

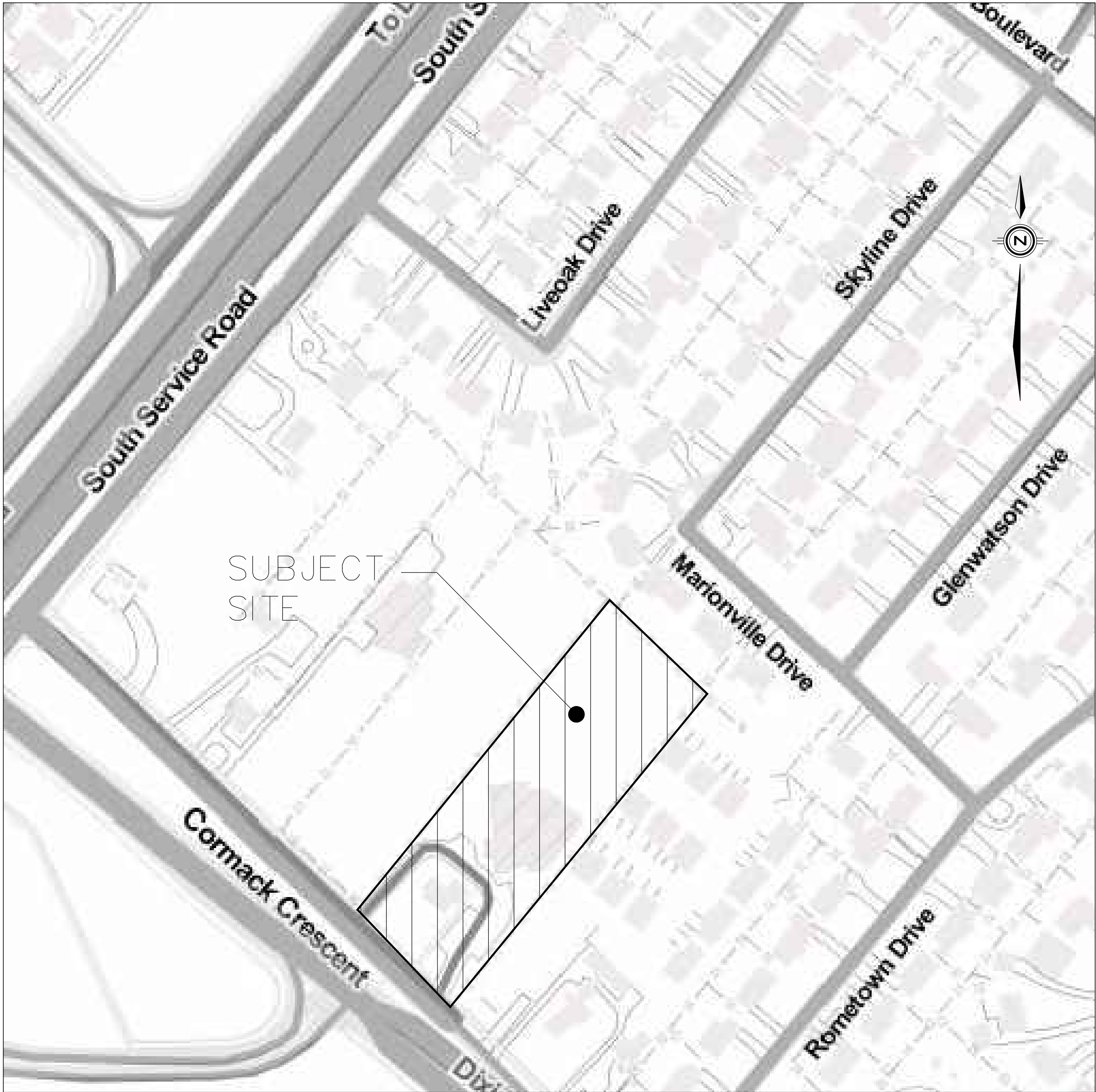
1583 CORMACK CRESCENT

MISSISSAUGA, ON

LIST OF DRAWINGS			
Dwg No.	DESCRIPTION		
SS-1	SITE SERVING PLAN		
GR-1	SITE GRADING PLAN		
SEC-1	SECTIONS 1-3		
DET-1	MUNICIPAL DETAILS		
DET-2	PROJECT DETAILS		
REM-1	REMOVALS PLAN		
CM-1	CONSTRUCTION MANAGEMENT PLAN		
PP-1	PLAN AND PROFILE - CORMACK CRESCENT		

SUBMISSION HISTORY

No.	ISSUED FOR:	DATE	NOTES
1	SITE PLAN APPROVAL	MAY 13/19	
2	SITE PLAN APPROVAL	FEB. 23/21	
3			
4			
5			
6			



OWNER

ELM CORMACK (2017) INC.

1931 HIGHWAY 7
CONCORD, ONTARIO
L4K 1V5

tel. 905 709 8232
fax. 905 709 8234

CONSULTANT



SCHAEFFERS
CONSULTING ENGINEERS

SCHAEFFER & ASSOCIATES LTD.

6 Ronrose Drive, Concord,
Ontario, L4K 4R3
Tel: (905) 738-6100
Fax: (905) 738-6875
E-mail: design@schaeffers.com

MUNICIPALITY



MISSISSAUGA

ENGINEERING DEPARTMENT

REGION



Region
of Peel
working with you

PROJECT No.

2018 - 4679

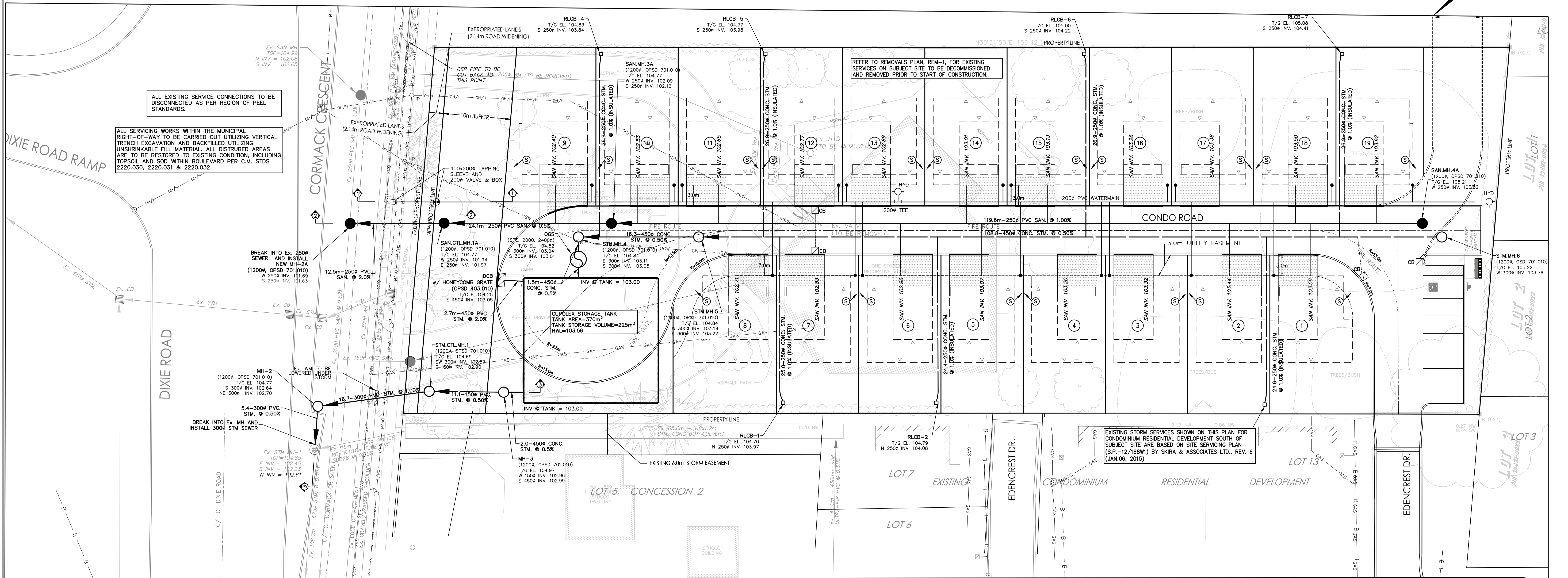
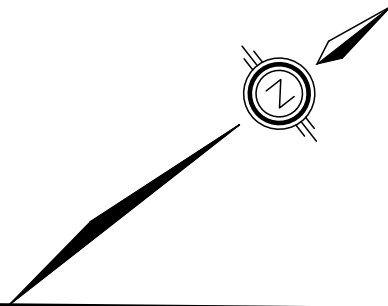
CITY FILE NO.: 21T-M 19 5
REGION FILE NO.: T-19005Ma

1. ALL CONCRETE AND PLASTIC SEWER PIPE SHALL HAVE RUBBER GASKET JOINTS.
2. ALL SEWERS SHALL BE CONSTRUCTED WITH BEDDING IN ACCORDANCE WITH OPSD 802.03 CLASS "B" UNLESS OTHERWISE NOTED.
3. PLASTIC SEWER PIPES SHALL BE CONSTRUCTED WITH ULTRA RIB OR APPROVED EQUAL UP TO THE MAXIMUM DIAMETER OF 600mm.
4. ALL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT CITY OF MISSISSAUGA AND OPSD STANDARD DRAWINGS AND SPECIFICATIONS.
5. DOUBLE CATCHBASIN LEADS TO BE 300mm UNLESS OTHERWISE NOTED. ALL CATCHBASIN LEADS TO BE EITHER C-14-ES MINIMUM OR P.V.C. TYPE S.D.R. 28.
6. ALL BACKFILL FOR SEWERS, WATERMANS AND UTILITIES ON PAVED AREAS MUST BE MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY.
7. INVERTS, ELEVATIONS AND EXACT LOCATIONS OF ALL EXISTING UNDERGROUND SERVICES TO BE VERIFIED IN THE FIELD BEFORE COMMENCING ANY WORK.
8. ALL AREAS DISTURBED DURING CONSTRUCTION TO BE RESTORED TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE CITY OF MISSISSAUGA AND REGION OF PEELE.
9. GRASSED AREAS TO BE TOPPED WITH 150mm TOPSOIL AND SODDED WITH No.1 NURSERY SOD.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING MUD AND DUST ON ALL PUBLIC ROADS TO THE SATISFACTION OF THE CITY AND REGION.

1. ALL BUILDINGS SHOWN ON THIS PLAN TO BE CONSTRUCTED WITH SUMP PUMPS FOR FOUNDATION DRAINAGE. PUMPS TO BE INSTALLED SUCH THAT DISCHARGE IS DIRECTED TO ADJACENT SURFACE SURROUNDING BUILDINGS, COMPLETE WITH CONCRETE SPLASH PADS. DISCHARGE FROM SUMP PUMPS IS TO BE DIRECTED AWAY FROM ALL NEARBY BUILDING FOUNDATIONS.
2. ALL ROAD CB'S AND DCB'S TO BE FITTED WITH CB SHIELD INSERTS, PER DETAIL ON DRAWING DET-2.

1. ALL MATERIALS AND CONSTRUCTIONS METHODS MUST CORRESPOND TO THE CURRENT PELL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATERMAIN AND/ OR WATER SERVICE MATERIAL UP TO AND INCLUDING 300mm (12") DIAMETER MUST BE POLYVINYL CHLORIDE (PVC), DR18, A.W.W.A. C900-16. SIZE 50mm (2") AND SMALLER MUST BE COPPER, TYPE K SOFT COPPER ASTM B88-49.
3. WATERMAIN AND / OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2m (4") FROM THEMSELVES AND ALL OTHER UTILITIES.
4. PROVISION FOR FLUSHING LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50mm (2") OUTLET ON 100mm (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE.THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN INTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100mm (4") DIAMETER MINIMUM ON A HYDRANT.
5. ALL CURBS STOPS TO BE 3.0m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
6. HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7m (2") AND 0.9m (3') AND TO HAVE PUMPER NOZZLE.
7. WATERMAIN TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
8. WATERMAIN MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.30m (12") OVER / 0.5m (20") UNDER SEWERS AND ALL OTHERS UTILITIES WHEN CROSSING.
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS.
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
11. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PELL STANDARD 1-7-7 OR 1-7-8.
12. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
13. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
14. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES. FOR PURPOSE OF INSPECTION BY THE CONCERNED UTILITY, THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.

