

THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER XXX-2020

A by-law to amend By-law Number 0225-2007, as amended.

WHEREAS pursuant to Section 34 and 36 of the Planning Act, R.S.O. 1990, c.P.13, as amended, the Council of a local municipality may pass a zoning by-law;

NOW THEREFORE, the Council of the Corporation of the City of Mississauga ENACTS as follows:

1. The lands subject to this By-law consist of Part of Lot X, Concession X, City of Mississauga, as shown on Schedule "A" attached hereto, and that Schedule "A" forms part of this By-law
2. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by deleting Exception Table 5.2.2.8 and substituting the following:

5.2.2.8	Exception O-8	Map #29	By-law: XXX-2020
<p>In an O-8 zone the permitted uses and applicable regulations shall be as specified for an O zone except that the following uses/regulations shall apply:</p>			
<p>Additional Permitted Uses</p>			
5.2.2.8.1	<p>(1) Overnight Accommodation (2) Apartment (3) Retail commercial use accessory to an office (4) Retail commercial use accessory to overnight accommodation (5) Restaurant in the existing historic building identified on Schedule "B" of this Exception (6) Open Space (Passive Recreational Use) (7) Parking Structure</p>		
<p>Regulations</p>			
5.2.2.8.2	<p>An office, overnight accommodation, retail commercial use accessory to an office and retail commercial use accessory to overnight accommodation shall comply with the O zone regulations contained in Subsection 5.2.1 of this By-law except that:</p> <p>(1) Maximum gross floor area – non-residential used for an office or overnight accommodation or a combination thereof 26,425 m2</p> <p>(2) Maximum gross floor area – non-residential used for retail commercial use accessory to an office 4,092 m2</p> <p>(3) "Retail Commercial Use Accessory to Overnight Accommodation" means a retail store and/or personal service establishment</p>		

- (4) “Retail Commercial Use Accessory to an Office” means a **retail store, restaurant, convenience restaurant, private school, fitness club and/or personal service establishment**
- (5) All site development plans shall comply with Schedule “B” of this Exception

5.2.2.8.3 An apartment shall comply with the RA5 zone regulations contained in Subsection 4.15.1 of this By-law except that:

- (1) Maximum number of **dwelling units**

Area	Maximum Dwelling Units
A1	541
A2	500
A3	536

- (2) Maximum **building height** and minimum and maximum height of a **podium** of all building and structures on Areas ‘A1’, ‘A2’ and ‘A3’ identified in Schedule O-8 of this Exception shall comply with the following:

Area	Maximum Building Height	Minimum Height of Podium	Maximum Height of Podium
A1	45 storeys	3 storeys	6 storeys
A2	37 storeys	3 storeys	6 storeys
A3	43 storeys	N/A	6 storeys

- (3) Minimum total gross floor area – non-residential used for uses identified in Sentence 5.2.2.8.1, in Areas ‘A1’, ‘A2’ and ‘A3’ identified on Schedule O-8 of this Exception shall comply with the following:

Area	Maximum Gross Floor Area – Non-Residential
A1	1,200 m ²
A2	0 m ²
A3	850 m ²

- (4) Maximum Floor Space Index – Apartment Zone on all lands zoned O-8 4.74
- (5) Minimum number of residential **parking** spaces per **studio** condominium apartment dwelling unit 0.80
- (6) Minimum number of residential **parking** spaces per one-bedroom condominium apartment dwelling unit 0.90

- (7) Minimum number of residential parking spaces per **two-bedroom** condominium apartment dwelling unit 0.95
- (8) Minimum number of residential parking spaces per **three-bedroom** condominium apartment dwelling unit 1.00
- (9) Minimum setback from surface parking spaces or aisles to a street line 2.7
- (10) Maximum Gross Floor Area – Apartment Zone per storey for each storey above 12 storeys 800 m²
- (11) Minimum **landscaped area** 36% of the lot area

