



Corporate Report

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PDC FEB 11 2013

DATE: January 22, 2013

TO: Chair and Members of Planning and Development Committee
Meeting Date: February 11, 2013

FROM: Edward R. Sajecki
Commissioner of Planning and Building

SUBJECT: **Report on Comments**
Proposed Official Plan Amendment, Zoning By-law
Amendment and Built Form Standards for the Downtown Core

Wards 4 and 7

RECOMMENDATION: That the Report dated January 22, 2013, from the Commissioner of Planning and Building, titled "Report on Comments - Proposed Official Plan Amendment, Zoning By-law Amendments and Built Form Standards for the Downtown Core " be adopted in accordance with the following:

1. That notwithstanding that subsequent to the public meeting, changes have been proposed, Council considers that the changes do not require further notice and therefore, pursuant to the provisions of subsection 34(17) of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, any further notice regarding the proposed amendments is hereby waived.
2. That the Downtown Core Local Area Plan in Mississauga Official Plan be deleted and replaced with the Downtown Core Local Area Plan, attached to this report.
3. That Mississauga Official Plan Table 8-3: Road Classification – Minor Collector be amended to add the Downtown Core to

the Character Area categories with a Right of Way width range of 23-26 m (75.5 – 85.3 ft.) and Table 8-4: Road Classification – Local Roads be amended to delete the reference to the Downtown Core right of way being 20 m (65.6 ft.) and replacing it with 23 m (75.5 ft.).

4. That the proposed amendments to Zoning By-law 0225-2007 as attached in Appendix 5 of this report, be approved.
5. That the Built Form Standards for the Downtown Core attached as Appendix 6 of this report, be approved.
6. That the Site Plan Control By-law 0293-2006, as amended, be further amended to require all applications for site plan approval in the Downtown Core to provide plans and drawings that are consistent with the Built Form Standards for the Downtown Core as attached as Appendix 7.

**REPORT
HIGHLIGHTS:**

- A public meeting was held on November 5, 2012 to hear comments regarding the proposed Official Plan Amendment, Zoning By-law Amendment and Built Form Standards for the Downtown Core in response to the Interim Control By-law for the Downtown Core;
- Responses are provided to written and verbal comments received;
- Where appropriate, changes are proposed to amend the implementing documents in response to comments and issues raised;
- The recommendation is to proceed to Council for adoption of the implementing documents.

BACKGROUND:

A public meeting was held by the Planning and Development Committee on November 5, 2012, at which time the Planning and Building Department Information Report (Appendix 1) was presented and received for information. The meeting was attended by the Downtown Core's major landowners and/or their representatives. At its November 14, 2012 meeting, Council adopted Resolution 0248-2012 (PDC- 0064-2012) which states, "That the report titled *"Interim Control By-law for the Downtown*

Core, Implementing Documents", dated October 12, 2012 from the Commissioner of Planning and Building, be received for information," and that correspondence be received.

Subsequent to the public meeting and receipt of the comments, staff met and/or spoke with all those who provided comments. This report responds to comments received: at the public meeting; through written correspondence; and, from the one-on-one meetings with the landowners. The written correspondence is attached as Appendix 2 to this report. Appendix 3 contains a table identifying the issues raised and staff's response. Where appropriate, revisions are proposed to the Official Plan Amendment, Zoning By-law and Built Form Standards.

COMMENTS:

The City's Strategic Plan set out a 40 year vision for the City and identified "Create a Vibrant Downtown" as one of its Strategic Goals. In order to guide the development of the downtown, a master plan known as Downtown21 was prepared. The Master Plan envisions an intense, mixed use, transit and pedestrian oriented downtown. In order to achieve the vision, Downtown21 set out six guiding principles: catalyze employment; build multi-modal; create an urban place; living green; establish a focus; and create a development framework with predictability. The proposed Official Plan Amendment, Zoning By-law Amendments and Built Form standards, and associated Site Plan By-law attached to this report provide the planning framework necessary to fulfill the principles and guide development in accordance with the Downtown21 Master Plan.

The City has demonstrated its commitment to the goal of creating a vibrant downtown by investing millions of dollars in the development of Celebration Square and Community Common Park and the partnership with Sheridan College. This commitment continues as the City is pursuing greater transit investment in the core, the next phase of Sheridan College is being planned, parking demand and market studies are underway and the formation of The Main Street Working Group consisting of landowners within the Main Street District and the City to develop a coordinated vision and business plan for the District.

Official Plan

Mississauga Official Plan (2011) was adopted by City Council on September 29, 2010 and partially approved by the Region of Peel on September 22, 2011. The Plan was appealed in its entirety, however, on November 14, 2012, the Ontario Municipal Board issued a Notice of Decision approving Mississauga Official Plan, as modified, save and except for certain appeals. The Local Area Plan for the Downtown Core has been revised since the public meeting to reflect the structure of the newly adopted Mississauga Official Plan. The format and content of the Local Area Plan have been updated to eliminate any duplication and follow the same structure as the primary document. It is important to note that the Local Area Plan for the Downtown Core must be read in conjunction with Mississauga Official Plan.

The preamble in Appendix 3 highlights the key revisions made to the Local Area Plan, both policies and schedules from that which was presented at the public meeting.

The Transportation and Works Department has recommended that Mississauga Official Plan Tables 8-3 and 8-4: Road Classification, Minor Collector and Local Roads respectively, be amended to add the Downtown Core to the Character Area for Minor Collectors with right of way width ranges of 23-26 m (75.5 -85.3 ft.) and to change the local road right of way width from 20 m (65.6 ft.) to 23 m (75.5 ft.).

Zoning

The proposed zoning provisions have been fully detailed in Appendix 5. The Zoning By-law is intended to implement and be consistent with the policies of the Local Area Plan and to provide greater detail with regard to certain provisions contained in the local area plan. Changes or additions to the City Centre zones or General Provisions of the Zoning By-law have been highlighted in colour.

In order to provide greater consistency and direction, build-to-areas, (meaning the limiting distance from a property line to a building face) that were previously outlined in Zoning By-law 0225-2007 have been extended to apply throughout the Downtown Core.

Built Form Standards

The proposed Built Form standards have also been updated to address items that now form policies of the approved Mississauga Official Plan and to provide greater clarity with regard to the intentions of the Plan.

Many questions have been raised through the written comments questioning how the Built Form standards will be implemented. The recommendation is to amend the Site Plan Control By-law to require that all applications for site plan approval within the Downtown Core provide plans and drawings consistent with the Built Form Standards.

Future City Initiated Changes to the Implementing Documents

The Downtown Core is evolving and it is expected that additional studies and their recommendations will necessitate further amendments to all implementing planning documents. One such example is the Hurontario-Main LRT project which includes LRT stations along Hurontario Street and throughout the Downtown Core. When the final design work is completed and the Environmental Assessment approved, changes to the Local Area Plan, Zoning By-law and Built Form Standards will need to be made to reflect approved routes and design standards. Additional studies related to the Mississauga Valley area that is impacted by the Hurontario-Main LRT project, the opportunities for a development permit process, tall buildings, the farmers market, parking and movement study, the public realm and affordable housing within condominium buildings are just some of the additional planning work be undertaken to continue to guide the evolution of the Downtown Core.

FINANCIAL IMPACT: Not applicable

CONCLUSION: The proposed Official Plan policies, Zoning By-law and Built Form Standards attached to this report are a result of the study undertaken for the ICB area. The documents are an important step in the realization of the vision for the Downtown Core. The three implementing documents, when read in conjunction with the Official Plan and applied in their entirety establish the parameters that future development must address to ensure the vision for the Downtown is achieved.

ATTACHMENTS:

- Appendix 1: Public Meeting Report dated October 22, 2012
- Appendix 2: Written Comments received
- Appendix 3: Response to Comments
- Appendix 4: Draft Local Area Plan for the Downtown Core
- Appendix 5: Draft Zoning By-law provisions
- Appendix 6: Draft Built Form Standards
- Appendix 7: Draft Site Plan By-law Amendments

Edward R. Sajecki
Commissioner of Planning and Building

Prepared By: Diana Rusnov



Corporate Report

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PDC NOV 5 2012

DATE: October 12, 2012

TO: Chair and Members of Planning and Development Committee
Meeting Date: November 5, 2012

FROM: Edward R. Sajecki
Commissioner of Planning and Building

SUBJECT: **Interim Control By-law for the Downtown Core
Implementing Documents
Draft Official Plan Amendment, Zoning Framework and Design
Standards**

PUBLIC MEETING **WARDS 4 and 7**

RECOMMENDATION: That the report titled "*Interim Control By-law for the Downtown Core, Implementing Documents*", dated October 12, 2012 from the Commissioner of Planning and Building, be received for information.

**REPORT
HIGHLIGHTS:**

- A planning study was undertaken to develop official plan policies, zoning framework and urban design standards. An overview of these documents is provided.
- The draft implementing documents are based on the vision set out in the City's Strategic Plan and the Downtown21 Master Plan to create a vibrant downtown, with a mixture of land uses, supported by multi-modal transportation choices and development that incorporates high quality built form.

- A statutory public meeting is a requirement under the *Planning Act* and represents the next step in the process of implementing the planning framework required to address the concerns related to the passing of the Interim Control By-law for the Downtown Core.

BACKGROUND:

On March 9, 2011, City Council passed an Interim Control By-law (0046-2012), because the existing planning regime could have resulted in development that would be detrimental to the long term viability of the vision for the Downtown Core. A one year extension (By-law 0036-2012) was passed on March 7, 2012. The Interim Control By-law was initially appealed by a number of land owners, however, all but one appeal has been settled by means of minor amendments to the by-law allowing minor alterations to existing buildings.

On June 26, 2012, a public open house was held to discuss and release the draft implementing documents. The open house was held in conjunction with the public information centre for the Hurontario-Main Street Light Rail Transit Project. Comments received regarding the proposed policies, regulations and standards will be addressed in a subsequent report on comments.

COMMENTS:

City Council initiated the ICB because the existing Downtown Core Local Area Plan and Zoning By-law permit certain land uses that are incompatible with the City's vision for the downtown. The vision for the downtown was developed through the Downtown 21 Master Plan which describes an intense, mixed use, transit oriented and pedestrian friendly downtown. The lack of alignment between current policies and zoning and the Downtown21 Master plan was a concern that Council determined required a planning study to come up with recommendations to ensure that the guiding principles of the Master Plan would be protected through appropriate planning tools. As a result, a draft Local Area Plan for the Downtown Core has been developed. The draft Plan provides a more extensive local planning framework for the downtown, and contains policies to address unique circumstances of the area. It should be noted that the draft Plan must be read in conjunction with the Mississauga Official Plan (2011) and

follows the same general organization in order to reinforce the importance of interpreting the two documents in conjunction with each other. Given the imminent approval of Mississauga Official Plan (2011), the final Local Area Plan is expected to be reformatted from its current format to ensure alignment with the new base document.

The draft Plan (see Appendix 1) incorporates and builds upon the policies in the existing Local Area Plan included as part of Mississauga Official Plan (2011). Many existing policies and land use designations have been carried forward, however, a number of modifications have been made to align with the vision set out in the Downtown21 Master Plan. The proposed policies of the draft Plan are intended to ensure that:

- Strategic land uses are preserved;
- The road network is updated;
- “A” and “B” street frontage classifications are introduced and implemented;
- New districts and transit station character areas are added;
- The urban design policies are updated and expanded to reflect a pedestrian oriented downtown;
- Retail activation is implemented.

The zoning framework document has been updated since the initial release of the documents to provide more detail and a description for the changes proposed to the Zoning By-law. The proposed changes to the Zoning By-law are intended to implement the draft Plan. In addition to revising existing zoning provisions, a new Downtown Core Office zone is being proposed to implement the new Office Designation.

New Built Form Standards for the downtown are also being introduced and provide detailed urban design direction and guidance for developments that are going through the planning development application process. The standards will be used to assess, promote and fulfill the intent of the local area plan, the zoning by-law and the Downtown21 Master plan.

The public meeting is the statutory public meeting to fulfill the

requirements of the *Planning Act* which will provide the Planning and Building Department the opportunity to obtain comments from the public on the proposed changes to the land use policies, associated zoning regulations and built form standards, all of which are intended to implement the vision set out in the Downtown21 Master Plan.

STRATEGIC PLAN: The draft Downtown Core Local Area Plan, the zoning framework and Built Form Standards support the City's Strategic Plan and its Strategic Pillar for Change to "create a vibrant downtown" that functions as a strong economic centre, while acting as the civic heart and soul of the City.

FINANCIAL IMPACT: Not Applicable

CONCLUSION: Following the statutory public meeting, a report on comments will be prepared for consideration by Planning and Development Committee, which will address comments received from the public and from the circulation of the Draft Plan.

ATTACHMENTS: APPENDIX 1: Downtown Core Local Area Plan
APPENDIX 2: Proposed Amendments to Zoning By-law 0225-2007
for the Downtown Core Local Area Plan
APPENDIX 3 : Built Form Standards for the Downtown Core

Edward R. Sajecki
Commissioner of Planning and Building

Prepared By: Diana Rusnov, Manager

DRAFT**October 12, 2012**

Downtown Core

1.0 How to Read the Downtown Core Local Area Plan

Mississauga Official Plan is composed of a principal document and a series of local area plans, provided under separate cover. This is the Downtown Core Local Area Plan and provides policies for lands located in central Mississauga, as shown on Figure 1. It includes lands identified in the City Structure as the Downtown Core.

There are some instances where the policies and schedules of the principal document do not address all circumstances particular to the Downtown Core. In these cases, the Downtown Core Local Area Plan elaborates on, or provides exceptions to the policies or schedules of the principal document.

The Downtown Core Local Area Plan must be read in conjunction with the Mississauga Official Plan principal document. Parts 1 to 4, the schedules and the appendices of the principal document, are applicable to the Downtown Core area, unless modified by this local area plan. Thus, for example, the policies of this local area plan must be read in conjunction with the environmental, multi-modal, urban form and land use policies of Parts 2 and 3 of the principal document. In the event of a conflict, the policies of this local area plan take precedence.

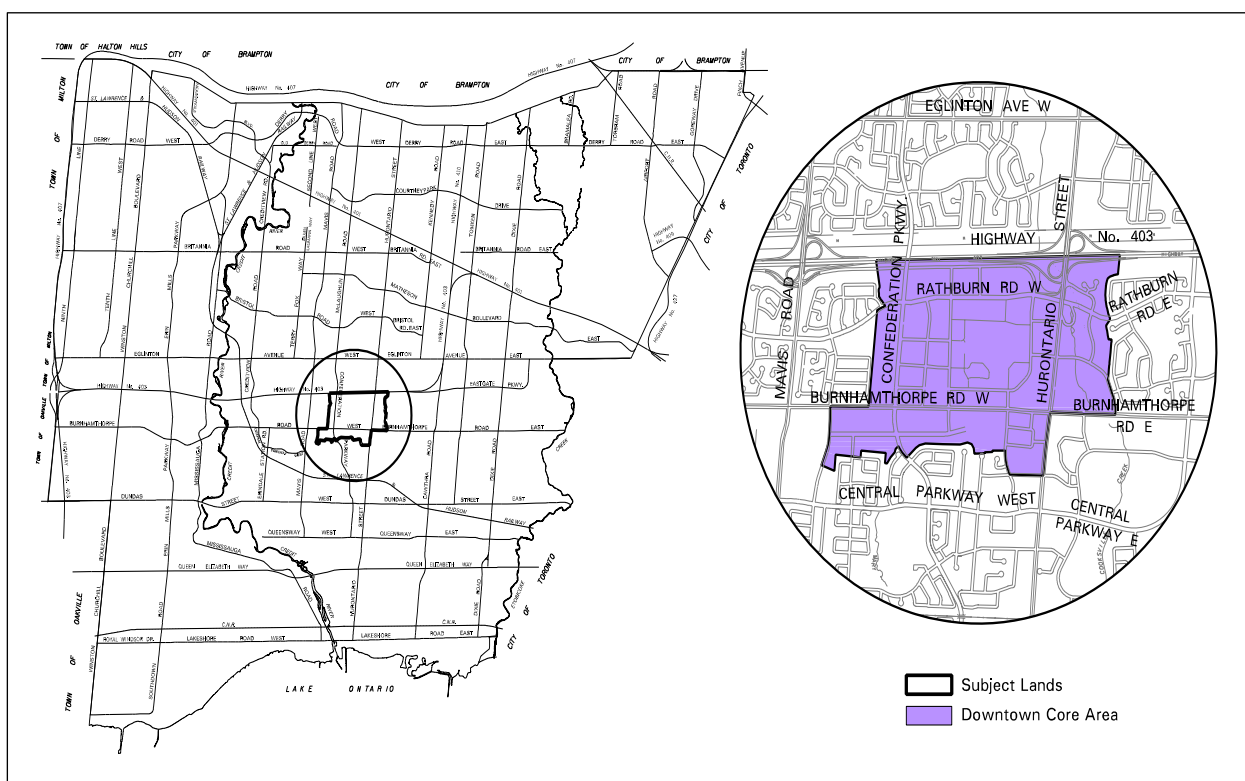


Figure 1: The Downtown Core Local Area is located in central Mississauga and is identified in the City Structure as Downtown Core.

1.1 Context

Downtown Mississauga is evolving into an exciting urban place. The Downtown Core consists of high density residential developments, office buildings, mixed-use developments, parks, cultural facilities, civic uses and recreational and entertainment uses developed around the periphery of the Square One Shopping Centre.

Over the last decade, flexible zoning provisions combined with favourable market conditions have resulted in extensive private investment in high density residential and mixed-use condominium development such as the internationally acclaimed Marilyn buildings among others. During this time, there has been some expansion of the Square One Shopping Centre but limited new office development.

Recent public investments, including the new Sheridan College campus, regional transit infrastructure (Bus Rapid Transit, Hurontario Light Rail Transit (LRT)) and significant city-wide public realm investments and amenities such as Celebration Square continue to enhance the Downtown's role as a regional destination in the Greater Toronto Area. The Downtown Core is located within a major designated growth area and identified as an Anchor Hub in the Regional Transportation Plan. The Downtown Core continues to be a significant focus for investment in the Greater Toronto Area.

1.2 Vision

A key goal of the City's Strategic Plan is to Create a Vibrant Downtown that will be the civic and cultural soul of the city as well as a strong economic centre.

The basis for the Downtown Core Local Area Plan is the Downtown21 Master Plan, which was received by Council in April 2010. The Downtown21 Master Plan sets the direction for transforming the Downtown Core from a suburban model to an urban mixed use centre.

The goal is to create a high quality, walkable, human scaled environment that continues to attract lasting public and private investment in the Downtown and supports existing and planned infrastructure, particularly higher-order transit.

Additional investment is being made to transit in the Downtown, including the Light Rapid Transit system along Hurontario Street and within the road network of the Core. The Bus Rapid Transit system will also serve the Downtown Core connecting it with areas to both the east and west. The current focus for local and inter-regional public transit is in the area of Rathbun Road West and Station Gate Road consisting of the City Centre Transit Terminal and GO platforms. The future BRT station will also be constructed in this area. With the on going commitment to public transit infrastructure combined with transit supportive developments this area will develop as a key mobility hub within the Greater Toronto Area.

The existing road pattern is made up of super blocks. An expanded road network is proposed that will create an urban pattern of development blocks that are walkable in scale and well connected. The new road network will result in urban blocks, providing routing options for vehicular, servicing and goods movement, pedestrian and cycling movement within the Core. The scale of the streets is to be narrower with special attention paid to the public realm and elements within the boulevard to ensure a comfortable, enjoyable and safe pedestrian environment.

Downtown Mississauga has already begun its transformation from a suburban auto-oriented centre, to one that is truly urban, rich in character, memorable and geared to the pedestrian experience.

The Downtown which forms a part of the Urban Growth Centre is expected to be the focus for population and employment growth in the City to 2031. The Core is expected to contain the highest densities, a diverse range of building heights and the greatest mix of uses.

This Local Area Plan aims to address the following key challenges for the Downtown Core:

- a. Strengthen the Core's role as the primary location for major office, highest concentration of retail commercial, mixed use, civic uses and cultural development;
- b. Accommodate forecasted growth without impacting the natural environment and quality of life;
- c. Attract new office development to balance population and employment;
- d. Create a finer-grained, well-connected road network that supports active transportation modes: walking, cycling, transit, servicing and goods movement, and the car;
- e. Develop an integrated urban place that achieves design excellence in buildings, the public realm and distinctive character in mixed use districts; and
- f. Provide a new development framework and policy regime founded on greater predictability and certainty of outcomes, to better direct growth and support existing and planned services.

The vision for the Downtown Core is to be a mixed use urban centre, with a balance of residential and employment uses, complemented by retail, civic and cultural uses. Additional office development is critical to achieve a strong employment base and move the Downtown in a forward direction.

This Plan will better direct development, achieve a stronger economic base, strengthen the transportation systems, create linkages and access, improve urban design and enhance the pedestrian experience resulting in a more vibrant and active mixed use Downtown Core.

2.0 Introduction

The focus of these policies is to reinforce and enhance the image of the Downtown Core as a destination and an urban mixed use centre. These policies are also intended to promote a high quality of urban design by integrating the public realm with private development. Its position as an employment, retail commercial and civic centre will be balanced by residential development, education, entertainment, and facilities for business visitors and tourists. These policies will serve to facilitate the dynamic growth and change of the Downtown Core as it matures.

2.1 Development Objectives

2.1.1 A high quality of urban design in the built form that is unique, mixed use, pedestrian friendly and transit supportive, and which contributes to the unique identity and prominence of the Downtown Core.

2.1.2 The location of streets, the mix of uses, a high standard of urban and *streetscape* design, and the development and enhancement of a comprehensible public/private system of pathways and open space, including public art will:

- a. integrate retail commercial, office, civic and other facilities;
- b. facilitate pleasant and safe pedestrian and cyclist movement throughout the Downtown Core;
- c. provide opportunities for passive outdoor recreation within the Downtown Core;
- d. provide access to and from the Cooksville Creek greenbelt;
- e. reinforce and expand the role of the Downtown Core as the focus of city wide cultural, community and civic activities.

2.1.3 Street related development will pay particular attention to pedestrian access and amenities.

2.1.4 Development will result in a unique Downtown Core character, enhanced through the creation of view corridors and gateway features, and visibility of the Civic Centre and public gathering places.

2.1.5 The Downtown Core road system will be completed to achieve an active transportation system.

2.1.6 The placement and design of parking facilities will achieve the highest standard of urban design and architecture in support the pedestrian environment and public realm.

2.1.7 A mix of uses will be found within buildings and along individual street frontages.

2.1.8 A balance of residential and employment uses will be developed.

2.1.9 Foster the continued development of a variety of entertainment activities that will contribute to activity both day and night.

2.1.10 Development and activities will enhance the Downtown as a destination.

2.1.11 Development and activities that will expand tourism for the region.

2.1.12 The prominence of the Downtown Core as the City's primary mixed use centre will be maintained.

2.1.13 Vehicular and transit access to and from the Downtown to the Toronto Lester B. Pearson International Airport and interregional transit facilities, such as the Cooksville GO Transit station will be developed.

3.0 Urban Design

3.1 General

The intent of the urban design policies is to define principles for the management of the physical form and character of the Downtown Core. In this respect, urban design policy is intended to:

- achieve a distinctive image for the Downtown Core which is urban in character;

- achieve the highest standard of urban design in both the public and private realm;
- provide a sense of entry into the Downtown Core area by encouraging gateway treatments such as, prominent buildings located close to the street, distinctive landscape and streetscape treatment, entry signage, distinctive precincts and skyline elements;
- achieve built form that has a high level of physical continuity, cohesion and linkage between buildings, from block to block, and from street to street;
- reinforce and extend the public realm - streets, public open spaces, and boulevards - as a significant public resource of the highest design standard, which encourages a sense of place, civic identity and physical continuity in the built environment;
- achieve urban scale land blocks, streets and built form appropriate to a transit supportive and pedestrian oriented core;
- achieve elements of linkage to the abutting communities while ensuring compatible integration and context sensitivity;
- achieve a balance of vehicular traffic and transit and active transportation needs to achieve pedestrian comfort, convenience, safety and accessibility;
- prohibit the construction of new surface parking lots in the Downtown Core;
- prohibit blank building walls abutting the street; and
- recognize utility corridors required for hard service components.

3.1.1 Urban form in the Downtown Core will develop incrementally. The submission of a concept plan will be required for all phased or multi-building development applications and must demonstrate how the urban design policies will be implemented through the development review process.

3.1.2 The urban design policies and Downtown Core Built Form Standards included in Appendix 1 of this Plan will provide interpretation and direction on the urban design policies, which will also be used to evaluate development proposals.

3.2 Urban Design Components

The urban form of the Downtown Core is created by the public realm, and the private realm. The seamless integration of these components is critical to the character and development of the Downtown Core based on the following:

3.2.1 Design of the Public Realm

The public realm includes streets, boulevards, and open space that is accessible to the public. These elements can include, but are not limited to, pedestrian ways, bikeways, bridges, plazas nodes, squares, transportation hubs, gateways, parks, natural features, view corridors, landmarks and the interface with buildings.

Streets

Streets are the connections between spaces and places, as well as being spaces themselves. They are defined by their physical dimension and character as well as the size, scale, and character of the buildings that line them. Streets will be defined by their form and function. A hierarchy of streets will be established to distinguish their purpose and ensure they contribute to places within the urban structure of the Downtown Core.

3.2.1.1 Development will provide physical definition of the streets and ensure a seamless relationship between the public and private realm. Existing and new roads in the Downtown Core will be identified for the purposes of:

- a. establishing categories of street frontages;
- b. identifying urban design policies that articulate the intent of the street frontage categories; and
- c. specifying Built Form Standards that provide direction and detailed development guidance in relation to the urban design frontage

categories, included in the Downtown Core Local Area Plan as Appendix 1.

3.2.1.2 Mississauga will ensure a fine grain pattern of urban streets in the Downtown Core to:

- a. create high quality street designs that support a comfortable, pedestrian scale, cycling and transit supportive environment.

3.2.1.3 In addition to providing routes for multi-modal travel, streets are a significant public resource within the Downtown Core. The design of streetscape should:

- a. ensure a high level of urban design in all components;
- b. enclose and contain the streets with well designed buildings and groups of buildings to create a predictable pattern of development, and define the public realm and open space system;
- c. ensure streets achieve a sense of enclosure by minimizing their visual width and scale with the use of streetwalls and boulevard treatments;
- d. ensure pedestrian and cycling amenity, comfort, convenience and safety;
- e. ensure design and functional elements are incorporated which reduce traffic speed;
- f. accommodate on-street parking in public rights-of-way, where feasible;
- g. incorporate coordinated street furniture and lighting systems; and
- h. provide coordinated traffic signage, which is designed in scale and character with the Downtown Core *streetscape* elements.

Boulevards

3.2.1.4 In addition to providing corridors for utilities, boulevards provide the framework for public amenities on the Downtown Core streets and integrate diverse areas of character. The design of boulevards should:

- a. incorporate coordinated design themes, materials and landscaping throughout the Downtown Core;
- b. be designed as active public spaces integrating and linking development;
- c. should facilitate pedestrian and cycling linkage between the curb and abutting private lands;
- d. incorporate enclosure and definition of the street space;
- e. maximize the opportunity to incorporate places to meet, sit and socialize; and
- f. achieve pedestrian comfort, weather protection and safety, particularly at transit stops.

Open Spaces

3.2.1.5 Parks and other open spaces provide urban amenities for the Downtown Core. These features should:

- a. encourage a variety of open spaces, squares, and central green areas;
- b. promote a sense of identity and place;
- c. provide pedestrian connections between the public sidewalk, significant buildings and features;
- d. frame a view, a significant building or terminate a vista, where appropriate; and
- e. be flanked by public roads to ensure they are not considered private spaces.

Transit

3.2.1.6 The design of built form and landscape elements will:

- a. integrate transit stations and bus stops with development;
- b. incorporate weather protection in waiting areas;
- c. provide walkways from transit stops to principal building entrance(s); and
- d. ensure visibility of transit stops from the public street and abutting development.

3.2.2 Design of the Private Realm and Frontage Requirements

Buildings are the most pronounced element of the urban fabric and create the sense of place. Buildings shape and articulate streets and open space by forming edges and streetwalls to establish definition and enclosure. Collectively they create the pedestrian environment and frame the public realm.

'A' & 'B' STREETS

3.2.2.1 All streets are designated 'A' and/or 'B' streets, which differentiate the various streets by their function, character, built form treatments and design.

- a. 'A' Streets have a critical role and function in the Downtown Core. They are intended to be the most important for securing animation and character, a comfortable pedestrian environment, street activity and vibrancy.
- b. 'B' streets allow for site servicing and access and are also intended to support street activity, achieve character and a pedestrian friendly environment.
- c. New development will follow specified 'A' and/or 'B' street standards for each street in the Downtown Core. The character of built-form varies according to the 'A' or 'B' street designation. This framework is shown in the A & B Street Schedule of this Plan.

Provisions for Development on 'A' & 'B' Streets

3.2.2.2 Where streets have been identified as having an 'A' or 'B' street frontage, development will address the following provisions:

- a. locate build-to line requirements on development blocks;
- b. coordinate build-to lines with adjacent properties in order to create consistent edges and street walls along frontages;
- c. locate buildings parallel to the street at the build-to line to contain the street and provide enclosure;
- d. ensure a variation in set backs along the building frontages to articulate façade emphasis at the build-to line to allow for visual interest, outdoor patios, recessed entries and landscaped areas;
- e. buildings should incorporate active ground floor uses to animate the public realm and will be designed as an extension of the pedestrian environment;
- f. ground floor uses will incorporate transparent windows;
- g. development will locate functioning principal building entrances so that they are clearly identifiable and prominent with direct access to the public sidewalk, pedestrian connections and transit facilities; and
- h. retail and commercial entrances, and lobby entrances serving buildings will be flush with the sidewalk elevation.

'A' Streets

3.2.2.3 'A' streets require the greatest attention to urban design and will have a cohesive built form and streetscape character to support the public realm.

3.2.2.4 'A' streets will have continuous building frontages along the length of development blocks to provide a continuity of built form from one property to the next.

3.2.2.5 Functioning principal entrances to buildings will be provided on 'A' streets.

3.2.2.6 Curb cuts, driveways and laneways are prohibited on 'A' streets, except where a site or block does not have access from a 'B' street, or if there is a requirement for emergency vehicle access.

'B' Streets

3.2.2.7 'B' streets provide development blocks with vehicular access to off street parking, deliveries, garbage pick-up, service and loading. 'B' streets will also have an important pedestrian character designed to a high standard of built form and streetscape to support the public realm.

3.2.2.8 'B' streets will have continuous building frontages along the length of development blocks to provide a continuity of built form from one property to the next with minimal gaps between buildings and provision for loading and servicing facilities.

3.2.2.9 Functioning principal building entrances will be located on 'B' streets, except where a development block may have 'A' and 'B' streets, the most prominent building entrances will be located on 'A' streets.

Parking, Servicing, and Loading Design in the Streetscape

3.2.2.10 The design and location of parking facilities will have:

- a. below grade or above grade structured parking;
- b. walkways, traffic islands and pedestrian refuges as integral components of parking facilities;
- c. identified access to parking facilities from the public street;
- d. integration of parking on abutting sites; and
- e. safe vehicular circulation and orientation within the parking areas.

3.2.2.11 Above grade structured parking will be designed so that:

- a. structured parking and vehicular access will be located to minimize impacts on the property and on surrounding properties and will improve the safety and attractiveness of adjacent streets, parks and open spaces;
- b. parking structures will not directly front onto 'A' streets, but will be screened by liner buildings incorporating a mix of uses between the parking structure and street space;
- c. on the ground floor, parking structures will have active uses such as commercial or retail with an appropriate scale and architectural expression to support activity on the streets, parks and/or open spaces;
- d. for a given development block, parking structures will only directly front onto one 'B' street, where more than one 'B' street frontage exists;
- e. all parking structures and their facades above the ground floor will be designed to the highest level of architectural treatment and façade animation to mask the parking and screen views of the interior;
- f. entrances, lobbies and passageways that provide a convenient means of access to parking facilities from the street will:
 - be located on streets where the least amount of retail is required, or where no retail frontage requirement is specified in accordance with the Retail Activation Schedule included in this Plan; and
 - be fully enclosed, appropriately signed and integrated into the façade design without appearing as dominant elements on the street frontages.
- g. at grade exhaust vents serving structured parking facilities will not be permitted to front onto 'A' streets, but may be located on 'B' streets provided that they are architecturally

treated and vertically integrated into a building's exterior wall and cladding system.

3.2.2.12 Service, loading and garbage storage facilities will be located internally within buildings.

Vehicular Access and Facilities in the Streetscape

3.2.2.13 The design of facilities for vehicular access to properties will:

- a. provide clarity, safety and internal overlook opportunities to properties;
- b. have limited driveway access points to the public street and crossings of the sidewalk; and
- c. have recognition of the needs of pedestrians and cyclists.

Retail and Commercial Frontage Design

3.2.2.14 Development incorporating at grade retail and commercial uses at the frontages, will be designed so that:

- a. lobbies and principal entrances located at grade serving residential uses above the ground storey shall be limited in size in order to allow for maximum activation of the street;
- b. where areas of retail focus have been identified in accordance with the Retail Activation Schedule of this Plan, lobbies and principal entrances serving residential uses above the ground storey will be located on streets where the least amount of retail is required, or where no retail frontage requirement is specified;
- c. storefronts are expressed with a narrow width and frequent rhythm that supports the pedestrian experience at the street level;
- d. uses will be directly related to public sidewalk and street level, and will incorporate operating entrances, doorways and storefront windows oriented to the street, along with signage and lighting to provide animation, interest and variety in the streetscape;
- e. such uses incorporate architectural cantilevers, fixed canopies, awnings or similar features in

order to achieve pedestrian scale, comfort and weather sheltered pedestrian routes. These should complement the architectural character of the building and be made of highly durable materials; and

- f. where appropriate, patios and outdoor amenity space should be provided adjacent to retail and commercial entrances to promote activation and street vibrancy.

3.2.2.15 Development incorporating at grade retail and commercial uses will also incorporate the highest standard of storefront design consisting of:

- a. high quality materials;
- b. clear transparent windows and doors that allow for views into and out of storefronts; dark tinted, reflective or opaque glazing or 'lifestyle' panels placed on storefront windows are not permitted;
- c. elements such as mullions, glazing bars and transoms to help frame, divide and define storefront window sections and apertures where appropriate; and
- d. coordinated signage and lighting that integrates with the storefront design, and which complements or acts as an extension of the buildings architectural character.

Residential Use Frontages

3.2.2.16 Development incorporating residential uses will be designed to:

- a. provide functioning, individual entrances to residential units and to animate the frontage with windows on the ground floor that look out onto the street;
- b. create a high quality interface and transition between the public sidewalk and front door to ensure adequate separation, definition and privacy;
- c. provide high quality landscape architecture treatments within frontages, transition zones and setbacks; and

- d. consider designs that allow for the potential conversion of ground floor residential uses to commercial and retail uses over time.

Special Frontage Provisions

3.2.2.17 Buildings that surround, have proximity or have street frontage facing parks or open space will be designed according to 'A' street requirements and have the highest level of architectural expression, articulation and use of materials.

3.2.2.18 Proposed development will ensure that important view along Burnamthorpe Road and Hurontario Street, and views towards the Civic Centre precinct and the Living Arts Centre are considered.

a. Pedestrians in the Streetscape

3.2.2.19 The design of built form and landscape elements will:

- a. integrate spaces between the building wall and the streetline with the public boulevard for design continuity;
- b. identify internal building spaces and exterior courtyards accessible to the public from the public street; and
- c. incorporate ease of pedestrian movement and minimal grade changes through the site integrating with the public streetscape.

3.2.3 Built Form

3.2.3.1 To achieve a variety of character and diversity in built form, a wide range of building forms will be encouraged across the Downtown Core to include the following:

- a. Low-rise buildings (3 - 5 storeys)
- b. Mid-rise buildings (6 - 12 storeys)
- c. Tall buildings (above 12 storeys)

3.2.3.2 Low rise buildings will be designed to provide a minimum of 3 storeys both at the street frontage and across the entire building area.

3.2.3.3 Mid-rise buildings will be designed to:

- a. incorporate special massing, stepbacks, pedestrian perception lines, and articulation at the streetwall and upper storeys to contain the street or public space, and support a pedestrian scale; and
- b. mitigate the impacts of wind, shade and shadow and demonstrate how proposals adhere to the City of Mississauga Standards for Shadows Studies.

3.2.3.4 Tall buildings characterize a good part of the Downtown Core landscape and have a role in their contribution to the emerging downtown urban context.

3.2.3.5 Development of tall buildings will consider location, placement, relationship to the street, height ranges, built form qualities and architectural treatment in order to enhance the pedestrian environment, and minimize shadowing of the public realm. They have a role to play in terms of protecting important views, impacts on cultural resources, accommodating a range of uses and supporting transit. They must also ensure fundamental quality of life aspects such as access to natural light, sky views and privacy for those that live, work and visit the Downtown Core.

3.2.3.6 Tall buildings will be required to demonstrate how proposals adhere to the City of Mississauga Standards for Shadows Studies.

3.2.3.7 Tall buildings in the Downtown Core will be designed and massed in the form of a podium, tower and top.

3.2.3.8 Podiums will be located and massed to fit harmoniously into their existing and/or planned context so as to minimize shadowing on adjacent streets, parks, open spaces and adjacent properties. They are intended to support a pedestrian scale, contain the street and shape the public realm. Podiums will integrate with adjacent buildings and address the impacts of parking, loading and servicing.