	DENOTES AREA DRAIN / CATCHBASIN
	DENOTES CATCHBASIN w/ CB SHIELD INSER (REFER TO DETAIL ON DRAWING DET-2)
	DENOTES DOUBLE CATCHBASIN
	DENOTES STORM MANHOLE
	DENOTES SANITARY MANHOLE
	DENOTES HYDRANT
	DENOTES VALVE & BOX / CHAMBER
	DENOTES PROPERTY LINE
	DENOTES LIMIT OF U/G CONSTRUCTION
	DENOTES OGS (OIL GRIT SEPARATOR)
	DENOTES SUMP FOR FOUNDATION DRAINAGE TO THE SURFACE
	DENOTES WATER VALVE BOX



1. ALL UNITS SHALL BE FITTED WITH FOUR (4) 55gal RAIN BARRELS CONNECTED TO ROOF DOWNSPOUTS, INCLUDING OVERFLOW TO SPLASH PADS, AS NOTED IN STORMWATER MANAGEMENT REPORT BY SCHAEFFERS CONSULTING ENGINEERS
2. MINIMUM 0.3m TOPSOIL DEPTH TO BE PROVIDED IN ALL LANDSCAPE AREAS, AS NOTED IN STORMWATER MANAGEMENT REPORT Y SCHAEFFERS CONSULTING ENGINEERS.

1. THE LOCATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON CONTRACT DRAWINGS, AND WHERE SHOWN THE ACCURACY OF THE SHOWN ELEVATIONS AND LOCATIONS OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITIES OF DAMAGE.
2. ALL AREAS DISTURBED DURING CONSTRUCTION OF SEWERS AND WATERMANS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE CITY OF VAUGHAN AND REGION OF YORK, AREAS WHERE GRASS EXISTS AFTER UNDEVELOPED CONDITIONS ARE TO BE TOPPED WITH 150mm TOPSOIL AND SODDED; OTHERWISE, AREAS TO BE RESTORED WITH 150mm TOPSOIL AND HYDROSEEDING. ADEQUATE TO THE SATISFACTION OF THE CITY AND REGION.
3. ALL EXISTING SERVICES TO BE ADJUSTED TO SUIT NEW GRADES.
4. FOUNDATION DRAINS TO HAVE SUMP PUMP FITTED WITH BACK WATER VALVE AND DISCHARGE ONTO THE SURFACE AND DIRECTED TO THE ROAD
5. FOR GENERAL NOTES REFER TO DWG. NO. GN-1.
6. FOR SECTION DETAILS, REFER TO DRAWING SEC-1.

ELEVATIONS ARE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK NO. 518, ELEVATION = 106.564m, AND BASED ON LOCAL BENCHMARK, CUT CROSS ON SIDEWALK, 1.4m WEST OF SOUTHWEST CORNER OF PROPERTY CORNER ON DIXIE ROAD, ELEVATION = 104.87m, AND AS PROVIDED ON TOPOGRAPHIC SURVEY BY J.D. BARNES LTD. (REF. NO. 18-30-305-00-A), DATED NOVEMBER 29, 2018.

PAVEMENT DESIGN — CONDOMINIUM ROAD		
PER RECOMMENDATION FROM MISSISSAUGA STANDARD FOR CONDOMINIUM ROAD.		
COURSE	THICKNESS (mm)	OPS SPECIFICATIONS
SURFACE COURSE	40	HL - 3
BINDER COURSE	65	HL - 8
GRANULAR BASE	200	GRANULAR 'A' OR EQUIVALENT
GRANULAR SUB-BASE	200	GRANULAR 'B' OR EQUIVALENT
TOTAL DEPTH	290	

PAVEMENT DESIGN — DRIVEWAYS		
PER RECOMMENDATION FROM MISSISSAUGA STANDARD FOR CONDOMINIUM ROAD.		
COURSE	THICKNESS (mm)	OPS SPECIFICATIONS
SURFACE COURSE	25	HL - 3
BINDER COURSE	50	HL - 8
GRANULAR BASE	150	GRANULAR 'A' OR EQUIVALENT
GRANULAR SUB-BASE	-	GRANULAR 'B' OR EQUIVALENT
TOTAL DEPTH	290	

NOTE:

- PAVEMENT DESIGN PROVIDED ABOVE IS CONSIDERED A MINIMUM STANDARD AND IS SUBJECT TO REVISION BASED ON SITE-SPECIFIC GEOTECHNICAL RECOMMENDATIONS PROVIDED BY A QUALIFIED CONSULTANT.
- THE GRANULAR BASES SHOULD BE COMPACTED TO 100% OF THE MAXIMUM STANDARD PROCTOR DRY DENSITY

[illegible]

PA / PM:	H.H.T. / H.T.
DRAWN BY:	M.M.
JOB NO.:	4679

SHEET
SS-1
SERVICING PLAN

SCALE 1:300

GENERAL:

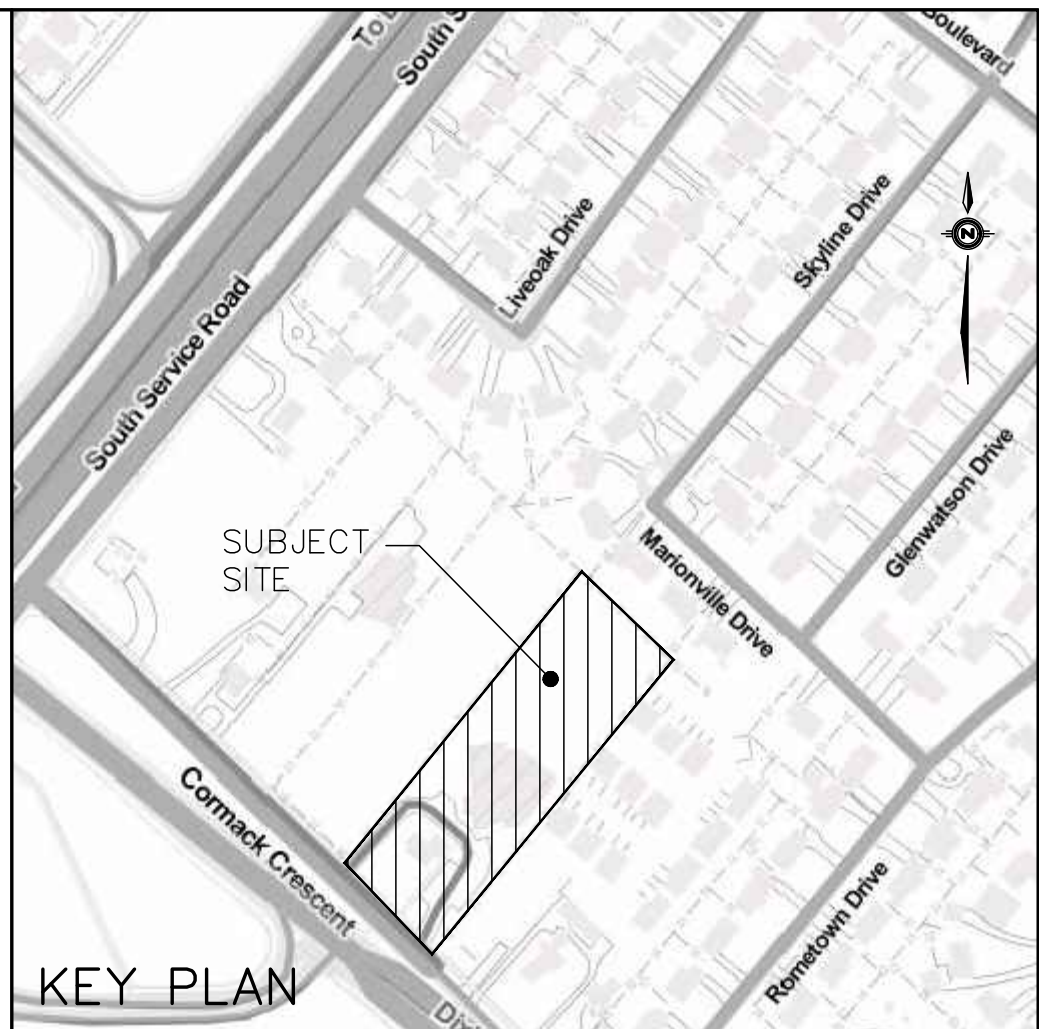
1. ALL LOTS (INCLUDING DRAINAGE DITCHES OR SWALES) ARE TO BE SODDED WITH A MINIMUM DEPTH OF 100mm OF TOPSOIL AND NO.1 NURSERY SOD, AND THE MINIMUM DEPTH OF 150mm OF CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE.
2. GRADE ALL AREAS TO:
 - i) PROVIDE PROPER SURFACE DRAINAGE AND MAXIMIZE USABLE LAND AREA
 - ii) PRESERVE EXISTING TREES WHERE POSSIBLE
 - iii) DIRECT FLOWS AWAY FROM BUILDING
3. MINIMUM YARD SLOPE = 2.00%
4. DRIVEWAY SLOPES:
 - i) MIN. 2.00% AWAY FROM BUILDINGS
 - ii) PREFERRED MAX. 7.50% (FROM STD.SIDEWALK LOCATION)
 - iii) ABSOLUTE MAX. 1.00%
5. MAXIMUM SLOPE BETWEEN BUILDINGS IN ANY DIRECTION 3:1. USE STEPS AND/OR RETAINING WALLS IF THIS CRITERIA CANNOT BE MET. CONSTRUCT RETAINING WALL WITHIN SIDE LOT LINE.
6. PROVIDE A 0.60m GENTLE SLOPING AREA (2.00% MAX) AWAY FROM THE BUILDING ON AT LEAST ONE SIDE WHERE SIDE YARD SETBACK PERMITS.
7. CLEAR STONE RATHER THAN TOPSOIL AND SOD IS REQUIRED FOR 1.2m OR LESS COMBINED SIDE YARDS BETWEEN TWO BUILDINGS.

RETAINING WALLS:

1. RETAINING WALLS ARE GENERALLY REQUIRED WHERE THE DIFFERENCE IN ELEVATION EXCEEDS 0.60m AND A 3:1 SLOPE CANNOT BE USED BECAUSE OF OTHER FACTORS.
2. CONSTRUCT RETAINING WALLS ENTIRELY ON THE HIGHER LOT SO THAT TIE BACKS DO NOT CROSS PROPERTY BOUNDARIES.
3. CERTIFICATION BY THE CONSULTANT IS REQUIRED ATTESTING TO STRUCTURAL (INTEGRITY, MATERIAL AND TIE BACKS, LINE AND GRADE).
4.
 - A) FENCING WILL BE REQUIRED WHERE WALL HEIGHT EXCEEDS 0.60m
 - B) SCREEN FENCING, WHERE APPLICABLE, WILL GENERALLY BE PLACED ON TOP OF THE RETAINING WALL. HOWEVER, DUE CONSIDERATION SHOULD BE GIVEN TO THE AESTHETIC IMPACT OF THE COMBINED WALL/FENCE HEIGHT.
5. DETAILS OF WALL OVER 0.60m ARE TO BE SUBMITTED WITH GRADING PLANS AND STAMPED BY A PROFESSIONAL ENGINEER.

