____**