- a. The height of the podium will generally be equal to the width of the right of way, but not less than 3 storeys in height;

- b. Podiums will incorporate a street wall placed at the build-to-line, having a minimum of 3 storeys;
- c. Podiums and their street walls will be articulated and massed at the upper storeys using step-backs to:
 - mitigate the perception of height and create a comfortable scale for pedestrians;
 - maximize sunlight on the public realm; and
 - mitigate the effects of wind on the pedestrian environment.

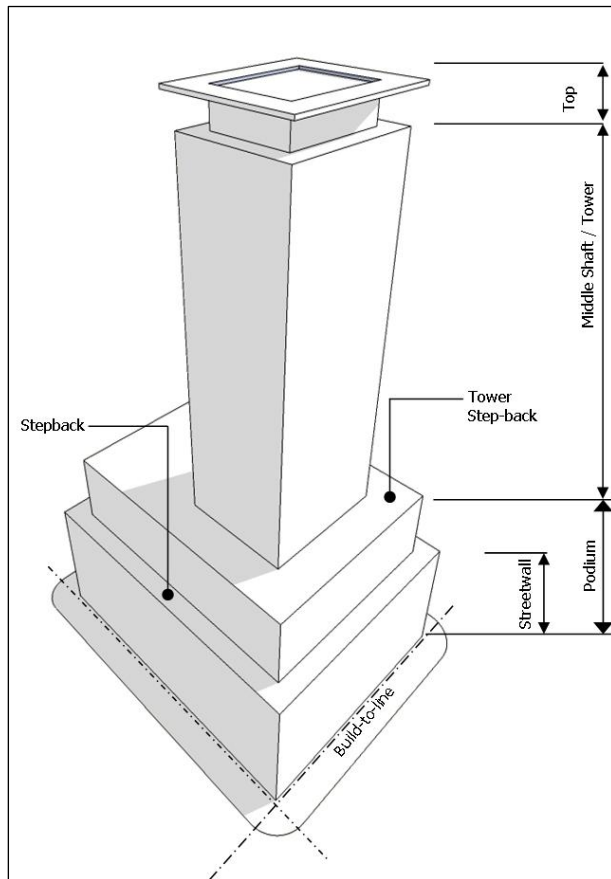


Figure 2: Massing of Tall Buildings

3.2.3.9 The middle shaft/tower will be located and massed to fit harmoniously into its existing and/or planned context so as to limit impacts on adjacent streets, parks, open spaces and adjacent properties by:

- a. maintaining generous spatial separation between towers to maximize access to sky views, natural daylighting, adequate privacy, minimize wind conditions and minimize shade on the streets, parks and open spaces.
- b. floor plate size and shape will be designed with appropriate dimensions for the site, locate and orient the tower shaft on the site and in relationship to the Podium and adjacent buildings.
- c. articulating the floor plates to break down the mass of the building and to create street interest and enhance skyline character.

3.2.3.10 Design the uppermost floors of the tops of tall buildings to achieve a distinctive skyline profile.

3.2.3.11 Design the tops of tall buildings to integrate the mechanical penthouse function into the complete building design.

3.2.3.12 Use materials, finishes and patterns that are consistent with the overall building design and architectural expression.

Built Form in the Streetscape

3.2.3.13 The design, location and character of Built Form will:

- a. have regard for scale and enclosure of the public street;
- b. mitigate the perceived mass of large buildings and long frontages by:
 - ensuring buildings and their streetwalls are well proportioned to address human scale;
 - incorporating variation in the overall design of the streetwall;
 - using special massing to articulate the built form;
 - providing a change in materials, textures, patterns, colours and details to create a sense of smaller scale buildings;
- c. ensure that streetwalls for mixed use buildings articulate a base, middle and top to define the ground floor and upper storeys;
- d. incorporate a frequent vertical rhythm and articulation across the streetwall in order to provide interest, a sense of human scale, orientation, comfort and accessibility;
- e. design corner lot buildings with special massing and architectural treatments on both streets to give prominence along the frontages and visually distinguish these sites;
- f. express principal building entrances with a height, proportion and level of articulation that is compatible and in scale with the ground

floor storey height, so that entrances are visible and serve as focal points for orientation and access from the street;

- g. have buildings that deploy high-quality, enduring and durable materials such as stone, clay brick, wood and glass; and
- h. ensure materials such as stucco, vinyl, embossed face brick, exterior insulation finish systems (EIFS), and architectural concrete block are not used in the Downtown Core.

Signage

3.2.3.14 Free-standing pylon and stand-alone signs are prohibited in the Downtown Core.

3.2.3.15 The design, location, size and character of building signage will:

- a. be visually integrated with development as an extension of the building's architectural expression;
- b. ensure compatibility of scale and character of the signage with the building and the context of the site; and
- c. provide clear identification of the site address.

3.2.4 Landscape Design and Public Art in the Streetscape

3.2.4.1 The design, location and character of landscape features will have:

- a. have connection and linkage with the public street;
- b. have high quality, safe and accessible amenity and open space on their sites;
- c. formal landscape elements respective of the urban setting;
- d. continuity with the design elements of the public boulevard;
- e. public art as an integral component of the street providing visual interest and a sense of place; and
- f. architectural and landscape features reinforcing common objectives.

3.3 Districts

The City will prepare detailed plans and policies for the various Districts identified on Schedule "C", each with its own identity, scale and character, through future amendments to this Plan. The following provides a general outline of the intended character for each District within the Downtown Core. The Districts are:

- Main Street District
- Civic District
- Confederation District
- Rathburn District
- Cleary Park District
- Hurontario District
- Square One District
- Sussex District

3.3.1 Main Street District

The Main Street District is envisioned as the heart of the Downtown Core, with a broad mix of active street level retail, restaurants, cafes, patios and entertainment facilities with a mix of uses above. The District will be a vibrant, walkable place that is active at all times of the day. The Main Street District is intended to bring together the commercial activity of the north, the Civic Centre district to the west, with the residential developments to the south. The District straddles Burnhamthorpe Road West, extending southward to Kariya Drive and northward to Square One Mall. The Civic District and Duke of York are the western boundary with Kariya Drive and the Office District being the eastern boundary.

The vision for this District is to create an active lively pedestrian-oriented urban place in the heart of the emerging “downtown” that would serve as a model, catalyst and attractor for ongoing investment in the larger area. Key objectives include the following:

- a. to create at its heart a “main street” that connects from Square One Mall across Burnhamthorpe Road West to the larger residential communities to the south of Burnhamthorpe Road West;
- b. to incorporate a broad mix of uses and users that would contribute to make this a vibrant part of the city fabric;
- c. to create a critical mass of at least 5,000 residents, 5,000 employees, with neighbourhood-oriented retail/restaurant uses; and
- d. to realize this vision in a relatively short time horizon.

The Main Street Transit Station Area

3.3.1.1. The Main Street Station serves as a destination node for the Main Street and is shown in the Long Term Transit Network Schedule on this Plan. This station area will be a vibrant, walkable, mixed use place.

3.3.2 Civic District

The Civic Centre District is a five block public campus and public open space that is home to the City’s premiere public institutions including the Civic Centre, Central Library, Living Arts Centre and Sheridan College Campus. This district is envisioned as a singular civic space comprised of smaller parks and plazas and institutional uses, linked together by the pedestrian street design of Duke of York Boulevard, Living Arts Drive and the flush street design of City Centre Drive, Princess Royal Drive, Prince of Wales Drive and Square One Drive.

Civic Centre Station Area

The Civic Centre Station Area serves as a destination node for the concentration of civic uses along Living Arts Drive including Celebration Square, Civic Centre, Central Library, YMCA, Living Arts Centre and Sheridan College. Shown in the Long Term Transit Network Schedule of this Plan, the station area will provide connection to the public open space network and serve a significant residential population in the Confederation Precinct. Placemaking and wayfinding objectives will guide the development in this station area.

3.3.3 Confederation Parkway District

The Confederation Parkway District serves as the Western gateway to the Downtown Core. This is a rapidly growing urban residential neighbourhood that will be home to over 20,000 people, centred along Confederation Parkway. The district will contain a series of new park spaces that will connect Zonta Meadows Park to the Civic District. The Confederation Parkway district will serve as the northwestern gateway into the Downtown Core and will include a mix of uses which encourage a sense of place and pedestrian movement.

3.3.4 Rathburn District

The Rathburn District is currently a pattern of suburban retail uses and surface parking lots. This district will intensify over the long-term with an emphasis on office and employment uses that can

take advantage of access to future higher order transit. Visibility and access to Highway 403 and transit make this a prestigious employment district.

Rathburn Transit Station Area

3.3.4.1 The Rathburn Station Area is served by the LRT and Bus Rapid Transit and, is adjacent to the City Centre Transit Terminal. It connects with the future development north of Square One Mall along Rathburn Road. The station area is characterized as an office district, with some entertainment uses.

3.3.5 Cleary Park District

This future neighbourhood extends west to Grand Park Drive and forms the south western gateway to the Downtown Core. The extension of John Cleary Park north to Burnhamthorpe Road will serve the future residential community and completes the Mary Fix Greenway connection, which will link this neighbourhood to the balance of the Downtown Core.

3.3.6 Hurontario District

The Hurontario District includes Downtown's highest concentration of existing office uses, providing the foundation for new office development in the short-term. The district has the potential to increase the amount of office space through new development and intensification of existing sites.

Robert Speck Station Area

3.3.6.1 This station serves the concentration of office at Robert Speck Parkway and Hurontario Street and future office development along City Centre Drive.

3.3.7 Square One District

The Square One Precinct is home to the Square One Mall, one of the largest and most successful shopping centres in Canada. It is expected that the shopping centre will continue to draw people from across the city and the larger region. It is also expected that it will evolve and adapt over time

and intensify lands currently utilized for surface parking. Office uses combined with ground floor retail and possibly residential on the upper floors are encouraged, particularly along City Centre Drive, Duke of York, Robert Speck Parkway and Square One Drive. In the process of intensifying, the connectivity of the mall to the surrounding area and the street network will be strengthened and a more urban built form will emerge.

Additions to Square One Mall will:

- be expressed in an outward fashion and designed to support a pedestrian friendly environment along the frontages;
- be designed in accordance with 'A' street frontage requirements when additions surround, have proximity or have frontage facing public or private open space;
- have the highest level of architectural expression, articulation and use of materials at the frontage;
- have active ground floor uses to animate the adjoining walkway area, street or public or private open space; and
- have ground floor uses that incorporate transparent windows and entrances that have direct access to the adjoining walkway, street, or public or private open space.

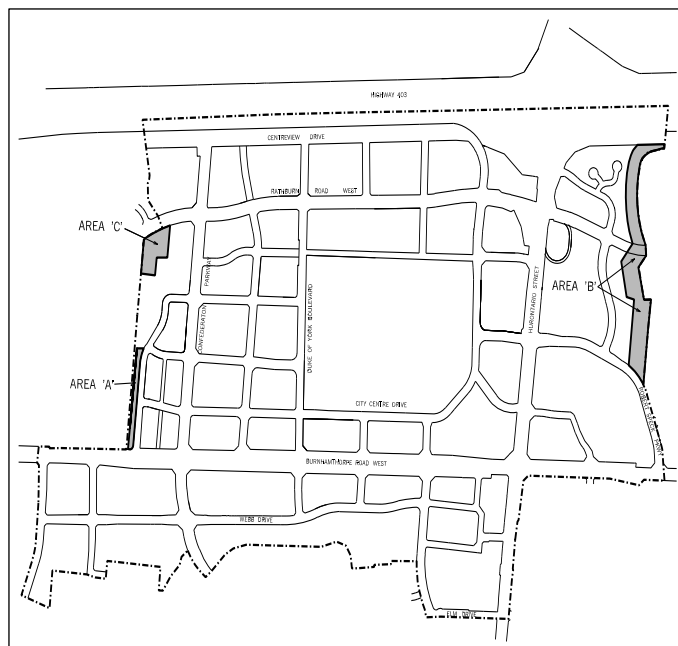
3.3.8 Sussex District

This is currently the densest, mixed use district in the Downtown Core and includes significant office and residential development. Some infill opportunities exist for additional office, ancillary uses, and residential development.

Matthews Gate Station Area

3.3.8.1 This station area at Hurontario Street and Matthews Gate serves the concentration of office and residential lands in the Sussex and Mississauga Valley Precincts. The station area will be designed to facilitate pedestrian connections among the Sussex Centre, Kariya Park, and the school board lands while also serving the needs of a dense residential area population.

3.3.9 Transition Areas



Map 1: Transition Areas

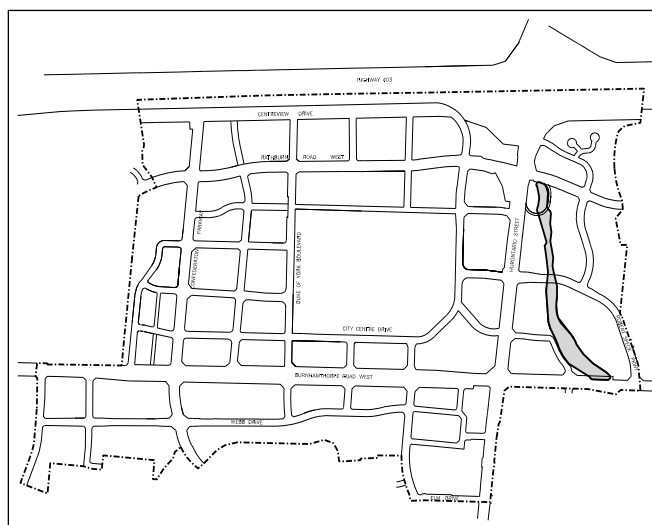
3.3.9.1 The Transition Areas will promote positive integration of building scale and intensity of development between the Downtown Core and abutting communities.

3.3.9.2 The design of the built environment should encourage:

- mid-rise built form adjacent to the Downtown Core boundaries and north of Burnhamthorpe Road West, with height transitions to a maximum of five storeys, on lands shown as Area 'A' on Map 1;
- low-rise built form adjacent to Downtown Core boundaries, with height transitions from a maximum of two storeys at the Downtown Core boundaries to a maximum of eight storeys at the inner edge of the Transition Areas for lands abutting the easterly limit of the Downtown Core, shown as Area 'B' on Map 1 and lands immediately south of Rathburn Road West, shown as Area 'C' on Map 1;
- orientation of buildings enabling a sensitive integration with adjacent low density development;

- internalized service areas and parking to minimize impact on adjacent residential;
- pedestrian and bicycle links to adjacent communities; and
- appropriate setbacks and landscaping adjacent to the existing walkways.

3.3.10 Cooksville Creek Corridor



Map 2: Cooksville Creek Corridor

3.3.10.1 The Cooksville Creek Corridor is recognized as a public amenity and resource. To protect, enhance and restore this natural feature, the design of the built environment will ensure:

- appropriate setback of buildings from the corridor (landscaping only);
- improved visibility, access and linkage to the corridor from development parcels and public streets;
- views/informal surveillance to the corridor;
- integration of public/private open space and landscape areas;
- compatible positive relationship between the built form and the corridor;
- parking structures are designed and located to complement the corridor.

4.0 Land Use

4.1 General Land Use

4.1.1 Uses Permitted in all Designations

4.1.1.1 Notwithstanding the Uses Permitted in all Designation, the following additional uses will also be permitted:

- a. *cogeneration* facility will be permitted as an accessory use.
- b. commercial parking facility;

4.1.2 Open Space

4.1.2.1 Public open space within the Downtown Core should be flanked by public roads to ensure they are open to all and not considered private spaces.

4.1.2.2 Public open spaces will be connected and continuous to form an 'Emerald Necklace' throughout the Downtown Core and connect the downtown to existing adjacent parkland such as Zonta Meadows Park, John Cleary Park, Civic View Walk and Kariya Park, and as greenbelt lands such as Bishopstoke Walk along Cooksville Creek. The size and configuration of all proposed parks will be subject to further review through a Local Area Plan update or through the review of individual development applications.

4.1.2.3 Stormwater retention and stormwater quality ponds are generally not appropriate uses for public parkland, however, in some instances overland flow pond stormwater facilities may be accommodated in public parkland.

4.1.2.4 Private Open Space

Private open space may be incorporated into new developments along 'A' or 'B' Street frontages in part or whole, provided that:

- the design of private open space will integrate seamlessly with the adjoining street-network,

pedestrian environment and overall open space system;

- the design of the private open space contributes positively to the identity of the Downtown Core;
- the private open space interfaces with existing and/or proposed development in a legible and cohesive manner;
- the design of the private open space is executed to the highest urban design and landscape architecture standards;
- private open space is accessible, safe and is being provided for the use and enjoyment of the general public on a year-round, seasonal and 24 hour basis.

4.1.3 Residential

4.1.3.1 Residential consists of the following designation:

- a. Residential High Density.

4.1.3.2 Notwithstanding the Residential policies of this Plan Designations, the Residential High Density designation will also permit the following uses:

- a. horizontal multiple dwellings accessory to an apartment dwelling;
- b. long-term care dwelling; and
- c. retirement dwelling.

4.1.3.3 Special needs housing will be in a built form consistent with the dwelling forms permitted by the residential designation.

4.1.3.4 A horizontal multiple dwelling will be permitted with an apartment dwelling.

4.1.3.5 In addition to the uses permitted in the High Density Residential designation, a commercial facility will be permitted provided that:

- a. it forms an integral part of the ground floor of the building; and
- b. is oriented to pedestrian use.

4.1.4 Mixed Use

4.1.4.1 Notwithstanding the Mixed Use policies of this Plan, the following additional uses will also be permitted:

- a. hospital;
- b. major office;

The following uses are not permitted:

- a. convenience restaurant with drive-thru facility.

4.1.5 Retail Activation

4.1.5.1 Existing and new streets in the Downtown Core have been identified for the purpose of:

- a. establishing retail objectives within mixed use buildings;
- b. identifying districts and areas of focus for which retail has been determined to be a strategic priority in the Downtown Core;
- c. setting out requirements for the amount of at-grade retail to be achieved on street frontages in accordance with the Retail Activation Schedule included in this Plan; and
- d. identifying permitted retail uses as outlined below.

4.1.5.2 Notwithstanding the Mixed Use designation, only the following uses will be permitted on the ground floor:

- a. financial institution;
- b. personal service establishment;
- c. restaurant; and
- d. retail store.

4.1.6 Office

4.1.6.1 Notwithstanding the Office policies of this Plan, the following additional uses will also be permitted:

- a. hospital;
- b. post-secondary educational facility;
- c. residential dwellings associated with an institutional use.

4.1.6.2 Notwithstanding the Office policies of this Plan, the total Gross Floor Area of accessory uses will not be limited.

5.0 Transportation

5.1 Road System

5.1.1 All roads shown on the Downtown Core Land Use Map and the Road Network Schedule will be public. The design, access requirements and public/private responsibilities will be determined through the development application process or through a Local Area Plan update.

5.1.2 Daylight triangles will be required. Daylight roundings may be considered where appropriate.

5.1.3 Minor adjustments to the basic rights-of-way for minor collector roads and local roads may be made without an amendment to this Plan subject to the City being satisfied that the role and function of such roads are maintained.

5.1.4 Additional right-of-way will be required for the proposed roundabouts identified on Schedule - Downtown Core Road Network and Classification.

5.1.5 As traffic volumes increase, dedicated transit lanes may be necessary.

5.1.6 The proposed Highway 403 North Collector (Northern Distribution Road), located north of the Downtown Core, is intended to provide access to and from the Downtown Core road network.

5.1.7 Centre View Drive is intended to provide access to eastbound Highway 403 via a link east of City Centre Drive.

5.1.8 A future functional feasibility study will be undertaken to review the north collector, Centre View Drive link to Highway 403 and other road or ramp proposals contained in the Downtown21 Master Plan which may impact Highway 403.

5.1.9 Cycling facilities will be incorporated per the Cycling Master Plan. The City may in the future identify secondary cycling routes to be integrated with the design of the public realm.

5.2 Transit

5.2.1 The Downtown Core will be served by a *higher order transit* system that provides service within the Downtown with connections to other parts of the City, neighbouring municipalities and inter-regionally.

5.2.2 An *Anchor Hub* is designated at the interchange of the Bus Rapid Transit Corridor and the Hurontario Light Rail Corridor. The exact location will be determined through a future study.

5.2.3 As part of the proposed Mississauga Bus Rapid Transit (BRT) facility, the existing transit terminal may be modified to serve future development growth and to connect with the BRT facility. In the long term, an additional BRT station is also proposed near the intersection of Rathburn Road West and City Centre Drive.

5.2.4 Transit facilities will be designed to serve the City-wide transit network; internal transit services; the BRT facility, inter-regional transit systems; and the pedestrian system linking developments, Square One and cultural facilities.

5.2.5 *Higher order transit* stations will be situated within the Downtown Core:

5.2.6 The precise location of *higher-order transit* stations within the areas illustrated above will be determined through the Hurontario-Main LRT Project.

5.2.7 Within transit station areas, the City will require that development applications address Transit Oriented Development (TOD) objectives.

These include moderate to high density development, comprised of a mix of uses and designed with an emphasis on the pedestrian experience and opportunities to maximize transit ridership.

5.2.8 Development applications will be supported by studies that include a review of the land use and urban design components of the station area as a whole, including surrounding privately held lands, the configuration and design of intersections and other pedestrian design elements within the public realm.

5.2.9 Ground level retail development will be required within Transit Station Areas to activate the area and street.

5.2.10 Parking will be managed carefully within Transit Station Areas. The City will consider reducing parking requirements within Transit Station Areas.

5.2.11 A distinct character for each Transit Station Area will develop, guided by the Precinct character descriptions of the Local Area Plan. The City may also develop Transit Station Area Plans as a basis for guiding and assessing development applications in Transit Station Areas.

6.0 Stormwater Management

6.1 Any development within the Cooksville Creek watershed will require the implementation of on site stormwater management techniques to control the 100 year post-development stormwater discharge to 2 year pre-development levels

6.2 Development applications will follow the Green Development Standards as they relate to storm water management measures. All practices will be designed and implemented to the satisfaction of the City and CVC Authority.

7.0 Implementation

7.1 Mississauga may apply a holding provision to lands within Intensification Areas to ensure that the policies of this Plan are implemented. The removal of the holding provision will be conditional on the applicant satisfying the requirements of the policies of this Plan.

7.2 The policies of this Plan should not be construed to require the gratuitous dedication of land for new public roads, including realignments of roads or impose an obligation upon a landowner to construct or pay for the construction of new roads, where not otherwise permitted by the *Planning Act*.

8.0 Special Site Policies

There are sites within the Downtown Core that merit special attention and are subject to the following policies:

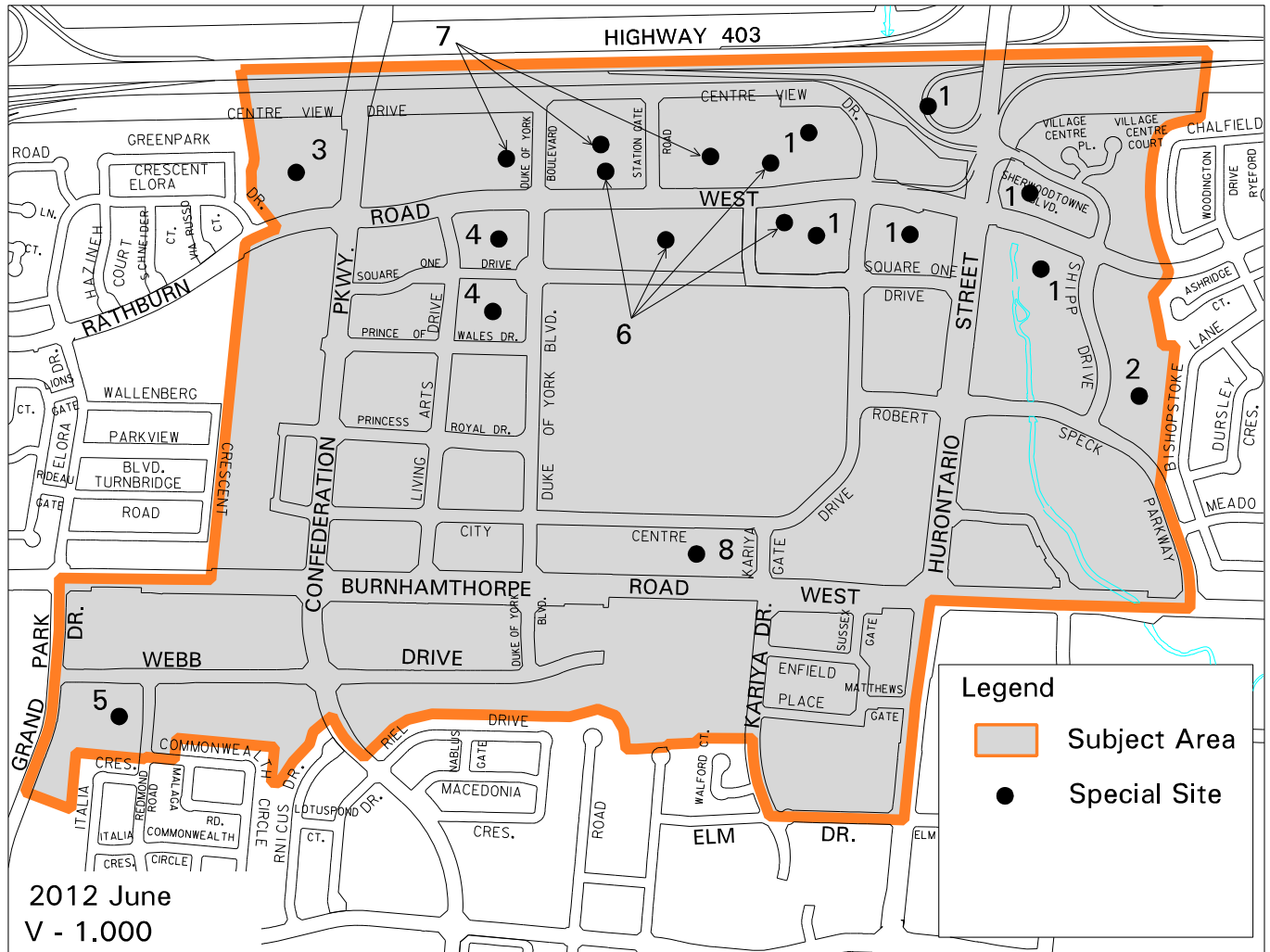
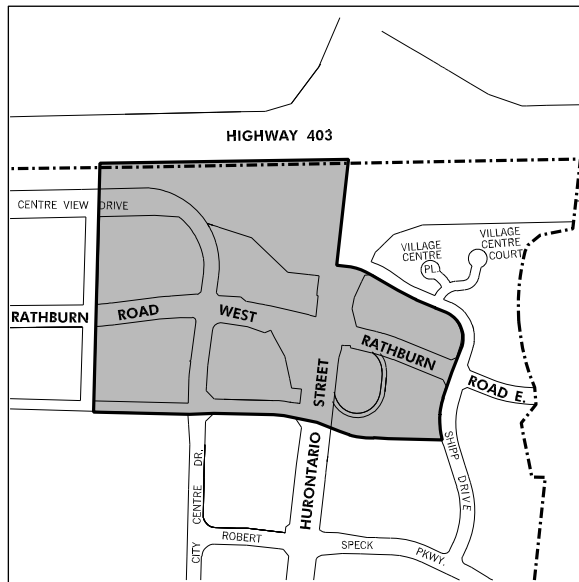


Figure 3: Location of Special Sites within the Downtown Core Local Area Plan.

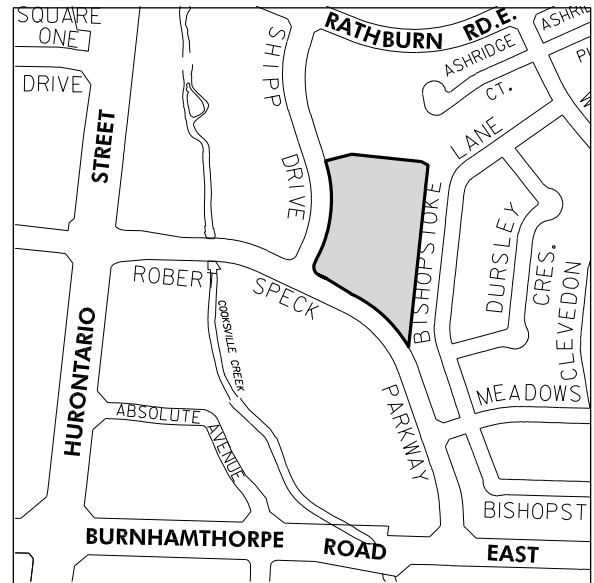
8.1 Site 1



8.1.1 The lands identified as Special Site 1 are located in the four quadrants adjacent to the Hurontario Street and Rathburn Road intersection.

8.1.2 Prior to the finalization of the road network for this site area, the appropriate transportation studies will be carried out in conjunction with the Provincial Government.

8.2 Site 2

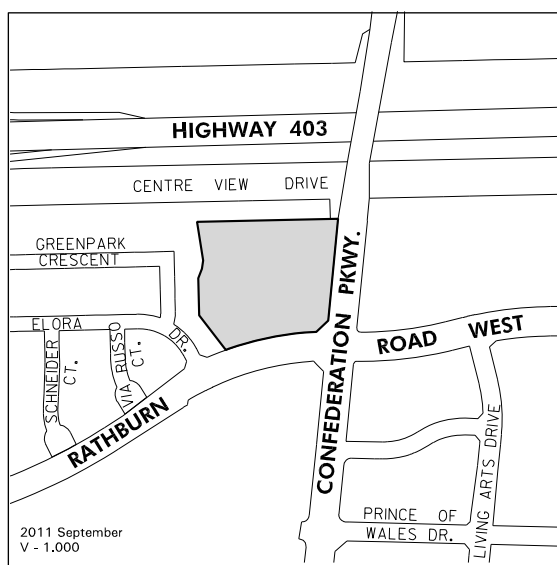


8.2.1 The lands identified as Special Site 2 are located at the northeast quadrant of Robert Speck Parkway and Shipp Drive.

8.2.2 Notwithstanding the provisions of the Mixed Use designation, the following additional policy will apply:

- a. townhouses will be permitted on the entire site.

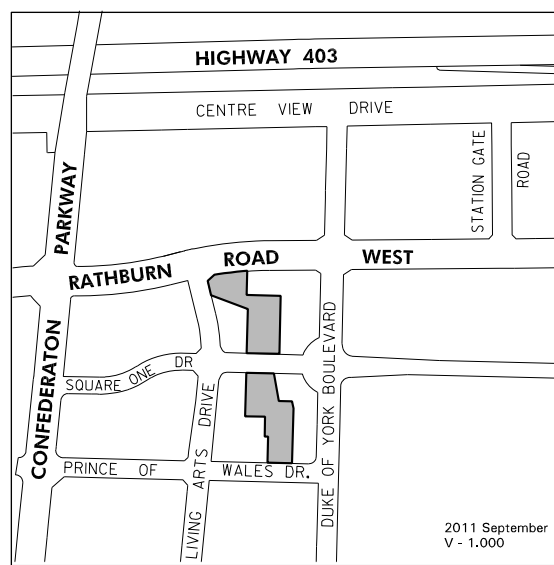
8.3 Site 3



8.3.1 The lands identified as Special Site 3 are located north of Rathburn Road, west of the Confederation Parkway extension.

8.3.2 Notwithstanding the provisions of the Mixed Use designation, townhouse dwellings will be permitted.

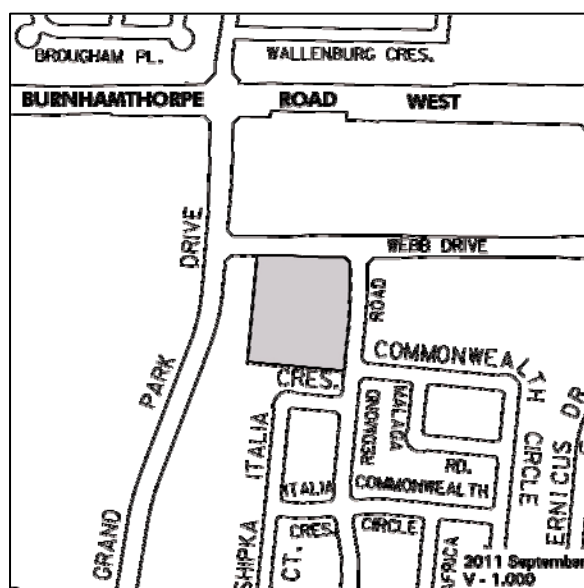
8.4 Site 4



8.4.1 The lands identified as Special Site 4 are bounded by Rathburn Road West to the north, Duke of York Boulevard to the east, Prince of Wales Boulevard to the south and Living Arts Drive to the west.

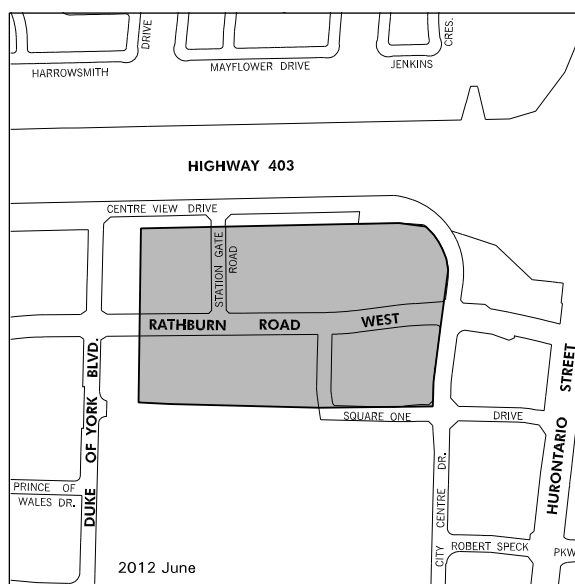
8.4.2 Notwithstanding the Open Space and Mixed Use designations shown on the Land Use Plan, the lands designated Open Space and Mixed Use may be increased or decreased in size, reconfigured or relocated within Special Site 4 without an amendment to this Plan and these lands may also be used for parking.

8.5 Site 5



8.5.1 Notwithstanding the Residential High Density designation, an apartment dwelling with a maximum height of 27 storeys will be permitted.

8.6 Site 6



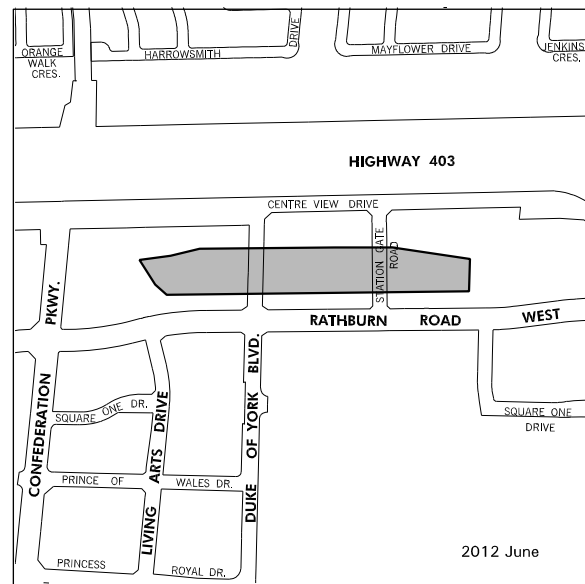
8.6.1 The lands identified as Special Site 6 are located on the north side of Rathburn Road West, between Hurontario Street and the future extension of Duke of York Boulevard.

8.6.2 Notwithstanding the Office and Open Space designation, the area will accommodate one or more areas of public parkland and will form part of an extensive system of linked parks and open spaces. The location, number and size of the park block(s) shall be determined in conjunction with the development of lands in this area. In order to achieve parkland of acceptable size, configuration and location, the City will encourage consolidation of parkland of multiple sites within the Area, either through dedication or acquisition, having consideration for matters including the proximity to residential uses and to the transit hub.

Prior to approval of any draft plan of subdivision, severance or any other development application within this area, property owners shall demonstrate to the satisfaction of the City how the City's parkland objectives within this area will be satisfied, through the provision of development and parkland concept plans. Notwithstanding the provision of public recreational facilities provided through the registration of Plan M-1010, prior to final approval of any severance, subdivision or any

other development application within this area, property owners shall dedicate sufficient parkland or enter into appropriate agreements with the City and other owners of lands to secure the provision of adequate parkland from to other development parcels with the area.

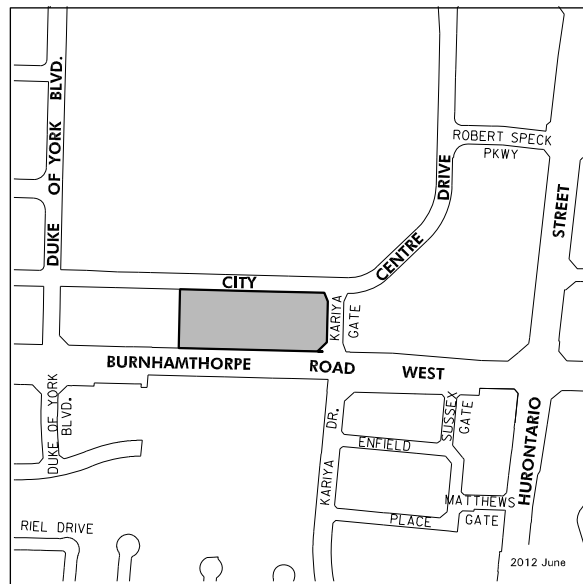
8.7 Site 7



8.7.1 The lands identified as Special Site 7 are located along the new east-west street north of Rathburn Road West, from west of City Centre Drive to Living Arts Drive.