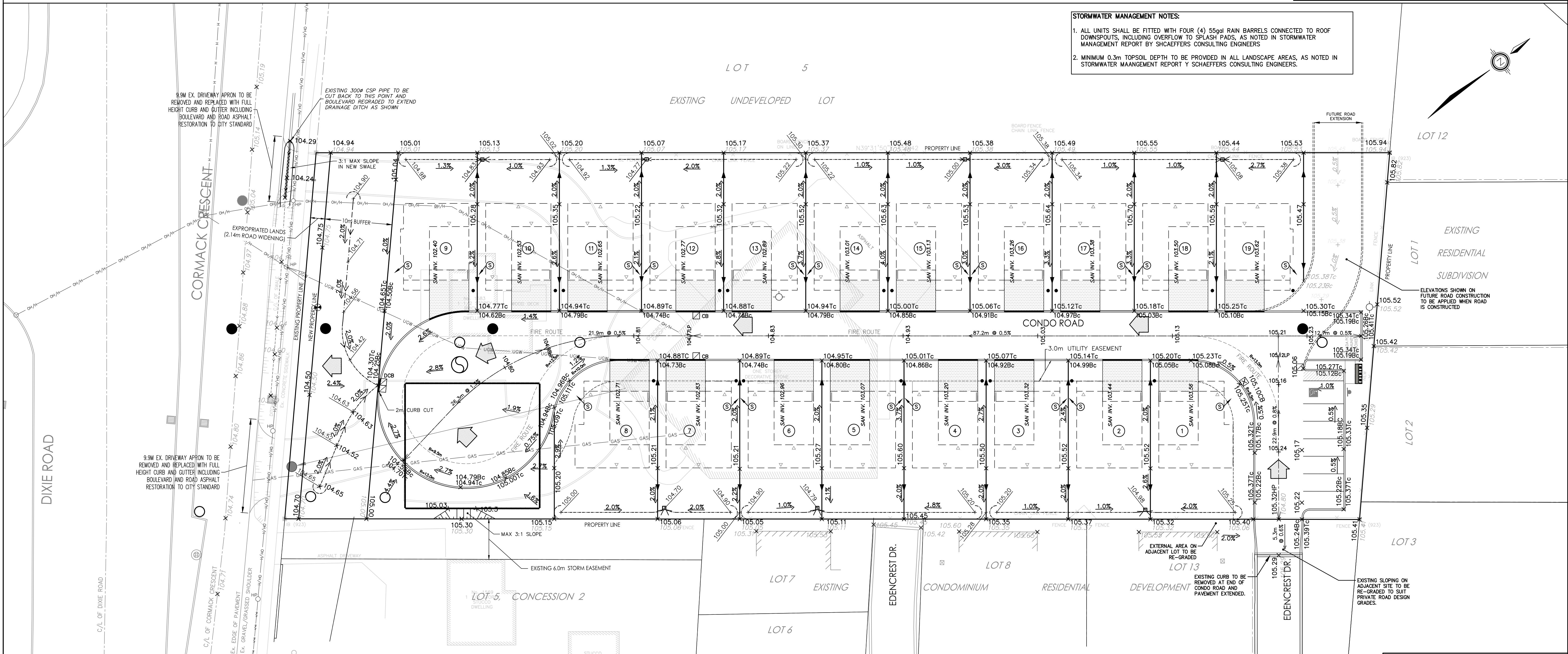
LEGEND

- DENOTES CATCHBASIN
- DENOTES DOUBLE CATCHBASIN
- DENOTES STORM MANHOLE
- DENOTES SANITARY MANHOLE
- ⊕ DENOTES HYDRANT
- ⊕ DENOTES VALVE & BOX
- DENOTES LIMIT OF DEVELOPMENT
- DENOTES PROPOSED ELEVATION
- DENOTES EXISTING CONTOUR
- DENOTES EXISTING ELEVATION
- DENOTES OVERLAND FLOW ROUTE
- DENOTES BARRIER CURB PER OPSD 600.110
- DENOTES DEPRESSED BARRIER CURB PER OPSD 600.060
- DENOTES WATER VALVE BOX
- DENOTES PROPOSED BOTTOM OF SWALE ELEVATION
- DENOTES CUT-OFF SWALE
- DENOTES PROPOSED GRADE



STORMWATER MANAGEMENT NOTES:

1. ALL UNITS SHALL BE FITTED WITH FOUR (4) 55gal RAIN BARRELS CONNECTED TO ROOF DOWNSPOUTS, INCLUDING OVERFLOW TO SPLASH PADS, AS NOTED IN STORMWATER MANAGEMENT REPORT BY SCHAEFFERS CONSULTING ENGINEERS
2. MINIMUM 0.3m TOPSOIL DEPTH TO BE PROVIDED IN ALL LANDSCAPE AREAS, AS NOTED IN STORMWATER MAANGEMENT REPORT Y SCHAEFFERS CONSULTING ENGINEERS.



PAVEMENT DESIGN — CONDOMINIUM ROAD

PER RECOMMENDATION FROM MISSISSAUGA STANDARD FOR CONDOMINIUM ROAD.

COURSE	THICKNESS (mm)	OPS SPECIFICATIONS
SURFACE COURSE	40	HL-3
BINDER COURSE	65	HL-8
GRANULAR BASE	200	GRANULAR 'A' OR EQUIVALENT
GRANULAR SUB-BASE	250	GRANULAR 'B' OR EQUIVALENT
TOTAL DEPTH	290	

PAVEMENT DESIGN — DRIVEWAYS

PER RECOMMENDATION FROM MISSISSAUGA STANDARD FOR CONDOMINIUM ROAD.

COURSE	THICKNESS (mm)	OPS SPECIFICATIONS
SURFACE COURSE	25	HL-3
BINDER COURSE	50	HL-8
GRANULAR BASE	150	GRANULAR 'A' OR EQUIVALENT
GRANULAR SUB-BASE	290	GRANULAR 'B' OR EQUIVALENT
TOTAL DEPTH	290	

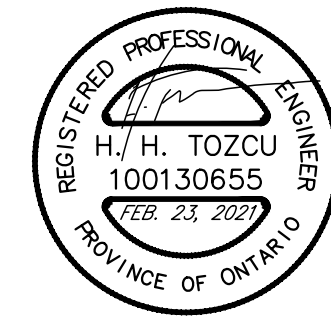
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— BASED ON SITE-SPECIFIC GEOTECHNICAL RECOMMENDATIONS PROVIDED BY A QUALIFIED CONSULTANT.
— THE GRANULAR BASES SHOULD BE COMPACTED TO 100% OF THE MAXIMUM STANDARD PROCTOR DRY DENSITY

NOTES:

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3. FOR GENERAL NOTES REFER TO DWG. NO. GN-1.
4. EXISTING SEWER INFORMATION SHOWN ON THESE PLANS HAS BEEN OBTAINED FROM LIMITED RECORD DRAWING INFORMATION PROVIDED BY LOCAL MUNICIPAL AUTHORITIES WHICH MAY BE PARTIAL OR INCOMPLETE. ANY DEVIATION OBSERVED ON SITE IS TO BE REPORTED TO THE OWNER AND THEIR CONSULTANT IMMEDIATELY IN ORDER TO CONFIRM ANY REQUIRED DESIGN REVISIONS.

PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR OR DEVELOPER WILL OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FROM THE APPLICABLE MUNICIPAL AUTHORITY.

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF PROPOSED CONDO SITE PLAN LOCATED AT 1583 CORMACK CRESCENT AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERANCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.



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Ontario L4K 4R3
Tel: (905) 738-6100
Fax: (905) 738-6875
E-mail:
design@schaeffers.com

ELM CORMACK (2017) INC.

1931 HIGHWAY 7
CONCORD, ONTARIO
L4K 1V5

tel. 905 709 8232
fax. 905 709 8234

CITY FILE No.: 21T-M 19 5
REGION FILE No.: T-19005Ma

PROPOSED CONDO
SITE PLAN

1583 CORMACK CR.
MISSISSAUGA, ONTARIO

REMARKS

DATE

PA / PM:

H.H.T. / H.T.