(12) Minimum **front yard** –

for that portion of the dwelling with a height less than or equal to 13.0 m

A1	3.8 m
A3	5.4 m

for that portion of the dwelling with a height greater than 13.0 and less than or equal to 20.0 m

A1	3.8 m
A3	5.4 m

for that portion of the dwelling with a height greater than 20.0 and less than or equal to 26.0 m

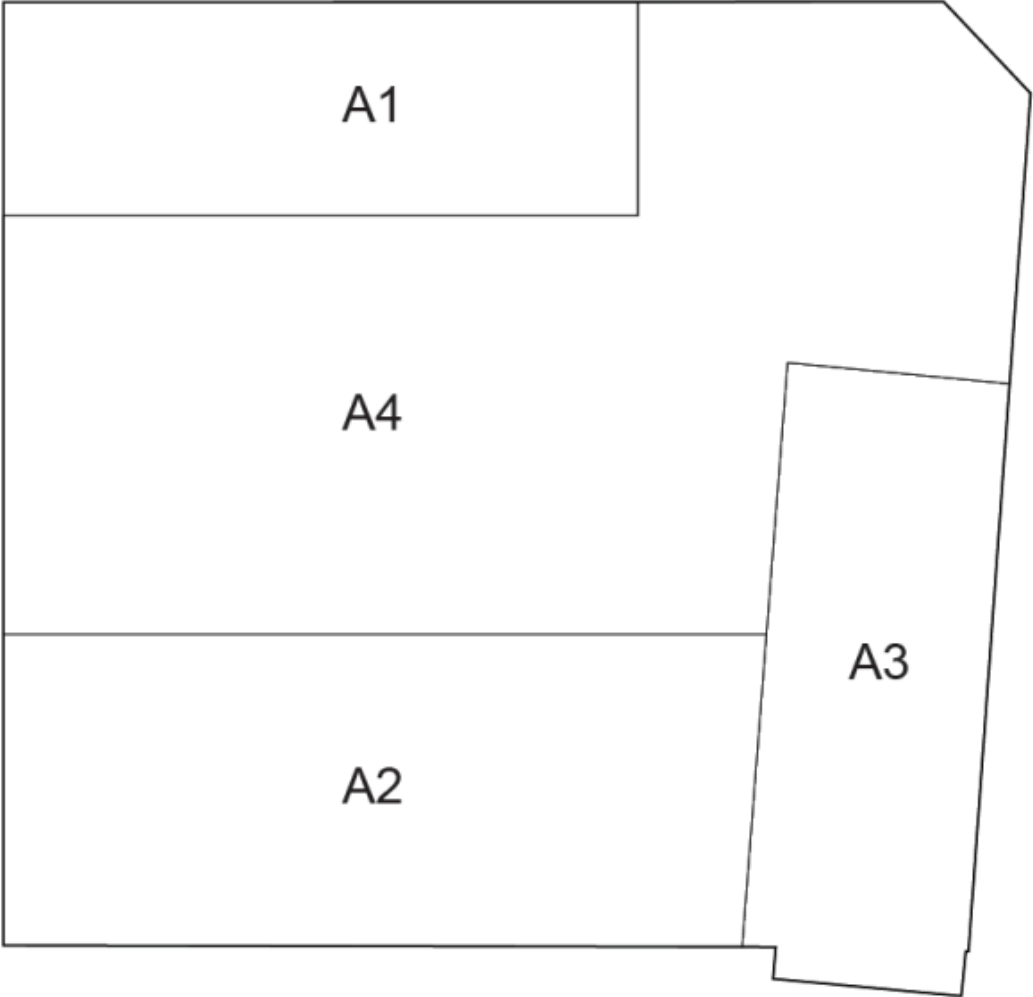