8.7.2 This new street and future developments will serve as an important linkage in the parks and open space system. Future development along this corridor shall be designed to provide a high quality pedestrian experience along boulevards and through private and public open spaces such as plazas and parks.

8.8 Site 8

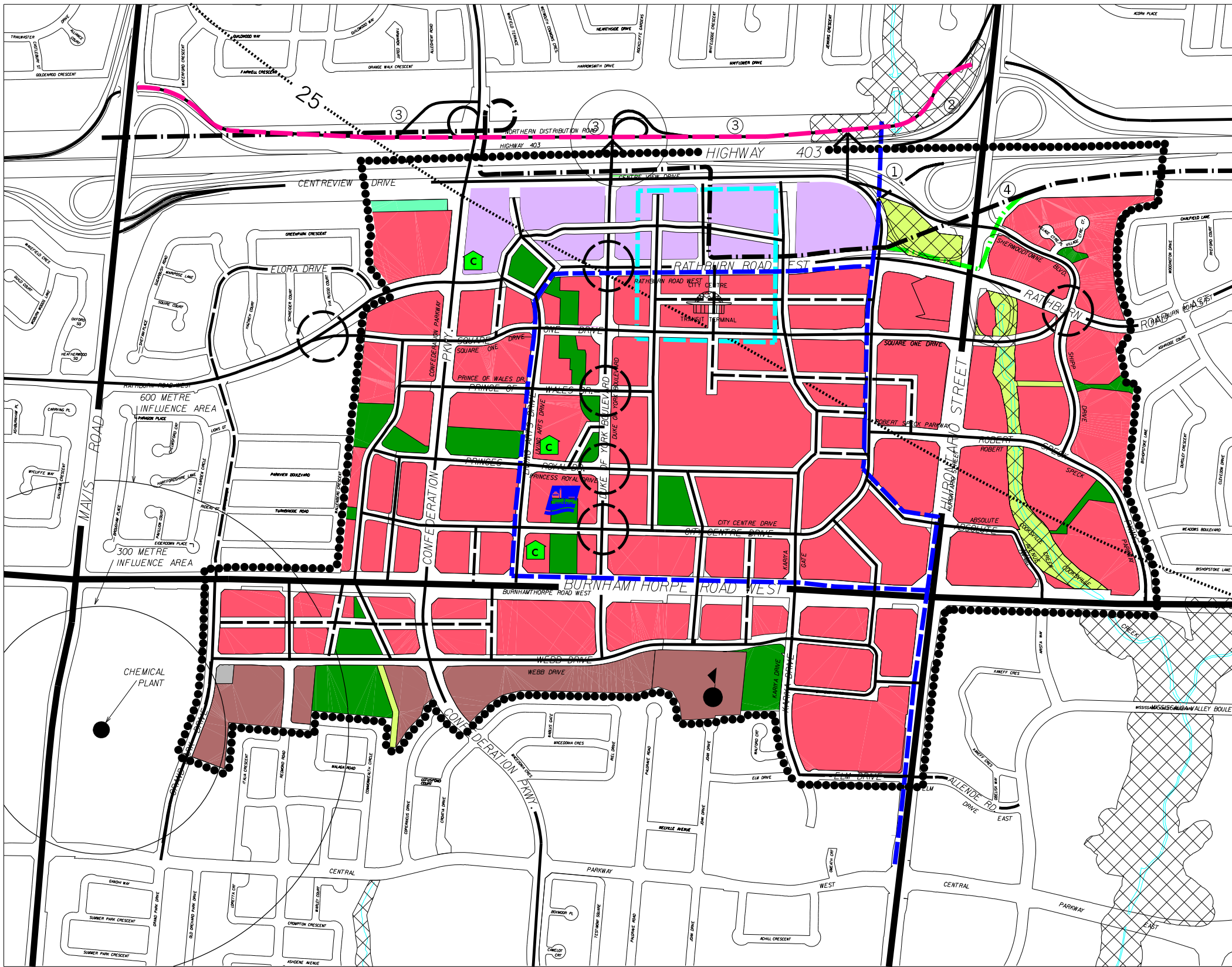


registration of Plan M-1010, prior to final approval of any severance, subdivision or any other development application within this area, property owners may be required to dedicate parkland or enter into appropriate agreements with the City and other owners of lands to secure the provision of adequate open space from other development parcels within the area.

8.8.1 The lands identified as Special Site __ are located north of Burnhamthorpe Road West, south of City Centre Drive, west of Kariya Gate and east of the proposed Main Street.

8.8.2 Notwithstanding the Mixed Use designation of these lands, future development will accommodate parkland and will form part of an extensive system of linked parks and open spaces. The provision of parkland may be in the form of boulevards, plazas and park spaces which shall be made accessible to the public. The location and size shall be determined in conjunction with the development of the lands in this area. In order to achieve open space of acceptable size, configuration and location, the City will consider how the proposed open space enhances connectivity between Kariya Park and the remainder of the Main Street District north of Burnhamthorpe Road West. Prior to the approval of any draft plan of subdivision, severance or any other development application within this area, property owners shall demonstrate to the satisfaction of the City, how open space objectives within this area will be satisfied through the submission of development and open space concept plans.

8.8.3 Notwithstanding the provision of park and public recreational facilities provided through the



LAND USE DESIGNATIONS

- Mixed Use
- Office
- Public Open Space
- Greenbelt
- Parkway Belt West
- Residential High Density
- Utility

LAND USE LEGEND

- 1996 NEP / 2000 NEF Composite Noise Contours
- Natural Hazards

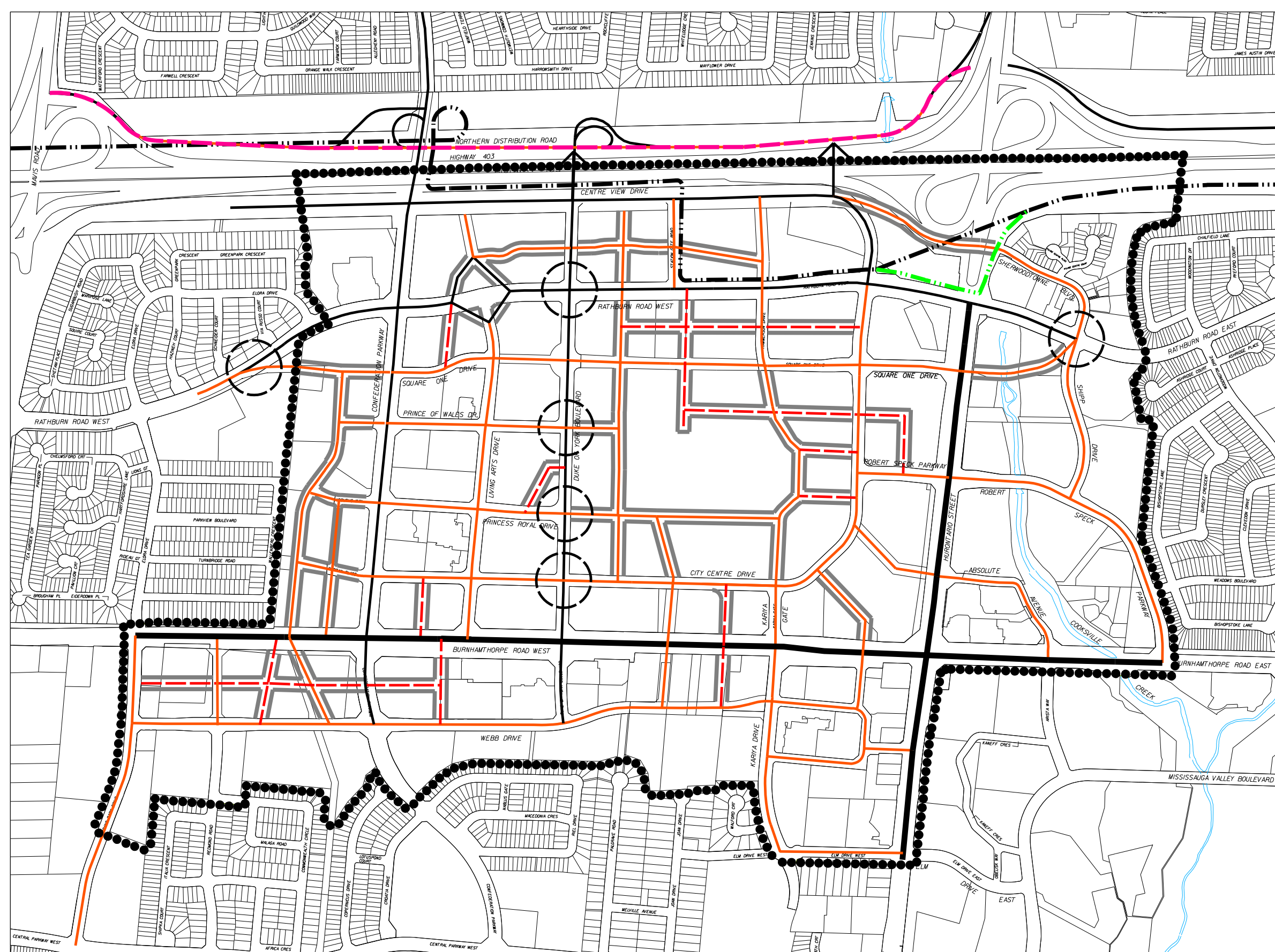
TRANSPORTATION LEGEND

- Provincial Highway and Interchange
- Arterial
- Minor Collector
- Local Road
- Bus Rapid Transit Corridor
- Interim Bus Rapid Transit Corridor
- Light Rail Transit Corridor
- Proposed Grade Separation
- Proposed Roundabout
- Anchor Hub
- Civic Centre (City Hall)
- Public School
- City Centre Transit Terminal
- Community Facilities
- Local Area Plan Boundary

- Option 1, Conceptual Centre View Drive connection to EB Hwy. 403 concept.
- Conceptual N-W ramp terminal relocation.
- Future Road - For additional information see Schedule 5: Long Term Road Network and Table 8-2: Road Classification - Major Collectors
- The Interim Bus Rapid Transit Corridor depicts the interim alignment of the Bus Rapid Transit as per 2010 Environmental Assessment Approvals.

- Notes:
- Any part of the road network shown outside the city boundaries is shown for information purposes only.
 - All road proposals within the Highway 403 Corridor are conceptual and require review and approval of the Provincial Government.
 - Refer to Schedule 3, Natural System for the location of the Natural Areas System and Natural Hazards.
 - The limits of the Natural Hazards shown on this map are for illustrative purposes only. The appropriate Conservation Authority should be consulted to determine their actual location.
 - The 1996 Noise Exposure Projection (NEP)/2000 Noise Exposure Forecast (NEF) Composite Noise Contours are shown for information purposes only and are not part of this Local Area Plan. These contours will change from time to time as new information becomes available. For accurate reference the composite NEP/NEF map produced by Transport Canada at a scale of 1:50 000 should be consulted.

Downtown Core Local Area Plan
Land Use Map



Legend

- Northern Distribution Road
- Arterial
- Major Collector
- Minor Collector
- Local Road
- Proposed Roundabout
- Bus Rapid Transit Corridor
- Interim Bus Rapid Transit Corridor
- ↑ Proposed New Crossings of Highway 403
- New Roads

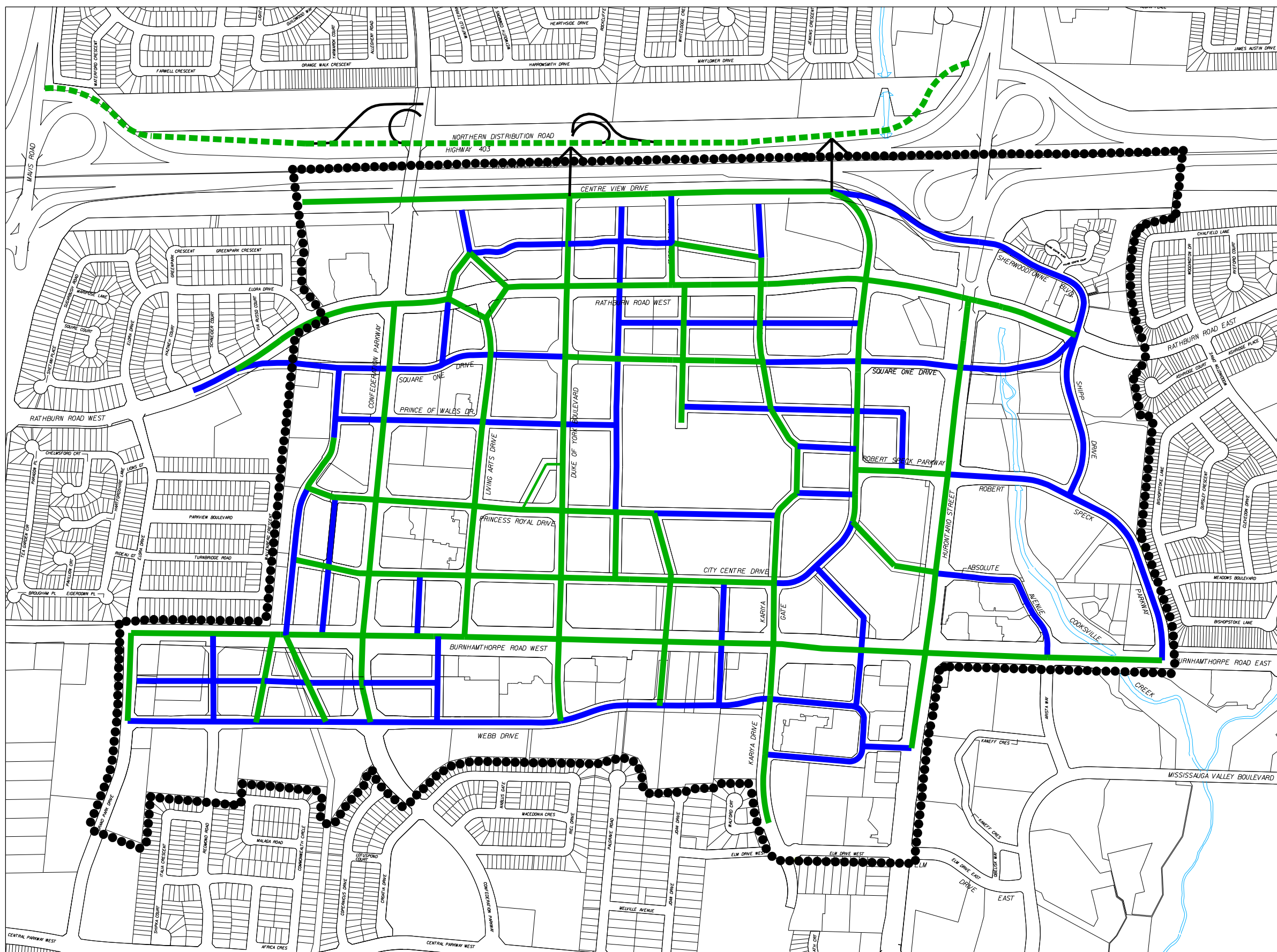
Note:

New Transportation Elements will be Subject to a Future Transportation Study.

The Interim Bus Rapid Transit Corridor depicts the interim alignment of the Bus Rapid Transit as per 2010 Environmental Assessment Approvals.

Schedule Downtown Core Road Network and Classification





Legend

- Northern Distribution Road
- A - Frontage
- B - Frontage
- ↑ Proposed New Crossings of Highway 403

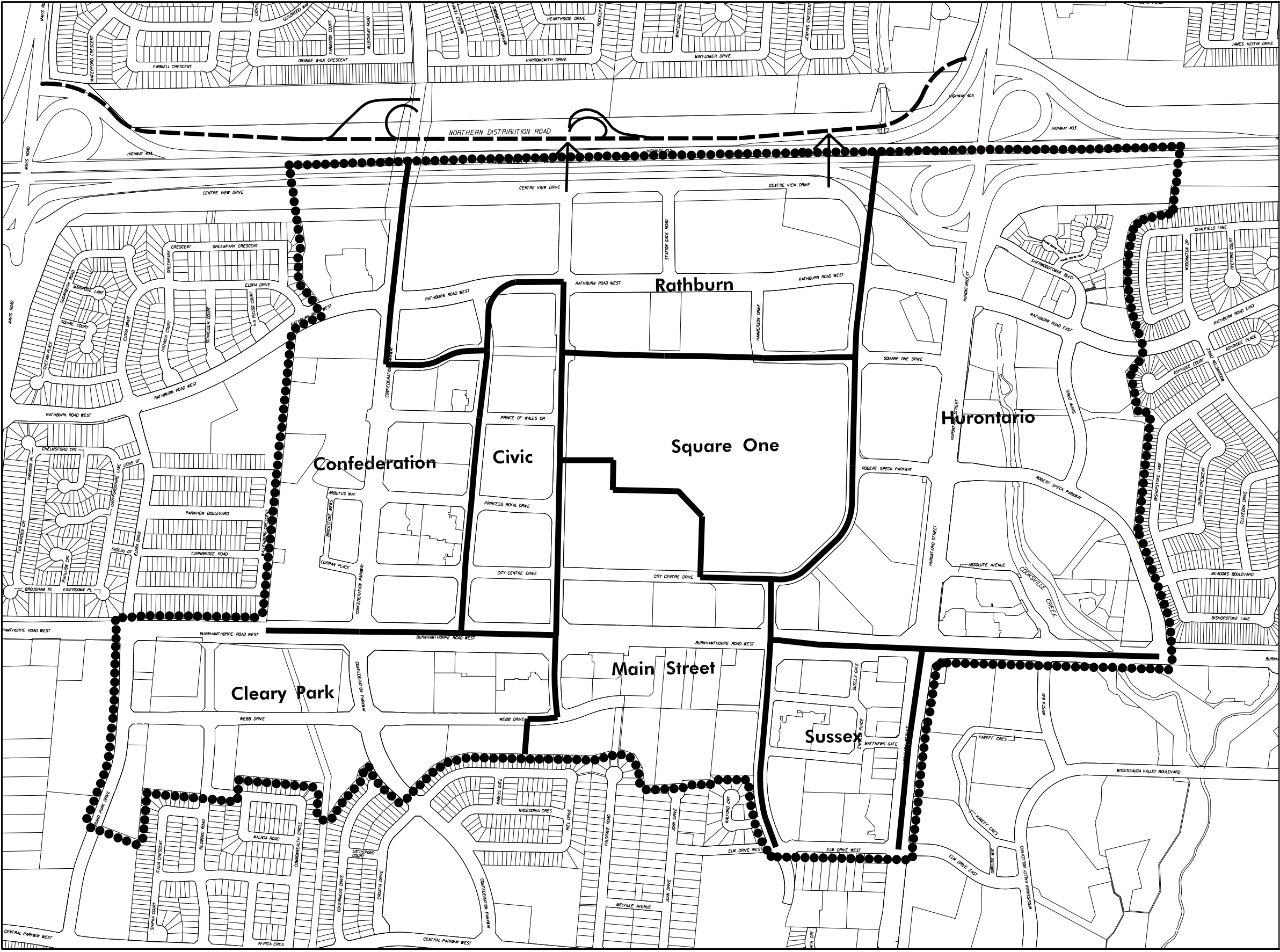
Draft

Schedule
Downtown Core
A & B Street Frontage



City of Mississauga

2012 June



- Legend
- Northern Distribution Road
 - ↑ Proposed New Crossings of Highway 403

Draft

Downtown Core Districts



Legend

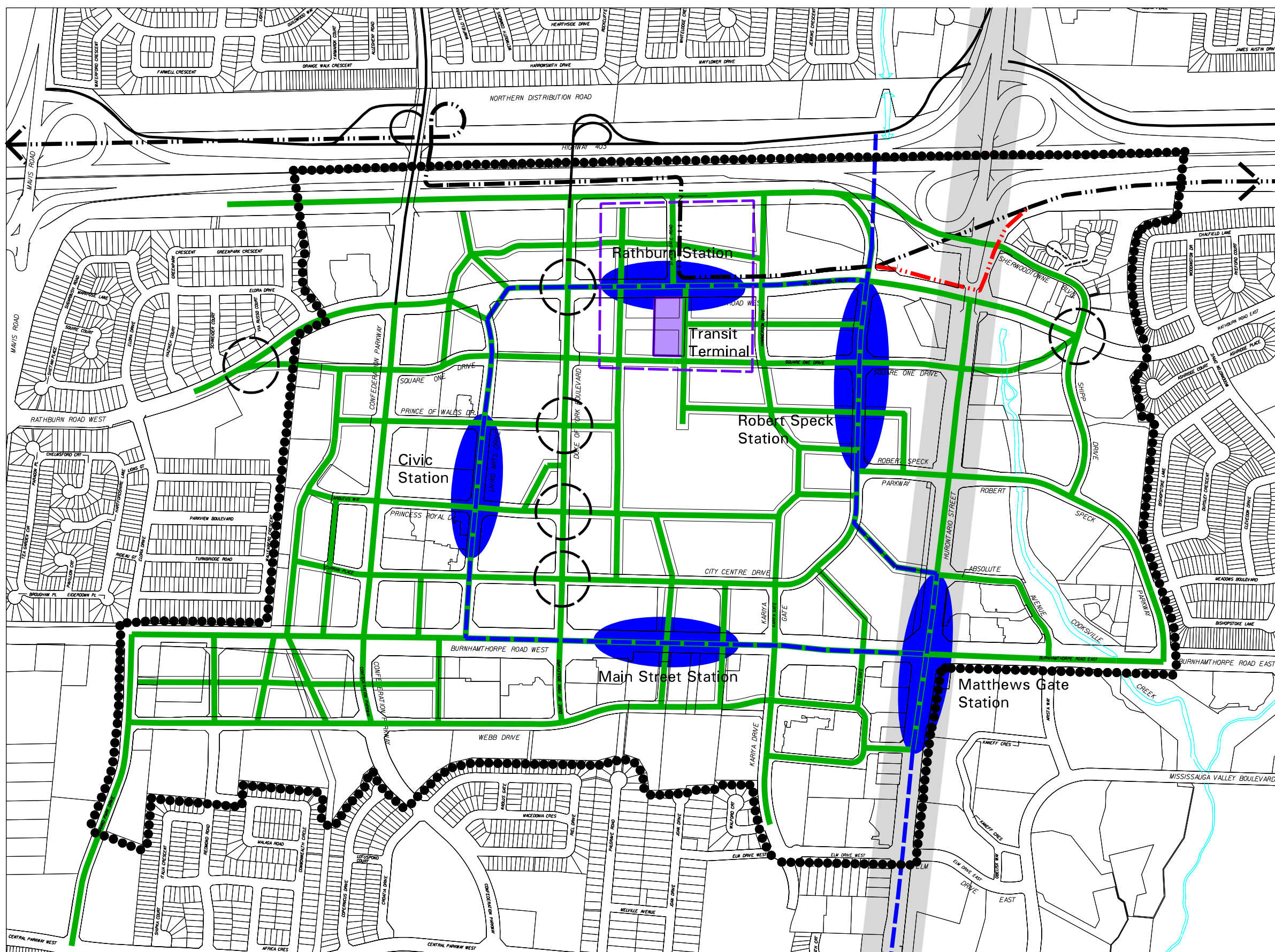
Percentage of ground floor along the street frontage required to contain retail uses:

- 90%
- 50%

Draft

Schedule
Retail Activation





Legend

- Bus Rapid Transit Corridor
- Interim Bus Rapid Transit Corridor
- Light Rail Transit
- Light Rail Transit Station Area
- Transit Terminal
- Hurontario Street - Intensification Corridor (OP)
- Anchor Hub
- Road Network

Note:

Light Rail Transit Alignment and Station Locations are subject to the Hurontario-Main RT Environmental Assessment Study.

The Interim Bus Rapid Transit Corridor depicts the interim alignment of the Bus Rapid Transit as per 2010 Environmental Assessment Approvals.

Schedule Downtown Core Long Term Transit Network



Proposed Amendments to Zoning By-law 0225-2007 Downtown Core Local Area Plan

October 12, 2012

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
2.0 INTRODUCTION				
1.	MOP 12.2 Downtown Core	MOP states: Official Plan policies for lands within the Downtown Core are contained in the Downtown Core Local Area Plan (LAP)	<u>Revise Part 7:</u> Part 7: Downtown Core City Centre Zones	The name of the Part 7 zones has been revised from "City Centre" Zones to "Downtown Core" Zones in conformity with Mississauga Official Plan (MOP) and the Downtown Core Local Area Plan (LAP).
2.	MOP 12.1.1.2 Downtown - General	MOP states: "A minimum building height of three storeys is required on lands within the Downtown."	<u>Add to Table 7.2.1:</u> Line 4B.0 - HEIGHT 4B.1 - Minimum height - 3 storeys (CC1, CC2, CC3, CC4 and CCO zones) <u>Delete "CC1 to CC4" from Subsection 2.1.27 and Delete Note (1) from Table 7.2.1:</u> "All buildings containing a residential dwelling unit that are zoned C4, CC1 to CC4 , and are located within the hatched area identified on Schedule 2.1.27 of this Subsection, shall have a minimum height of three (3) storeys.	Minimum height of 3 storeys has been introduced for all development in the Downtown Core in conformity with Mississauga Official Plan (MOP).

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
2. (cont'd)	MOP 12.1.1.2 Downtown - General (continued)		<p><u>Delete Sentence 7.1.5.1.2</u> (minimum 3 storey height) from the CC4 zone regulations for apartment, long-term care and retirement dwellings.</p> <p><u>Delete Article 7.1.5.4</u> (building height measurement regulations) from the CC4 zone regulations.</p>	A separate explanation of "height" in the CC4 zone is not required since the Section 1.2 definition of "Height" applies to the Downtown Core Zones with exceptions for roof top equipment in Subsections 2.1.13 and 4.1.15.
3.0 URBAN DESIGN				
3.	3.1 Urban Design - General	LAP states: "prohibit the construction of new surface parking lots in the Downtown Core;"	Delete "Parking Lot" from Table 7.2.1 - Line 2.15	"Parking Lot" has been deleted as a permitted use in CC1 to CC4 zones in conformity with the Local Area Plan.
4.	3.1 Urban Design - General 3.2.2.2	<p>LAP states: "prohibit blank building walls abutting the street;"</p> <p>LAP states: "f. ground floor uses will incorporate transparent windows;"</p>	<p><u>Add to Table 7.2.1:</u> Line 4A.1 and 4A.8 requiring glazing on the first storey on an 'A' Street (75%) and 'B' Street (50%)</p> <p><u>Add to Section 1.2 - Definitions:</u> "Glazing" means clear or transparent glass.</p>	<p>Regulations requiring glazing have been added for the first storey on 'A' and 'B' Streets.</p> <p>Definition of "glazing" has been added.</p>

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
3.2.2 - Design of the Private Realm and Frontage Requirements				
5.	3.2.2.1 'A' and 'B' Streets	LAP states: "All streets are designated 'A' and/or 'B' streets...."	<p><u>Add to Table 7.2.1:</u> Line 4A.0 - 'A' and 'B' STREET FRONTAGES</p> <p><u>Add to Schedules CC1 to CC3:</u> 'A' Street Frontage 'B' Street Frontage</p> <p><u>Revise Note (4) in Table 7.2.1,</u> which exempts additions to existing buildings from the Build-to area regulations in Lines 4.1 and 4.2, to <u>add:</u> ".... for 100 City Centre Drive"</p>	<p>'A' and 'B' Street Frontages have been added to the Zoning By-law, with regulations, and illustrated on the Schedules for the Downtown Core Zones to implement the policies of the Downtown Core Local Area Plan.</p> <p>The exemption from the Build-to area regulations for additions to existing buildings that is currently in the Zoning By-law is retained for Square One - 100 City Centre Drive.</p>
6.	3.2.2.2 Provisions for Development on 'A' & 'B' Streets	LAP states: "c. locate buildings parallel to the street at the build-to line to contain the street and provide enclosure;"	<p><u>Retain the Build-to Areas</u> on Schedules CC1 to CC2(3) and add to Schedule CCO</p> <p><u>Delete Line 4.3 in Table 7.2.1</u> that permits 30% of the length of the streetwall to be set back beyond the Build-to area</p>	<p>Build-to Areas are retained as is on the Schedules in the Zoning By-law.</p> <p>The regulation currently in the Zoning By-law that allows 30% of the length of the streetwall to be set back beyond the Build-to area is deleted to ensure that development is within the Build-to areas shown on the Schedules.</p>

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
7.	3.2.2.5 'A' Streets	LAP states: "Functioning principal entrances to buildings will be provided on 'A' Streets."	<u>Add to Table 7.2.1:</u> Line 4A.2 - The main front entrance to each first storey unit that has an exterior wall abutting an 'A' Street shall be provided from that 'A' Street. Line 4A.3 - The main front entrance to units above or below the first storey, within a building, structure or part thereof that has frontage along an 'A' Street, shall be provided from that 'A' Street.	Regulations have been added restricting the location of the main front entrance for units on the first storey, and for units above or below the first storey on 'A' and 'B' Streets.
	3.2.2.9 'B' Streets	"Functioning principal building entrances will be located on 'B' Streets"	Line 4A.9 -The main front entrance to each first storey unit that has an exterior wall abutting a 'B' Street shall be provided from that 'B' Street Line 4A.10 - The main front entrance to units above or below the first storey, within a building, structure or part thereof that has frontage along a 'B' Street, shall be provided from that 'B' Street.	
		except where a development block may have 'A' and 'B' streets, the most prominent building entrances will be located on 'A' streets."	Line 4A.4 - The main front entrance to each first storey unit that has exterior walls abutting both 'A' and 'B' Streets shall be provided from the 'A' Street.	

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
7. (cont'd)	'A' and 'B' Streets		Line 4A.5 - The main front entrance to units above or below the first storey, within a building, structure or part thereof that has frontage along both 'A' and 'B' Streets, shall be provided from the 'A' Street.	
8.	3.2.2.7 'B' Streets	LAP states: " 'B' streets provide development blocks with vehicular access to off street parking,"	Add to Table 7.2.1: Line 4A.7 - Vehicular access to a building, structure or part thereof which abuts both 'A' and 'B' Streets shall be provided from the 'B' Street	A regulation has been added to require vehicular access from the 'B' Street where a building abuts both 'A' and 'B' Streets.
9.	3.2.2.11 Parking, Servicing and Loading Design in the Streetscape	LAP states: "b. parking structures will not directly front onto 'A' streets..."	<u>Add to Table 7.2.1:</u> Line 4A.6 - A parking structure shall not front on a street with an 'A' Street Frontage.	A regulation has been added to prohibit parking structures from fronting onto 'A' Streets.
10.	Parking Standards		<u>Add to Table 3.1.2.2:</u> 30.2 Night Club (in CC1, CC2 and CCO zones) - 9.0 spaces per 100 m ² GFA - non-residential	A reduced parking standard for "Night Clubs" in CC1, CC2 and CCO zones has been added.
11.	Parking Standards		<u>Add CCO to the Parking Standard in Table 3.1.2.2:</u> 33.3 - Personal Service Establishment (in CC2 to CC4 and CCO zones) - 4.3 spaces per 100 m ² GFA - non-residential	The parking standard for "Personal Service Establishments" in CC2 to CC4 zones has been applied to the CCO (Office) zone.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
12.	Parking Standards		<u>Add CCO to the Parking Standard in Table 3.1.2.2:</u> 41.3 - Retail Store (in CC2 to CC4 and CCO zones) - 4.3 spaces per 100 m ² GFA - non-residential	The "Retail Store" parking standard in CC2 to CC4 Zones has been applied to the CCO (Office) Zone.
13.	Parking Standards		<u>Add to Table 3.1.2.2:</u> 42.5 - Restaurant (less than or equal to 220 m ² GFA - restaurant in CC2 to CC4 and CCO zones)- 4.3 spaces per 100 m ² GFA - restaurant 42.6 - Restaurant (greater than 220 m ² GFA - restaurant in CC2 to CC4 and CCO zones)- 9.0 spaces per 100 m ² GFA - restaurant	A reduced parking standard for Restaurants less than or equal to 220 m ² has been added for CC2 to CC4 and CCO Zones. A reduced parking standard for Restaurants greater than 220 m ² in CC2 to CC4 and CCO Zones has also been added.
3.2.3 - Built Form				
14.	3.2.3.7 Built Form	LAP states: "Tall buildings in the Downtown Core will be designed and massed in the form of a podium, tower and top.	<u>Add to Table 7.2.1:</u> Line 4C.0 - PODIUMS IN RESIDENTIAL BUILDINGS Line 4C.1 - Apartment, long-term care and retirement dwellings greater than 12 storeys shall contain a podium.	A regulation has been added requiring a podium for residential dwellings over 12 storeys.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
15.	3.2.3.8 Built Form	LAP states: "Podiums will be located and massed to fit harmoniously into their existing and/or planned context"	<p><u>Delete from s. 1.2</u> - existing definition of "Podium"</p> <p><u>Add to s. 1.2:</u> "Podium" means the base of a building, structure or part thereof located at or above established grade that projects from the tower portion of the building.</p> <p><u>Add to s. 1.2:</u> Height of a Podium means the vertical distance between the established grade and the highest point of the roof surface of the podium.</p> <p><u>Delete:</u> 7.1.5.3 – Podiums</p> <p><u>Retain in s. 1.2</u> - existing definition of "Tower Floor Plate"</p>	<p>Since the existing definition of "Podium" in the Zoning By-law refers only to residential uses, a new definition of "Podium" has been added.</p> <p>A definition of "Height of a Podium" has been added.</p> <p>A separate explanation of "Podium" in the CC4 Zone is not required since the Section 1.2 revised definition of "Podium" in the Zoning By-law applies to the Downtown Core Zones.</p> <p>The existing definition of "Tower Floor Plate" has been retained.</p>