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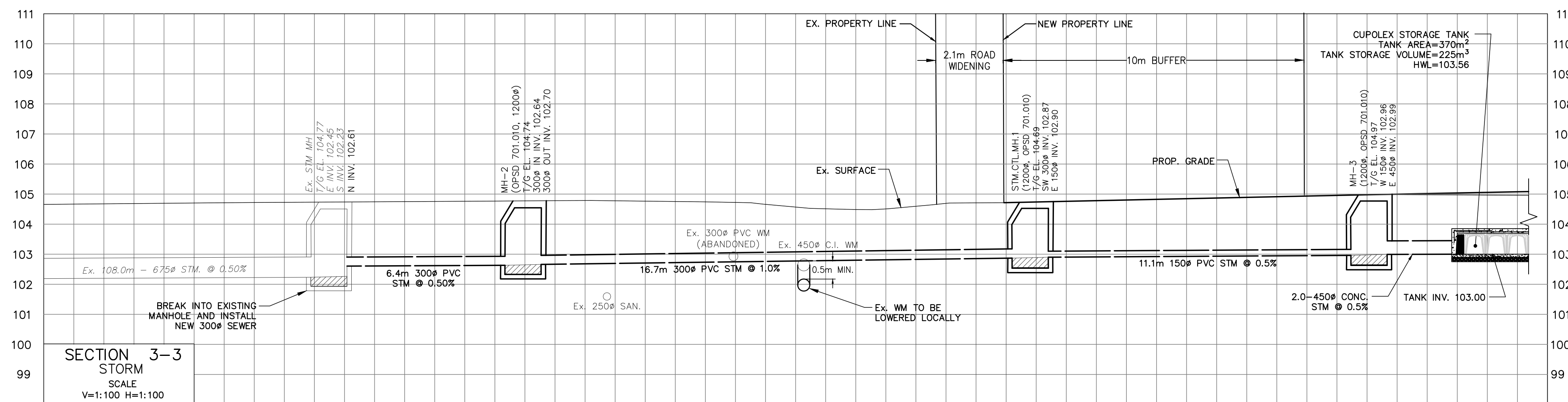
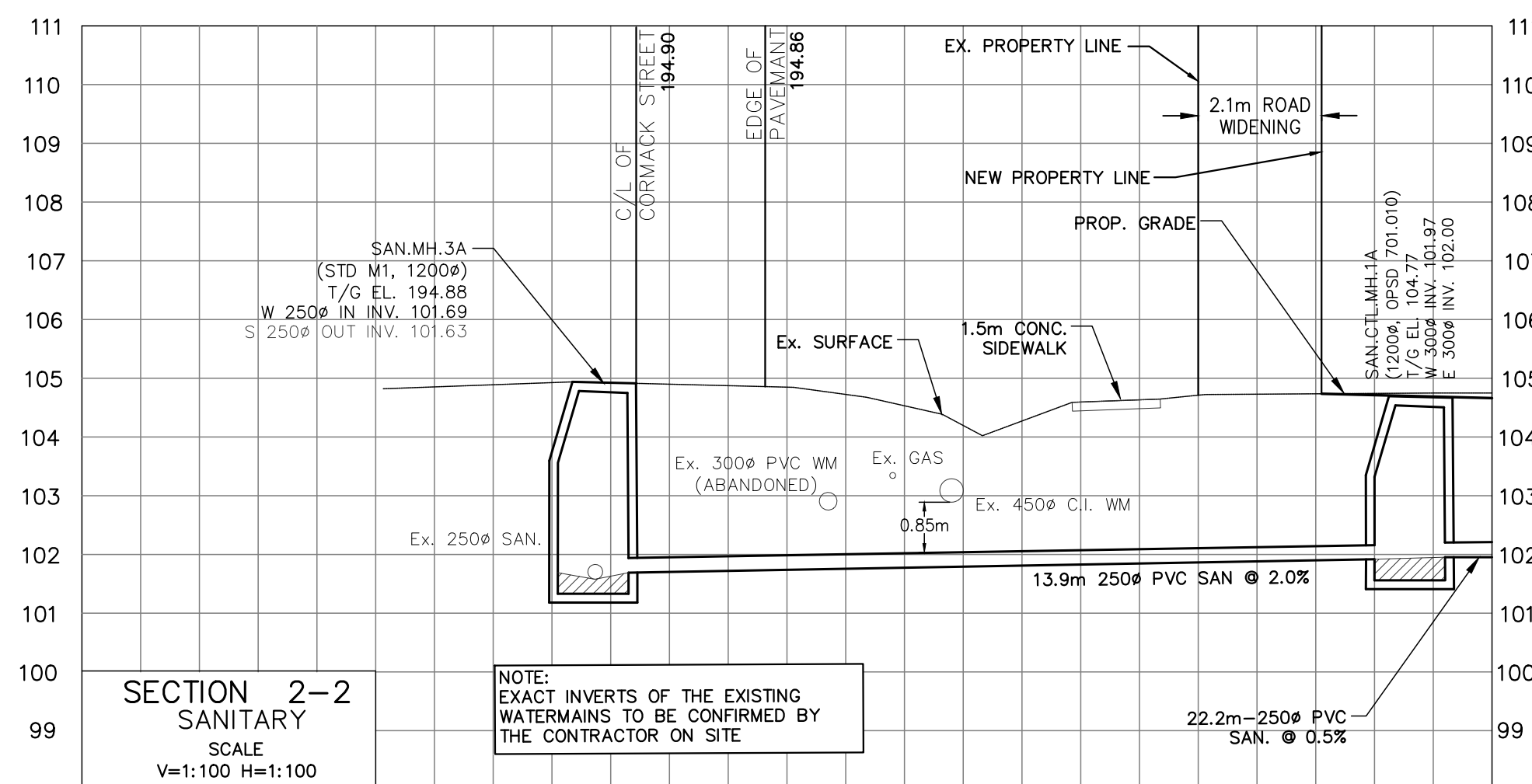
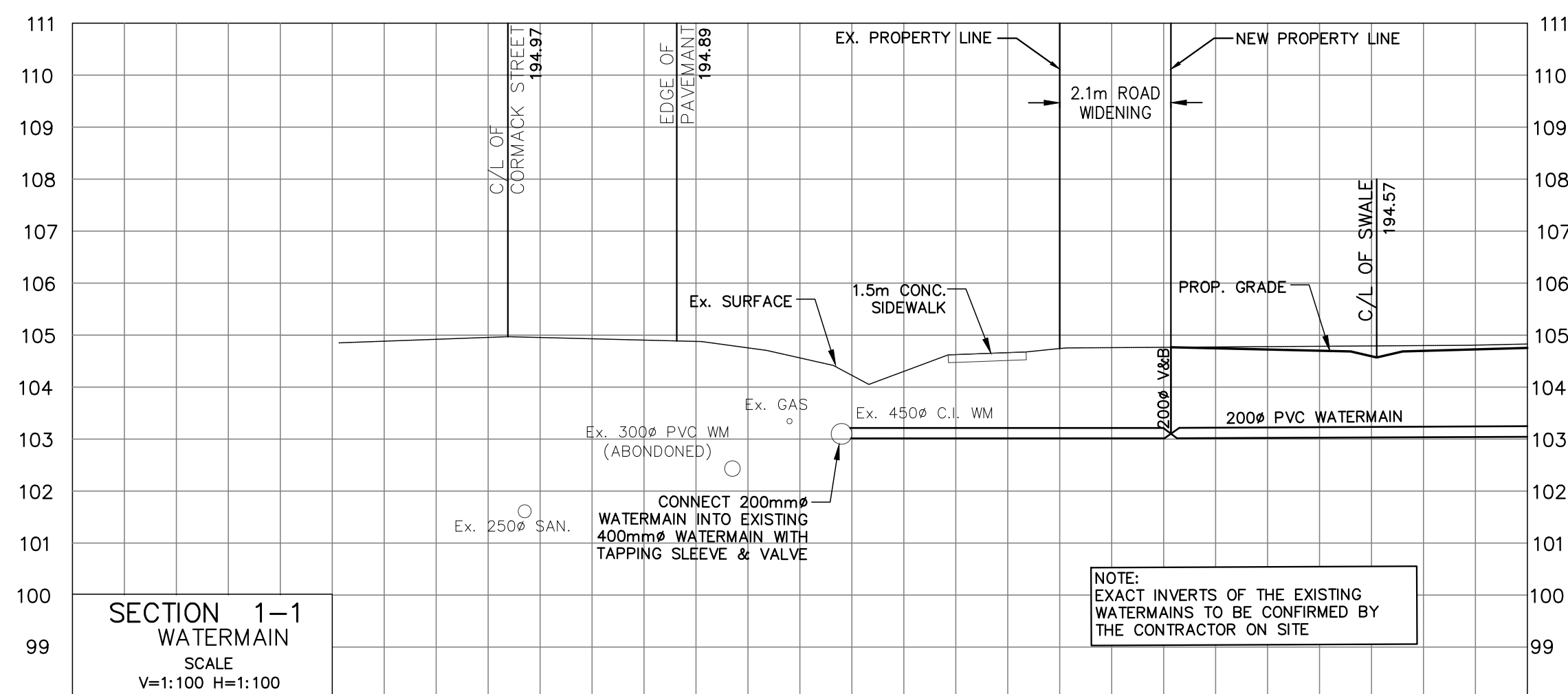
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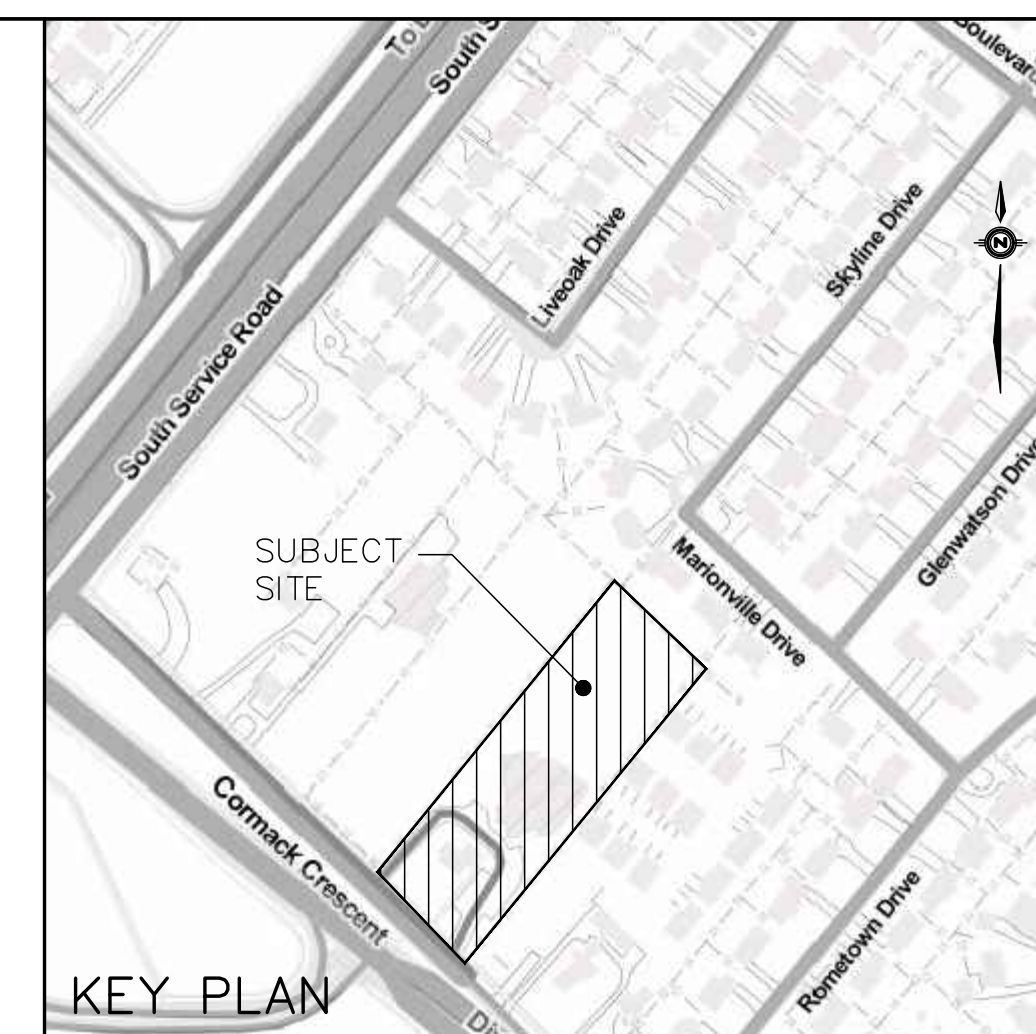
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SHEET
GR-1
GRADING PLAN

SCALE 1:300



PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR OR DEVELOPER WILL OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FROM THE APPLICABLE MUNICIPAL AUTHORITY.



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CITY FILE No.: 21T-M 19.5
REGION FILE No.: T-19005Ma
**PROPOSED CONDO
SITE PLAN**
1583 CORMACK CR.
MISSISSAUGA, ONTARIO

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DRAWN BY:	M.M.
JOB NO.:	4679

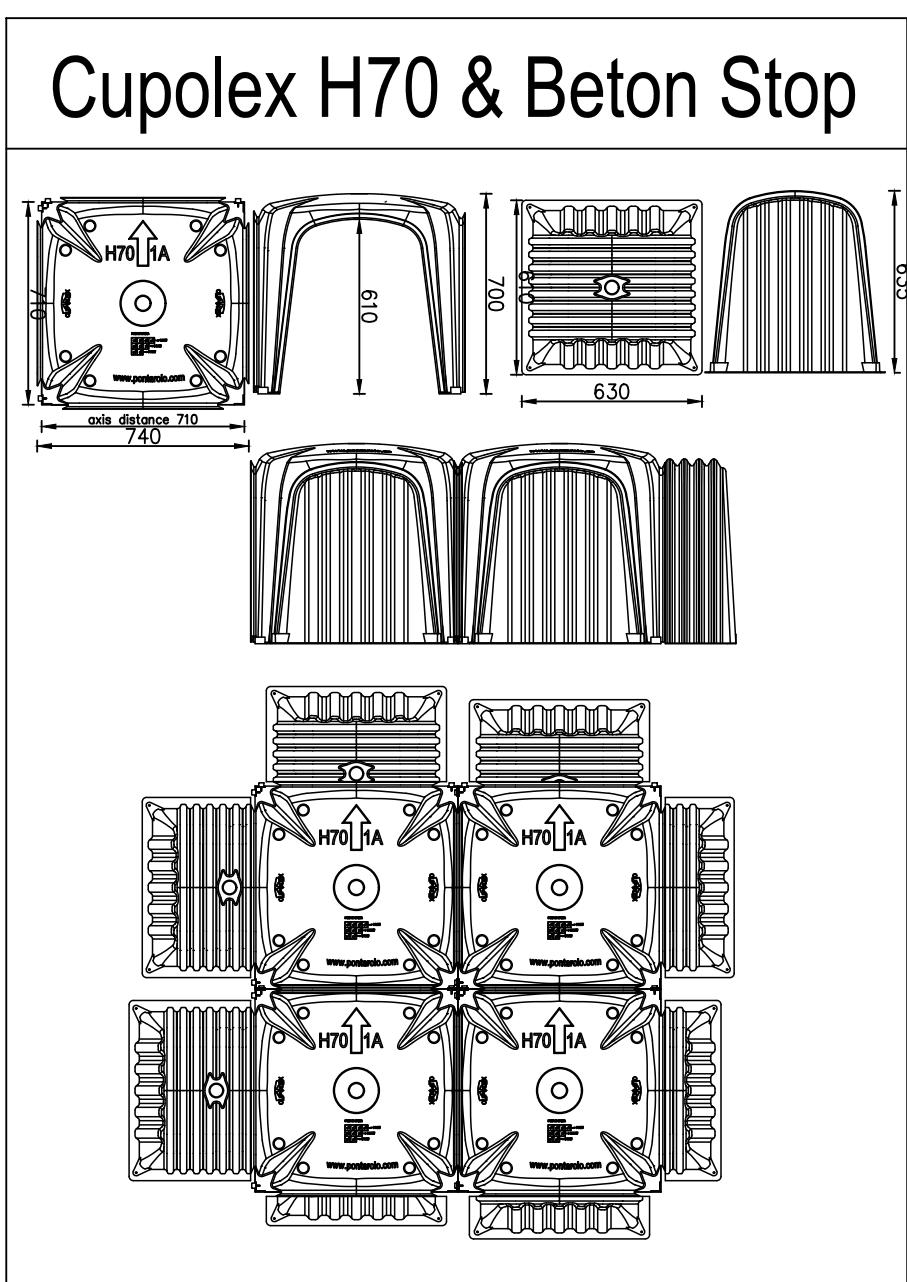
SHEET
SEC-1
CROSS SECTIONS

SCALE AS SHOWN

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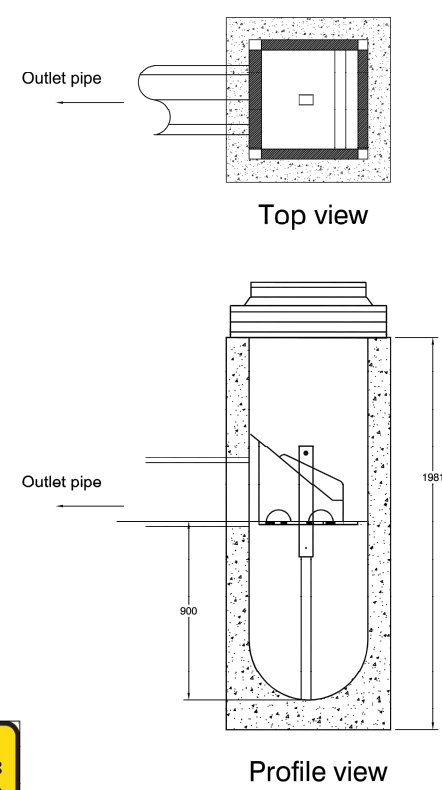