A1	5.3 m
A3	6.9 m

for that portion of the dwelling with a height greater than 26.0 m

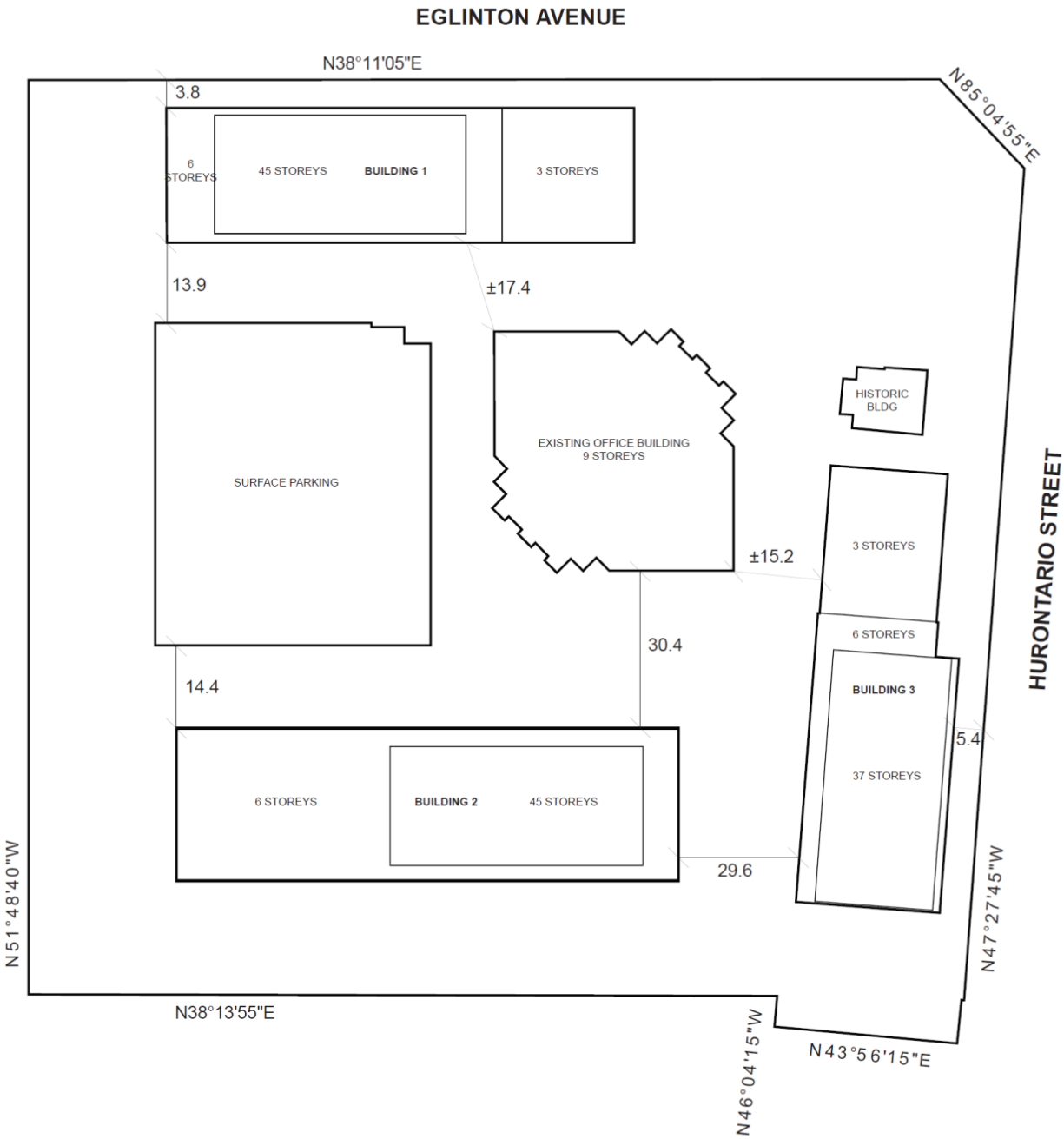
A1	5.3 m
A3	6.9 m

(13) All site development plans shall comply with Schedule “B” of this Exception

SCHEDULE "A" (EXCEPTION SCHEDULE O-8 ZONE)



SCHEDULE "B" (EXCEPTION SCHEDULE O-8 ZONE)



BUILDABLE AREA

* all measurements are in metres