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
16.	3.2.3.8 Built Form	LAP states: "a. The height of the podium will generally be equal to the width of the right of way but not less than 3 storeys in height; b. Podiums will incorporate a street wall placed at the build-to-line, having a minimum of 3 storeys;"	<u>Add to Table 7.2.1:</u> Line 4C.2 - The minimum height of a podium measured at the streetwall shall be 3 storeys.	A regulation has been added requiring a minimum height of 3 storeys for a podium.
17.	3.2.3.9 Built Form	LAP states: "b. designing the floor plate size and shape with appropriate dimensions for the site, ..."	<u>Add to Table 7.2.1:</u> Line 3.2 - Maximum tower floor plate for an apartment dwelling shall be 750 m ²	A maximum tower floor plate size has been introduced into the Zoning By-law.
18.	3.3.9 Transition Areas	LAP identifies specific policies for Transition Areas 'A', 'B' and 'C', including heights.	The existing By-law contains the following Exception Zones: Area 'A' - H-CC4-5 Area 'B' - CC3-1, H-CC3(2), H-CC3(3) Area 'C' - H-CC3(1)	The lands in the Transition Areas identified in the Local Area Plan are in existing Exception Zones and/or on Schedules in the Zoning By-law which contain regulations restricting the heights. The existing Exception zones have been retained.
19.	3.3.10 Cooksville Creek Corridor	LAP identifies specific policies for the Cooksville Creek Corridor	The "G1" Zone does not permit development.	The existing Zoning By-law zones the Cooksville Creek Corridor as "G1" (Greenbelt). The "G1" zone has been retained for the Cooksville Creek Corridor.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
4.0 LAND USE				
20.	4.1.1.1 Uses Permitted in all Designations	LAP states: "a. cogeneration facility will be permitted as an accessory use"	<p><u>Add Item (1) to Sentence 7.1.4.1.1 in Uses Accessory to a Permitted Use in the CC1 Zone</u> (1) Cogeneration Facility</p> <p><u>Add Item (10) to Sentence 7.1.4.2.1 in Uses Accessory to a Permitted Use in CC2, CC3 and CC4 Zones</u> (10) Cogeneration Facility</p> <p><u>Include Item (10) in Sentence 7.1.4.3.1 in Uses Accessory to a Permitted Use in the CCO Zone</u> (10) Cogeneration Facility</p>	<p>A cogeneration facility has been added as an accessory use in CC1 to CC4 zones in conformity with the Downtown Core Local Area Plan.</p> <p>A cogeneration facility has been included in the CCO (Office) zone.</p>
21.	MOP 11.2.2 Utility	MOP states: "...lands designated Utility will also permit the following uses: a. parking; and b. accessory uses.	Retain the "U" Zone as is	The only site in the Downtown Core designated "Utility" is the Mississauga Hydro property at Webb Drive and Grand Park Drive. The site is zoned "U" which does not permit parking or accessory uses. The existing "U" zone has been retained on this site.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
22.	MOP 11.2.4.2 Open Space	MOP permits in Public Open Space: agriculture demonstration site, cemetery, conservation, golf course, nursery gardening, recreational facilities, stormwater retention and stormwater quality pond and accessory uses	Retain the CCOS zoning provisions. Add CCOS zone to Z-Maps 22 and 29 and Schedules CC1, CC2(1) and CCO in conformity with the Public Open Space designation on the Downtown Core Local Area Plan Land Use Map.	The CCOS zone permits: Active Recreational Use, Passive Recreational Use and Parking Structure - Below Grade Only. The CCOS zone has been retained as is. All the lands designated Public Open Space in the Downtown Core Local Area Plan have been zoned CCOS.
23.	4.1.2 Open Space 8.6 Special Site Policies - Site 6	LAP - Site 6 states: "8.6.2 - Notwithstanding the Office designation, the area will accommodate one or more areas of public parkland The location, number and size of the park block(s) shall be determined in conjunction with the development of lands in this area."	No identification of CCOS zoning is required in the Site 6 area at this time. Lands will be rezoned to CCOS for the proposed park blocks at such time as the lands in the area are developed.	Lands will be rezoned to CCOS for the proposed park blocks in the Special Site 6 area identified in the Downtown Core Local Area Plan (s. 8.6), with the location to be determined when the lands are developed.
24.	4.1.3.2 Residential	LAP states: " the Residential High Density designation will also permit the following uses: a. horizontal multiple dwellings accessory to an apartment dwelling; b. long-term care dwelling; and c. retirement dwelling."	RA1 to RA5 zones permit apartment dwellings, long-term care dwellings and retirement dwellings. Horizontal multiple dwellings are not permitted in the RA1 to RA5 Base Zones	The Apartment Dwelling Zones in the Residential High Density designation in the Downtown Core are Exceptions: RA4-5, RA4-6, RA5-10, RA5-15, RA5-17 permit apartment, long-term care and retirement dwellings; RA1-28 permits only a Place of Religious Assembly and Day Care; "D" permits the existing use (vacant). These Exception zones have been retained.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
27.	4.1.4 Mixed Use	Lands formerly designated within the City Centre District in Mississauga Plan are designated "Mixed Use" in the Downtown Core Local Area Plan (LAP).	<p><u>Revise Table 7.2.1:</u> CC1 - City Centre - Retail Downtown Core - Core Commercial CC2 - City Centre - Downtown Core - Mixed Use CC3 - City Centre - Downtown Core - Mixed Use Transition Area CC4 - City Centre - Downtown Core - Mixed Use CCO - City Centre - Downtown Core - Office CCOS - City Centre - Downtown Core - Open Space</p> <p><u>Revise Line 40.3 in Table 3.1.2.2:</u> CC1 - Retail Downtown Core - Core Commercial - 4.57 spaces per 100 m² GFA - non-residential</p>	The names of the CC1 to CC4, CCOS and CCO (Office) zones have been changed to "Downtown Core", to be consistent with the Downtown Core Local Area Plan.
28.	4.1.4 Mixed Use	Square One lands and lands south of Rathburn Road West redesignated from "Downtown Core Commercial" (MOP) to "Mixed Use" in LAP	Lands are zoned H-CC1 and CC1	The CC1 zone was established mainly for Square One Mall and lands to the north. The list of uses permitted includes all the C1 to C4 uses. The CC1 and H-CC1 zones have been retained.
29.	4.1.4.1 Mixed Use	Comparison of Permitted Uses in LAP (s. 4.1.4.1) with MOP (s. 11.2.6) and MOP (s. 12.1.3)	No additional changes to Permitted Uses in Table 7.2.1	The list of Permitted Uses in the Downtown Core Zones (CC1 to CC4) is in conformity with the "Mixed Use" designation in the Downtown Core Local Area Plan.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
30.	4.1.4 Mixed Use		<p><u>Add</u> Article 7.1.4.1: Uses Accessory to a Permitted Use in the CC1 Zone</p> <p>7.1.4.1.1 The following uses are permitted: (1) Cogeneration facility (2) Night club</p> <p>7.1.4.1.2 An outdoor patio shall be permitted accessory to a restaurant, take-out restaurant or retail store where the primary function is the sale of food</p>	A separate section has been added to the General Provisions for the Downtown Core Zones to permit cogeneration facilities, night clubs and outdoor patios accessory to a permitted use in the CC1 zone.
31.	4.1.4 Mixed Use MOP 11.2.6.1 Mixed Use	MOP states: "..... lands designated Mixed Use will also permit the following: j. residential"	Table 7.2.1 permits: "2.8 - All uses permitted in C1 to C4 Base Zones", including "Dwelling unit located above the first storey of a commercial building"	A "Dwelling unit located above the first storey of a commercial building" is a permitted use in C4. Since the CC1 zone permits C1 to C4 Base Zone uses, this use is also permitted in the CC1 zone.
32.	4.1.4 Mixed Use		<p><u>Add to Sentence 7.1.4.2.1:</u> "The following uses are permitted accessory to an office building, medical office building, apartment dwelling, ... <u>hospital, university/college, staff/student residence, parking structure</u></p>	The list of uses in CC2, CC3 and CC4 that permit accessory uses has been expanded to also allow accessory uses to a hospital, university/college, staff/student residence and parking structure.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
33.	4.1.4 Mixed Use		<u>Amend the definition of "Staff/Student Residence"</u> in Section 1.2 to add "on behalf of" as follows: "..... means accommodation owned or operated by <i>or on behalf of</i> a university, college or hospital consisting of dwelling units or rooms or both."	The definition of "Staff/Student Residence" has been expanded to add "on behalf of" a university, college or hospital.
34.	4.1.4 Mixed Use		<u>Add to Sentences 7.1.4.2.1 and 7.1.4.3.1: Uses Accessory to a Permitted Use in CC2, CC3, CC4 and CCO Zones:</u> "Outdoor patio accessory to a restaurant, take-out restaurant or retail store where the primary function is the sale of food"	In CC2, CC3, CC4 and CCO zones, the permission for an outdoor patio accessory to a restaurant and take-out restaurant has been retained and an "outdoor patio accessory to a retail store where the primary function is the sale of food" has been added.
35.	4.1.4 Mixed Use		<u>Add s. 7.1.4.1.1(2) and 7.1.4.2.2</u> to permit a night club accessory to a non-residential use in CC1 and CC2 zones in compliance with Table 2.1.2.2.1 <u>Add to s. 7.1.4.3.1</u> (11) Night Club in compliance with Table 2.1.2.2.1 (in CCO zone) <u>Add to Table 2.1.2.2.1 - Night Club,</u> provisions for Night Clubs in CC1, CC2 and CCO zones and revise Schedule 2.1.2.2(2) to show where the use is permitted	A Night Club has been added as an accessory use in CC1, CC2 and CCO zones. Provisions for a night club in the Downtown Core Zones have been added to Table 2.1.2.2.1 including: the specific area where night clubs are permitted (the area bounded by Hurontario Street, Burnhamthorpe Road West, Duke of York Blvd. and Centreview Drive), a maximum gross floor area of 300 m ² and the requirement that a night club be located only in a non-residential building.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
36.	MOP 11.2.6.1 Mixed Use LAP 4.1.4 Mixed Use	MOP permits in Mixed Use: "j. residential" LAP (s. 4.1.4.1) permits Residential High Density (Apartments) in Residential. s. 4.1.4.2 also permits: a. horizontal multiple dwellings accessory to an apartment dwelling; b. long-term care dwelling; and c. retirement dwelling."	<u>Table 7.2.1</u> permits the following in CC1 to CC4: Apartment Dwelling Long-Term Care Dwelling Retirement Dwelling <u>Article 7.1.3A.1</u> states: Horizontal Multiple Dwellings shall only be permitted accessory to an apartment dwelling in CC1, CC2, CC3 and CC4 zones	The residential uses permitted in the Mixed Use designation are the same as the residential uses permitted in the Residential High Density designation in the Downtown Core, namely, apartment, long-term care and retirement dwellings as well as horizontal multiple dwellings accessory to an apartment dwelling.
37.	4.1.4 Mixed Use	LAP (s. 4.1.4.3) permits townhouses in Transition Areas 'B' and 'C' (identified on Map 1 in Subsection 3.3.9). LAP (s. 8.3 - Site 3) permits townhouse dwellings. LAP (s. 8.3 - Site 2) permits townhouses.	<u>Table 7.2.1</u> and Subsection 7.1.3 permit Townhouse and Street Townhouse Dwellings within Areas 'A' and 'B' on Schedules CC3(1) to CC3(3). Exception CC2-2 permits Townhouse Dwellings in an area north of Rathburn Road West, west of Confederation Pkwy. Exception CC3-1 permits Townhouse and Street Townhouse Dwellings north of Robert Speck Pkwy., east of Shipp Drive	Townhouse and street townhouse dwellings are permitted only in specific locations identified in the Downtown Core Local Area Plan and the Zoning By-law.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
38.	MOP 11.2.6.1 Mixed Use	MOP permits: "c. entertainment, recreation and sports facility"	Article 2.1.9.6 permits a "Community Centre" in CC1 to CC4 and CCOS. CC1 zone (which permits C1 to C4 uses) permits a freestanding "Recreational Establishment" and "Entertainment Establishment". These uses are permitted in CC2 to CC4 and CCO as an accessory use.	The Zoning By-law permits Community Centres in all Downtown Core Zones. Entertainment and Recreation Establishments are permitted in the CC1 zone, and only as an accessory use in the CC2 to CC4 and CCO zones.
39.	MOP 11.2.6.5 Mixed Use	MOP states: "Residential uses will be discouraged on the ground floor."	<u>Add Line 3.3 to Table 7.2.1:</u> Notwithstanding the uses permitted in Lines 2.3, 2.4 and 2.5 of this Table, apartment, retirement and long-term care dwelling units shall not be permitted on the first storey of a building. Shared entrance and exit facilities through a common vestibule shall be permitted for the dwelling units. (CC1)	The CC1 (Downtown Core - Core Commercial) zone permits High Density Residential uses; however, a provision has been added to not allow residential dwelling units on the first storey of a building.
40.	4.1.4 Mixed Use	LAP does not carry forward the Mixed Use Special Site 4 that permits a motor vehicle service station at the southwest corner of Burnhamthorpe Road West and Hurontario Street.	<u>Retain the H-CC2-3 zone and revise Sentence 7.2.3.3.1 to state:</u> Additional Permitted Use 7.2.3.3.1 (1) Motor Vehicle Service Station legally existing on the date of passing of this By-law	The H-CC2-3 zone has been revised to recognize only the existing motor vehicle service station on the site and to continue to permit CC2 uses upon removal of the "H" (Holding) provision.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
41.	4.1.5.1 Retail Activation	LAP states: "Existing and new streets in the Downtown Core have been identified for the purpose of: a. establishing retail objectives within mixed use buildings;"	<u>Add Subsection 7.1.4A:</u> "7.1.4A Retail Activation Frontages"	A new Subsection has been added to the Downtown Core General Provisions entitled "Retail Activation Frontages".
42.	4.1.5.2 Retail Activation	LAP states: "... only the following uses will be permitted on the ground floor: a. financial institution; b. person service establishment; c. restaurant; and d. retail store"	<u>Add Sentence:</u> The first storey of a building shall contain Retail Activation uses in units abutting the street. Retail Activation uses shall only include the following: (1) Financial Institution (2) Personal Service Establishment (3) Restaurant (4) Take-out Restaurant (5) Retail Store	The range of uses permitted on the first storey in buildings with Retail Activation Frontages is limited for units facing the street.
43.	4.1.5.2 Retail Activation		<u>Add Sentence:</u> In CC2 and CCO zones, the following uses shall also be permitted on the second storey: (1) Repair Establishment (2) Recreational Establishment (3) Entertainment Establishment (4) Motor Vehicle Rental Facility (5) Cogeneration Facility (6) Night Club as an accessory use in a non-residential building	Additional uses are permitted on the second storey of buildings with Retail Activation Frontages.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
44.	4.1.5.1 Retail Activation	LAP states: "Existing and new streets in the Downtown Core have been identified for the purpose of: c. setting out requirements in accordance with the Retail Activation Schedule included in this Plan;"	<u>Add Sentence:</u> to identify a 90% Retail Activation Frontage and a 50% Retail Activation Frontage <u>Add to the Schedules:</u> 90% Retail Activation Frontage 50% Retail Activation Frontage	Provisions for 90% and 50% Retail Activation Frontages have been added. Retail Activation Frontages are illustrated on the Schedules for the Downtown Core Zones.
45.	4.1.5 Retail Activation 3.2.2.14 Retail and Commercial Frontage Design	LAP states: "Development incorporating at grade retail and commercial uses at the frontages, will be designed so that: c. storefronts are expressed with a narrow width ..."	<u>Add Sentences:</u> Maximum width of a unit - 10.0 m Maximum depth of a unit - 22.0 m Minimum height of a unit used for a Retail Activation use shall be 4.5 m	Provisions to limit the size of the retail and commercial units abutting/within the linear building frontage have been added. A minimum height of 4.5 m has also been added for Retail Activation uses.
46.	4.1.5 Retail Activation 3.2.2.14 Retail and Commercial Frontage Design	LAP states: "Development incorporating at grade retail and commercial uses at the frontages, will be designed so that: b. lobbies and principal entrances serving residential uses above the ground storey will be located on streets where the least amount of retail is required"	<u>Add Sentence:</u> access to uses permitted above and below the first storey of a residential building shall not be located on a street with a 90% Retail Activation Frontage;	A provision has been added to restrict the location of access to residential uses above the first storey.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
47.	4.1.5 Retail Activation 3.2.2.14 Retail and Commercial Frontage Design	LAP states: "Development incorporating at grade retail and commercial uses at the frontages, will be designed so that:	<u>Add Sentence:</u> where a residential building only has frontage on a street with a 90% Retail Activation Frontage, access to uses permitted above and below the first storey shall be permitted provided that the width of the access shall not be greater than 5.0 m;	A provision has been added to limit the size of the access to residential uses above the first storey where the only access is on a 90% Retail Activation Frontage.
48.	4.1.5 Retail Activation		<u>Add to Table 7.2.1:</u> <u>Holding Provision</u> (2) transfer to the City of a right-of-way to be used for a street on 'A' and 'B' Street Frontages identified on the Schedules of this Part of the By-law, where a street currently does not exist.	Since the Retail Activation policies depend on the street network identified on the Schedules, a condition of removing the "H" (Holding) Provision for lands fronting onto these streets has been added requiring the dedication of the street to the City.
49.	4.1.5 Retail Activation		<u>Add to Table 7.2.1, NOTES:</u> (7) See Subsection 7.1.4A of this By-law.	A note has been added to Table 7.2.1 to cross-reference the Retail Activation Frontages provisions.
50.	3.2.2.14 Retail and Commercial Frontage Design	LAP states: "Development incorporating at grade retail and commercial uses at the frontages, will be designed so that:" (to meet specific criteria)	<u>Revise Sentence 7.1.4.2.4 (Accessory Uses in CC2, CC3 and CC4) and delete former Article 7.1.4.4 :</u> A maximum of 20% of the total GFA non-residential may be used for Uses identified in Sentence 7.1.4.2.1 and 7.1.4.2.2 and shall not be permitted above the first storey.	The 20% limit on gross floor area for accessory uses in CC2 to CC4 Zones in the current Zoning By-law has been deleted; however the provision that the accessory uses must be located on the first storey has been retained.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
51.	4.1.6 Office	Lands north of Rathburn Road West from Centre View Drive to Confederation Pkwy. redesignated from "Downtown Core Commercial" (MOP) to "Office"	<p>Introduce "CCO - City Centre Office" Zone.</p> <p>Rezone lands from H-CC1 and H-CC2(1) to H-CCO on Z-Map 29.</p> <p>Add CCO Base Zone to Table 7.2.1.</p> <p>Add CCO to Lines 4.1 and 4.2 (Build-to Areas) in Table 7.2.1.</p> <p>Add CCO to the Introductory Sentence in the Holding Provisions in Table 7.2.1.</p>	A CCO (Office) zone has been introduced in conformity with the "Office" designation in the Downtown Core Local Area Plan. The lands north of Rathburn Road West between City Centre Drive and Confederation Pkwy. have been zoned "H-CCO". The CCO zone has been added to the Downtown Core Base Zone Table.
52.	4.1.6 Office	Comparison of Permitted Uses in LAP (s. 4.1.6.1) with MOP (s. 11.2.7) and MOP (s. 12.1.4)	<p>Permitted Uses in CCO in Table 7.2.1:</p> <ul style="list-style-type: none"> - Office - Medical Office - Hospital - University/College - Active Recreational Use - Passive Recreational Use 	The list of Permitted Uses in the CCO (Downtown Core - Office) zone is in conformity with the "Office" designation in the Downtown Core Local Area Plan.
53.	MOP 11.2.7 Office	MOP permits: "c. accessory uses"	<p><u>Add</u></p> <p>Article 7.1.4.3: Uses Accessory to a Permitted Use in the CCO Zone</p>	The General Provisions for the Downtown Core Zones have been amended to add accessory uses and provisions for the CCO Zone. The list of accessory uses and provisions is based on the provisions for CC2 to CC4 Zones, modified to be in conformity with the "Office" designation policies in the Downtown Core Local Area Plan.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
54.	MOP 11.2.1 Uses Permitted in all Designations (Office)	MOP permits: (a) community infrastructure (including community uses) (b) community gardening	Subsection 2.1.9 permits community uses in more than one (1) zone category. <u>Add the CCO zone</u> to the following uses: 2.1.9.4 - Day Care 2.1.9.5 - Essential Emergency Service 2.1.9.6 - Community Centre, Community Athletic Field, Public Walkway and/or Library 2.1.9.7 - Temporary Tent and/or Stage 2.1.9.8 - Community Garden 2.1.9.9 - Parking/Security Attendant Booth 2.1.9.10 - Transit Terminal and/or Transit Corridor	The community uses permitted in the CCO (Office) zone are in conformity with the Mississauga Official Plan policies, with limitations to maintain the emphasis on office and employment uses in the Rathburn District policies (s. 3.3.4) of the Downtown Core Local Area Plan.
55.	4.1.6 Office	Lands along Centre View Drive with "No Designation" - used for GO Transit parking. Designated to "Office" in LAP.	Rezone lands from "No Zone" to H-CCO south of Centre View Drive on Z-Map 29	The lands south of Centre View Drive have been rezoned from "No Zone" to H-CCO (Office) in conformity with the Downtown Core Local Area Plan.
56.	4.1.6.2 Office	LAP states: "Notwithstanding the Office policies of this Plan, the total Gross Floor Area of accessory uses will not be limited."	<u>Add Sentence 7.1.4.3.3:</u> Uses identified in Sentence 7.1.4.3.1 shall not be permitted above the first storey.	In the CCO (Office) zone, the gross floor area for accessory uses is not limited; however, a provision has been added to not permit accessory uses above the first storey.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
57.	Zone Boundaries		<u>Renumber Article 7.1.5.5:</u> to Subsection 7.1.7 - Zone Boundaries 7.1.7.1 - Where a zone boundary follows a proposed or existing street, the centreline of the street is the zone boundary.	The General Provision regarding Zone Boundaries in CC4 has been expanded to apply to CC1 to CC4, CCO and CCOS.
58.	Format for Zoning By-law		The greyed out text, identified in Items 1 to 57 inclusive of this By-law, is for information purposes only and does not form part of the amendments contained in this By-law.	Clarifies the format used to identify the amendments in the Zoning By-law for the Downtown Core.
Zoning Maps				
59.	Map 22	LAP designation: "Mixed Use"	Retain the "H-CC2-3" zone. (southwest corner of Burnhamthorpe Road West and Hurontario Street)	The H-CC2-3 zone has been retained and the wording has been modified to permit only the existing service station, in addition to the CC2 uses permitted on the site.
60.	Map 22	LAP designation: "Public Open Space"	Rezone the lands from "H-CC2(1) to "H-CCOS". (south of Burnhamthorpe Road West, west of Confederation Pkwy.)	The lands in the middle of the block north of Webb Drive have been rezoned to H-CCOS, in conformity with the Downtown Core Local Area Plan.
61.	Map 29	LAP designation: "Public Open Space"	Rezone the lands from "H-CC1" to "H-CCOS" (north of City Centre Drive, east of Duke of York Blvd.)	A block of land east of Duke of York Blvd. has been rezoned to H-CCOS in conformity with the Downtown Core Local Area Plan.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
62.	Map 29	LAP designation: "Public Open Space"	Rezone the lands from "CC2(1)" to "H-CCOS" (north of Prince of Wales Drive, south of Rathburn Road West, between Duke of York Blvd. and Living Arts Drive)	The lands in the middle of the blocks between Duke of York Blvd. and Living Arts Drive have been rezoned to H-CCOS in conformity with the Downtown Core Local Area Plan.
63.	Map 29	LAP designation: "Public Open Space"	Rezone the lands from "H-CC2(1)" to "H-CCOS" (block at the intersection of Rathburn Road West and Living Arts Drive)	The block of land to be created at the intersection of Rathburn Road West and Living Arts Drive has been zoned H-CCOS in conformity with the Downtown Core Local Area Plan.
64.	Map 29	LAP designation: "Office"	Rezone the lands from "H-CC1" and "H-CC2(1)" to "H-CCO" (north of Rathburn Road West from Centre View Drive to Confederation Pkwy.)	Lands north of Rathburn Road West have been designated "Office" in the Downtown Core Local Area Plan. These lands have been zoned H-CCO in conformity with the Local Area Plan.
65	Map 29	LAP designation: "Office"	Rezone the lands from "No Zone" to "H-CCO" (south of Centre View Drive from the easterly limit of Centre View Drive to Confederation Pkwy.)	The lands along the south side of Centre View Drive are being designated "Office" in the Downtown Core Local Area Plan. They are currently shown as part of the road allowance and are not designated. These lands are being zoned H-CCO in conformity with the Local Area Plan.

ITEM #	MOP/LAP SECTION	MISSISSAUGA OFFICIAL PLAN (MOP) - POLICIES/ LOCAL AREA PLAN (LAP) - POLICIES	PROPOSED AMENDMENTS TO ZONING BY-LAW	COMMENTS/EXPLANATION
66.	Map 29	LAP designation: "Greenbelt - Natural Hazards"	Rezone the lands from "No Zone" to "G1" (southwest of Hwy. 403 and Hurontario Street)	The lands north of Rathburn Road West between Hurontario Street and Centre View Drive are being designated "Greenbelt" in the Downtown Core Local Area Plan. They are currently shown as part of the Hwy. 403 road allowance with no land use designation. These lands are being zoned G1 in conformity with the Local Area Plan.

October 12, 2012

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DRAFT

OCTOBER 12, 2012



DOWNTOWN CORE BUILT FORM STANDARDS

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INTRODUCTION

1.0 Purpose

The purpose of the Downtown Core Built Form Standards is to provide urban design direction and guidance for proposed development at the planning application stage in order to assess, promote and fulfill the intent of the City's official plan policies, Downtown21 vision and zoning by-law - all of which shape and have influence on the urban structure, built form qualities and overall character of the Downtown Core.

Selected content from this document, has been incorporated into the Local Area Plan as Official Plan policy. Applicants should also refer to the City's Official Plan principal document, Downtown Core Local Area Plan, Zoning By-law, and Building Code to ensure that the applicable policies and requirements in these documents have been met. Furthermore, other City initiatives and special projects should be consulted to determine applicability, such as the Strategic Plan, Downtown21 Master Plan, Green Development Strategy, Hurontario Light Rail Transit Study, Accessibility Design Handbook and the City of Mississauga Standards for Shadow Studies, etc.

2.0 Objectives

'Build a Desirable Urban Form' (Section 9) is a fundamental component of the Mississauga Official Plan. This section along with the policies contained within Section 12 'Downtown' and 'Downtown Local Area Plan' set out the urban design policies which supports the vision for a vibrant Downtown Core. These built form standards act to articulate the policies in addition to the following objectives:

- Support the City of Mississauga's Strategic Plan and its Strategic Pillars for Change - a paramount goal is to *Create a Vibrant Downtown* that functions as a strong economic centre, while acting as the civic heart and soul of the city;
- Promote development that supports and implements the six guiding principles of the Downtown21 Master Plan; specifically, #6 - 'Create a Development Framework with Predictability' which recommends creating a policy framework that directs downtown development in a coordinated, comprehensive fashion through new urban design standards;
- Facilitate the fair and consistent application of design objectives;
- Accommodate a mix of uses, through appropriate built form, including retail and commercial uses, offices, residential, cultural, entertainment and institutional uses — the whole of which is intended to put people in close proximity to a broad range of urban amenities and experiences;
- Achieve a high-quality built form and strengthen the continuity of buildings that contribute to the emerging Downtown Core urban context;
- Ensure that development is environmentally friendly, resilient, safe and universally accessible; and
- Foster compact, pedestrian and transit-oriented development that achieves vibrant street level activity and a public realm of the highest standard.



*The 20th Century was about getting around...
The 21st Century will be about staying in a
place worth staying in ...*

~ JAMES HOWARD KUNSTLER

INTRODUCTION

3.0 Expectation of the Standards

The Built Form Standards act to provide further direction on the Urban Design Policies set out in the Official Plan, Downtown21 Master Plan and other city initiatives to support land use decisions and strategies for the Downtown Core.

The Standards establish detailed requirements to achieve a high-quality built form that interfaces with the public realm in a seamless fashion, with the objective of creating a pedestrian environment in the Downtown Core that is memorable and rich in character.

Designers, landowners and developers are expected to address and achieve the Standards. The Standards have

been developed to communicate the design expectations, in advance of an application being filed, related to the quality and outcome of development in the Downtown Core.

It should be noted that these may be amended, modified or updated on an as-needed basis to provide clarity on the intent of the Downtown21 Master Plan, the Downtown Core Local Area Plan, provisions of the Zoning By-law and other studies or initiatives that have relevance to the Downtown Core.



3.1 How to Read the Standards

The rationale of the Downtown Core Built Form Standards is best understood by reviewing all sections, text and diagrams, including the policies cited within the City's Official Plan (Downtown Core Local Area Plan). The Built Form Standards reflect an integrated approach to the build-out of the Downtown Core, in which buildings are keyed to the streets through street frontage standards that guide and provide direction on the general disposition of buildings through a form-based approach.

Moreover, the Standards are also contingent on an understanding that downtowns are complex urban places that require an overarching organizing structure with a view to creating a coherent, legible, high quality public realm and memorable sense of place.

The Standards generally cover the following:

- Design for Street Frontage
- Access, Loading and Servicing
- Design for Frontage around Open Space
- Integration of Parking Facilities
- Design for Retail & Commercial Uses
- Minimum Building Heights
- General Built Form Standards
- Tall Buildings
- Transition to Adjacent Development



FRONTAGE STANDARDS

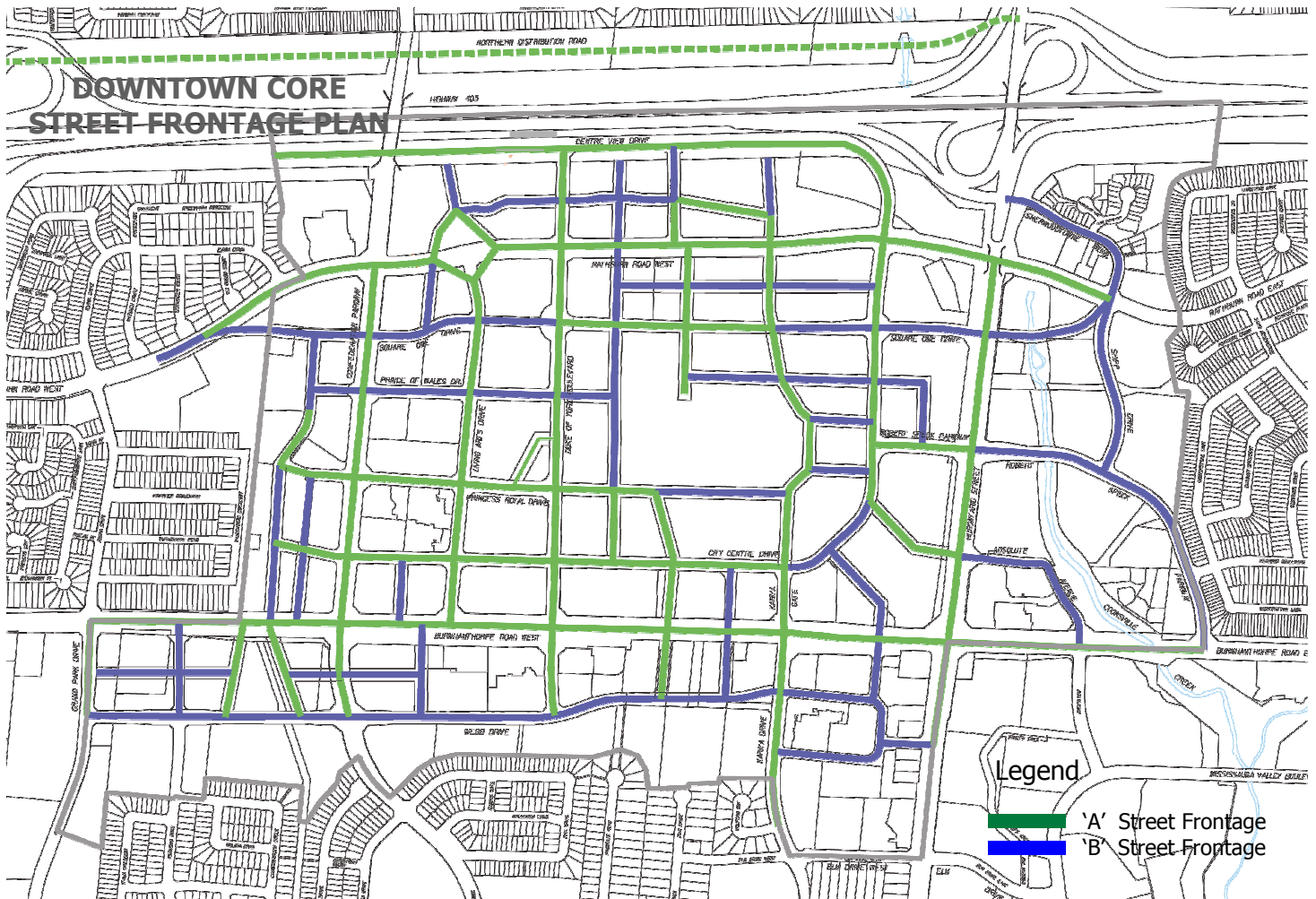


Figure 1: The Downtown Core Street Frontage Plan designates the frontage type for all existing and new streets in the Downtown Core. There are two categories - 'A' & 'B' Frontages. Refer to Downtown Core Local Area Plan policies and schedule.

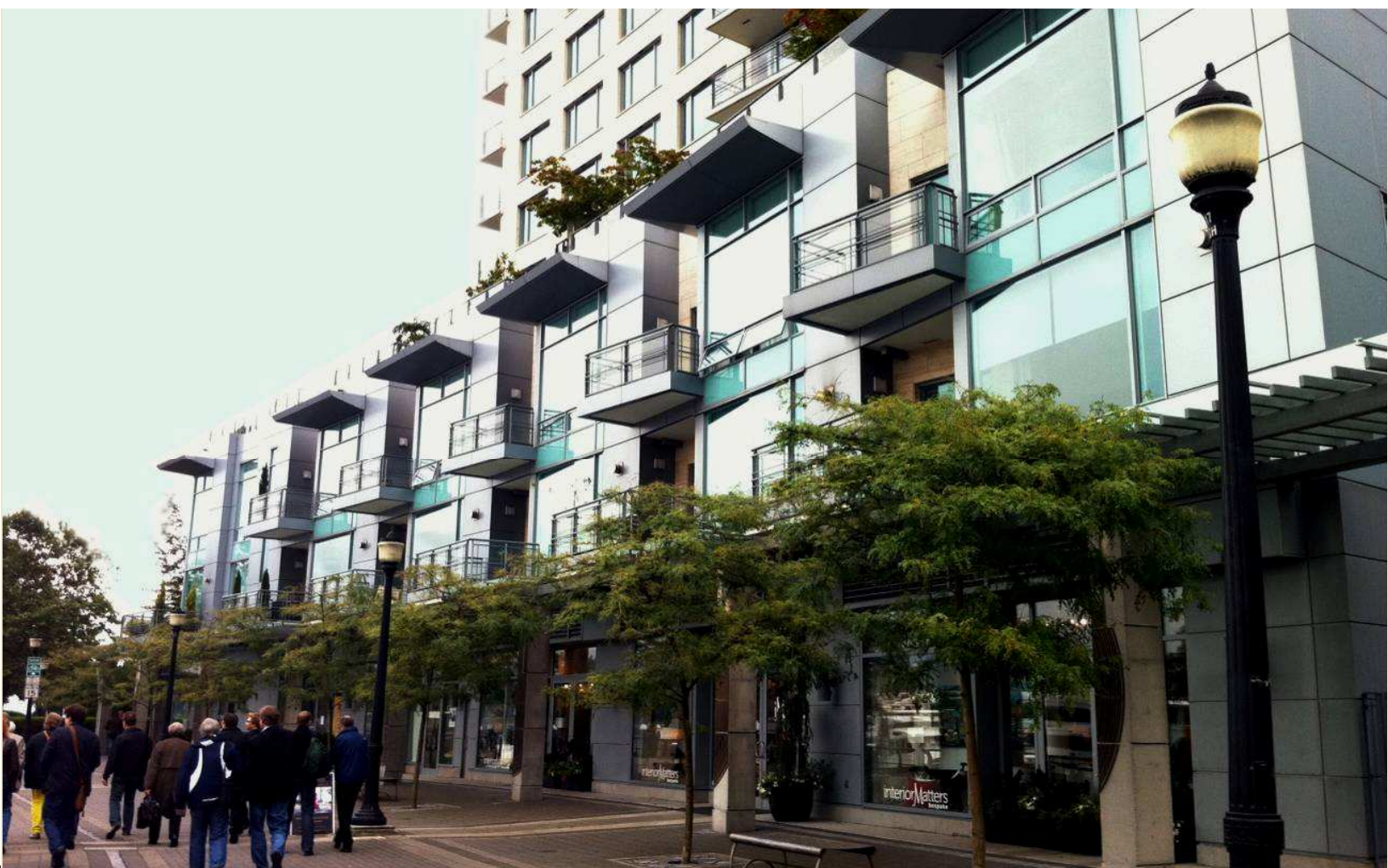
4.0 Design for 'A' & 'B' Street Frontages

The City of Mississauga's Downtown Core vision (Downtown21 Master Plan) proposes new public streets to augment the existing public and private street pattern, thereby creating a comprehensive and interconnected urban grid. This framework is shown in the Downtown Core Street Frontage Plan above (see Figure 1).

Categories of frontages differentiate the various streets in the Downtown Core according to their function, character and design. As such, all streets are categorized as 'A' and/or 'B' frontages. 'A' Street Frontages will require the highest attention to urban design, having a cohesive built form to achieve character and a vibrant pedestrian environment.

Similarly, 'B' Street Frontages are designed to ensure a quality pedestrian environment and high standard of built form, but provide defined locations for necessary access, delivery, service, loading and parking facilities serving development blocks.

In general, new development will follow specified standards for each street frontage type which prescribes how buildings (through their site design, streetwalls, built form treatments, etc.) individually contain and provide visual enclosure of the street in order to collectively frame and animate the public realm.



For each type of street frontage ('A' and/or 'B') the standards outline specific design requirements for new buildings such as:

- **Building placement along frontages**
- **Articulation and set backs of the streetwall**
- **Location of building entries**
- **At grade conditions and treatments**
- **Vehicular access, loading and servicing**
- **Interface with Parks and Open Space**
- **Parking facilities, etc.**

The following sections set out the standards to be achieved for buildings along the frontage types in accordance with the Downtown Core Local Area Plan policies and the Downtown Core Street Frontage Plan (Figure 1):

FRONTAGE STANDARDS (cont'd)

5.0 General Standards for Buildings on 'A' & 'B' Street Frontages

'A' and 'B' Streets provide the overarching framework for the design of building frontages, informing how development creates the most attractive and vibrant streets, or those which can accommodate loading, servicing and vehicular access throughout the Downtown Core. Notwithstanding, there are common standards that apply to both 'A' and 'B' frontages that are fundamentally critical to guiding site organizational aspects and setting the Downtown Core context:

The following standards will apply:

- G1** Locate build-to-line requirements on development blocks to inform the orientation and placement of buildings and their streetwalls;
- G2** Coordinate build-to lines with adjacent properties in order to create consistent edges and street walls along frontages;
- G3** Locate buildings parallel to the street at the build to line to contain the street and provide enclosure;
- G4** Ensure a variation in set backs along the building frontages to articulate façade emphasis at the build-to-line, in order to allow for visual interest, accommodate outdoor patios, recessed entries and landscaped areas (*refer to Section 5.1 Specific Standards for 'A' Streets and Section 5.2 Specific Standards for 'B' Streets*);
- G5** Buildings should incorporate active uses at grade, such as commercial and retail, to animate the public realm and pedestrian environment (*Also, refer to "Retail Activation Schedule, Downtown Core Local Area Plan and Section 7.0 for Design of Retail and Commercial Street Frontages*);



Figure 2: Buildings are located parallel to street to provide enclosure and definition of the street space.

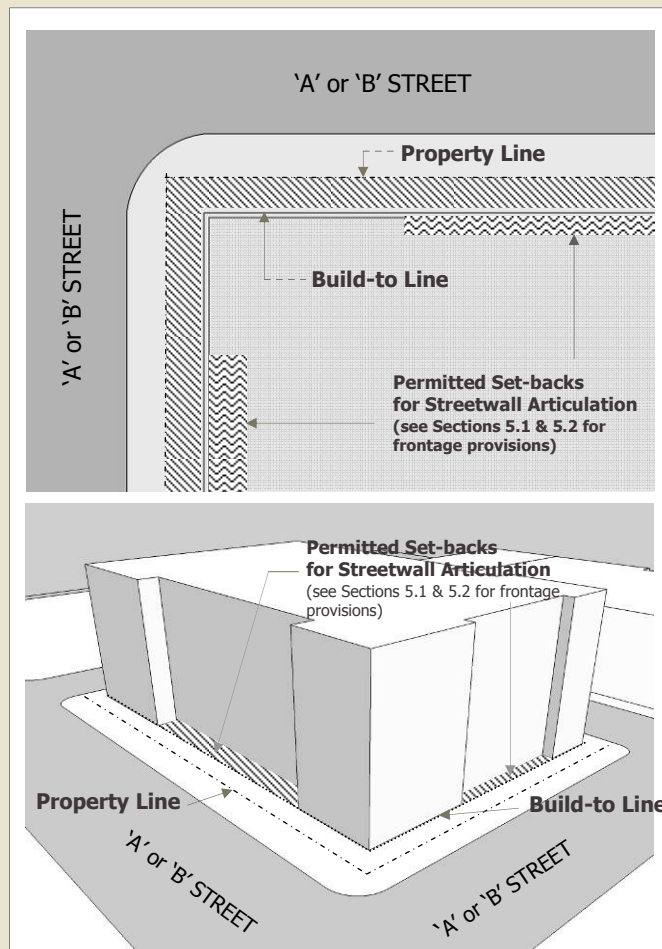


Figure 3: Development is located parallel to the street and placed at established build-to lines. Depending on the frontage type, the streetwall can stepback to accommodate façade articulation, in addition to patios and entrances.