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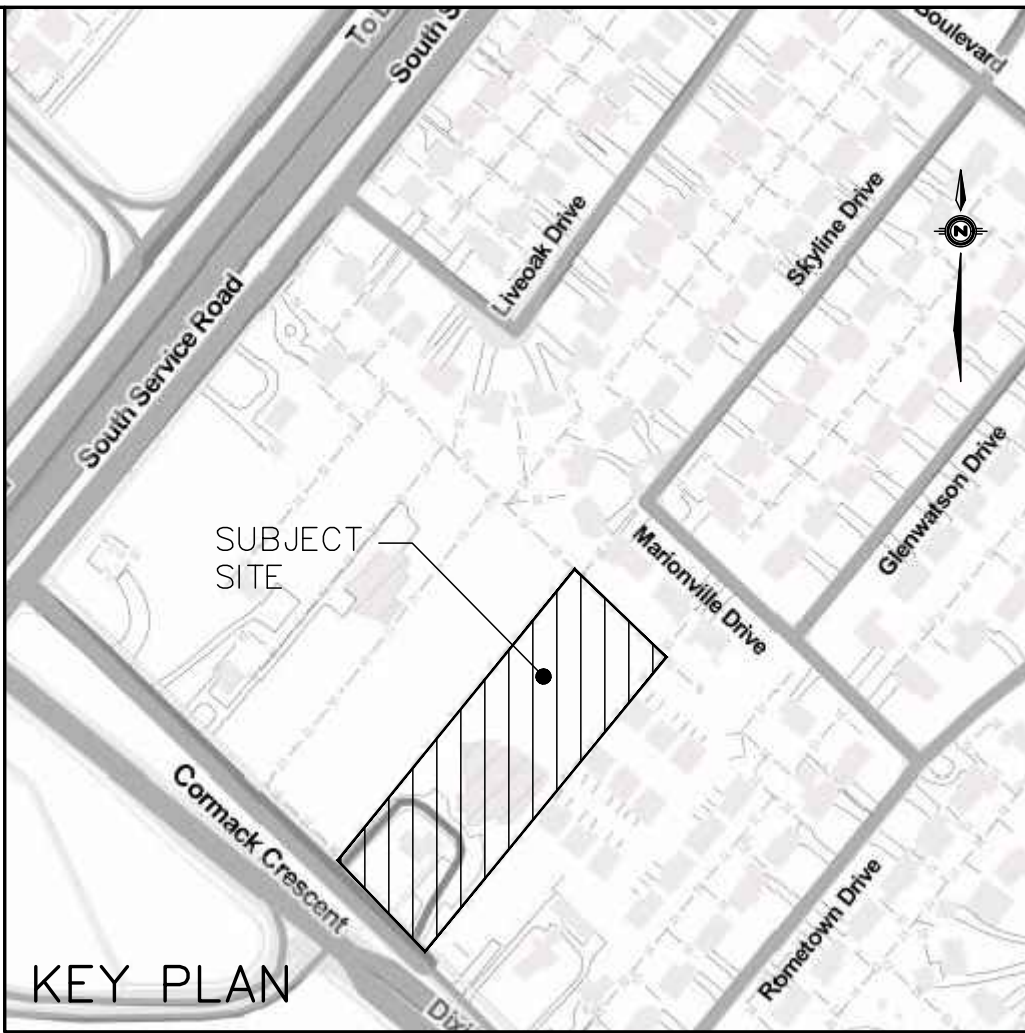


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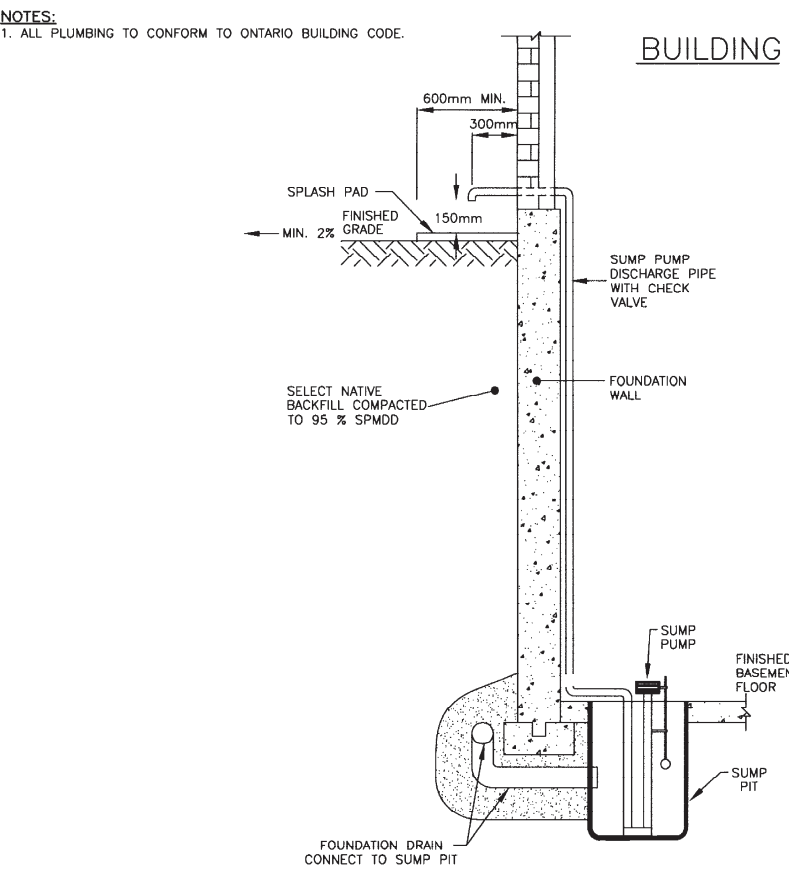
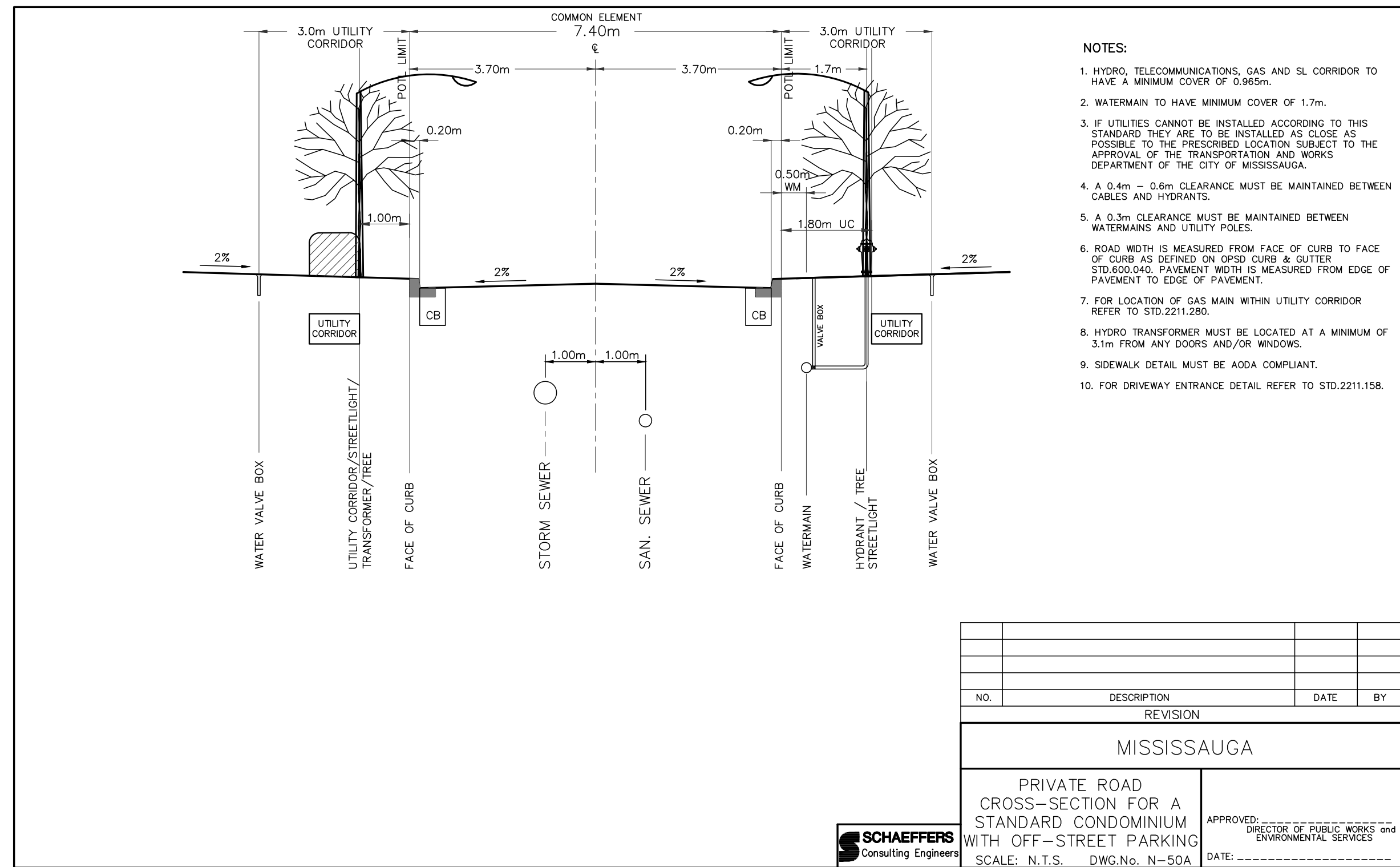
1. CB Shield can be installed at any time. In a non frozen condition.
2. The **frame and cover MUST BE well aligned** with the catchbasin for proper installation.
3. The catchbasin sump must be clean before installation.
4. The grate should be at the same level as the standing water in the sump.



CB Shield (900mm Sump)



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Tel: (905) 738-6100
Fax: (905) 738-6875
E-mail:
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FOUNDATION DRAIN OUTLET DETAIL
SUMP PUMP TO SURFACE

ELM CORMACK (2017) INC.

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L4K 1V5

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CITY FILE No.: 21T-M 19 5
REGION FILE No.: T-19005Ma

REGION FILE No.: T-190051
PROPOSED CONDO
SITE PLAN

1583 CORMACK CR.

MISSISSAUGA, ONTARIO

[illegible]

PA / PM:	H.H.T. / H.T.
DRAWN BY:	M.M.
JOB NO.:	4679

SHEET
DET-2
PROJECT
DETAILS

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF PROPOSED CONDO SITE PLAN LOCATED AT 1583 CORMACK CRESCENT AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERANCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.



ELEVATIONS ARE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK NO. 518, ELEVATION = 106.564m, AND BASED ON LOCAL BENCHMARK, CUT CROSS ON SIDEWALK, 1.4m WEST OF SOUTHWEST CORNER OF PROPERTY CORNER ON DIXIE ROAD, ELEVATION = 104.87m, AND AS PROVIDED ON TOPOGRAPHIC SURVEY BY J.D. BARNES LTD. (REF. NO. 18-30-305-00-A), DATED NOVEMBER 29, 2018.

***** DENOTES SILT FENCE

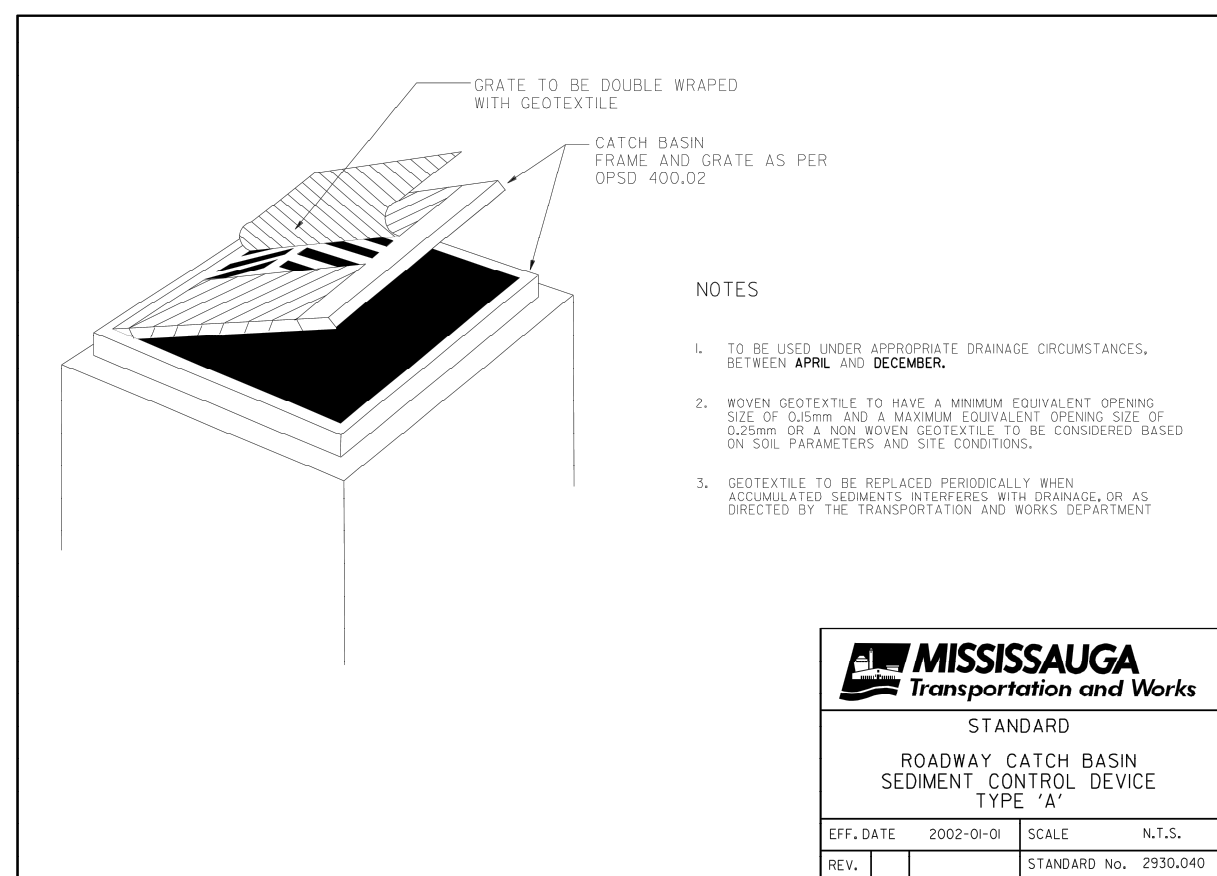
-- -- ► -- DENOTES TEMP. CUT-OFF SWALE

DENOTES TEMP. CUT-OFF SWALE

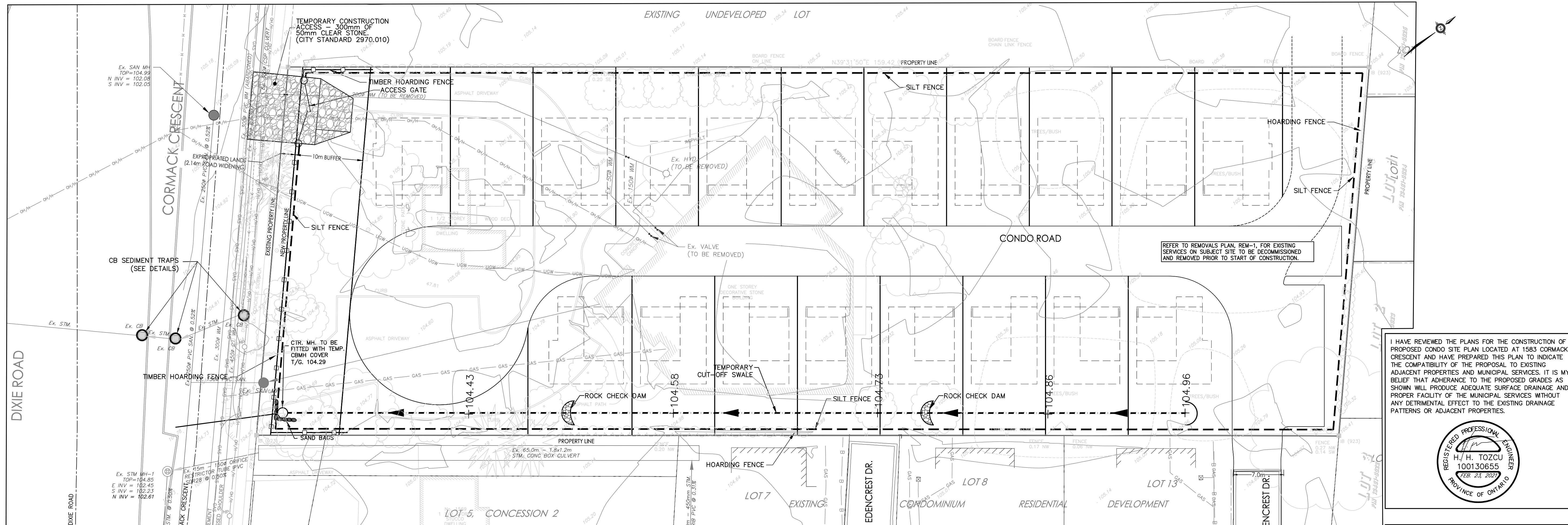
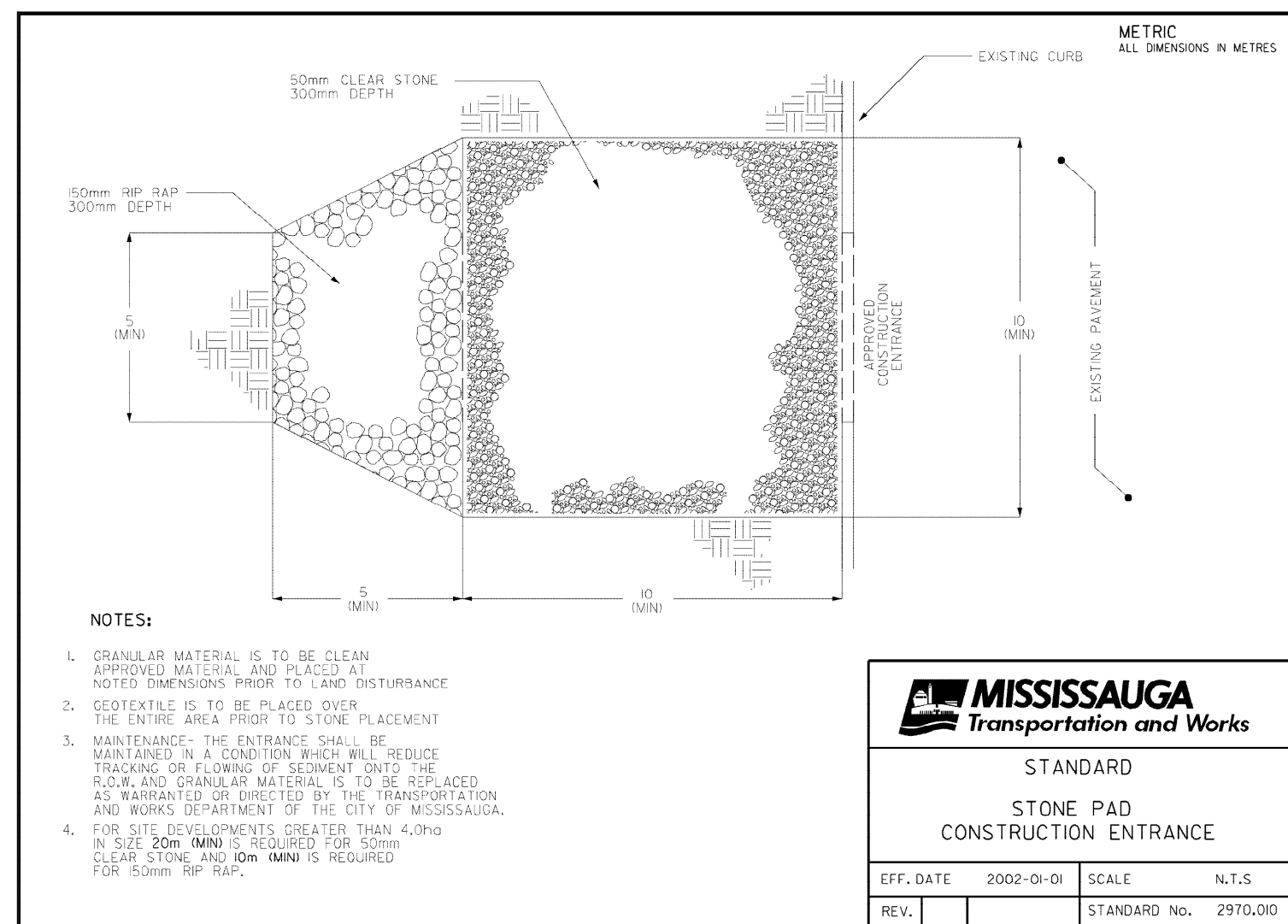
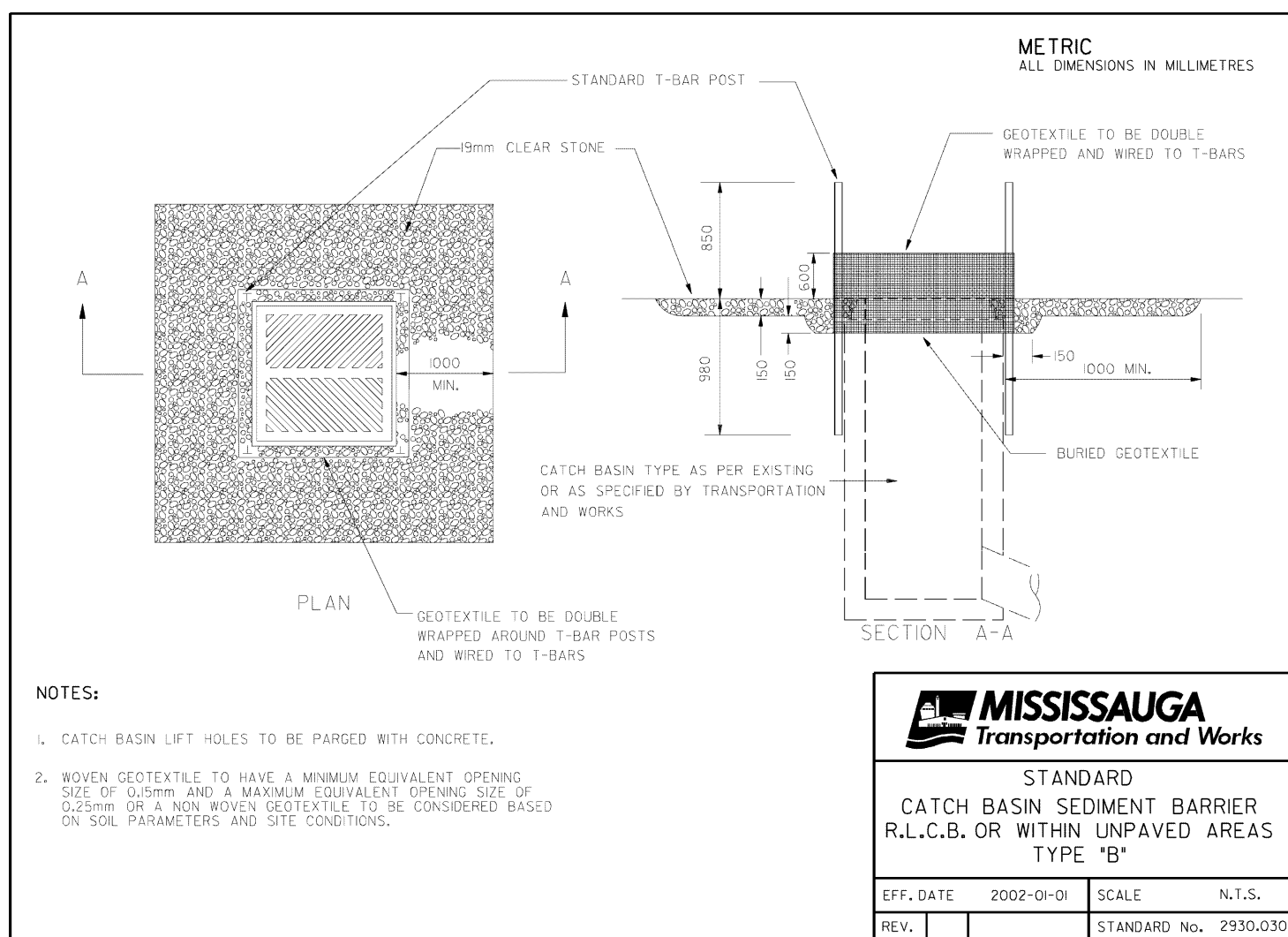
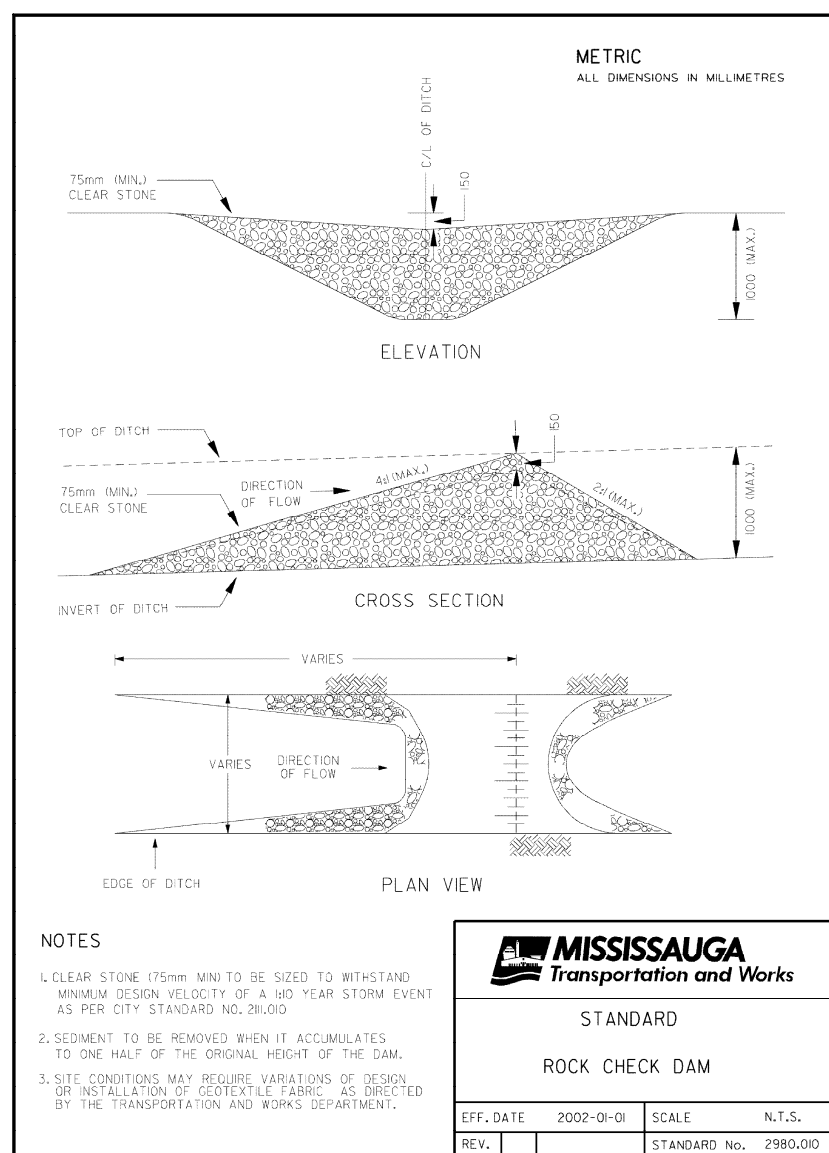
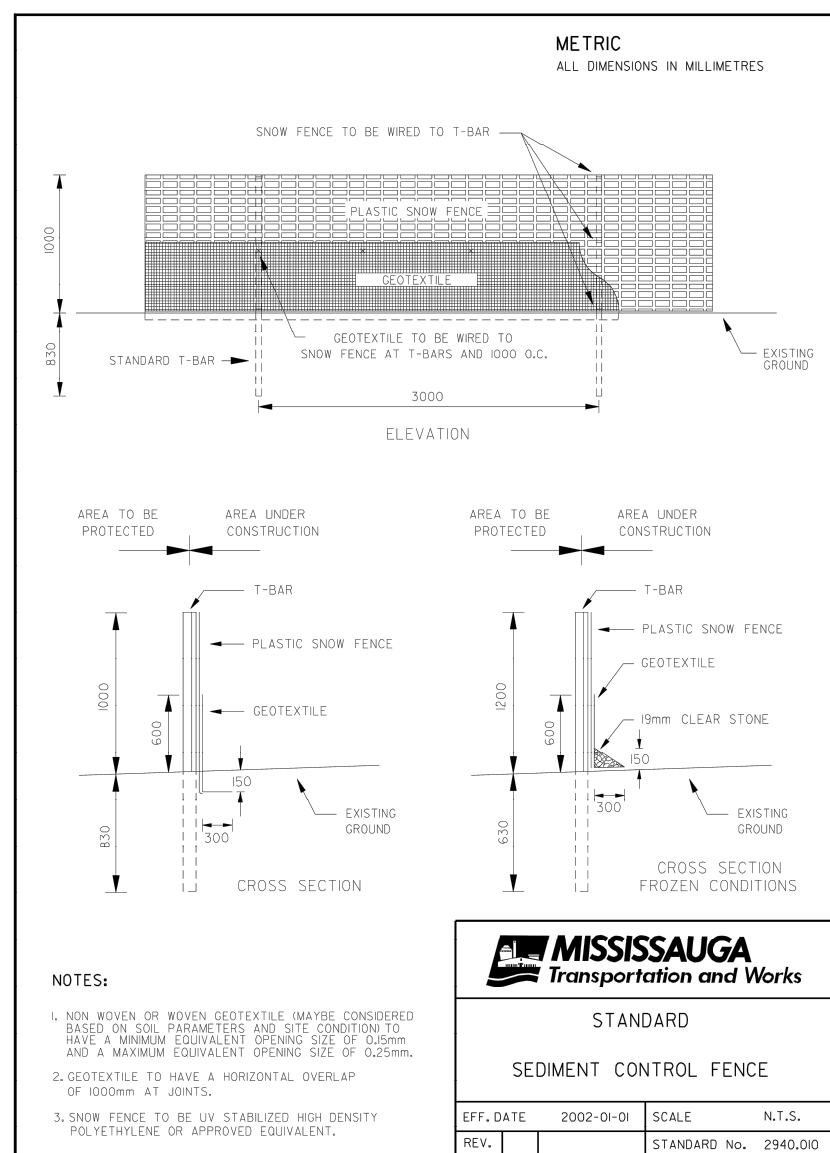
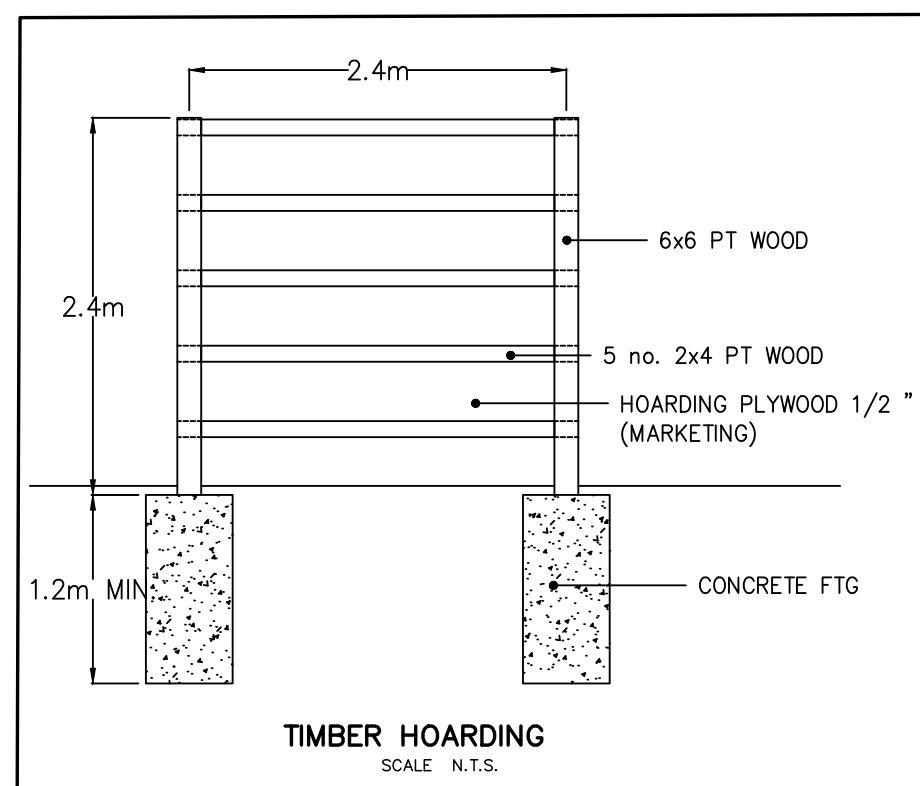
— · — · — DENOTES TEMP. CUT-OFF SWALE