- G6** Ground floor uses will incorporate transparent windows;
- G7** Locate principle entrances flush with the public sidewalk;
- G8** Ensure site designs relate to and interface with existing, proposed and future transit stops and facilities;
- G9** Locate principal building entrances so that they are clearly identifiable and prominent with direct access to the public sidewalk, pedestrian connections and transit facilities;

G10 Balconies may not protrude into the public realm, but may extend as far as the build-to line;

G11 Balconies will be designed with high quality materials, including upgraded balustrades and railings; and

G12 Below grade parking structures may not protrude into the public realm, but may extend as far as the property line provided that a clearance of 1.5 m is provided between the top of the parking structure slab and sidewalk.

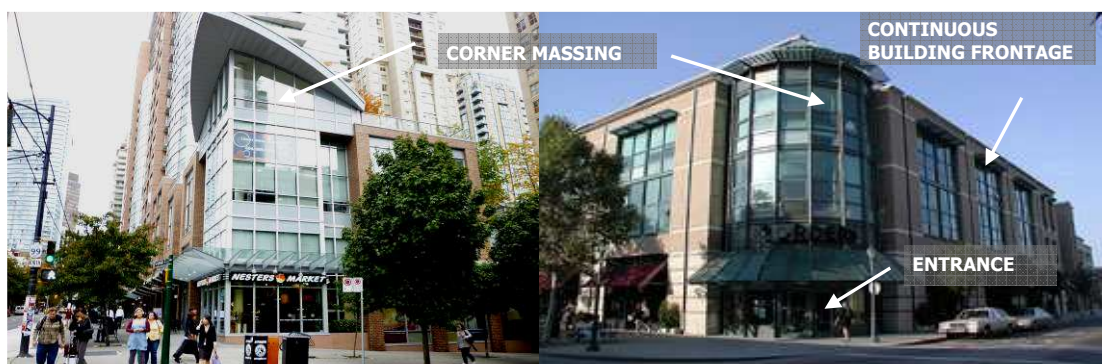


Figure 4: The street emerges as an urban place when buildings collectively deploy streetwalls, treatments to reinforce corners and at grade conditions that animate the edges.

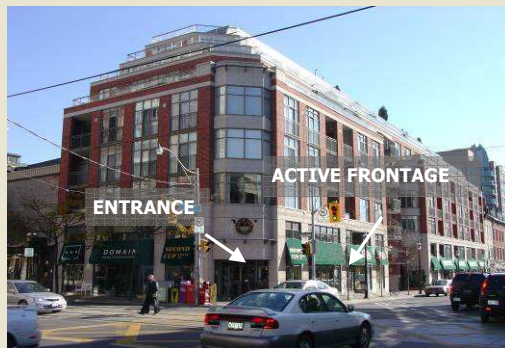


Figure 5: Clear points of entry and flush entrances to commercial and retail uses create an extension of the pedestrian environment from the public sidewalk.

FRONTAGE STANDARDS (cont'd)

5.1 Specific Standards for Buildings on 'A' Street Frontages

'A' Frontages are the most important for securing animation and character, street activity and vibrancy. They are intended to be the most pedestrian focussed, ensuring comfort to achieve a quality public realm that is attractive and cohesive, thereby contributing to a lively and robust Downtown Core character.

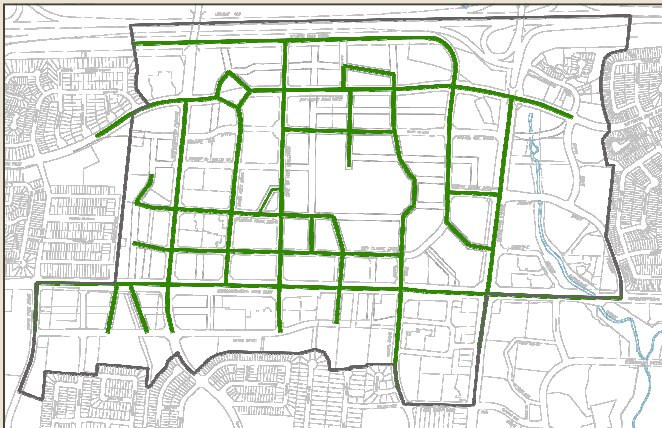


Figure 6: — = 'A' Street Frontages in the Downtown Core.

The following standards will apply:

- A1** Provide continuous building frontages on 'A' streets for the length of development blocks to provide continuity of built form from one property to the next;
- A2** A minimum of 95% of a property's frontage is required to be occupied by the streetwall at the build-to line (*Refer to Section 9.0 for Minimum Building Height*);
- A3** Curb cuts, driveways and access are prohibited on 'A'-Street frontages, except where a site or block does not have access from a 'B' Street or other means of access, or if there is a requirement for emergency vehicle access (*Refer to '5.2 Specific Standards for Buildings on 'B' Street Frontages*);

- A4** To allow for articulation of the streetwall, including provision for outdoor patios, recessed entries and landscaped areas, a maximum of 25% (i.e. 25% of 95%) of the building frontage will be allowed to step back to a maximum of 4.5 m. from the build-to line;
- A5** Functioning principal entrances to buildings will be provided on 'A' Streets. (*Also, see Section 7.0 Design for Retail & Commercial Frontages*);
- A6** Ground floor elevations along 'A' frontages will have a minimum of 75% transparent vision glazing with views into the building; and
- A7** Where residential uses are permitted at the ground level, special provisions will apply for the design of unit entrances and setbacks (*see Section 11.9 Design for at grade Residential Uses*).



Figure 7: Continuous streetwalls on 'A' frontages are required along the length of a property with provision for articulation and step-back of the street-wall.

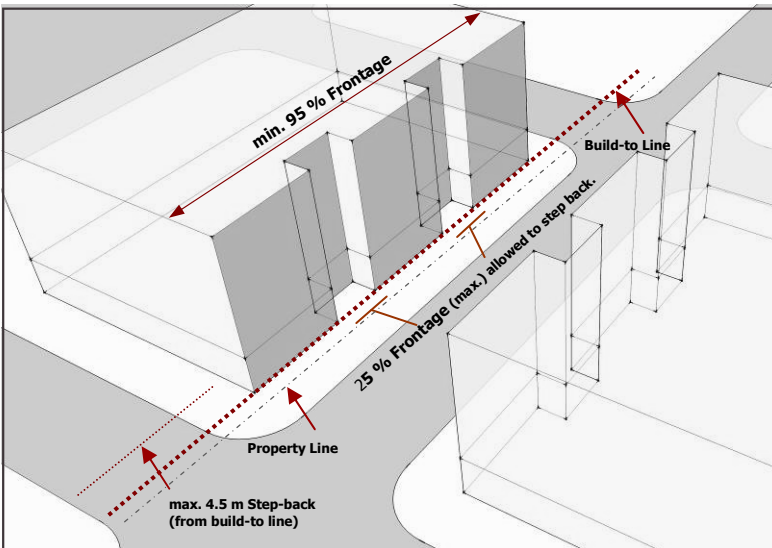


Figure 8: Illustration of a building streetwall positioned on 'A' Frontages



Figure 9: Continuous streetwalls on 'A' frontages are required along the length of a property with provision for articulation and step-back of the streetwall.



Figure 10: Buildings follow the streetline and incorporate entrances at regular intervals with access to at grade uses.



Figure 11: Articulation of the façade along the build-to line provides visual interest at the street level.



Figure 12: Step backs at the street wall provide visual interest and reinforce a strong pedestrian scale.



Figure 13: Principal entrances are clearly identifiable and articulated at the street frontage.

5.2 Specific Standards for Buildings on 'B' Street Frontages

'B' Streets generally connect 'A' Streets to each other. In contrast to 'A' Streets, they provide development blocks with access for deliveries, garbage pick-up, service and loading, including vehicular access to structured and off-street parking within development sites. It should be noted that 'B' Streets are also intended to support a pedestrian environment, integrating a high standard of urban design to support street activity.

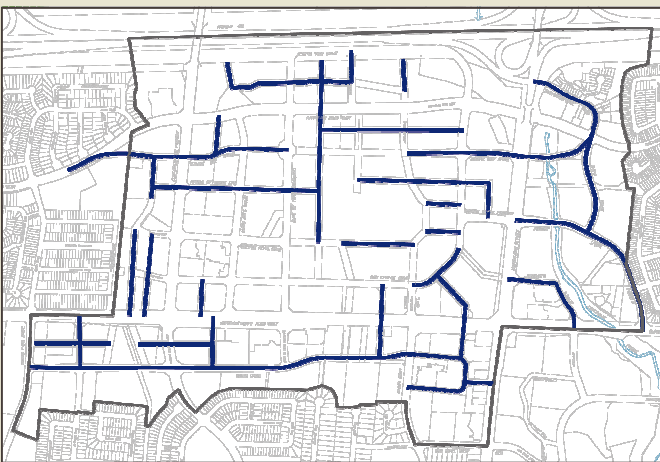


Figure 14: — = 'B' Street Frontages in the Downtown Core.

The following standards will apply:

- B1** 'B' Streets will have continuous building frontages along the length of development blocks to provide a continuity of built form from one property to the next with minimal gaps between buildings;
- B2** A minimum of 75% of a property's frontage is required to be occupied by the streetwall at the build-to line;
- B3** To allow for articulation of the streetwall, including provision for outdoor patios, recessed entries and landscaped areas, a maximum of 15% (i.e. 15% of 75%) of the building frontage will be allowed to step back to a maximum of 3.0 m. from the build-to line;

- B4** Locate and organize vehicular parking and access, service areas and utilities such that they minimize adverse impacts on the property, on surrounding properties, and improve the safety and attractiveness of adjacent streets, parks and open spaces (*Refer to Section 5.3 Design for Service and Loading*);
- B5** Locate functioning principle building entrances to buildings on 'B' frontages except where a development block has 'A' and 'B' frontages, the prominent building entrance will be located on 'A' frontages (*also see Section 5.1 Specific Standards for 'A' Frontages and 7.0 Design of Retail & Commercial Frontages*); and
- B6** Ground floor elevations along 'B' frontages will have a minimum of 50% transparent vision glazing with views into the building.



Figure 15: Access to parking and services is discretely provided within these developments near the street edge, acknowledging the importance of the pedestrian realm.

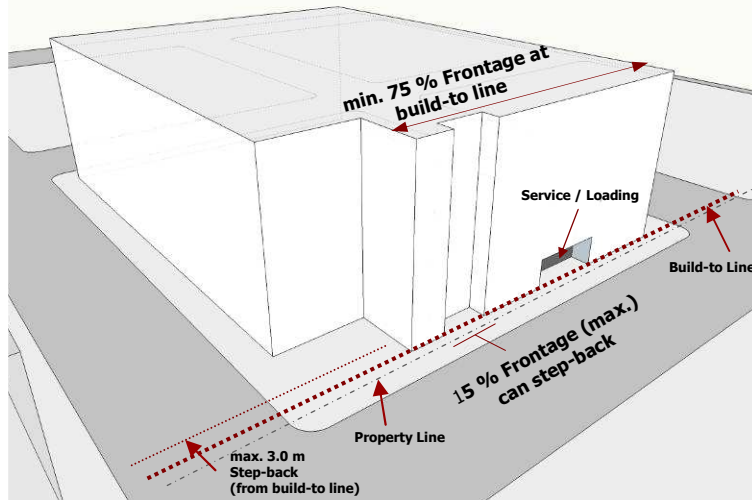


Figure 16: Illustration of a building streetwall positioned on 'B' frontage.



Figure 18: Access to below grade parking is discretely executed at grade without compromise to the pedestrian environment or manner in which the building relates to the street.

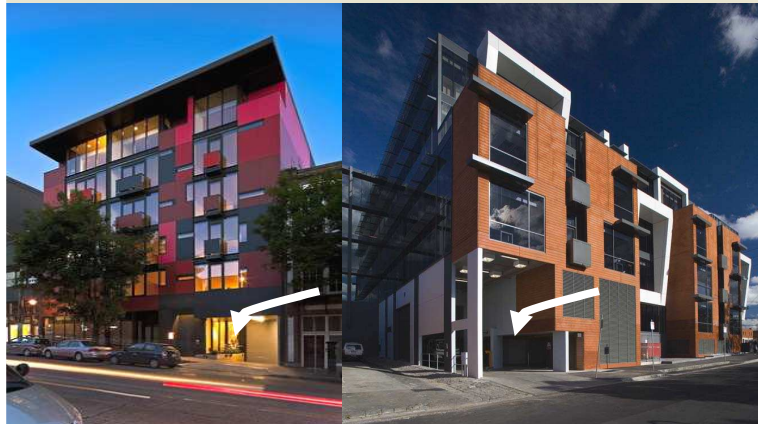


Figure 17: 'B' frontages in the Downtown Core allow for service , loading and access, but are also envisioned to be pedestrian oriented with an attractive character.



Figure 19: Functioning principal entrances can be accommodated on 'B'-Streets subject to the Frontage Standards.

5.3 Design for Access, Parking, Service and Loading

Access for loading, garbage, parking and servicing to buildings will be located on 'B' Streets (*for exceptions, refer to Section 5.1, 'Specific Standards for Buildings on 'A' Frontages, STD. A3*). In general, new development will coordinate the location of service areas for delivery, parking, loading and garbage pick-up and will reduce vehicular interruptions along the public street in order to improve the aesthetic appeal of the streetscape.

The following standards will apply:

- SL1** Service, parking and loading should be coordinated on sites by providing consolidated locations that can serve a number of buildings simultaneously from one area;
- SL2** Loading, garbage and service spaces will be located internal to the building to avoid noise and visual impacts;
- SL3** Loading, servicing and other vehicular related functions should not detract from the use, safety or attractiveness of the pedestrian realm;
- SL4** The height required for overhead loading for bulk refuse within a collection area should conform to the Region on Peel's standards for overhead clearance;
- SL6** Negative impacts on the public realm are to be avoided by incorporating special architectural treatment around service areas and providing safe levels of illumination and lighting; and
- SL7** Use landscape treatments to screen loading, garbage pick-up and service areas, where designs permit.



6.0 Street Frontage Design for Parks and Open Space

New buildings which front onto, or have proximity to parks and open space will require special attention to their frontage treatments and architectural design in order to achieve the kind of character, sense of place and pedestrian experience warranted for these important elements of the public realm.

The following standards will apply:

- OS1** If the build-to line of a development fronts onto the edge, or street adjoining a public park or open space, then 'A' frontage requirements will apply (*refer to Section 5.1 'Specific Standards for Buildings on 'A' Frontages'*);
- OS2** Building frontages along parks and open spaces will have uses on the ground floor to animate and activate the frontage such as restaurant and retail uses;
- OS3** Buildings which surround, have proximity, or front-onto parks and open space will have the highest level of architectural expression, articulation and use of materials;
- OS4** At grade level residential uses fronting onto parks and open space will have individual unit entrances in order to activate the street environment (*refer to Section 11.9 Design for At grade Residential Uses*);
- OS5** Parking structures or surface parking lots will not be permitted to front onto or address parks and open spaces; and
- OS6** The design of building massing will protect for maximum sun exposure onto parks and open space. (*Refer to Section 11.5 & 11.6 Tall Buildings - 'Site and Park Orientation'*).

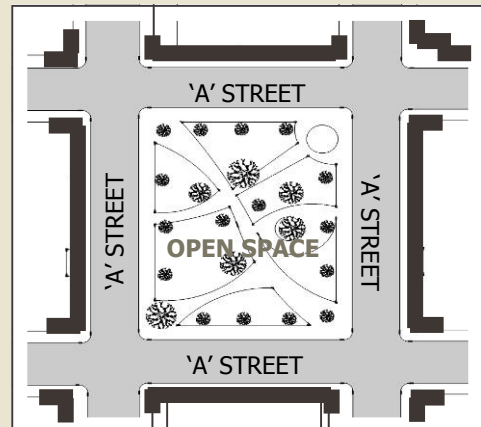


Figure 21: The facades of buildings that address open space will be treated like 'A' frontages, incorporating the highest level of architecture, articulation and use of materials.



7.0 Design for Retail & Commercial Street Frontage (at grade)

To ensure vibrant, great streets in the Downtown Core, at grade retail and commercial uses must be carefully designed to animate the street edge and support the pedestrian experience.

The following standards will apply:

- RC1** Ground floor heights will be a minimum of 4.5 metres (floor-to-floor, measured from established grade) to accommodate retail and commercial uses with windows that correspond to the height of ground floors;
- RC2** At grade principal entrances and lobbies that serve residential uses above the ground storey will be limited in size to a width of 5 m in order to allow for maximum activation of the street;
- RC3** Where areas of retail focus have been strategically identified in the Downtown Core, lobbies and principal entrances serving residential uses above the ground storey will be located on streets where the least amount of retail is required, or where no amount of retail frontage is specified (*refer to Retail Activation Schedule, Downtown Core Local Area Plan*).

- RC4** The primary entrance to each street-level tenant space that has its frontage along a public street will be provided from that street;
- RC5** Entrances to retail and commercial tenant spaces will be operational, flush and directly related to the grade of the public sidewalk;
- RC6** Provide narrow storefronts to a maximum of 10 m in order to discourage large single use retail frontages, achieve visual interest and a frequent rhythm that supports the pedestrian experience at the street level;
- RC7** Design the spacing of functioning at grade retail and commercial entrances along the length of the building facade to a maximum of 10 m;
- RC8** Ensure that storefront openings and structural elements (such as columns and pilasters) between storefront bays are articulated using reveals and subtle recesses that repeat across retail frontages to create interest for the pedestrian;
- RC9** Where Retail Streets intersect other streets, the ground floor retail space should wrap the corner onto the intersecting streets;



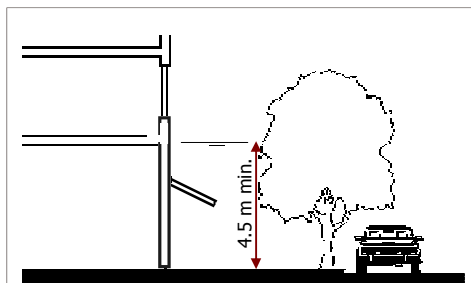


Figure 22: The ground floor of retail and commercial uses will have a minimum height of 4.5 m.



Figure 23: Storefronts when well executed promote a vibrant street life and the pedestrian experience.



7.1 Design for Storefronts

At grade retail and commercial uses should incorporate the highest standard of storefront design consisting of:

- RC8** Durable, high quality materials such as wood, metal (steel and anodized aluminium, etc), glass, natural stone and brick;
- RC9** Clear transparent windows and doors that allow for views into and out of storefronts. It should be noted that dark tinted, reflective or opaque glazing or 'appliqué lifestyle' panels placed on storefront windows are not permitted in the Downtown Core;
- RC10** Elements such as mullions, glazing bars and transoms to help frame, divide and define storefront window sections and apertures;
- RC11** When part of a larger single development or individual tenancy, provide coordinated and consistent signage and lighting that integrates with the storefront design, and which compliments or acts as an extension of the buildings architectural character;

RC12 The incorporation of architectural cantilevers, fixed canopies, awnings or similar features into a proposed development will be provided in order to achieve pedestrian scale, comfort and weather sheltered pedestrian routes. These should compliment the architectural character of the building and be made of highly durable materials, extending a min. of 1.5 m to a max. of 2.75 m, protrusion beyond the retail edge and/or into the public sidewalk area (refer to Figure 25); however, such installations should not conflict or interfere with any streetscaping elements or public realm treatments;

RC13 Where appropriate, patios and outdoor amenity space should be provided adjacent to retail/commercial frontages or entrances to promote activation of the street and vibrancy; and

RC14 Patios should have a depth of at least 2.5 m. and can be recessed into the building as part of the permitted setback at the build-to frontage, or placed beyond the build-to line along the spill-out zone providing that there is sufficient space. A clear sidewalk width is required to ensure pedestrian traffic flow is not disrupted.

FRONTAGE STANDARDS (cont'd)

DESIGN for STOREFRONTS

Buildings incorporating at grade commercial and/or retail uses will be designed to ensure that such uses will be directly related to the public sidewalk and will incorporate operating entrances, doorways and storefront windows oriented to the street; along with signage and lighting to provide animation, interest and variety in the streetscape;

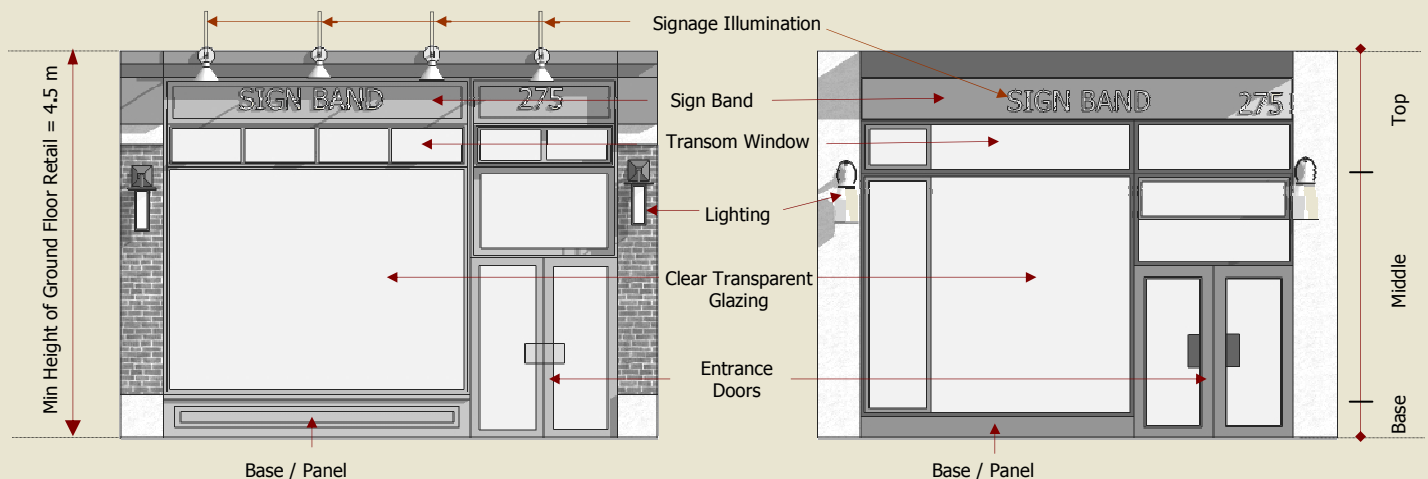
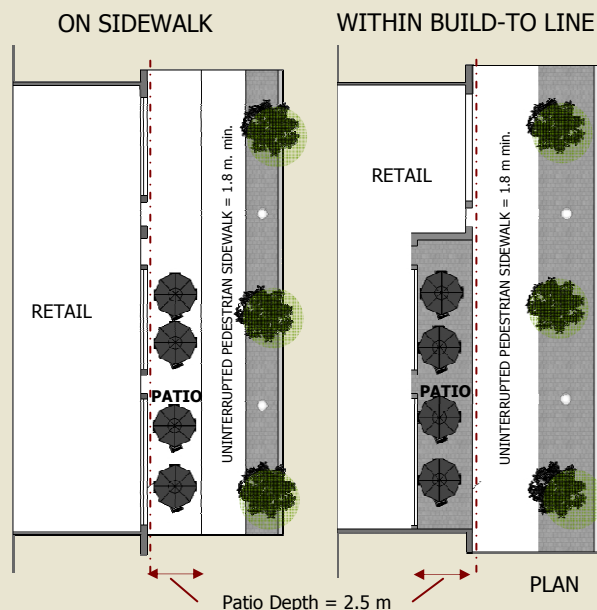
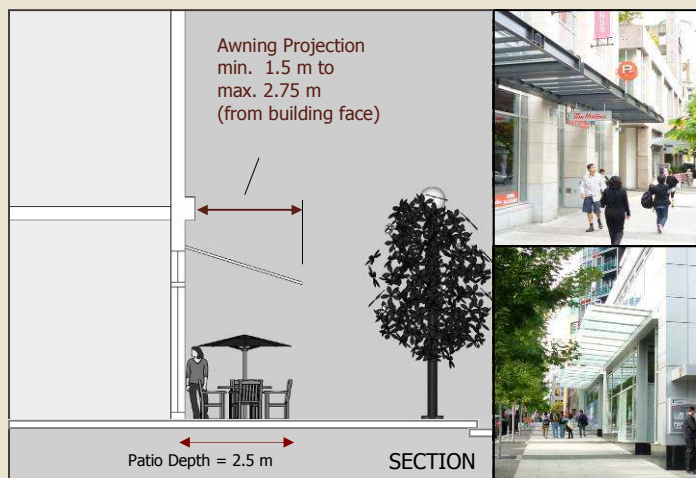


Figure 24: Storefronts can incorporate a variety of styles and character to animate the street edge. When well-executed, they contribute to the identity of the street and make retail and commercial frontages inviting and accessible to pedestrians.

DESIGN for OUTSIDE PATIO AREAS & PEDESTRIAN COMFORT



Patios can be recessed into the building as part of the permitted setback at the build-to frontage, or placed beyond the build-to line along the 'shy zone' providing that there is sufficient space and where pedestrian traffic flow is not disrupted.



Developments will incorporate architectural cantilevers, fixed canopies, awnings or similar features in order to achieve pedestrian scale, comfort and weather sheltered pedestrian routes. These should complement the architectural character of the building and be made of highly durable materials.



Patios and amenity space should be provided adjacent to retail /commercial entrances to promote activation and street vibrancy.



Figure 25: Design elements such as awnings and patios extend from storefronts to activate the street and create the urban experience for pedestrians.

8.0 Frontage Design for Structured Parking Facilities

Parking facilities will have an important role to play in supporting key uses, attractions and urban amenities in the Downtown Core. In general, development will locate structured parking and vehicular access to minimize impacts on the property and on surrounding properties and to improve the safety and attractiveness of adjacent streets, parks and open spaces.

The following standards will apply:

- P1** Parking structures will not directly front onto 'A' Streets, but will be screened by 'liner' buildings incorporating a mix of uses between the parking structure and street space in accordance with Section 5.0 – 5.1 for 'A' Frontages;
- P2** On the ground floor, parking structures will have active uses such as commercial or retail services with an appropriate scale and architectural expression to support activity on the streets, including those fronting onto parks and/or open spaces (refer to Section 7.0 . Design for Retail and Commercial Uses);
- P3** For a given development block, parking structures will only directly front onto one 'B' Street where more than one 'B' street frontage exists;
- P4** Parking structures and their facades above the ground floor will be designed to the highest level of architectural treatment and façade animation to mask the parking and screen views of the interior;
- P5** Entrances, lobbies and passageways that provide a convenient means of access to parking facilities will be:
 - located on streets where the least amount of retail is required, or where no retail frontage requirement is specified in accordance with the Retail Activation Schedule; and
 - fully enclosed, appropriately signed and integrated into the façade design without appearing as dominant elements on the street frontages;

- P6** At grade exhaust vents serving structured parking facilities will not be permitted to front onto 'A' streets, but may be located on 'B' Streets provided that they are architecturally treated and vertically integrated into a building's exterior wall and cladding system; and
- P7** Consult the PEEL CPTED (Crime Prevention Through Environmental Design) Guidelines for the Design of Parking Garages.

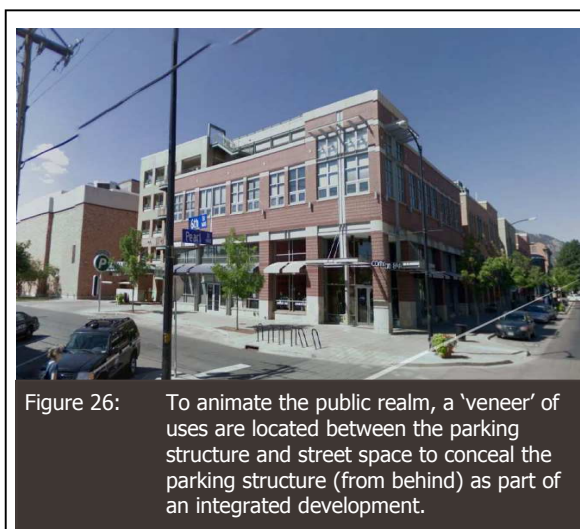
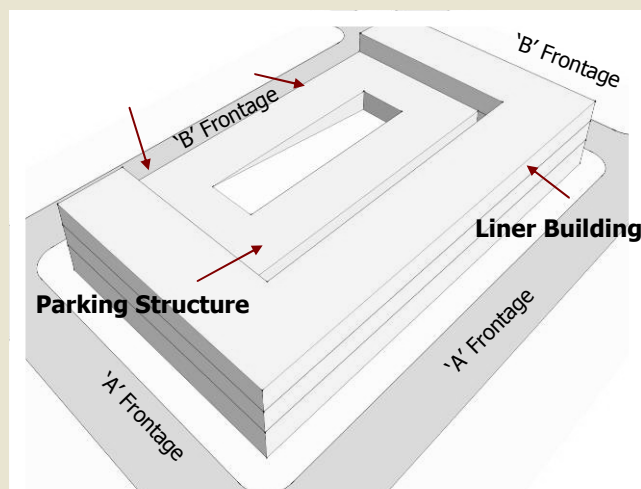


Figure 26: To animate the public realm, a 'vener' of uses are located between the parking structure and street space to conceal the parking structure (from behind) as part of an integrated development.



Figure 27: Facades that are articulated with architectural treatment to resemble authentic buildings, and/or more animated approaches are used to mask structured parking (applicable to 'B' Streets).

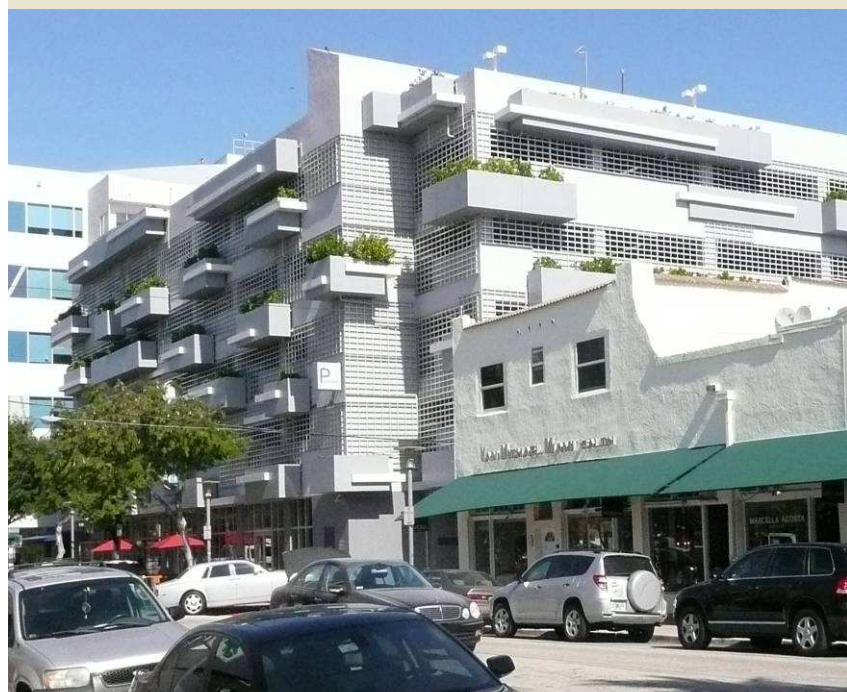


Figure 28 A typical condition for a 'B' frontage in which at grade retail is incorporated at the base and the structured parking above is enclosed by façade treatments to screen the stalls and interior parking areas.

9.0 Minimum Building Height

Mississauga's vision to urbanize the Downtown Core is intended to provide, a compact, mixed-use urban form that puts people in close proximity to jobs, transit, and a broad range of uses and urban amenities. To achieve this, a minimum building height of three storeys needs to be deployed to ensure the most efficient use of land and to create a pedestrian environment through street walls that contain the street and supports transit. In a downtown environment, one-storey temporary format buildings, such as big-box retail or entertainment facilities, served by surface parking, are examples of building typologies which are inefficient, suburban and do not lend themselves to creating a pedestrian friendly environment.

The following standards will apply:

BH1 All new buildings in the Downtown Core must achieve a minimum height of 10.7 metres (3 Storeys) both at the street frontage and across the entire area of the building.

N.B. Applicants should also refer to 'A' and 'B' frontage standards concerning build-to requirements, building placement, step-backs, etc.

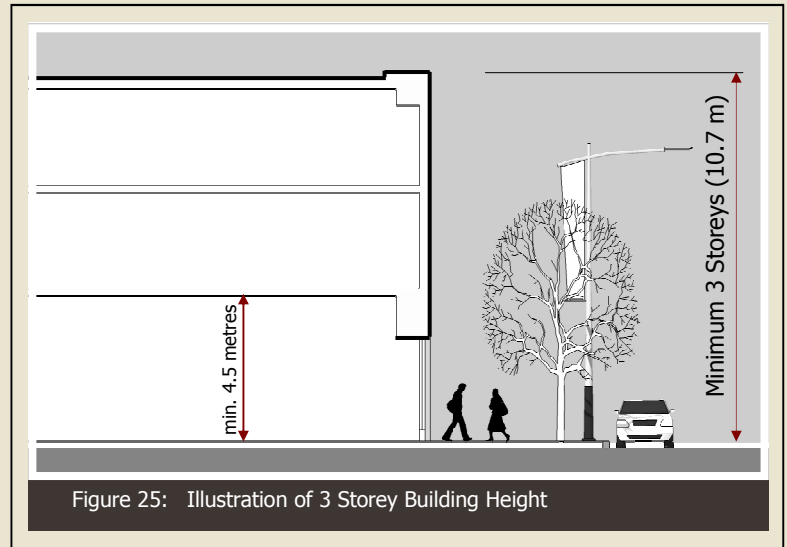


Figure 25: Illustration of 3 Storey Building Height



Figure 29: A 3 Storey mixed-use building with active ground floor retail/commercial uses contains the street and provides a comfortable pedestrian scale.

BUILDING HEIGHT & BUILT FORM



Figure 30: Buildings deploy a tri-partite configurations (base, middle and top), including horizontal and vertical expression lines to support and reinforce pedestrian scale aspects and an expression well suited to urban environments.

10.0 General Built Form Standards

In addition to achieving the minimum building height, development in the Downtown Core will achieve the following standards:

BF1 Mitigate the perception of large buildings and long frontages by:

- ensuring buildings and their streetwalls are well proportioned to address human scale;
- incorporating variation in the overall design of the streetwall;
- using special massing to articulate the built form; and
- providing a change in materials, textures, patterns, colours and details on building frontages to create a sense of smaller scale buildings;

BF2 Ensure that the design of streetwalls in mixed-use buildings deploy a:

- Base** - to strongly define the at grade level;
 - Middle** - to define the upper storeys; and
 - Top** - to express the termination of the streetwall at the roof-line, parapet, related floor juncture or storey, in a way which reinforces the architectural character or style of the building;
- Accentuating floor and/or ceiling junctures and transitions between subsequent storeys by using horizontal expression lines, or visual elements such as belt-courses, cornices, banding(s) or architectural treatments on the streetwall.

BF3 Establish a rhythm with frequency and articulation across the streetwall by deploying elements that are vertically oriented and human scaled to include:

- all forms of fenestration, including transparent windows, apertures, bow, bay, storefronts, dormer and monitor-style windows; and
- pilasters, engaged columns, recesses, reveals, expression lines or other architectural treatments to create interest for the pedestrian and which serve to break up elongated facades.

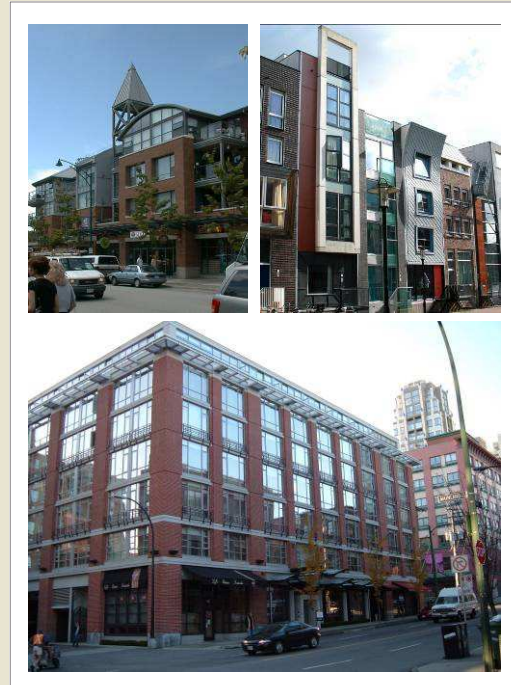
BF4 Consider incorporating a balance in the proportion of glazing to solid wall materials in the design of facades in order to achieve pleasing symmetries and legible asymmetries.