1. ALL CONCRETE AND PLASTIC SEWER PIPE SHALL HAVE RUBBER GASKET JOINTS.
2. ALL SEWERS SHALL BE CONSTRUCTED WITH BEDDING IN ACCORDANCE WITH OPSD 802.0.3 CLASS "B" UNLESS OTHERWISE NOTED.
3. PLASTIC SEWER PIPES SHALL BE CONSTRUCTED WITH ULTRA RIB OR APPROVED EQUAL UP TO THE MAXIMUM DIAMETER OF 600mm.
4. ALL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT CITY OF MISSISSAUGA AND OPSD STANDARD DRAWINGS AND SPECIFICATIONS.
5. DOUBLE CATCHBASIN LEADS TO BE 250mm unless otherwise NOTED.
6. ALL CATCHBASIN LEADS TO BE EITHER 1-4" EES MINIMUM OR P.V.C. TYPE S.D.R. 26.
7. ALL BACKFILL FOR SEWERS, WATERMANS AND UTILITIES ON PAVED AREAS MUST BE MECHANICALLY COMPACTED TO 90% STANDARD PROCTOR DENSITY.
8. INVERTS, ELEVATIONS AND EXACT LOCATIONS OF ALL EXISTING UNDERGROUND SERVICES TO BE VERIFIED IN THE FIELD BEFORE COMMENCING ANY WORK.
9. ALL AREAS DISTURBED DURING CONSTRUCTION TO BE RESTORED TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE CITY OF MISSISSAUGA AND REGION OF PEELE.
10. GRASSED AREAS TO BE TOPPED WITH 150mm TOPSOIL AND SOODED WITH NO.1 NURSERY SOIL.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING MUD AND DIRT ON ALL PUBLIC ROADS TO THE SATISFACTION OF THE CITY AND REGION.

1. FOR TRAFFIC CONTROL INFORMATION AND MEASURES, REFER TO ONTARIO TRAFFIC MANUAL BOOK 7 (TEMPORARY CONDITIONS)
2. THIS CONSTRUCTION MANAGEMENT PLAN CAN BE MODIFIED (AS REQUIRED DURING CONSTRUCTION)
3. ANY IMPORTED MATERIAL (IF REQUIRED) WILL BE PLACED AND COMPACTED IMMEDIATELY, NO STOCKPILE IS REQUIRED.
4. THIS CONSTRUCTION MANAGEMENT PLAN IS PREPARED FOR SERVICING STAGE
5. CONTRACTOR TO ENSURE THAT ALL WORKS ARE IN COMPLIANCE WITH THE NOISE BY-LAW.



KEY PLAN



PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR OR DEVELOPER WILL OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FROM THE APPLICABLE MUNICIPAL AUTHORITY.

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6 Ronrose Drive, Concord,
Ontario L4K 4R3
Tel: (905) 738-6100
Fax: (905) 738-6875
E-mail:
design@schaeffers.com

ELM CORMACK (2017) INC.