BUILDING HEIGHT & BUILT FORM (cont'd)

- BF7** Design corner lot buildings with special massing and architectural treatments on both streets to give prominence along the frontages and visually distinguish these sites;
- BF8** Express principal building entrances with a height, proportion and level of articulation that is compatible with the ground floor storey height, so that entrances are visible and serve as focal points for orientation and access from the street (*also, see Section 5.0 - 5.2, Standards for Street Frontage*);
- BF9** Incorporate upgraded doors for entrances, including egress and fire exit doors fronting onto streets;
- BF10** Design balconies to be recessed and/or architecturally integrated into the design of the building façade;
- BF11** Conceal and screen roof equipment to be designed as an extension of the building with materials and design treatments compatible with the building as a whole;
- BF12** Deploy a hierarchy of materials with solid, or 'heavier' materials located closer to the ground as a means to visually anchor the building to grade;



Figure 31: A strong vertical emphasis in the façade of this development creates rhythm and definition at the street edge.



- BF13** Construct building exteriors from enduring, natural materials such as clay brick, stone and wood in order to create durable buildings which can be adaptively reused over time;
- BF14** Building materials such as stucco, metal siding, embossed face brick panels, vinyl, and EIFS (Exterior Insulation Finish Systems) are not to be used in the Downtown Core;
- BF15** Consider using building materials that are energy efficient and/or those that have been re-used or recycled (*Please consult the City of Mississauga's Green Development Standards for sustainable approaches and further direction*);
- BF16** Building signage will be visually integrated with the development as sign-bands or fascia signs, and as an extension of the building's architectural expression; and
- BF17** Except for wayfinding signage and commemorative plaques, pylon and stand-alone signs are not permitted in the Downtown Core.

11.0 Tall Buildings ~ Overview

Tall buildings characterize a good part of the Downtown Core landscape and have a role to play among other building types and land uses in the emerging downtown context.

Tall buildings are accompanied with significant civic obligations and responsibilities compared to other structures in the built environment. Spatially, they articulate the city pattern and urban structure, while visually reinforcing the civic importance of the Downtown Core and the image of the City as a whole.

Tall buildings must consider location, placement, relationship to the street, height ranges, built form qualities, architectural treatment and their ability to enhance the pedestrian environment by minimizing shadowing of the public realm. They have a role to play in terms of protecting important views, impacts on cultural resources, accommodating a range of uses and supporting transit. Tall buildings must also ensure that fundamental quality of life aspects are provided for, such as access to natural light, sky views and privacy for those that live, work and visit the Downtown Core.

TALL BUILDINGS

11.1 Massing Standards

Tall buildings in the Downtown Core will be designed to consist of three parts:

Podium

The Podium will enclose and provide definition and appropriate scale for adjacent streets, parks and open spaces, and integrate with adjacent buildings and address the impacts of parking, loading and servicing uses.

The Podium includes the street level to midrise portion of the development which includes the streetwall. The Podium will be designed in accordance with the frontage and massing standards set out in this document.

Middle Shaft (Tower)

The floor plate size and shape of the middle shaft (tower) will be designed with appropriate dimensions for the site; the middle shaft will be located and oriented on the site and in relationship to the Podium and adjacent buildings.

Towers above the Podium height are governed by the massing standards which provide direction on slenderness, orientation and separation.

Top

Design the top of the tall building to contribute to the skyline character and integrate roof top mechanical systems into the design.

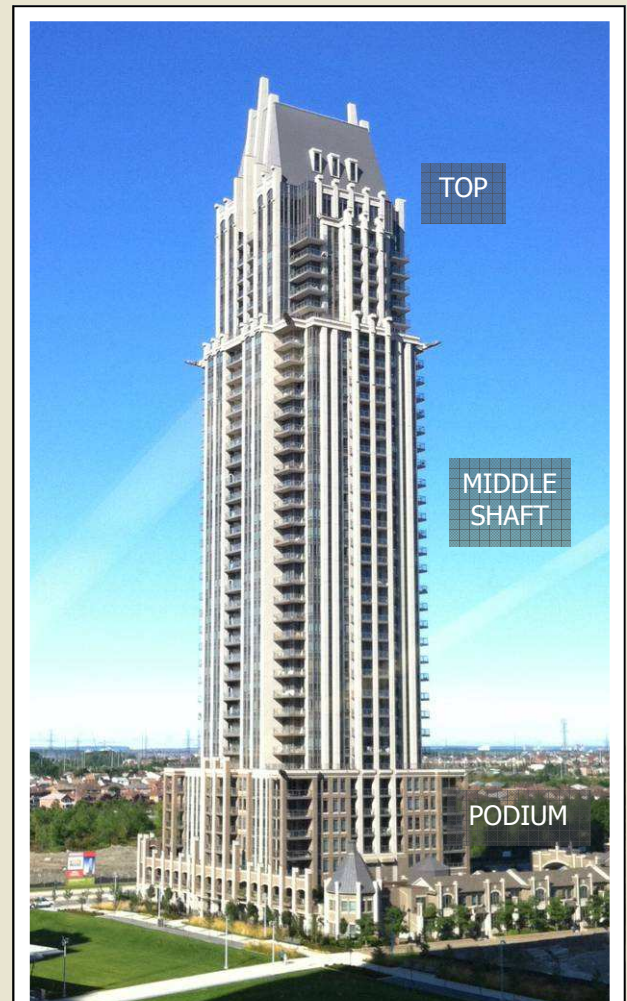
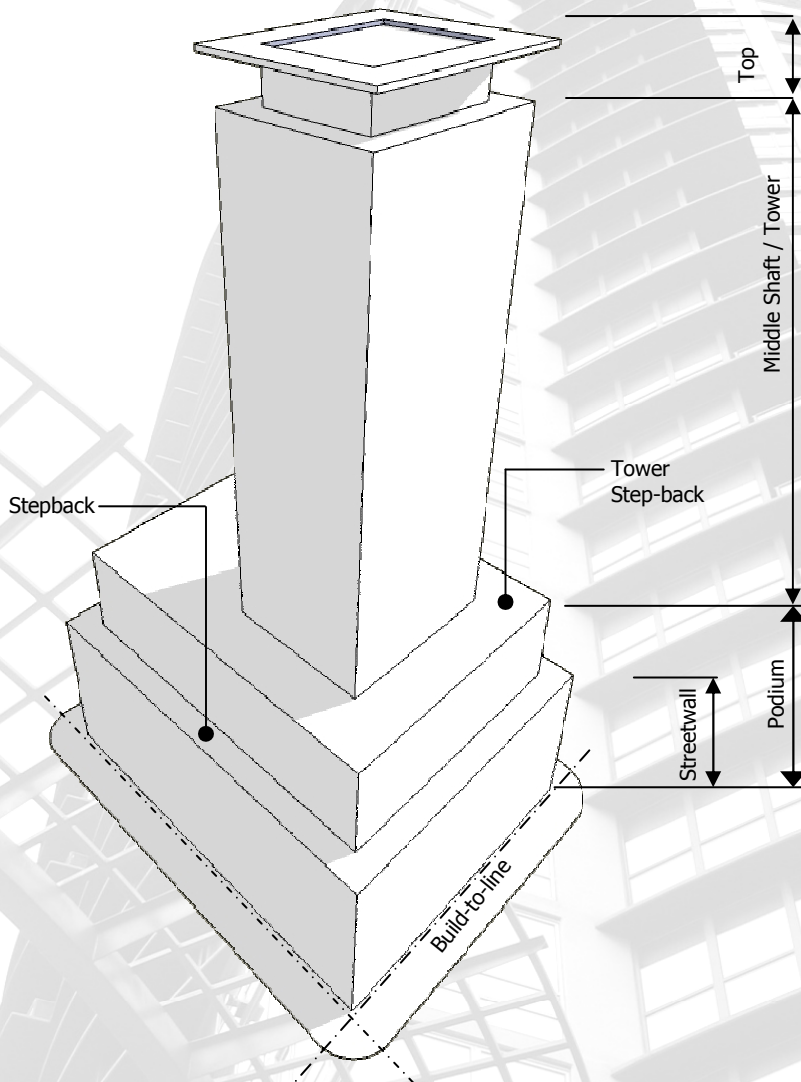


Figure 32: The tripartite form of the Tall Building is well articulated in this Downtown Mississauga Development.



Key Terms

Build-to-line

Podium

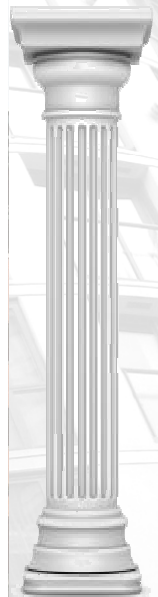
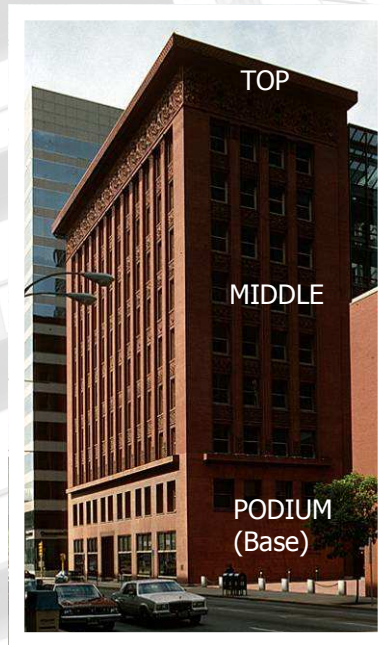
Streetwall

Step-back

** Above terms to be defined*

Figure 33:

Above - Tall buildings are defined by a number of form giving elements that contributes to their overall shape and massing. *Right* - An example of an historic skyscraper that set the precedent for the tri-partite configuration of podium, middle shaft and top - based on classical orders of architecture stemming from antiquity.



11.2 Podium Design

The design and placement of the podium requires careful consideration in terms of its role in helping to contain the street and achieving pedestrian scale qualities. Podiums will need to consider appropriate height in relation to the street right of way, streetwalls, and step-backs at the upper storeys, including ways in which sunlight can reach sidewalks to support a light-filled, vibrant public realm.

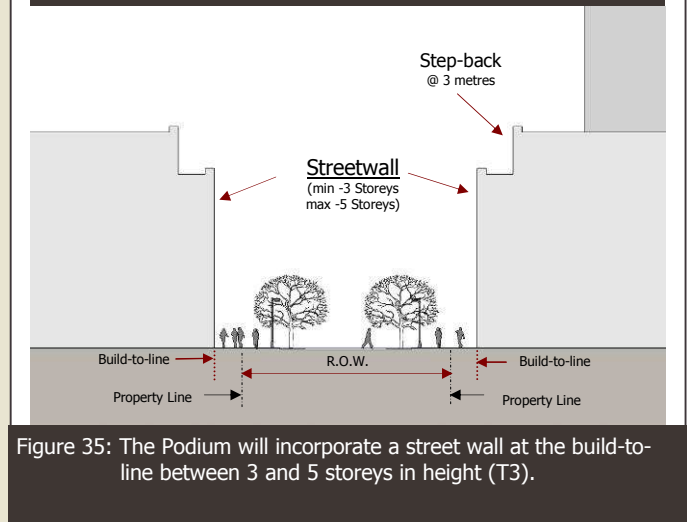
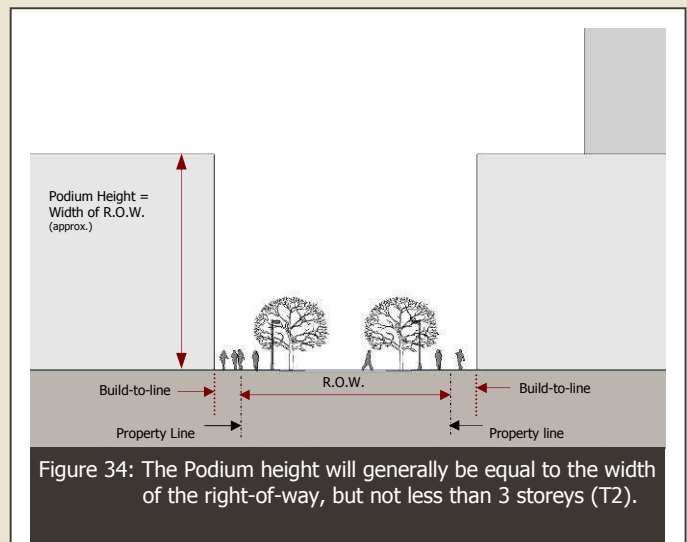
The following standards will apply:

- T1** Podiums will be located and massed to fit harmoniously into their existing and/or planned context and will limit impacts on adjacent streets, parks, open spaces and adjacent properties;
- T2** The podium height will generally be equal to the width of the right-of-way, but not less than 3 storeys (refer to Figure 34);
- T3** To support a pedestrian scale and contain the street, Podiums will also incorporate a street wall placed at the build-to-line, having a minimum of 3 storeys to a maximum of 5 storeys in height. Where right-of-ways exceed 60 m., a street wall of 6 storeys should be used in accordance with Standard 'T2' (refer to Figure 35 and 36);
- T4** Notwithstanding the above, the design of Podiums and their street walls will be articulated and massed at the upper storeys using step-backs to:
 - To mitigate the perception of height and create a comfortable scale for pedestrians;
 - Maximize sunlight on the public realm in accordance with the parameters set out in the *City of Mississauga's Standards for Shadow Studies*;
 - Mitigate the effects of wind on the pedestrian environment.

T5 Step backs of 3.0 m will be applied to the the street wall and podium design in order to achieve the angular plane (Refer to City of Mississauga Standards for Shadow Studies);

T6 Towers should be set back a minimum of 3.0 m from the top tier of the Podium edge in order to establish a clear definition between the podium and tower;

N. B. Refer to Figure 36 for illustration of Podium Design.



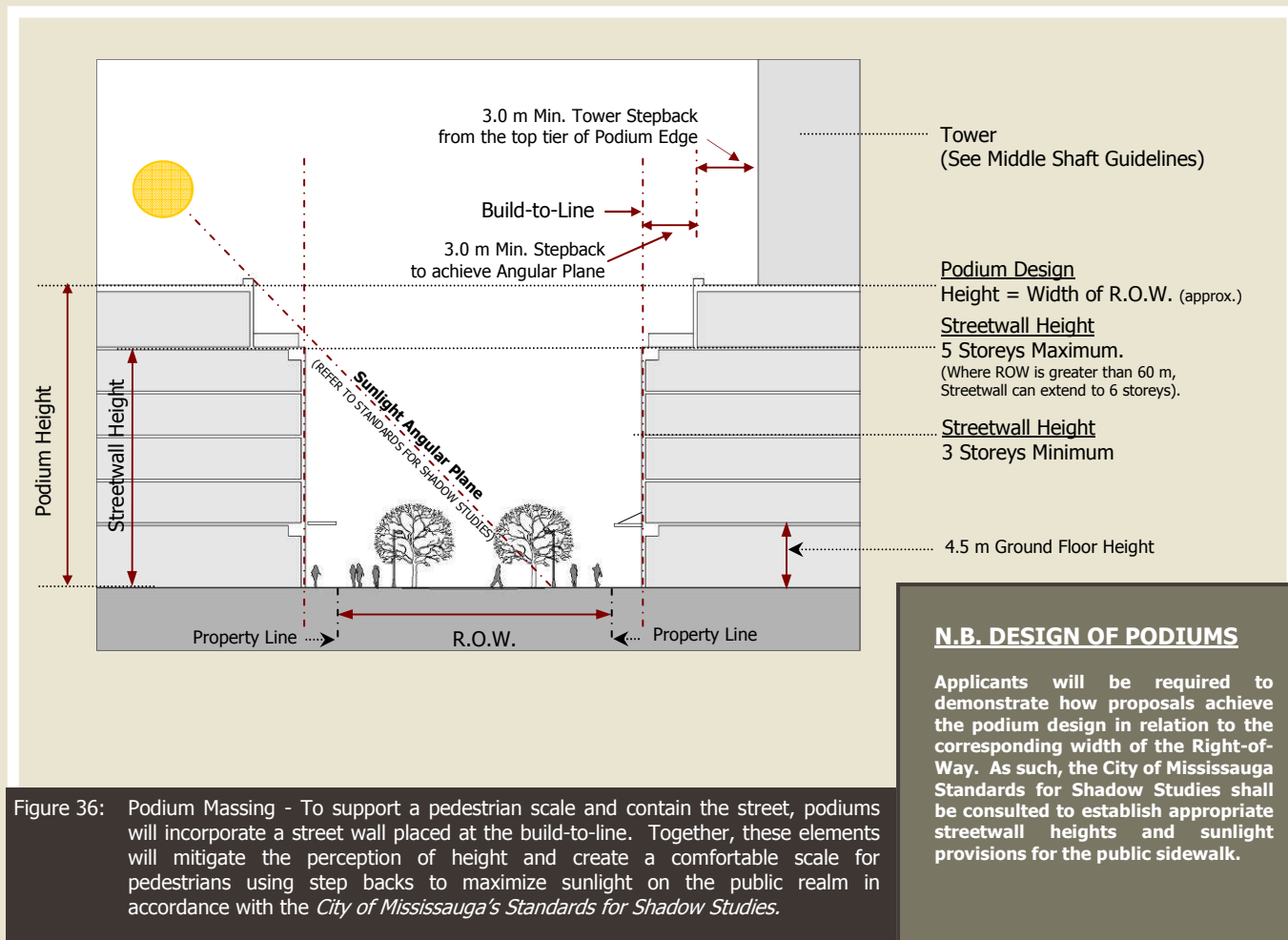


Figure 36: Podium Massing - To support a pedestrian scale and contain the street, podiums will incorporate a street wall placed at the build-to-line. Together, these elements will mitigate the perception of height and create a comfortable scale for pedestrians using step backs to maximize sunlight on the public realm in accordance with the *City of Mississauga's Standards for Shadow Studies*.

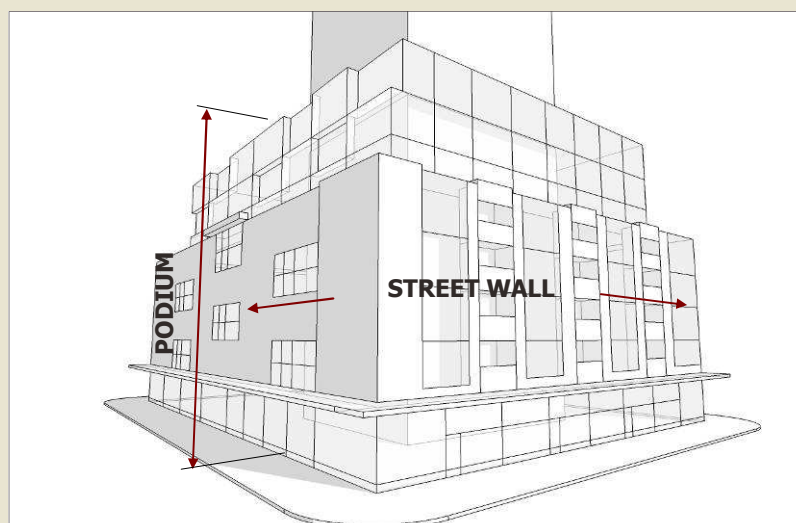


Figure 37: Podiums when well designed and executed contribute positively to the pedestrian environment.

11.3 Middle Shaft (Residential Point Towers)

Compact slim towers and small floor plates minimize shadowing, maximize separation, and views between buildings. They also improve privacy and reduce overlook impacts on adjacent streets, parks, open spaces and properties.

The following standards will apply:

- T7** Design and articulate the floor plates to break down the mass of the building and to create 'street interest' and enhance skyline character;
- T8** Residential tower floor plates above the podium height will not exceed a maximum area of 750 m² (average floor plate);
- T9** Provide a minimum spatial separation 30 m between towers to maximize access to sky views, natural daylighting, adequate privacy, minimize wind conditions and collective shade on the streets, parks and open spaces;

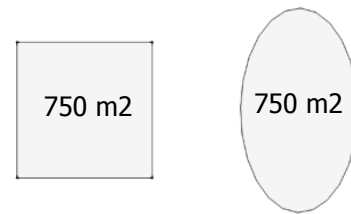


Figure 38: **Slenderness & Floor Plate** — Compact slim towers with small floor plates minimize shadowing, maximize separation and views between buildings, and reduce privacy and overlook impacts. To achieve the objective of compact slimmer towers, yet allow for tower massing flexibility, floor plates above the podium will be designed at 750 m² (average floor plate).

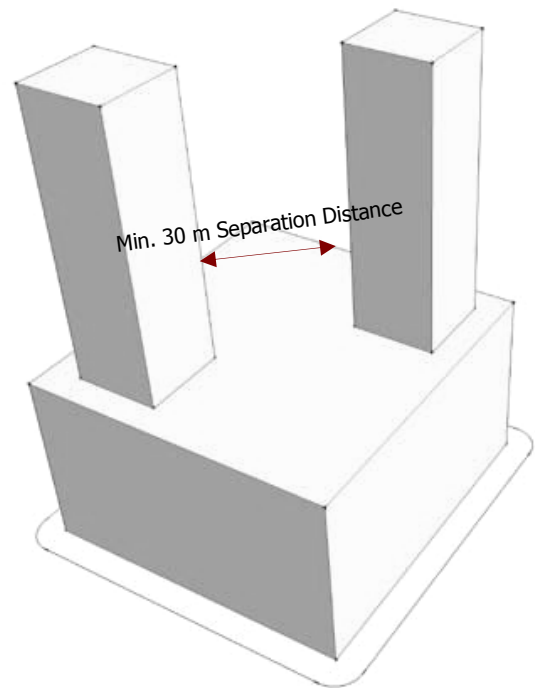
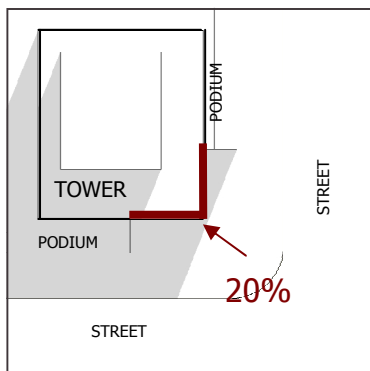
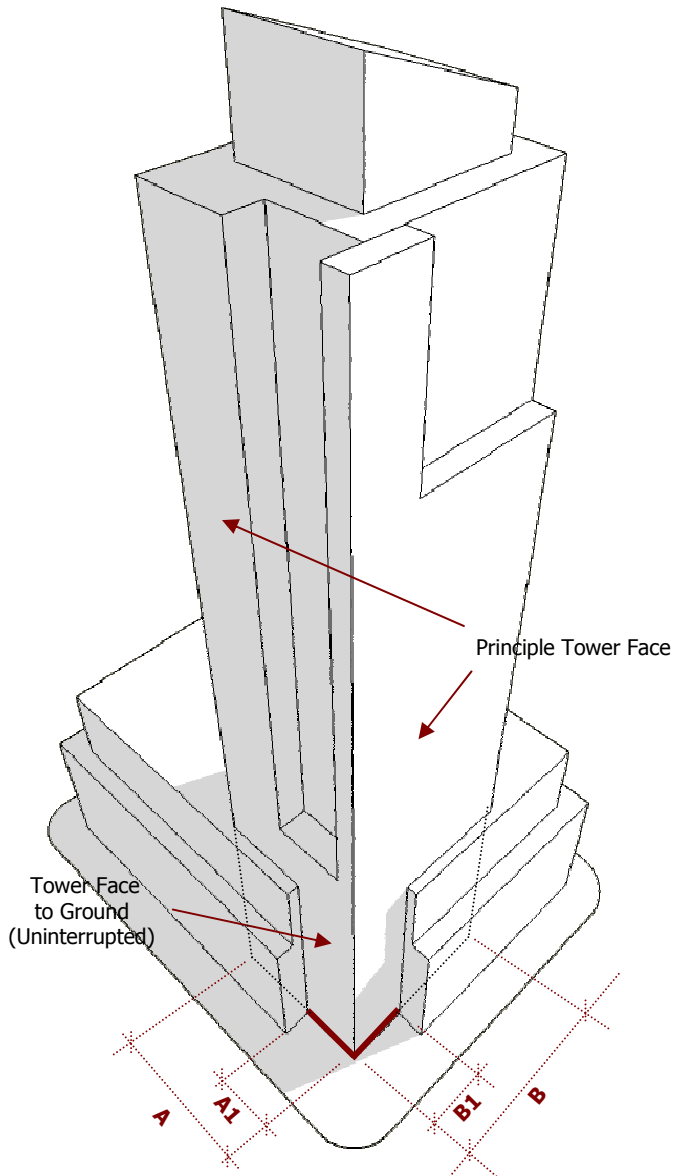


Figure 39: **Tower Separation** — Spacing towers with minimum separation will minimize collective shade and sunlight impacts of closely-spaced towers on streets, parks and adjacent residential buildings. This will also achieve increased access to sky views and natural lighting as well as increased privacy. The minimum spacing between point towers will be a minimum of 30m.



The maximum exposed Tower Face is calculated as follows:

$$\frac{A1 + B1}{A + B} \leq 20\%$$

Where:
A and B = Length of Principle Tower Faces
A1 and B1 = Exposed Face of the Tower (Uninterrupted)

Figure 40: Calculation of uninterrupted tower shafts.

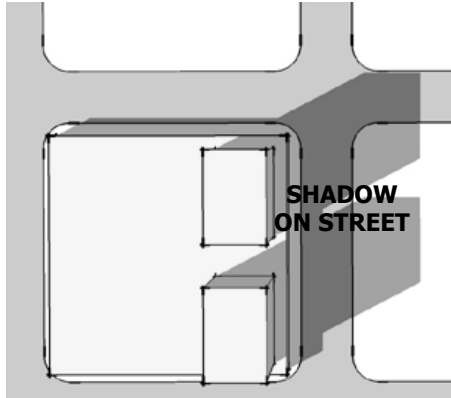
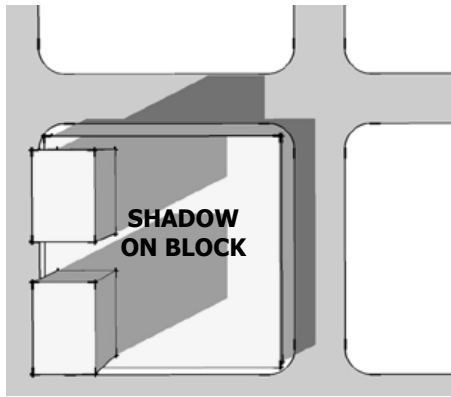
11.4 Uninterrupted Tower Shafts

To allow for different tower expressions and juxtaposition of form in the Downtown Core, a portion of the tower shaft may vertically extend down to grade in order to allow for an uninterrupted tower expression when incorporated into a podium or larger development scheme, subject to the following:

- T10** A maximum of 20% of the principle tower face may extend to grade without interruption by a Podium. Refer to Figure 40 for calculation of maximum allowable area of Uninterrupted Tower Shaft;
- T11** The placement of the tower does not overshadow and impact sunlight on the public sidewalk;
- T12** The setback to accommodate an uninterrupted tower shaft will count towards the allowable setback set out by the frontage standards for 'A' and 'B' Streets (see Section 5.1—5.2, *Street Frontage*);
- T13** When deployed at corner locations, the exposed at grade portion of the tower will be designed to create a highly animated condition in order to positively reinforce and celebrate the corner;
- T14** Tall building proposals must demonstrate that uninterrupted tower treatments do not introduce adverse wind impacts on the pedestrian realm by virtue of the tower location itself;
- T15** Introducing design elements to mitigate the effects of wind that are integrated with the architecture of the building.



CORRECT PLACEMENT



NOT DESIRABLE

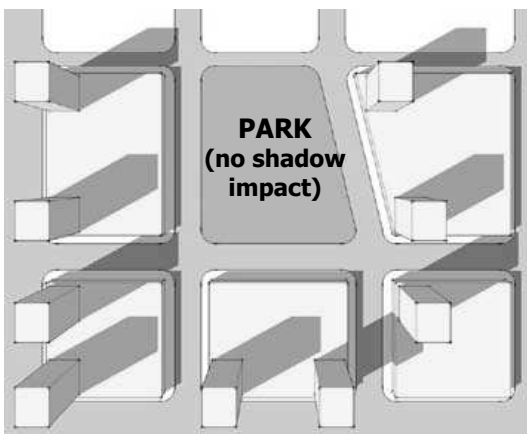


Figure 41: Towers should be located on development blocks to mitigate shadow impacts on the public realm.

11.5 Site Orientation

Point towers should be located on their sites to minimize shadow impacts on adjacent streets and open space. The following standards apply:

- T16** Point towers should be located on the north-west and south-west sides of a block or development site so that shadows fall primarily within the block itself rather than on the street;
- T17** Elongated floor plates should be oriented in a manner which minimizes shadow impacts - this should be demonstrated in accordance with any sun/shadow studies that are required by the City;



11.6 Park Orientation

- T18** Locate towers to minimize shadow impacts on adjacent parks and open spaces;
- T19** For blocks on the southeast and southwest sides of a park, towers should be located on the farthest side of the block from the park;
- T20** For blocks on the northeast and northwest sides of a park, point towers should be located on the southeast and southwest sides of the block;
- T21** Buildings fronting along parks and open spaces will establish a maximum podium height and point tower location/massing that maximizes opportunities for sunlight exposure in accordance with the *City of Mississauga's Standards for Shadow Studies*;



Figure 41: Delineate the top of the tower with a change in architectural detail and have the top meet the sky with a distinctive profile.



11.7 Tower (Roof) Top

- T22** Design the uppermost floors of the tops of tall buildings to achieve a distinctive skyline profile;
- T23** Design the tops of tall buildings to integrate and screen the mechanical penthouse function and other roof top units into the complete building design;
- T24** Use materials, finishes and patterns that are consistent with the overall building design and architectural expression;
- T25** Incorporate ways in which the roof top expression can be subtly highlighted and enhanced with architectural lighting effects during evening hours;

11.8 Built Form Compatibility & Transition to Adjacent Development

Taller buildings should be sited and organized to provide a desirable transition to adjacent lower form buildings and open space. They should also ensure compatible relationships between buildings of differing scale through adequate spatial separation.

Where a significant difference in scale exists between building heights, development will be required to deploy transition strategies through massing and built form, to achieve a harmonious relationship between proposed and existing development, and/or adjacent open spaces.

The following standards will apply:

- T26** Consider the size of the development area and the planned intensity of the use;
- T27** Consider the context of adjacent low scale development and other aspects such as the street width or adjacent open space;
- T28** Where a proposed development incorporates multiple buildings, design the buildings to step down in height from high to low, and where it abuts lower scale development;

T29 For large properties, use an angular plane of 45 degrees from the closest property line of lower scaled residential development, or open space, to determine the minimum setback and height of a building within a development;

T30 For single properties, deploy a stepping down of the building height and mass to achieve a transition to adjacent lower scale development or open space;

T31 Design the development to address the impacts of shadow, sky-views and how sunlight can be maximized on the private and public realm; and

T32 Where a group of buildings and/or spaces act collectively to create a special architectural context (i.e. related by similar scale, heights, materials, colours, architectural character, landscaping and open space patterns or qualities) ensure that proposed infill development respects the context by deploying a strategy for building height that is compatible, and which positively contributes to the existing and/or anticipated pattern of development.

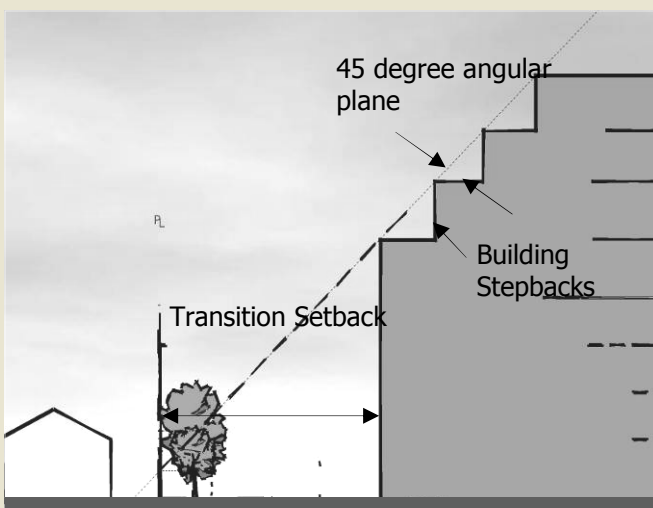


Figure 42: Taller buildings will mitigate height through step-down built form treatments in order to transition to adjacent lower scale development or open space.



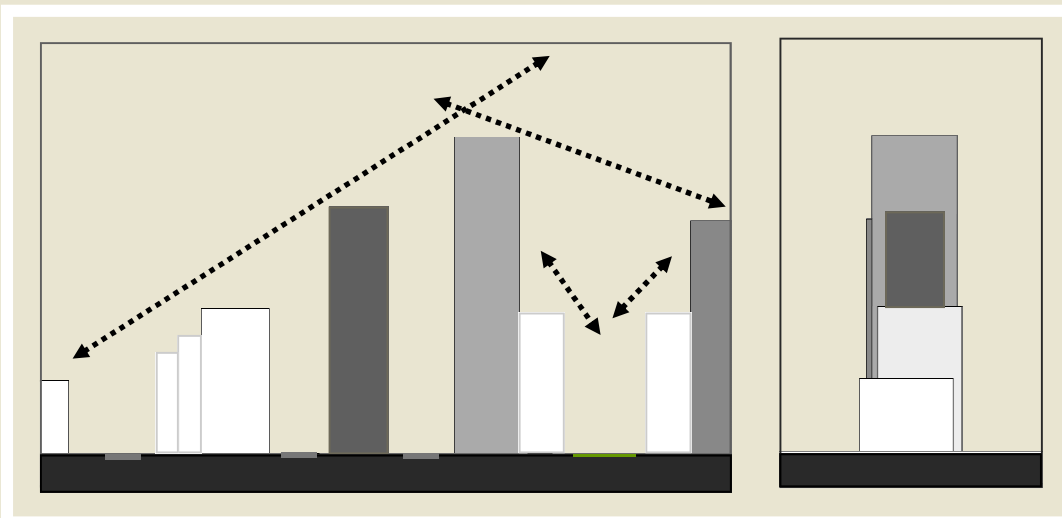
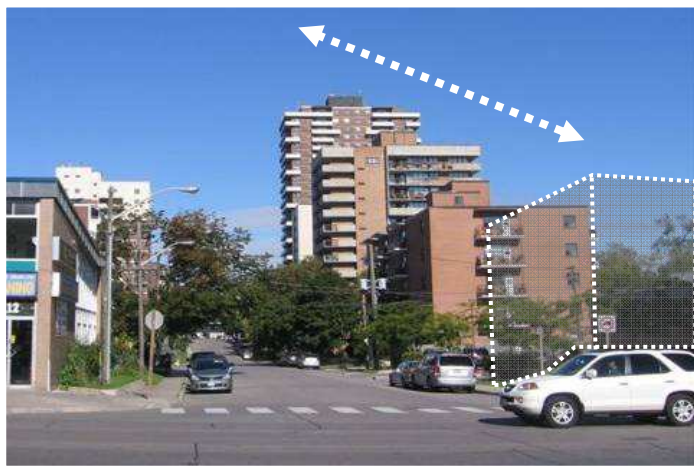
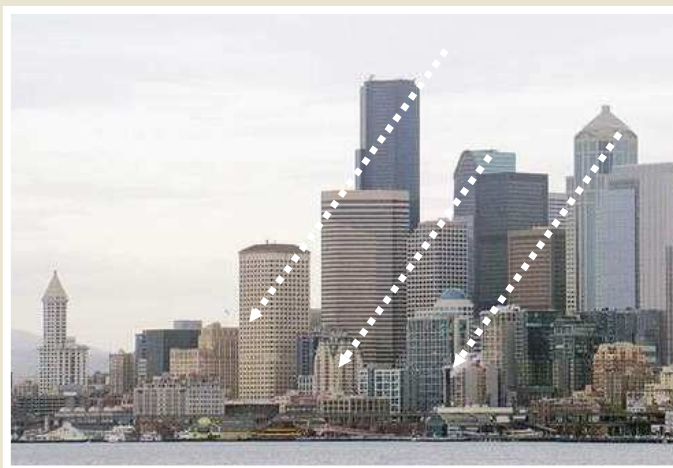


Figure 43: A progression in building heights over large blocks and areas can achieve more orderly arrangements and patterns in the built environment. Heights can be used to articulate and define the highest and most intense use of land, to the least intensive of uses.



11.9 Design for At Grade Residential (Podiums)

There are locations in the Downtown Core where frontages can accommodate townhouse-form (horizontal multiple units) buildings integrated with tall buildings—particularly where retail uses may not be feasible today or in the future. Where at grade residential uses are proposed that form a part of podium design, development will be designed to:

- RD1** Create a high quality interface and transition between the public sidewalk and front door to ensure adequate separation, definition and privacy;
- RD2** Provide high quality landscape and treatments within frontages, transition zones and set-backs;
- RD3** Provide functioning, individual entrances to residential units and animate the frontage with windows on the ground floor that look out onto the street or open space;
- RD4** Incorporate ways in which ground floor residential uses may transition to commercial uses in the future;



Figure 44: Above - Townhouse units address the street and incorporate landscaped transition areas between private individual entrances and the public sidewalk.



Figure 45: Examples of landscape treatments within transition zones.

Approach I

(Standard Design for Raised Residential Units)

- Provide individual unit entrances from the sidewalk;
- Incorporate a minimum setback of 3.0 metres, which includes front steps (maximum 6 risers) and porch;
- Buffer to include landscape treatments and other design treatments such as a raised planter, low fencing or landscaping to augment the transition zone; and
- Ground floor residential uses raised between 0.9 – 1.2 metres above the sidewalk level;

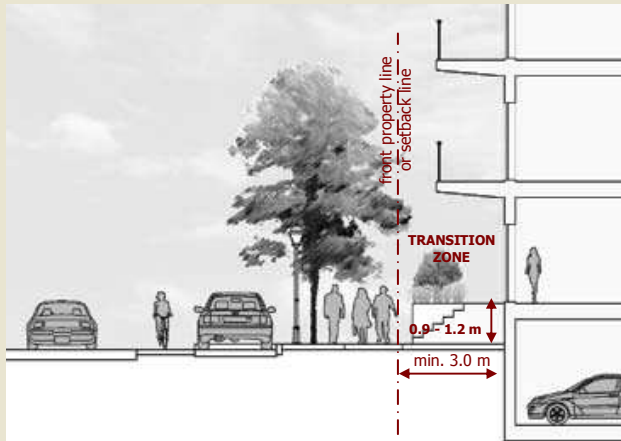


Figure 46: Approach I: Residential uses are elevated above the ground floor, but directly linked to the public sidewalk through individual points of access serving each unit.

Approach II

(Retail Conversion as Future Use)

- Provide individual unit entrances connected and level with the public sidewalk;
- Incorporate a minimum setback of 4.5 metres;
- Buffer to include landscape treatments and other design treatments such as a raised planter, low fencing or landscaping to augment the transition zone; and
- Incorporate a minimum floor-to-floor height (ground floor to second floor) of 4.5 metres.

N.B. The City of Mississauga recognizes that there may be other approaches which achieve similar objectives for the conversion of at grade residential development to commercial/retail uses. These will be considered and assessed for their merit at the application stages.

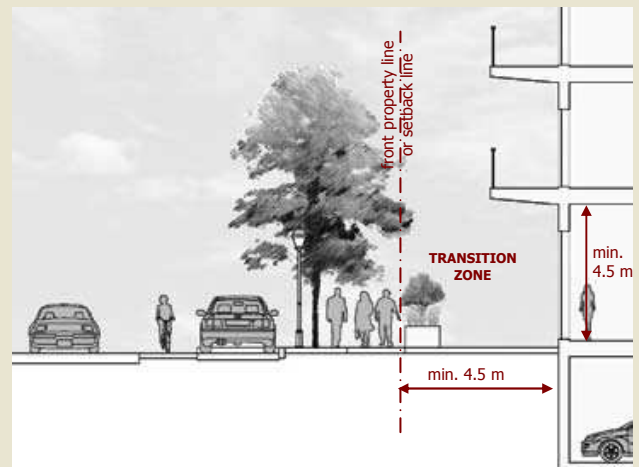


Figure 47: Approach II: Residential uses are located at the same level of the public sidewalk, with individual entrances, but designed for potential conversion to retail and or commercial uses.

<i>Articulation:</i>	<i>Public realm</i>
<i>At grade</i>	<i>Scale</i>
<i>Build-to-line</i>	<i>Setback</i>
<i>Built form</i>	<i>Sidewalk</i>
<i>Compatible/Compatibility</i>	<i>Spill-Out Zone</i>
<i>Curb cut</i>	<i>Streetscape</i>
<i>Edge (Façade</i>	<i>Street frontage</i>
<i>Frontage Design</i>	<i>Streetwall</i>
<i>Glazing</i>	<i>Step back</i>
<i>Liner Building</i>	<i>Storefront</i>
<i>Patio:</i>	<i>Transom</i>
<i>Pedestrian scale:</i>	<i>Transparent</i>
	<i>Transit-supportive land uses</i>
	<i>* ABOVE TERMS TO BE DEFINED</i>



Development and Design Division, Planning and Building Department

300 City Centre Drive, 6th Floor, Mississauga, ON L5B 3C1

Tel: 905-896-5511 Fax: 905-896-5553

October 1, 2012

City of Mississauga
Planning and Building Department
300 City Centre Drive
Mississauga, ON
L5B 3C1

Attention: Edward Sajecki

Dear Mr. Sajecki:

Re: Downtown 21 Master Plan - Draft Downtown Core Planning Framework

On behalf of our co-owners at Square One, we are writing to provide our comments and concerns related to the Draft Downtown Core Planning Framework (the "Draft Framework"). It appears that we did not receive the notice regarding the Draft Framework documents, including the proposed official plan amendment, built form standards and zoning framework. We would appreciate it if the City could ensure that we receive notice of any future release of materials or decisions regarding the Draft Framework.

As indicated in previous correspondence to the City, the ownerships we represent are supportive of the City's long-term objective to urbanize the City Centre in a way that is sustainable, both environmentally and economically. However, many of our concerns from previous correspondence remain unaddressed by the Draft Framework. For example, while the Draft Framework generally identifies the importance of Square One, it fails to recognize the future needs of the region-serving retail centre and could negatively impact many of the characteristics that have made Square One successful.

Proposed Official Plan Amendment

The proposed official plan amendment (the "Draft OPA") does provide a vision and urban design principles for a maturing downtown context, but it also contains substantial changes to the current planning framework. In particular:

- While the Draft OPA recognizes the Downtown Core's role as a regional designation, the region-serving retail function of Square One is not sufficiently protected. Instead, there are vague references to the Downtown Core being a strong economic centre and no specific reference to the important commercial role played by Square One. Further, it is unclear whether "employment", when used in the draft OPA, would include retail uses.
- The proposed visions for the Rathburn and Square One Districts require additional analysis. It would appear that the emphasis for both Districts is on office uses, at the expense of potential retail expansions. Further, as noted in previous correspondence, a realistic plan and incentive structure from the City should accompany any plan to promote office uses, given many of the existing disincentives for such uses.

- The Draft OPA provides no discussion regarding transition or phasing. Many of the City's objectives for development, transit and pedestrian access need to be integrated in a policy framework to protect existing uses while allowing for the gradual implementation of the City's vision. As one example, the Draft OPA does not address a long-term plan to ensure appropriate and necessary vehicular and servicing access to Square One.
- The various policies related to parking and access ignore the existing and future needs of Square One and its tenants. Greater flexibility is required for parking solutions and vehicular access in association with a region-serving retail centre.
- There is little detail regarding the planning and urban design implications of the convergence of vehicle traffic, local transit, GO Transit, BRT and LRT in the Rathburn corridor.
- Further information is required from the City regarding its intention to have the private landowners convey land into public ownership for the new roads and, if this is the City's intention, when and how the City would propose to do this. Roads are shown cutting through the existing Square One building which is impractical given long term lease commitments with existing tenants. In the case of the blocks flanking Rathburn Road, our own preliminary master planning indicates that the existing block sizes are well suited to large scale office development while non-road through-block pedestrian routes can provide the required linkages. Additional flexibility is required to maintain appropriately scaled office development sites.
- The Draft OPA contemplates a new "Main street" from Square One Mall across Burnhamthorpe to the residential communities to the south "in a relatively short time horizon", but no details are provided as to how the City intends to achieve this vision, particularly in view of the different ownerships involved.
- The site-specific policies for Sites 6 and 8 would require a private landowner to provide one or more areas of public parkland. Further information is required regarding the City's plan for acquiring these lands, and the design intent for the parkland network.
- Additional flexibility is required in the application of the proposed build-to lines, especially when applied to Square One. It is unrealistic to expect a shopping mall the size of Square One always to build out to the street on all edges. This concern also applies to the requirement for active ground floor uses, narrow storefronts in new development and restrictions on certain building materials.
- The minimum height of 3-storeys may prove challenging for future expansions of Square One, especially when it appears that the policy is proposed to apply to the entire building.

- The proposed restrictions on curb cuts, driveways and laneways may impact servicing and deliveries to Square One as well as potential expansions.
- It appears that retail activation is largely concentrated away from Square One.
- Given that the planning horizon for some of the proposed Districts is likely in excess of 20 years, with little redevelopment anticipated in the near-term, the immediate implementation of detailed street frameworks, open spaces and built form regulations is premature.

Proposed Built Form Standards

Our client also has a number of similar concerns with the proposed built form standards:

- The requirement for a minimum of 95% of a property's frontage on "A" streets to be occupied by the streetwall build-to line and 75% on "B" streets are unreasonably high.
- As noted above, certain built form requirements are unrealistic in the context of a shopping mall with a diverse selection of tenant size and design requirements.
- The combination of many new public roads and public spaces with the restriction on below-grade garages below the public realm will restrict the ability to provide new and efficient parking.
- The requirements for individual unit entrances in parks and open spaces and narrow storefronts are problematic when seeking new retail tenants, especially when other retail areas in the City are not burdened with these, and other, restrictive built form requirements.

Proposed Zoning Framework

Please advise when a draft zoning by-law amendment will be released for discussion. While the table released by the City provides a general idea of the zoning framework to be developed, it is difficult to provide meaningful comments without the consolidated text and an understanding of the entire zoning by-law as a whole. As such, we are reserving comments on the proposed zoning framework until such time as the draft zoning by-law amendment is released.

Further, the release of the draft zoning by-law amendment is critical to understanding how the Draft OPA will be implemented. This means that we may have additional comments regarding the Draft OPA when we can better understand how the City proposes to implement the policies through zoning.

Conclusion

We would welcome further dialogue with City staff regarding the concerns raised in this letter. As a whole, the Framework presents a number of challenges to the ongoing management of Square One and the surrounding lands, particularly in respect of the flexibility necessary to ensure the ongoing viability and competitiveness of Square One's important retail function as well as the revitalization of the area as an important office employment location. We hope that a meeting can be arranged as soon as possible to discuss changes that address our concerns while allowing the City to move forward with its objective of urbanizing the Downtown Core.

Sincerely,
Oxford Properties Group



John Filipetti
Vice President, Development

cc: Jeff Hess, Oxford Properties
Craig Coleman, Stonecap Realty Partners
Grant Charles, Hawthorne Realty Advisors

Downtown Core – Directions Report – October 2012
Recommended Policy and Regulation Framework

Issue	Proposed Policy/Regulation	Oxford Comments
1.1 Context	General introductory text	<p>This section should refer to the region-serving retail role of Square One.</p> <p>This section recognizes “some expansion” of the Square One Shopping Centre but virtually no new office development. In general, the Plan does not give sufficient importance to Square One or identify the impediments to office development in the area.</p> <p>This section recognizes the Downtown’s role as “a regional destination” but does not carry forward the specific recognition of the region-serving retail role of Square One.</p>
1.2 Vision	1.2.a Strengthen the Core’s role as the primary location for major office, highest concentration of retail commercial, mixed use, civic uses, and cultural development.	Square One serves a vital function in Mississauga’s Downtown Core as a Regional commercial centre. This should be recognized in this policy by recognizing regional retail role, not just “highest concentration.”
	1.2.b Accommodate forecasted growth without impacting the natural environment and quality of life in the Core	
	1.2.c Attract new office development to balance population and employment	Retail should be added as a desirable use to attract and maintain in the Core, especially since retail is a form of employment in the Square One context.
	1.2.d Create over the longer term a more fine-grained well-connected road network in the Downtown Core that supports multi-modal transportation modes: walking, cycling, transit and the car	Agree that all modes of transportation need to be supported in the future road network. Should not only support multi-modal but also ensure appropriate reasonable access for all modes of transportation.
	1.2.e Develop an integrated urban place that achieves design excellence in buildings, the public realm and distinctive character in mixed use districts;	
	1.2.f Provide a new development framework and policy regime founded on greater predictability and certainty in outcomes, to better direct growth and support existing and planned services.	In principle, greater predictability is desirable for Oxford as well. However, a provision referencing the importance of flexibility should be included as well. Flexibility is a necessity in the retail/commercial environment, and in order for Square One to remain competitive and for Downtown to

Issue	Proposed Policy/Regulation	Oxford Comments
		maintain its status as a regional commercial centre, the importance of this flexibility should be mentioned.
	General text: "The vision moving forward is for the Downtown Core to be a mixed use urban centre, with a balance of residential and employment uses..."	This policy should read "...a balance of residential, retail, and employment uses..."
2.1 Development Objectives		There is no mention of the importance of vehicular movement in the Development Objectives. We recognize that other modes of transportation are key elements of the future Downtown, but safe and efficient traffic flow ought to also be recognized as an objective.
	2.1.1 A high quality of urban design in the built form that is unique, mixed use, pedestrian friendly and transit supportive, and which contributes to the unique identity and prominence of the Downtown Core.	This policy should also mention encouraging safe and efficient vehicle movement. Vehicular movement will be a reality in Downtown in both the immediate and distant future, and it is important to acknowledge this fact.
	<p>2.1.2 The location of streets, the mix of uses, a high standard of urban and streetscape design, and the development and enhancement of a comprehensible public / private system of pathways and open space, including public art will:</p> <ul style="list-style-type: none"> a) integrate retail commercial, office, civic and other facilities b) facilitate pleasant and safe pedestrian and cyclist movement throughout the Downtown Core c) provide opportunities for passive outdoor recreation within the Downtown Core d) Provide access to and from the Cooksville Creek greenbelt e) reinforce and expand the role of the Downtown Core as the focus of city wide cultural, community and civic activities 	<p>Mention of maintaining regional accessibility, in order to support the regional commercial function that is vital to the economic health of Downtown, should also be made. The importance of maintaining a sufficient parking supply should also be mentioned.</p> <p>Policy (b) should also mention vehicular movement.</p> <p>Policy (e) should also mention reinforcing the role of Downtown as the focus of regional commercial activity.</p>
	2.1.3 Street related development will pay particular attention to pedestrian access and amenities	

Issue	Proposed Policy/Regulation	Oxford Comments
	2.1.4 Development will result in a unique Downtown Core character, enhanced through the creation of view corridors and gateway features, and visibility of the Civic Centre and public gathering spaces.	Square One should be added as an important visible marker
	2.1.5 The Downtown Core road system will be completed to achieve multi-modal transportation	This policy should also emphasize the importance of developing a road system that encourages safe and efficient vehicular movement.
	2.1.6 The placement and design of parking facilities will achieve the highest standard of urban design and architecture in support of the Downtown Core pedestrian environment and public realm.	
	2.1.7 A mix of uses throughout the Downtown Core will be found within buildings and along individual streets.	This policy should be refined to change “found” to “encouraged”
	2.1.8 A balance of residential and employment uses will be developed throughout the Downtown Core.	This policy should also include retail/commercial uses as a desirable use.
	2.1.9 Foster the continued development of a variety of entertainment activities within the Downtown Core that will contribute to activity both day and night.	
	2.1.10 Development and activities will enhance the Downtown Core as a destination	
	2.1.11 Development and activities that will expand tourism in the Downtown Core and the region	This policy should mention encouraging and supporting the regional retail that currently draw visitors to Downtown.
	2.1.12 The prominence of the Downtown Core as a mixed use centre will be maintained	Prominence of region-serving retail role should also be maintained
	2.1.13 Vehicular and transit access to and from the Downtown Core to the Toronto Lester B. Pearson international Airport and interregional transit facilities, such as the Cooksville GO Transit station will be developed.	
3.0 Urban Design		Blocks need to provide a flexible urban structure that allows for reasonable block sizes that accommodate all forms of Downtown Mississauga’s access and mobility needs – for transit, vehicles, bicycles and pedestrians; development needs; and future growth potential.

Issue	Proposed Policy/Regulation	Oxford Comments
	3.1.1 Urban form in the Downtown Core will develop incrementally. The submission of a concept plan will be required for all development applications and must demonstrate how the urban design policies will be implemented through the development review process.	Clarity should be added to describe what constitutes a concept plan.
	3.1.2 The urban design policies and Downtown Core Built Form Standards included in Appendix 1 of this Plan will provide interpretation and direction on the urban design policies, which will also be used to evaluate development proposals.	
	3.2.1.1 Development will provide physical definition of the streets and ensure a seamless relationship between the public and private realm. Existing and new roads in the Downtown Core will be identified for the purposes of: a. establishing categories of street frontages b. identifying urban design policies that articulate the intent of the street frontage categories; and c. specifying Built Form Standards that provide direction and detailed development guidance in relation to the urban design frontage categories, included in the Downtown Core Local Area Plan as Appendix 1.	In addition to streets being defined by their form and function as related to frontages, the streets' physical function as a corridor for mobility needs to be addressed. This policy should also mention the importance of access to retail
	3.2.1.2 Mississauga will ensure a fine grain pattern of urban streets in the Downtown Core to: a. Create high quality street designs that support a comfortable, pedestrian scale, cycling and transit supportive environment.	The creation of a fine grain urban block structure can be made through a combination of vehicular streets defining blocks edges and other urban design features – such as plazas, pedestrian walkways, or openings in the street wall – to break down the scale of blocks. Too fine a grain might unduly burden overall site circulation and vehicular traffic, and increase the amount of stormwater run-off from the larger amounts of impermeable paving.
	3.2.1.3 In addition to providing routes for multi-modal travel, streets are a significant public resource within the Downtown Core. The design of streetscape should:	

Issue	Proposed Policy/Regulation	Oxford Comments
	<ul style="list-style-type: none"> a. Ensure a high level of urban design in all components b. Enclose and contain the streets with well-designed buildings and groups of buildings to create a predictable pattern of development, and define the public realm and open space system c. Ensure streets achieve a sense of enclosure by minimizing their visual width and scale with the use of streetwalls and boulevard treatments d. Ensure pedestrian and cycling amenity, comfort, convenience and safety e. Ensure design and functional elements are incorporated which reduce traffic speed f. Accommodate on-street parking in public rights-of-way, where feasible g. Incorporate coordinated street furniture and lighting systems; and h. Provide coordinated traffic signage, which is designed in scale and character with the Downtown Core streetscape elements. 	<p>(b) Predictability in planning should not preclude future development opportunities. For a long-term master plan, flexibility in future development is critical for the eventual planning and development to best response to market needs and demands of the city.</p> <p>(e) Streets with reduced traffic speeds should be balanced with roads and boulevards that can accommodate the displaced higher volumes of traffic to maintain an adequate Level of Service for roads in the Downtown Mississauga area</p>
	<p>3.2.1.4 In addition to providing corridors for utilities, boulevards to provide the framework for public amenities on the Downtown Core streets and integrate diverse areas of character, the design of boulevards should:</p> <ul style="list-style-type: none"> a. Incorporate coordinated design themes, materials and landscaping throughout the Downtown Core b. Be designed as active public spaces integrating and linking development c. Should facilitate pedestrian and cycling linkage between the curb and abutting private lands d. Incorporate enclosure and definition of the street space e. Maximize the opportunity to incorporate places to meet, sit and socialize and f. Achieve pedestrian comfort, weather protection and safety, particularly at transit stops 	

Issue	Proposed Policy/Regulation	Oxford Comments
	<p>3.2.1.5 Parks and other open spaces provide urban amenities for the Downtown Core. These features should:</p> <ul style="list-style-type: none"> a. Encourage a variety of open spaces, square, and central green areas b. Provide pedestrian connections between the public sidewalk, significant buildings and features c. Provide pedestrian connections between the public sidewalk, significant buildings and features d. Frame a view, a significant building or terminate a vista, where appropriate; and e. Be flanked by public roads to ensure they are not considered private spaces 	
	<p>3.2.1.6 The design of built form and landscape elements will:</p> <ul style="list-style-type: none"> a. Integrate transit stations and bus stops with development b. Incorporate weather protection in waiting areas c. Provide walkways from transit stops to principal building entrance(s) and d. Ensure visibility of transit stops from the public street and abutting development 	
	<p>3.2.2.1 'A' streets are designated 'A' and/or 'B' streets, which differentiate the various streets by their function, character, built form treatments and design</p> <ul style="list-style-type: none"> a. 'A' Streets have a critical role and function in the Downtown Core. They are intended to be the most important for securing animation and character, a comfortable pedestrian environment, street activity and vibrancy b. 'B' streets allow for site servicing and access and are also intended to support street activity, achieve character and a pedestrian friendly environment. c. New development will follow specified 'A' and/or 'B' street standards for each street in the Downtown Core. The 	<p>In addition to defining streets by form and function, the definition of streets should allow for concentrated areas of retail, corridors for different modes of transportation and pedestrianized areas and more flexibility in the mandate of continuous frontage. Sensitively placed curb cuts should be accommodated on vehicularly-accessed streets to allow for block access and servicing. Placement will minimize the effect on pedestrian zones.</p> <p>A Streets: Continuous retail frontage; vehicles allowed on street; generous sidewalks provided for pedestrians A' Streets: Pedestrianized streets with episodic retail; vehicles allowed on street</p>

Issue	Proposed Policy/Regulation	Oxford Comments
	character of built-form varies according to the 'A' or 'B' street designation. The framework is shown in the A & B Street Schedule of this Plan.	B Streets: Connector streets for vehicular traffic; pedestrian-friendly in character; vehicles allowed on street B' Walkways: Through-Block pedestrian connections; vehicles not permitted on walkway C Streets: Access streets, primarily for vehicular traffic
	<p>3.2.2.2 Where streets have been identified as having an 'A' or 'B' street frontage, development will address the following provisions:</p> <ul style="list-style-type: none"> a. Locate build-to line requirements on development blocks b. Coordinate build-to lines with adjacent properties in order to create consistent edges and street walls along frontages c. Locate buildings parallel to the street at the build-to line to contain the street and provide enclosure d. Ensure a variation in setbacks along the building frontages to articulate façade emphasis at the build-to line to allow for visual interest, outdoor patios, recessed entries and landscaped areas; e. Buildings should incorporate active ground floor uses to animate the public realm and will be designed as an extension of the pedestrian environment. f. Ground floor uses will incorporate transparent windows g. Development will locate functioning principal building entrances so that they are clearly identifiable and prominent with direct access to the public sidewalk, pedestrian connections and transit facilities, and h. Retail and commercial entrances, and lobby entrances and lobby entrances serving buildings will be flush with the sidewalk elevation. 	
	3.2.2.3 'A' streets require the greatest attention to urban design and will have a cohesive built form and streetscape character to support the public realm	
	3.2.2.4 'A' Streets will have continuous building frontages along the length of development block sot provide a	

Issue	Proposed Policy/Regulation	Oxford Comments
	continuity of built form from one property to the next	
	3.2.2.5 Functioning principal entrance to buildings will be provided on 'A' Streets	
	3.2.2.6 Curb cuts, driveways and laneways are prohibited on 'A' streets, except where a site or block does not have access from a 'B' street, or if there is a requirement for emergency vehicle access.	Curb cuts need to be provided for building servicing, loading and parking access. This policy should indicate that, where curb cuts occur on a street with pedestrian priority, their impact on the pedestrian environment will be minimized.
	3.2.2.7 'B' street provide development blocks with vehicular access to off street parking, deliveries, garbage pick-up, service and loading. 'B' streets will also have an important pedestrian character designed to a high standard of built form and streetscape to support the public realm.	<p>We propose a more specified definition of 'B' streets as connectors. B Streets would serve as connector streets for vehicular traffic and remain pedestrian-friendly in character. B' Walkways would be through-block pedestrian connections, where vehicles would be prohibited from accessing. In addition to the redefined A, A', B, and B' streets/walkways, we propose an additional street type 'C', which will be designed as vehicular access priority roads.</p> <p>Additionally, continuous frontage for the entire length of B streets might create an over-abundance of retail spaces/GFA. Mandating such development may not be feasible in the short- to medium-term or, in the absence of balanced ratios with other programs, even the long-term. We note that regional-scale mall retail may expand beyond their local capacity for use; however, the same argument does not apply to the street-front retail and there is a finite capacity for how much of it the site will be able to support, even at build-out.</p>
	3.2.2.8 'B' streets will have continuous building frontages along the length of development blocks to provide a continuity of built form from one property to the next with minimal gaps between buildings and provision for loading and servicing facilities.	
	3.2.2.9 Functioning principal building entrances will be located on 'B' streets, except where a development block may have 'A' and 'B' streets, the most prominent building	

Issue	Proposed Policy/Regulation	Oxford Comments
	entrances will be located on 'A' streets.	
	<p>3.2.2.10 The design and location of parking facilities will have</p> <ul style="list-style-type: none"> a. Below grade or above grade structured parking b. Walkways, traffic islands and pedestrian refuges as integral components of parking facilities c. Identified access to parking facilities from the public street d. Integration of parking on abutting sites e. Safe vehicular circulation and orientation within the parking areas 	
	<p>3.2.2.11 Above grade structured parking will be designed so that:</p> <ul style="list-style-type: none"> a. Structured parking and vehicular access will be located to minimize impacts on the property and on surrounding properties and will improve the safety and attractiveness of adjacent streets, parks and open spaces. b. Parking structures will not directly front onto 'A' streets, but will be screened by liner buildings incorporating a mix of uses between the parking structure and street space c. On the ground floor, parking structures will have active uses such as commercial or retail with an appropriate scale and architectural expression to support activity on the streets, parks and / or open spaces d. For a given development block, parking structures will only directly front onto one 'B' street, where more than one 'B' street frontage exists. e. All parking structures and their facades above the ground floor will be designed to the highest level of architectural treatment and façade animation to mark the parking and screen views of the interior. f. Entrances, lobbies and passageways that provide a convenient means of access to parking facilities from the street will: 	<p>(b) We accept the principle that ground floor liner uses are required, but, for office podiums, we believe screened upper floors may have parking components. This requirement should not be interpreted as requiring "liner" buildings on all levels so long as they are present at the ground (pedestrian) level and upper levels have appropriate screens and other architectural treatments as required to provide for an attractive and pedestrian-friendly streetscape.</p>

Issue	Proposed Policy/Regulation	Oxford Comments
	<ul style="list-style-type: none"> • Be located on streets where the least amount of retail is required, or where no retail frontage requirement is specified in accordance with the Retail Activation Schedule included in this Plan • Be fully enclosed, appropriately signed and integrated into the façade design without appearing as dominant elements on the street frontages. <p>g. At grade exhaust vents serving structured parking facilities will not be permitted to front onto 'A' streets, but may be located on 'B' streets provided that they are architecturally treated and vertically integrated into a building's exterior wall and cladding system.</p>	(g) We propose revising this policy to state that at-grade exhaust vents can be located on an A or A' street, when a block does not have a B street as an edge condition.
	3.2.2.12 Servicing, loading and garbage storage facilities will be located internally within buildings	
Vehicular Access and Facilities in the Streetscape	<p>3.2.2.13 The design of facilities for vehicular access to properties will:</p> <ul style="list-style-type: none"> a. Provide clarity, safety and internal overlook opportunities to properties b. Have limited driveway access points to the public street and crossings of the sidewalk; and c. Have recognition of the needs of pedestrians and cyclists 	
Retail and Commercial Frontage Design	<p>3.2.2.14 Development incorporating at-grade retail and commercial uses at the frontages, will be designed so that:</p> <ul style="list-style-type: none"> a. Lobbies and principal entrances located at grade serving residential uses above the ground storey shall be limited in size in order to allow for maximum activation of the street b. Where areas of retail focus have been identified in accordance with the Retail Activation Schedule of this Plan, lobbies and principal entrances serving residential uses above the ground storey will be located on streets where the least amount of retail is required, or where no retail frontage requirement is specified c. Storefronts are expressed with a narrow width and frequent rhythm that supports the pedestrian experience at 	(b) Areas of retail focus (the Retail Activation Schedule) will need to be re-considered (see street classification diagram, KPF vs DT 21). Maximum activation can be achieved where entrances serving residential uses above the ground storey make strategic use of the same street on which the retail frontage occurs. We do not advise that residential entrances be completely separated from retail streets, so long as the design of street-facing residential building entrances are

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	<p>the street level</p> <p>d. Uses will be directly related to public sidewalk and street level, and will incorporate operating entrances, doorways and storefront windows oriented to the street, along with signage and lighting to provide animation, interest and variety in the streetscape.</p> <p>e. Such uses incorporate architectural cantilevers, fixed canopies, awnings or similar features in order to achieve pedestrian scale comfort and weather sheltered pedestrian routes. These should complement the architectural character of the building and be made of highly durable materials; and</p> <p>f. Where appropriate, patios and outdoor amenity space should be provided adjacent to retail and commercial entrances to promote activation and street vibrancy</p>	<p>consistent with the urban design concept of that street and reinforce its pedestrian accessibility.</p> <p>(c) To be successful, a retail requirement on the scale of the development contemplated has to have a range of floorplate sizes and frontage lengths. At this scale, an exclusive focus on storefronts with “narrow width and frequent rhythm” will not be possible, and tenant requirements will dictate the size and dimension of the retail units. The overarching objective should be to assure the success and pedestrian-friendliness of streetfront and Main Street retail, not to canonically dictate the dimensions of each unit. Instead of dictating the economic form of retail, we would recommend specifying the maximum distances between entrances, minimum streetwall and façade projection requirements, and the frequency and rhythm of glazing, display windows and other façade treatments. Formal requirements do not have to match economic requirements.</p>
	<p>3.2.2.15 Development incorporating at grade retail and commercial uses will also incorporate the highest standard of storefront design consisting of:</p> <p>a. High quality materials</p> <p>b. Clear transparent windows and doors that allow for views into and out of storefronts; dark tinted, reflective or opaque glazing or ‘lifestyle’ panels placed on storefront windows are not permitted.</p> <p>c. Elements such as mullions, glazing bars and transoms to help frame, divide and define storefront window sections and apertures where appropriate; and</p> <p>d. Coordinated signage and lighting that integrates with the storefront design, and which complements or acts as an extension of the buildings architectural character.</p>	
Residential Use Frontages	<p>3.2.2.16 Development incorporating residential uses will</p> <p>a. Provide functioning, individual entrances to residential</p>	

Issue	Proposed Policy/Regulation	Oxford Comments
	units and to animate the frontage with windows on the ground floor that look out onto the street; b. Create a high quality interface and transition between the public sidewalk and front door to ensure adequate separation, definition and privacy; c. Provide high quality landscape architecture treatments within frontages, transition zones and setbacks; and d. Consider designs that allow for the potential conversion of ground floor residential uses to commercial and retail uses over time.	
Special Frontage Provisions	3.2.2.17 Buildings that surround, have proximity or have street frontage facing parks or open space will be designed according to 'A' street requirements and have the highest level of architectural expression, articulation and use of materials.	Each plaza, park and other open space proposed for the Square One Lands has a different character. Extending a single set of street classification requirements to all of them will not be appropriate and will result in too much retail space. Each park, plaza and open space should be treated uniquely, based on its particular circumstances. We can provide an inventory of such spaces and their requirements, if requested to do so.
	3.2.2.18 Proposed development will ensure that important view along Burnamthorpe Road and Hurontario Street, and views towards the Civic Centre precinct and the Living Arts Centre are considered.	
Pedestrians in the Streetscape	3.2.2.19 The design of built form and landscape elements will: a. integrate spaces between the building wall and the streetline with the public boulevard for design continuity; b. identify internal building spaces and exterior courtyards accessible to the public from the public street; and c. incorporate ease of pedestrian movement and minimal grade changes through the site integrating with the public streetscape.	
Built Form	3.2.3.1 To achieve a variety of character and diversity in built form, a wide range of building forms will be encouraged across the Downtown Core to include the	

Issue	Proposed Policy/Regulation	Oxford Comments
	<p>following:</p> <ul style="list-style-type: none"> a. Low-rise buildings (3 - 5 storeys) b. Mid-rise buildings (6 – 12 storeys) c. Tall buildings (above 12 storeys) 	
	<p>3.2.3.2 Low rise buildings will be designed to provide a minimum of 3 storeys both at the street frontage and across the entire building area.</p>	<p>Requiring a minimum three storeys of height above street-front retail is not always practicable from a commercial perspective, at the scale of the City Centre site. Not all retail footprints support overhead low-rise offices, for example, and certainly not in the quantities that would result from compliance with the mandatory requirement. Similarly, overhead residential buildings only work with certain footprints and in certain configurations, which do not always match with the City's desire for continuous street-facing façade projection at the ground floor, especially at this very large scale of application. Specifying minimal frontage heights may be a better way for achieving the City's urban design requirements, rather than specifying the distribution of the economic program occupying that height.</p>
	<p>3.2.3.3 Mid-rise buildings will be designed to:</p> <ul style="list-style-type: none"> a. incorporate special massing, stepbacks, pedestrian perception lines, and articulation at the streetwall and upper storeys to contain the street or public space, and support a pedestrian scale; and b. mitigate the impacts of wind, shade and shadow and demonstrate how proposals adhere to the City of Mississauga Standards for Shadows Studies. 	
	<p>3.2.3.4 Tall buildings characterize a good part of the Downtown Core landscape and have a role in their contribution to the emerging downtown urban context.</p>	
	<p>3.2.3.5 Tall buildings will consider location, placement, relationship to the street, height ranges, built form qualities and architectural treatment in order to enhance the pedestrian environment, and minimize shadowing of the</p>	

Issue	Proposed Policy/Regulation	Oxford Comments
	public realm. They have a role to play in terms of protecting important views, impacts on cultural resources, accommodating a range of uses and supporting transit. They must also ensure fundamental quality of life aspects such as access to natural light, sky views and privacy for those that live, work and visit the Downtown Core.	
	3.2.3.6 Tall buildings will be required to demonstrate how proposals adhere to the City of Mississauga Standards for Shadows Studies.	
	3.2.3.7 Tall buildings in the Downtown Core will be designed and massed in the form of a podium, tower and top.	
	<p>3.2.3.8 Podiums will be located and massed to fit harmoniously into their existing and/or planned context and will limit impacts such as shadowing on adjacent streets, parks, open spaces and adjacent properties. They are intended to support a pedestrian scale, contain the street and shape the public realm. Podiums will integrate with adjacent buildings and address the impacts of parking, loading and servicing.</p> <p>a. The height of the podium will generally be equal to the width of the right of way, but not less than 3 storeys in height;</p> <p>b. Podiums will incorporate a street wall placed at the build-to-line, having a minimum of 3 storeys;</p> <p>c. Podiums and their street walls will be articulated and massed at the upper storeys using stepbacks to:</p> <ul style="list-style-type: none"> • Mitigate the perception of height and create a comfortable scale for pedestrians; • Maximize sunlight on the public realm; and • Mitigate the effects of wind on the pedestrian environment. 	
	3.2.3.9 The middle shaft/tower will be located and massed to fit harmoniously into its existing and/or planned context	

Issue	Proposed Policy/Regulation	Oxford Comments
	<p>and will limit impacts on adjacent streets, parks, open spaces and adjacent properties by:</p> <p>a. maintaining generous spatial separation between towers to maximize access to sky views, natural daylighting, adequate privacy, minimize wind conditions and collective shade on the streets, parks and open spaces.</p> <p>b. designing the floor plate size and shape with appropriate dimensions for the site, locate and orient the tower shaft on the site and in relationship to the Podium and adjacent buildings.</p> <p>c. articulating the floor plates to break down the mass of the building and to create street interest and enhance skyline character.</p>	
	3.2.3.10 Design the uppermost floors of the tops of tall buildings to achieve a distinctive skyline profile.	
	3.2.3.11 Design the tops of tall buildings to integrate the mechanical penthouse function into the complete building design.	
	3.2.3.12 Use materials, finishes and patterns that are consistent with the overall building design and architectural expression.	
Built Form in the Streetscape	<p>3.2.3.13 The design, location and character of Built Form will:</p> <p>a. have regard for scale and enclosure of the public street;</p> <p>b. mitigate the perceived mass of large buildings and long frontages by:</p> <ul style="list-style-type: none"> • Ensuring buildings and their streetwalls are well proportioned to address human scale; • Incorporating variation in the overall design of the streetwall; • Using special massing to articulate the built form; • Providing a change in materials, textures, patterns, colours and details to create a sense of smaller scale buildings; 	

Issue	Proposed Policy/Regulation	Oxford Comments
	<p>c. ensure that streetwalls for mixed use buildings articulate a base, middle and top to define the ground floor and upper storeys;</p> <p>d. incorporate a frequent vertical rhythm and articulation across the streetwall in order to provide interest, a sense of human scale, orientation, comfort and accessibility;</p> <p>e. design corner lot buildings with special massing and architectural treatments on both streets to give prominence along the frontages and visually distinguish these sites;</p> <p>f. express principal building entrances with a height, proportion and level of articulation that is compatible and in scale with the ground floor storey height, so that entrances are visible and serve as focal points for orientation and access from the street;</p> <p>g. have buildings that deploy high-quality, enduring and durable materials such as stone, clay brick, wood and glass; and</p> <p>h. ensure materials such as stucco, vinyl, embossed face brick, exterior insulation finish systems (EIFS), and architectural concrete block are not used in the Downtown Core.</p>	
Signage	3.2.3.14 Free-standing pylon and stand-alone signs are prohibited in the Downtown Core.	
	<p>3.2.3.15 The design, location, size and character of building signage will:</p> <p>a. be visually integrated with development as an extension of the building's architectural expression;</p> <p>b. ensure compatibility of scale and character of the signage with the building and the context of the site; and</p> <p>c. provide clear identification of the site address.</p>	
Landscape Design	3.2.4.1 The design, location and character of landscape	

Issue	Proposed Policy/Regulation	Oxford Comments
and Public Art in the Streetscape	<p>features will have:</p> <ul style="list-style-type: none"> a. connection and linkage with the public street; b. high quality, safe and accessible amenity and open space on their sites; c. formal landscape elements respective of the urban setting; d. continuity with the design elements of the public boulevard; e. public art as an integral component of the street providing visual interest and a sense of place; and f. architectural and landscape features reinforcing common objectives 	
Main Street District	<p>3.2.4.1 The design, location and character of landscape features will have:</p> <ul style="list-style-type: none"> a. connection and linkage with the public street; b. high quality, safe and accessible amenity and open space on their sites; c. formal landscape elements respective of the urban setting; d. continuity with the design elements of the public boulevard; e. public art as an integral component of the street providing visual interest and a sense of place; and f. architectural and landscape features reinforcing common objectives 	
Main Street Transit Station Area	<p>3.3.1.1. The Main Street Station serves as a destination node for the Main Street and is shown in the Long Term Transit Network Schedule on this Plan. This station area will be a vibrant, walkable, mixed use place.</p>	<p>Oxford believes Main Street would be more appropriately located west of where Downtown 21 illustrates it to provide a better relationship with future shopping centre expansions.</p>
Rathburn Transit Station Area	<p>3.3.4.1 The Rathburn Station Area is served by the LRT and Bus Rapid Transit and, is adjacent to the City Centre Transit Terminal. It connects with the future development north of Square One Mall along Rathburn Road. The station area is characterized as an office district, with some entertainment</p>	<p>The classification of allowable uses restricting development to “office district, with some entertainment” uses is too restrictive and undermines the mixed-use character required to attain a high degree of activation and pedestrian-orientation, as befits the major station area of a transit-</p>