1931 HIGHWAY 7
CONCORD, ONTARIO
L4K 1V5

tel. 905 709 8232
fax. 905 709 8234

CITY FILE No.: 21T-M 19 5
REGION FILE No.: T-19005Ma

REGION FILE No.: T-19005M
PROPOSED CONDO
SITE PLAN

1583 CORMACK CR.

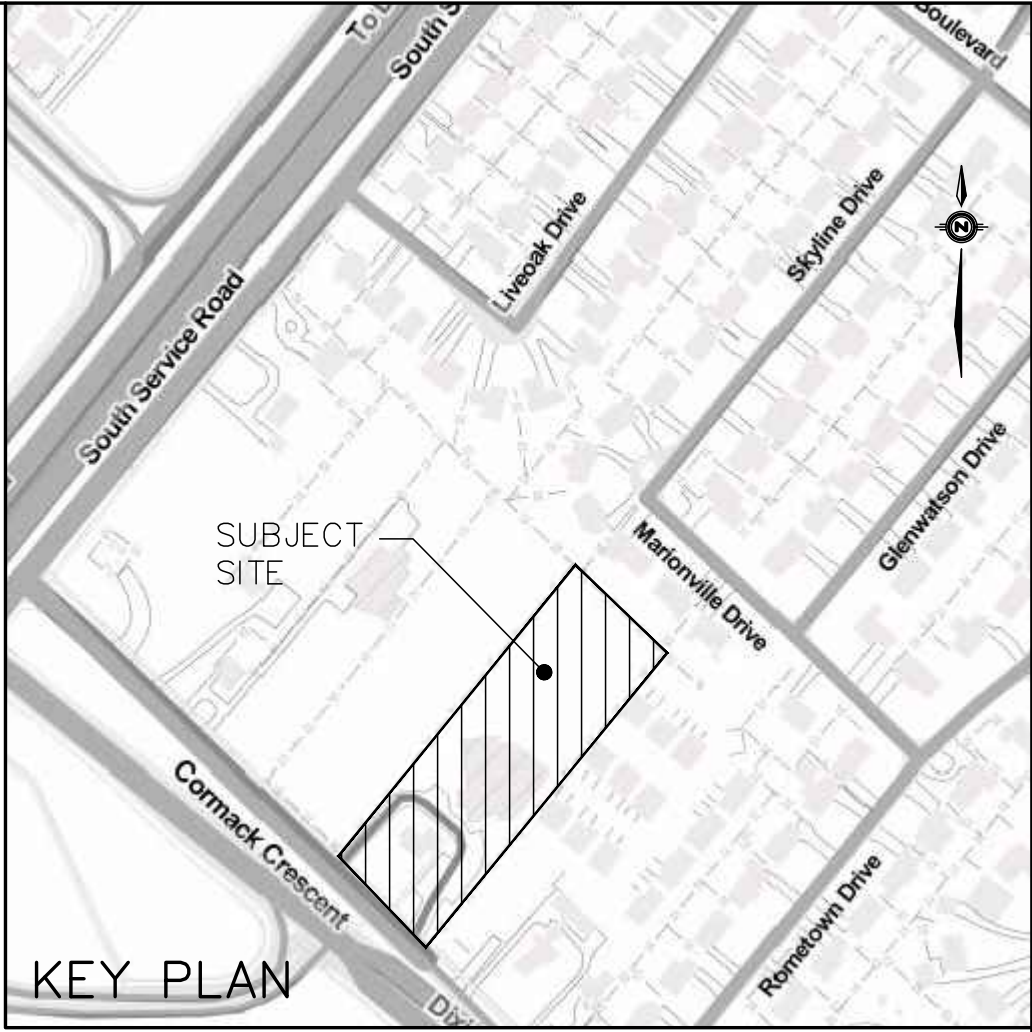
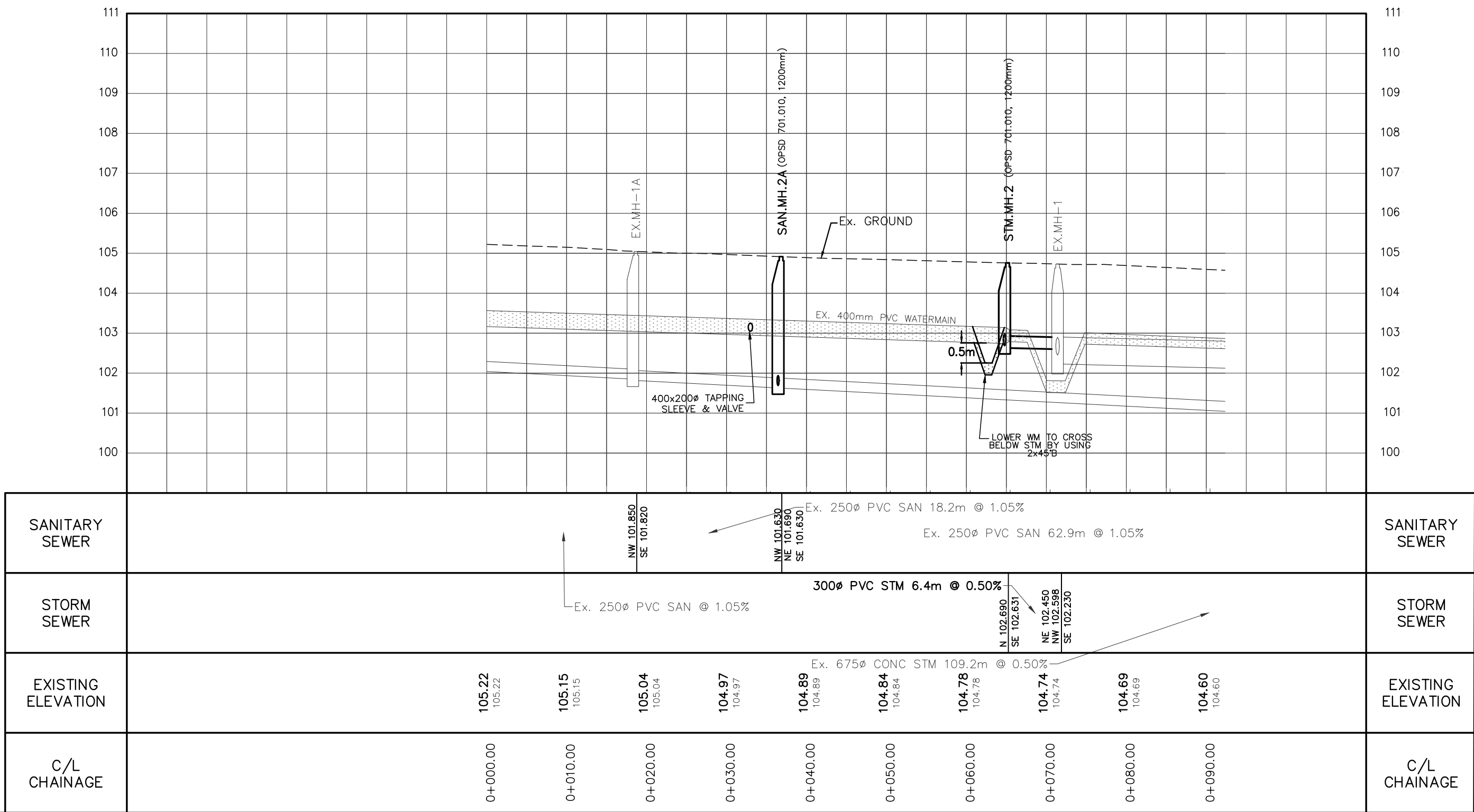
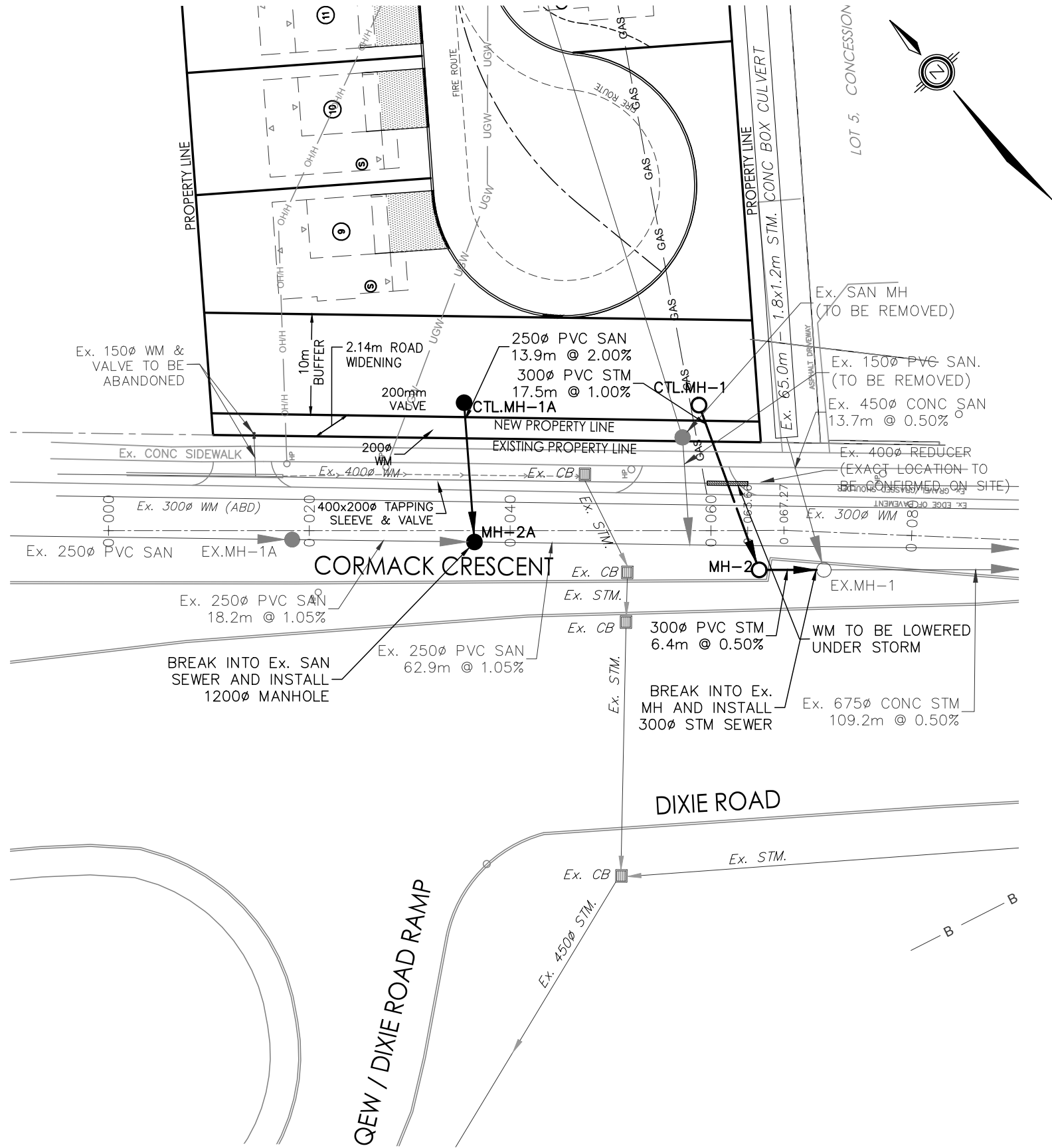
MISSISSAUGA, ONTARIO

[illegible]

PA / PM:	H.H.T. / H.T.
DRAWN BY:	M.M.
JOB NO.:	4679

SHEET
CM-1
CONSTRUCTION
MANAGEMENT PLAN

SCALE 1:300



- NOTES:**
1. THE LOCATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON CONTRACT DRAWINGS, AND WHERE SHOWN THE ACCURACY OF THE LOCATION AND ELEVATION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITIES OF DAMAGE.
 2. ALL AREAS DISTURBED DURING CONSTRUCTION OF SEWERS AND WATERMANS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE CITY OF VAUGHAN AND REGION OF YORK. AREAS WHERE GRASS EXISTS UNDER PREDEVELOPMENT CONDITIONS ARE TO BE TOPPED WITH 150mm TOPSOIL AND SODDED; OTHERWISE, AREAS TO BE RESTORED WITH 150mm TOPSOIL AND HYDROSEEDING, ALL TO THE SATISFACTION OF THE CITY AND REGION. ALL EXISTING SERVICES TO BE ADJUSTED TO SUIT NEW GRADES.
 3. FOR GENERAL NOTES REFER TO DWG. No. GN-1.
 4. EXISTING SEWER INFORMATION SHOWN ON THESE PLANS HAS BEEN OBTAINED FROM LIMITED RECORD DRAWING INFORMATION PROVIDED BY LOCAL MUNICIPAL AUTHORITIES WHICH MAY BE PARTIAL OR INCOMPLETE. ANY DEVIATION OBSERVED ON SITE IS TO BE REPORTED TO THE OWNER AND THEIR CONSULTANT IMMEDIATELY IN ORDER TO CONFIRM ANY REQUIRED DESIGN REVISIONS.



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ELM DEVELOPMENTS

1931 HIGHWAY 7
CONCORD, ONTARIO
L4K 1V5

tel. 905 709 8232
fax. 905 709 8234

CITY FILE NO.: 21T-M 19 5
REGION FILE NO.: T-19005Ma
**PROPOSED CONDO
SITE PLAN**
1583 CORMACK CR.
MISSISSAUGA, ONTARIO

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ELEVATIONS ARE BASED ON ONTARIO BASE MAPPING OBTAINED FROM FIRST BASE SOLUTIONS.

REMARKS	
DATE	ISSUED FOR SITE PLAN APPROVAL
MAY 13, 2019	ISSUED FOR SITE PLAN APPROVAL
FEB. 23, 2021	ISSUED FOR SITE PLAN APPROVAL

PA / PM:	H.H.T. / H.T.
DRAWN BY:	M.M.
JOB NO.:	4679

SHEET
PP-1
PLAN AND PROFILE
CORMACK CRESCENT

SCALE 1:500H 1:100V