Issue	Proposed Policy/Regulation	Oxford Comments
	uses.	oriented district. We would anticipate that this area will be primarily office; however, ground floor retail uses should not be restricted to “entertainment” and strategic clusters for residential and serviced apartment development should be integrated, perhaps along Square One Drive and toward either end of Rathburn, from Duke of York to Centre View/City Centre. There is also a lack of clarity in terms of what “prestigious employment district” means in terms of land use.
Robert Speck Station Area	3.3.6.1 This station serves the concentration of office at Robert Speck Parkway and Hurontario Street and future office development along City Centre Drive.	
Square One District	3.3.7 – General Text	<p>Expanding ‘A’ streets to include all areas fronting the mall where the frontage faces public or private open space would likely result in excessive retail development. Each park, plaza and open space should be treated on a case-by-case basis, keeping in mind the need for design for maximum pedestrian appropriateness and friendliness. Canonical requirements for frontage design, as proposed by the City, may be too restrictive if the desire is the best possible public realm environment and open space system.</p> <p>It should be noted that Oxford and AIMCo plan to expand Square One Shopping Centre’s enclosed, regional retail format, creating opportunities for public spaces as well as streetfront retail frontage along the shopping centre’s periphery. These plans must be carefully coordinated to create an economically functional environment that also meets the City’s urban design objectives. In general, it is not possible to simply replace mall-enclosed regional retail with street fronting local retail by disassembling the shopping centre. The leasing footprints, leasing structures, parking and egress requirements, and consumer-base are all quite different, and require different design solutions. The Square</p>

Issue	Proposed Policy/Regulation	Oxford Comments
		<p>One Lands master plan has sought to plan for what Oxford/AIMCo believes to be the economic capacity for retail of both natures. Both capacity figures are finite for these two different, respective markets, and removal or reduction of one does not automatically create capacity for the other.</p> <p>The region-serving retail role of the shopping centre should be mentioned. The phrase “it is expected that the shopping centre...” should be revised to state “it is encouraged that the shopping centre...”</p> <p>Policies speak to office uses and residential, with only ground floor retail. This policy should be deleted.</p> <p>Policies should also recognize that additions will face outward but may also have an “inward” function to be part of the shopping centre.</p>
Matthews Gate Station Area	3.3.8.1 This station area at Hurontario Street and Matthews Gate serves the concentration of office and residential lands in the Sussex and Mississauga Valley Precincts. The station area will be designed to facilitate pedestrian connections among the Sussex Centre, Kariya Park, and the school board lands while also serving the needs of a dense residential area population.	
Transition Areas	3.3.9.1 The Transition Areas will promote positive integration of building scale and intensity of development between the Downtown Core and abutting communities.	
	3.3.9.2 The design of the built environment should encourage: a. mid-rise built form adjacent to the Downtown Core boundaries and north of Burnhamthorpe Road West, with height transitions to a maximum of five storeys, on lands shown as Area 'A' on Map 1;	

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	<p>b. low-rise built form adjacent to Downtown Core boundaries, with height transitions from a maximum of two storeys at the Downtown Core boundaries to a maximum of eight storeys at the inner edge of the Transition Areas for lands abutting the easterly limit of the Downtown Core, shown as Area 'B' on Map 1 and lands immediately south of Rathburn Road West, shown as Area 'C' on Map 1;</p> <p>c. orientation of buildings enabling a sensitive integration with adjacent low density development;</p> <p>d. internalized service areas and parking to minimize impact on adjacent residential;</p> <p>e. pedestrian and bicycle links to adjacent communities; and</p> <p>f. appropriate setbacks and landscaping adjacent to the existing walkways.</p>	
	<p>3.3.10.1 The Cooksville Creek Corridor is recognized as a public amenity and resource. To protect, enhance and restore this natural feature, the design of the built environment will ensure:</p> <p>a. appropriate setback of buildings from the corridor (landscaping only);</p> <p>b. improved visibility, access and linkage to the corridor from development parcels and public streets;</p> <p>c. views/informal surveillance to the corridor;</p> <p>d. integration of public/private open space and landscape areas;</p> <p>e. compatible positive relationship between the built form and the corridor;</p> <p>f. parking structures are designed and located to complement the corridor.</p>	
Uses Permitted in all Designations	<p>4.1.1.1 Notwithstanding the Uses Permitted in all Designation, the following additional uses will also be permitted:</p> <p>a. cogeneration facility will be permitted as an accessory</p>	<p>The City may wish to replace the mention of a “cogeneration” facility to “district energy” facility, more generally to accommodate other low-impact alternatives, such as tri-generation, hydrogen fuel-cell facilities, thermal</p>

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	<p>use.</p> <p>b. commercial parking facility;</p>	<p>ice storage, if these are appropriate and cost-effective at the time. We note that while ground-source infrastructure will not require a particular accessory space to the same extent as these district energy technologies will, they will play a key part in helping the city to achieve its carbon footprint reduction requirements.</p>
Open Space	<p>4.1.2.1 Public open space within the Downtown Core should be flanked by public roads to ensure they are open to all and not considered private spaces.</p>	
	<p>4.1.2.2 Public open spaces will be connected and continuous to form an 'Emerald Necklace' throughout the Downtown Core and connect the downtown to existing adjacent parkland such as Zonta Meadows Park, John Cleary Park, Civic View Walk and Kariya Park, and as greenbelt lands such as Bishopstoke Walk along Cooksville Creek. The size and configuration of all proposed parks will be subject to further review through a Local Area Plan update or through the review of individual development applications.</p>	
	<p>4.1.2.3 Stormwater retention and stormwater quality ponds are generally not appropriate uses for public parkland, however, in some instances overland flow pond stormwater facilities may be accommodated in public parkland.</p>	
	<p>4.1.2.4 Private Open Space</p> <p>Private open space may be incorporated into new developments along 'A' or 'B' Street frontages in part or whole, provided that:</p> <ul style="list-style-type: none"> • The design of private open space will integrate seamlessly with the adjoining street-network, pedestrian environment and overall open space system; • The design of the private open space contributes positively to the identity of the Downtown Core; • The private open space interfaces with existing and/or 	

Issue	Proposed Policy/Regulation	Oxford Comments
	<p>proposed development in a legible and cohesive manner;</p> <ul style="list-style-type: none"> • The design of the private open space is executed to the highest urban design and landscape architecture standards; • Private open space is accessible, safe and is being provided for the use and enjoyment of the general public on a year-round, seasonal and 24 hour basis. 	
	<p>4.1.3.1 Residential consists of the following designation:</p> <p>a. Residential High Density.</p>	
	<p>4.1.3.2 Notwithstanding the Residential policies of this Plan Designations, the Residential High Density designation will also permit the following uses:</p> <p>a. horizontal multiple dwellings accessory to an apartment dwelling;</p> <p>b. long-term care dwelling; and</p> <p>c. retirement dwelling.</p>	
	<p>4.1.3.3 Special needs housing will be in a built form consistent with the dwelling forms permitted by the residential designation.</p>	
	<p>4.1.3.4 A horizontal multiple dwelling will be permitted with an apartment dwelling.</p>	
	<p>4.1.3.5 In addition to the uses permitted in the High Density Residential designation, a commercial facility will be permitted provided that:</p> <p>a. it forms an integral part of the ground floor of the building; and</p> <p>b. is oriented to pedestrian use.</p>	
Mixed Use	<p>4.1.4.1 Notwithstanding the Mixed Use policies of this Plan, the following additional uses will also be permitted:</p> <p>a. hospital;</p> <p>b. major office;</p> <p>The following uses are not permitted:</p> <p>a. convenience restaurant with drive-thru facility.</p>	
Retail Activation	<p>4.1.5.1 Existing and new streets in the Downtown Core</p>	Districts and areas of focus should reflect commercial

Issue	Proposed Policy/Regulation	Oxford Comments
	<p>have been identified for the purpose of:</p> <ul style="list-style-type: none"> a. establishing retail objectives within mixed use buildings; b. identifying districts and areas of focus for which retail has been determined to be a strategic priority in the Downtown Core; c. setting out requirements for the amount of at grade retail to be achieved on street frontages in accordance with the Retail Activation Schedule included in this Plan; and d. identifying permitted retail uses as outlined below. 	<p>realities, respecting the shopping centre and its expansion sites, as well as the adjacency requirements. The Retail Activation Schedule, even without being extended by the proposed 'A' street requirement for public plazas, open spaces, and parks, would appear to result in excessive "local" retail development and, perhaps, insufficient regional retail development, especially when economically viable floorplates and leasing depths are considered for these areas. With respect to the Square One Lands, the Schedule should be aligned with the requirements of the Oxford/AIMCo holdings and the Square One Lands master plan.</p>
	<p>4.1.5.2 Notwithstanding the Mixed Use designation, only the following uses will be permitted on the ground floor:</p> <ul style="list-style-type: none"> a. financial institution; b. personal service establishment; c. restaurant; and d. retail store. 	
Office	<p>4.1.6.1 Notwithstanding the Office policies of this Plan, the following additional uses will also be permitted:</p> <ul style="list-style-type: none"> a. hospital; b. post-secondary educational facility; c. residential dwellings associated with an institutional use. 	<p>Provided that the zone boundaries are not changed to allow strategically placed mixed-use overhead residential development along Square One Drive and at either the Duke of York or the City Centre/Centre View ends of Rathburn, we recommend adding serviced apartments, hotels, and rental residential as permitted accessory uses, subject to the block-by-block plan, and so long as office is the primary focus of each block-podium cluster.</p>
	<p>4.1.6.2 Notwithstanding the Office policies of this Plan, the total Gross Floor Area of accessory uses will not be limited.</p>	
Transportation		<p>Site access and mobility are critical to the future growth and success of Downtown Mississauga and the Square One Shopping Centre. Transportation goals should provide solutions that promote all forms of site access and mobility, as well as accommodate the pedestrian, bicycle, vehicular</p>

Issue	Proposed Policy/Regulation	Oxford Comments
Road System	5.1.1 All roads shown on the Downtown Core Land Use Map and Schedule Road Network will be public unless otherwise noted. The design, access requirements and public/private responsibilities will be determined through the development application process or through a Local Area Plan update.	and public transportation needs of the area and the region. Please see Diagram A – Existing, DT21, and Proposed Block Structures
	5.1.2 Daylight triangles will be required.	
	5.1.3 The basic rights-of-way for minor collector roads and local roads may be reduced without an amendment to this Plan subject to the City being satisfied that the role and function of such roads are maintained.	Based on consultation with a local traffic engineer, vehicular traffic in Mississauga is going to increase in the future, even when accounting for a 40% modal share. A reduction in the number of lanes can increase the area's congestion and accessibility, which are undesirable conditions for this most important regional centre.
	5.1.4 As traffic volumes increase, dedicated transit lanes may be necessary.	
	5.1.5 The proposed Highway 403 North Collector (Northern Distribution Road), located north of the Downtown Core, is intended to provide access to and from the Downtown Core road network.	The plan should indicate the planned timing for this road.
	5.1.6 Centre View Drive is intended to provide access to eastbound Highway 403 via a link east of City Centre Drive.	The plan should indicate the planned timing for this road and illustrate clarify if "access" includes ingress and egress?
	5.1.7 A future functional feasibility study will be undertaken to review the north collector, Centre View Drive link to Highway 403 and other road or ramp proposals contained in the Downtown21 Master Plan which may impact Highway 403.	
	5.1.8 Cycling facilities will be incorporated per the Cycling Master Plan. The City may in the future identify secondary cycling routes to be integrated with the design of the public realm.	
Transit	5.2.1 The Downtown Core will be served by a higher order transit system that provides service within the Downtown with connections to other parts of the City, neighbouring	

Issue	Proposed Policy/Regulation	Oxford Comments
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	municipalities and inter-regionally.	
	5.2.2 An Anchor Hub is designated at the interchange of the Bus Rapid Transit Corridor and the Hurontario Light Rail Corridor. The exact location will be determined through a future study.	The current and future regional importance of Downtown Mississauga and the confluence of multiple modes of transit at the site allow for a significant investment in transportation infrastructure. By planning for an Integrated Transit Station that brings BRT, LRT, GO and MiWay users together in a centralized location, transfer between systems will be streamlined and infrastructure and excavation investments can be grouped together and reduced.
	5.2.3 As part of the proposed Mississauga Bus Rapid Transit (BRT) facility, the existing transit terminal may be modified to serve future development growth and to connect with the BRT facility. In the long term, an additional BRT station is also proposed near the intersection of Rathburn Road West and City Centre Drive.	
	5.2.4 Transit facilities will be designed to serve the City-wide transit network; internal transit services; the BRT facility, inter-regional transit systems; and the pedestrian system linking developments, Square One and cultural facilities.	
	5.2.5 Higher order transit stations will be situated within the Downtown Core:	We propose the Integrated Transit Station to be situated on [Block 4]. This allows for workers and residents on the blocks north of Rathburn and the Square One Shopping Centre users south of Rathburn easy walking access to the centralized station. A portion of the Downtown Mississauga population will be within a reasonable walking distance of for local transit access and for regional and higher-speed transit access.
	5.2.6 The precise location of higher-order transit stations within the areas illustrated above will be determined through the Environmental Assessment process.	
	5.2.7 Within transit station areas, the City will require that development applications address Transit Oriented Development (TOD) objectives. These include moderate to	In addition to pedestrian-oriented design, we must also plan for and accommodate the large amount of vehicular traffic that will access the area. By recognizing and planning for all

Issue	Proposed Policy/Regulation	Oxford Comments
	high density development, comprised of a mix of uses and designed with an emphasis on the pedestrian experience and opportunities to maximize transit ridership.	modes of mobility, planning can help balance out all modes' needs for seamless accessibility and mobility.
	5.2.8 Development applications will be supported by studies that include a review of the land use and urban design components of the station area as a whole, including adjacent privately held lands, the configuration and design of intersections and other pedestrian design elements within the public realm.	
	5.2.9 Ground level retail development will be required within Transit Station Areas to activate the area and street.	
	5.2.10 Parking will be managed carefully within Transit Station Areas. The City will consider reducing parking requirements within Transit Station Areas.	
	5.2.11 A distinct character for each Transit Station Area will develop, guided by the Precinct character descriptions of the Local Area Plan. The City may also develop Transit Station Area Plans as a basis for guiding and assessing development applications in Transit Station Areas.	
Stormwater Management	6.1 Any development within the Cooksville Creek watershed will require the implementation of on-site stormwater management techniques to control the 100 year post-development stormwater discharge to 2 year pre-development levels	
	6.2 The Cooksville Flood Evaluation Study may propose storm water management facilities within the vicinity of the Downtown Core and should be consulted to verify such considerations.	
	6.3 Development applications will follow the Green Development Standards as they relate to storm water management measures. All practices will be designed and implemented to the satisfaction of the City and CVC Authority.	
Implementation	7.1 Mississauga may apply a holding provision to lands	

Issue	Proposed Policy/Regulation	Oxford Comments
	within Intensification Areas to ensure that the policies of this Plan are implemented. The removal of the holding provision will be conditional on the applicant satisfying the requirements of the policies of this Plan.	
	7.2 The policies of this Plan should not be construed to require the gratuitous dedication of land for new public roads, including realignments of roads or impose an obligation upon a landowner to construct or pay for the construction of new roads, where not otherwise permitted by the Planning Act.	

Comments on Mississauga's Downtown 21 Plans,

for Oxford Properties. November 5, 2012

We are pleased to provide comments about Downtown 21 and how we think Square One and the Oxford-owned lands fit into the picture.

We applaud the City's work in preparing this Master Plan for Downtown. The vision endorsed in the plan recognizes that good urban design, diverse land uses, and multi-modal transportation systems are important elements in creating a complete, livable downtown.

The City has identified that the status quo is not acceptable for Downtown, and we agree. The future of Downtown will not be defined by large surface parking lots and standalone retail.

We are also happy to see that early in the Draft Local Area Plan, there is recognition of the importance of Square One as a regional retail draw.

We appreciate that the City has identified that Office uses will be a major and important use for the future of Downtown. Oxford has developed and manages over 20 million square feet of office in Canada, the US and the UK, and we know how to do this well. We estimate that Downtown 21 has capacity for almost 12 million square feet of office over time. We think there is even more capacity, up to as much 16 million square feet, again over time and if market conditions support the growth.

We like the priority given to improving access and mobility. Mississauga Downtown is now competing with the likes of Vaughan Corporate Centre and the City of Markham, and transit is a key component of bringing customers into the downtown and to the Shopping Centre along with other modes of transport. We encourage the City to be bold in visualizing a convenient and seamless intermodal transit station.

We feel that transit needs to be housed in a first-class facility to recognize its importance as a key element of the area.

Oxford has been thinking about what the best way to develop its lands in Downtown is, and recently hired an internationally-renowned firm in KPF (Kohn Pederson Fox Architects) to prepare a Master Plan for its lands.

KPF conducted a thorough review of Downtown 21 and, with direction from Oxford, prepared a master plan that represents the highest and best use for these lands.

Through the master planning process, we discovered that, even though we are both trying to get to the same destination, we have differences in thinking about how to get there.

We will discuss the specifics of these differences in more detail at a future meeting with planning staff, but they relate to the configuration of the road network and the allocation of certain land uses in specific locations.

We feel that, even though Downtown 21 recognizes the importance of Square One, there are some aspects of retail operations and (future development potential) that were not considered in Downtown 21.

We believe that the City wants Square One to remain a competitive feature of Downtown's landscape: it is a significant employer and a significant draw for visitors into the core. But in order for Square One to remain competitive, it needs certain operational and market-related considerations to be included in Downtown 21.

For example, we recognize and agree with the City that prioritizing pedestrian, cyclists, and transit is important, but we also want to ensure the vehicular movement is convenient, effective, and safe. We feel that the Local Area Plan is too silent on the importance of supporting vehicles to provide regional access that is needed to support the growth of retail, office and other mixed uses.

Another example are the proposed new streets that bisect blocks and in some cases the mall itself, creating economically unfeasible development sites. We look forward to dialogue with the City to accomplish the goal of creating a comfortable pedestrian network while preserving flexibility.

We look forward to continuing to advance our discussions with the City of Mississauga to help realize the vision for Downtown as a mixed use, compact, livable community.

Frank Lewinberg Urban Strategies Inc.

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t: 905.882.1100 | f: 905.882.0055

www.mmm.ca

September 4, 2012

10.10022.001.P01

Ms. Marilyn Ball
Director, Development and Design Division
City of Mississauga
Planning and Building Department
300 City Centre Drive
Mississauga, Ontario L5B 3C1

Dear Ms. Ball,

RE: Baif Developments Limited
Downtown Core Local Area Plan, Preliminary Draft, June 26, 2012
Zoning Framework – Downtown Core, Proposed Zoning Amendments to Zoning By-Law 0225-2007, Downtown Core Zones, June 26, 2012
Preliminary Draft Downtown Core Built Form Standards, June 26, 2012

On behalf of Baif Developments Limited, MMM Group has reviewed the recently released Downtown Core Local Area Plan (LAP), Proposed Zoning Amendments to Zoning By-law 0225-2007 and Preliminary Draft Downtown Core Built Form Standards. Baif Developments Limited (Baif) currently has applied for an Official Plan Amendment and Zoning By-law Amendment (File Number: OZ/12-007 W7) for lands located within the proposed LAP on the south side of Webb Drive at the Main Street terminus. In addition, Baif owns lands within the LAP on the west side of the Main Street between Webb Drive and Burnhamthorpe Road West. In general, we are supportive of the policy and zoning directions outlined in the LAP, the proposed Zoning By-law Framework (ZBLF) and Built Form Guidelines dated June 26, 2012; however, we note that there are some inconsistencies and general concerns within these documents that have been outlined below.

Downtown Core Local Area Plan, Preliminary Draft (June 26, 2012)

- The LAP includes policies relating to functioning principal building entrances for 'A' and 'B' Streets and Retail Activation, some of which contradict one another when applied to streets identified as both 'A' streets and 90% retail activation frontages. Specific policies include: 3.2.2.5, 3.2.2.14.b, and 3.2.2.9. Proposed Policy 3.2.2.5 requires principal entrances to be provided on 'A' streets and proposed Policy 3.2.2.14.b requires that lobbies and principal entrances serving residential uses above the ground storey be located on streets where the least amount or no retail is required. In some instances, we note that 'A' streets are also identified as streets

requiring 90% active retail frontages and policies both direct and discourage principal entrances to buildings along these façades.

Further, proposed Policy 3.2.2.9 directs principal entrances to 'A' streets, unless a development block only has a 'B' street. For sites where two residential towers are being developed, two entrances may be required which could necessitate the need for both an 'A' street and 'B' street entrance or an entrance along a frontage requiring 90% retail activation. The LAP is unclear as to which policy or policies supersede the other. We recommend this prioritization be clarified in the LAP or that the policies specifically state that they can be applied where feasible with consideration for site specific restrictions and design of the development proposal.

- Policy 3.2.2.2h requires that development on streets with an 'A' or 'B' street frontages provide retail, commercial and lobby entrances that are flush with the sidewalk elevation. We recommend that this policy specifically state that they can be applied where feasible to account for site specific considerations, such as elevation and natural grade changes.
- Policy 3.2.2.6 prohibits curb cuts, driveways and laneways on 'A' streets, except where a site or block does not have access from a 'B' street, or where emergency vehicle access is required. Sites adjacent to both 'A' and 'B' streets may have specific restrictions which require curb cuts, driveways and laneways to be constructed on 'A' streets. In addition, urban design considerations, such as mid-block street crossings may also necessitate curb cuts on 'A' streets; therefore, we recommend that this policy allow for flexibility for development proposals with access restrictions that necessitate 'A'-street access or for other design considerations.
- Policy 3.2.2.11.f requires that above grade structured parking be designed so that entrances, lobbies and passageways that provide a convenient means of access to parking facilities from the street be located on streets where the least amount of retail is required. Further, entrances will be fully enclosed, appropriately signed and integrated into the façade design without appearing as dominant elements on the street frontages. When scaled appropriately and integrated into the building design, access to structured parking can increase convenience for users and consumers along the retail street. We recommend that these policies be exempt for development proposals that have unique site considerations or for development proposals that integrate the passageway into the building design in an appropriate manner.
- Policy 3.2.2.11.g prohibits at grade exhaust vents serving structured parking facilities that front onto 'A' streets and recommends that vents be located on 'B' streets provided that they are architecturally treated and vertically integrated into a building's exterior wall. This policy may be difficult to comply with, especially for sites with multiple 'A' street frontages. We recommend that the policy be revised to consider location of exhaust vents within the site context and proposed tower / parking location.
- Policy 3.2.2.14 limits the size of principal lobbies and entrances serving residential uses above the ground storey to maximize street activation. The size of the lobbies and principal entrances are also governed by other factors such as providing appropriate visibility and presence for this address when located on larger arterials. We recommend that additional text be added to this policy to allow it to be applied where feasible while recognising other design objectives as outlined in the accompanying Mississauga Downtown Core Built Form Guidelines.

- Development that incorporates residential uses at the ground level will provide functioning, individual entrances to these residential units (Policy 3.2.2.16). Individual entrances for ground floor residential units may be included as part of a larger development proposal; however, as a result of safety concerns, costs and unit numbering, these entrances may not be the principal entrances to the ground floor units. The LAP does not indicate whether the entrance must be the principal entrance to the unit to achieve the policy intent. We recommend that functioning individual entrances include secondary entrances for units that are part of a larger residential development.
- Policy 3.2.2.17 requires that development with street frontage facing parks or open space be designed according to 'A' street requirements; however there is no direction in the LAP on what constitutes "parks" or "open space". We recommend that the definition of "park" and "open space" be provided or identified on a map. We recommend that a school yard or publicly owned pedestrian pathway not be considered as open spaces that have to abide by all 'A' street frontage guidelines.
- Policy 3.2.3.6 requires that tall buildings demonstrate how proposals adhere to the City of Mississauga Standards for Shadows Studies. We note that the Standards for Shadow Studies differ from the "Sunlight Standards and Base Building Height" identified in the Downtown21 Master Plan. In DT21, the sunlight exposure provisions relate to the 'A' street and 'B' street; however, the City's Standards identify sunlight requirements based on the type of adjacent use (i.e., public realm, residential private and communal outdoor amenity space, etc.). The relationship or correlation between the suggested sunlight requirements for 'A' / 'B' streets in the Downtown21 Master Plan (2010) and the City's Standards for Shadow Studies is not clear. We recommend that the suggested sunlight standards for 'A' / 'B' Streets identified in DT21 be reflected in the City's Standards for Shadow Studies.

Proposed Downtown Core Zoning Amendments to Zoning By-Law 0225-2007

- Two new definitions are being added to the ZBL including "Glazing" and "Height of Podium" as well as the replacement of the current definition of "podium" (section 1.2). Definitions have not been developed for these terms and we request that they be circulated once available.
- Provisions for Retail Activation Frontages of 90% and 50% will be added to conform with the Downtown Core Local Area Plan (Section 7.1.4A). The zoning schedule for Retail Activation Frontages has not been created and we request that this schedule be circulated once available. Further, specific zoning regulations associated with the 90% and 50% retail activation have not been created. We request that these be circulated once available.
- We note that provisions will be added relating to the 90% and 50% retail frontage that identify the "maximum width and depth of Retail Activation units". It is our understanding that controlling the size of Retail Units will discourage large retail stores from dominating the store fronts; however, we believe that there should be provisions allowing for the adaptability of retail units over time. We recommend that the zoning provisions allow for a fluctuation in the retail storefront size in order to allow the businesses to evolve over time and adapt to larger or smaller format stores.

This could be implemented in the zoning by allowing a minimum of one retail store or percentage of the frontage to have a storefront that is greater than 10 m.

- A maximum tower floor plate of 750m² for apartment dwellings will be added in CC1 to CC3 zones (Table 7.2.1, line 3.2). It is important to understand the definition of tower floor plate and what is included within the floor plate calculation (i.e., stairwells, balconies, and elevator shafts).
- 'A' and 'B' Street Frontages will be introduced to CC1 to CC4 zones (Table 7.2.1, line 4A.0 to 4A.10). We express similar concerns relating to vehicular access from 'A' streets and consistency with the retail activation provisions as outlined in the LAP comments provided above. In addition, we note that vehicular access is addressed at Site Plan in accordance with Section 41(7) of the Planning Act. This allows for variations in the site circumstances which we feel is more appropriate than in the Zoning By-law.

Preliminary Draft Downtown Core Built Form Standards

- Curb cuts, driveways and access are prohibited on 'A'-street frontages, except where a block does not have access to a 'B'-street frontage (A3). As indicated above, sites adjacent to both 'A' and 'B' streets may have specific restrictions which require curb cuts, driveways and laneways to be constructed on 'A' streets. Urban design considerations, such as mid-block street crossings may also necessitate curb cuts on 'A' streets; therefore, we recommend that this guideline allow for flexibility for development proposals with access restrictions that necessitate 'A'-street access or for other design considerations.
- Similar to the LAP comments above, we have concerns with the consistency between 'A' and 'B' street frontages and retail activation standards relating to principal building entrances. Guidelines include: A5, B5 and RC3. At sites with 'A' and 'B' streets and retail focus areas, principal entrances may be required on the 'A' and 'B' street frontages and the retail focus frontages. We recommend that this guideline be applied where feasible with consideration for site specific restrictions and the design of the development proposal.
- Guidelines relating to developments fronting or adjacent to parks and open spaces have been included; however, no direction is provided in the Guidelines on what constitutes "parks" or "open space". Guidelines include: OS1 directing developments to apply 'A' frontage guidelines, OS4 directing at grade residential uses fronting open spaces to have individual entrances, T18 directing developments to minimize shadowing effects on parks and open spaces, and T21 directing developments to establish appropriate podium heights to maximize sunlight exposure. We recommend that the definition of "park" and "open space" be provided or identified on a map. We recommend that a school yard or publicly owned pedestrian pathway not be considered as open spaces that have to abide by all 'A' street frontage guidelines.
- Guideline RC2 limits the size of at-grade principal entrances and lobbies serving residential uses above the ground storey to a maximum of 5 m. This size will reduce the presence and visibility of the residential entrance, particularly on wider ROWs. We recommend that this specific entrance size be applied with consideration for the development proposal, the surrounding built form and

the adjacent ROW width. Further, it is unclear why only 5m is allowed for residential tower entrances and lobbies while 10 m is allowed for retail storefronts. In locations where principal at-grade entrances and lobbies are adjacent to retail uses, a greater consistency along the street edge could be achieved if both uses were allowed to occupy similar frontages.

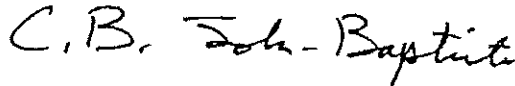
- RC6 and RC7 provide guidance on storefront width (maximum of 10 m) and spacing (maximum of 10m) along retail streets. Although we understand that the overall intent of this guideline is to ensure that large retail stores do not dominate the retail frontage, we believe that this limits the ability for the retail spaces to be developed over time and adapt to the varying requirements of retail spaces. The regimented storefront width does not allow for fluctuation in the larger and/or smaller storefronts. We recommend that the guidelines allow for a fluctuation in the retail storefront size in order to allow the stores to evolve over time and adapt to larger or smaller format stores. This would be implemented in the guidelines by allowing a minimum of one retail store to have a storefront that is greater than 10 m.
- Guidelines relating to parking structures limit the location of parking access entrances, lobbies and passageways to streets where the least amount of retail is required (P5). As indicated above, we recommend that these policies be exempt for development proposals that have unique site considerations and for development proposals that integrate the passageway into the building design in an appropriate manner.
- Vents are not permitted on 'A' streets and may be located on 'B' Streets provided that they are architecturally treated and vertically integrated into a building's exterior wall and cladding system (P6). As indicated above, this guideline may be difficult to comply with, especially for sites with multiple 'A' street frontages. We recommend that this guideline be revised to consider location of exhaust vents within the site context and proposed tower / parking location.
- Guidelines for tall buildings indicate that podiums heights will be generally equal to the width of the ROW, but not less than three storeys (T2). Guideline T3 indicates that podiums will incorporate streetwalls placed at the build-to line that are a minimum of 3 storeys and a maximum of 5 storeys; however, where right-of-ways exceed 60 m, a street wall of 6 storeys should be used in accordance with Standard 'T2'. In locations where the road ROW is 60 m or greater, limiting the height of the street wall is one way to create pedestrian scale at grade; however, alternatives should be considered, including architectural articulation on the podium street wall and relating the street wall height with existing adjoining properties.
- Guidelines relating to podium and tower step backs to allow for appropriate light penetration and pedestrian scale (T5 and T6) should be applied with consideration for the proposed design, extent of shadowing on the public realm and surrounding road ROW. There may be exceptions to the proposed guidelines in terms of height and step back which should be considered given the context and road ROW width.
- Guideline T8 indicates that residential tower floor plates above the podium height will not exceed a maximum area of 750m² (average floor plate). As indicated above, it is important to understand the definition of tower floor plate and what is included within the floor plate calculation (i.e., stairwells, balconies and elevator shafts). The appropriate floor plate size should also be considered relative to the size of the site and the impacts on adjacent buildings and open space.

- Guidelines on site orientation indicate that point towers should be located on the northwest and south-west sides of a block or development site (T16). We recommend that this be applied with consideration for site specific characteristics, for example, the development of a "landmark" or gateway building may require a point tower orientation that does not meet the guideline. Further, this guideline may be difficult to achieve at sites where more than one tower is proposed and where the towers are to be separated by 30 metres (T9 and Figure 39).
- Developments with ground floor residential should have functioning, individual entrances to residential units with windows on the ground floor (RD3). We note that ground floor residential units that are part of a larger residential high density development often have functioning individual entrances; however, for security reasons, the primary entrance to the unit is often via a shared building entrance and internal hallway. We recommend that this format of development be considered in relation to this guideline.

This letter provides our initial comments on the proposed Downtown Core LAP, ZBLF and Built Form Guidelines. As the draft LAP acknowledges that policy revisions may occur to address formatting and consistency with the final OMB approval of Mississauga's Official Plan, we may provide further comment at that time. The proposed zoning framework is also preliminary and therefore we may provide further comments once the zoning regulations and provisions have been outlined.

Please contact me at 905-882-1100 ext. 6328 or John-BaptisteC@mmm.ca if you have any questions or concerns.

Yours Truly,
MMM GROUP LIMITED



Chad B. John-Baptiste, BES, MCIP, RPP
Senior Planner, Project Manager
Associate

cc. Hugh Lynch, Acting Manager, Development and Design Division, City of Mississauga
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Project No. 1091

September 28, 2012

City of Mississauga
Planning and Building Department
300 City Centre Drive
Mississauga, ON L5B 3C1

Attention Ms. Diana Rusnov:

Dear Ms. Rusnov:

Re: *Comments – Downtown 21*
Draft Downtown Core OPA and Built Form Standards
Rogers Real Estate Investments Ltd.
Part of Lot 19, Concession 1, N.D.S.
South side of Burnhamthorpe Road West, west of Confederation Pkwy.

We are the planning consultants for Rogers with respect to the above-referenced site located on the south side of Burnhamthorpe Road West, west of Confederation Parkway. On their behalf, we submit the following comments on the June 26, 2012 draft Downtown Core Official Plan Amendment (Draft OPA) and related Built Form Standards and draft Zoning Framework.

1. Comments on Draft Official Plan Amendment

In summary, we are in support of the overall direction of the Draft OPA, which is to introduce a flexible framework for transforming the Downtown Core from a suburban model to an urban mixed use centre. We strongly support the objective of achieving an urban scale of blocks, streets and built form to create a transit and pedestrian oriented core. Notwithstanding our overall support, we provide the following specific comments and requests for clarification:

Policy 3.1.2

3.1.2 The urban design policies and Downtown Core Built Form Standards included in Appendix 1 of this Plan will provide interpretation and direction on the urban design policies, which will also be used to evaluate development proposals.

Please confirm that the Built Form Standards in Appendix 1 are not elevated to the status of policies. Perhaps the Built Form Standards should not be included as an appendix to the Official Plan in order to avoid confusion.

Policy 3.2.2.1 (c)

3.2.2.1 All streets are designated 'A' and/or 'B' streets, which differentiate the various streets by their function, character, built form treatments and design...

c. New development will follow specified 'A' and/or 'B' street standards for each street in the Downtown Core. The character of built-form varies according to the 'A' or 'B' street designation. This framework is shown in the A & B Street Schedule of this Plan.

The Rogers proposal is generally consistent with the road network set out in the A&B Street Schedule of the Draft OPA, except that there is only one Street "A" as opposed to the two shown on the Schedule. Given the attention to design excellence of the proposed built form and streetscape for the Rogers proposal, we believe that this will not be an issue. However, it may be appropriate to revise the Draft OPA Schedules to reflect the Rogers proposal.

Policy 3.2.2.2 (e)

3.2.2.2 Where streets have been identified as having an 'A' or 'B' street frontage, development will address the following provisions:

e. buildings should incorporate active ground floor uses to animate the public realm and will be designed as an extension of the pedestrian environment;

While Rogers is dedicated to high quality urban streetscape design, including active uses at grade, it should be acknowledged that retail and service commercial uses may not be located at-grade in all circumstances depending upon market and design considerations.

Policy 3.2.2.11(g)

Above grade structured parking will be designed so that:

g. at grade exhaust vents serving structured parking facilities will not be permitted to front onto 'A' streets, but may be located on 'B' streets provided that they are architecturally treated and vertically integrated into a building's exterior wall and cladding system.

Agree to this policy in principle, but full compliance cannot be confirmed at this time given the level of design that is required. In addition, this policy is at a level of detail that we feel would be best implemented through a guideline rather than an Official Plan policy.

Policy 3.2.2.14 (a)

3.2.2.14 Development incorporating at grade retail and commercial uses at the frontages, will be designed so that:

a. lobbies and principal entrances located at grade serving residential uses above the

ground storey shall be limited in size in order to allow for maximum activation of the street;

Please confirm that this policy would not limit the ability to located residential amenity space as well as at-grade residential uses (i.e. towns).

Policy 3.2.2.17

3.2.2.17 Buildings that surround, have proximity or have street frontage facing parks or open space will be designed according to 'A' street requirements and have the highest level of architectural expression, articulation and use of materials.

Please clarify what is meant by the "A' street requirements"? If this is a reference to the Appendix 1 Built Form Standards, this would appear to elevate those standards to an Official Plan policy level, which we believe is not appropriate. Please confirm the intent.

Policy 3.2.3.6

3.2.3.6 Tall buildings will be required to demonstrate how proposals adhere to the City of Mississauga Standards for Shadows Studies.

We are currently undergoing shadow studies to confirm compliance. We will be able to demonstrate a level of adherence once the studies are completed. In this respect we note that the intent of the shadow studies is to ensure that there is not "undue" shade on the surrounding context.

Policy 3.3

The City will prepare detailed plans and policies for the various Districts identified on Schedule " ", each with its own identity, scale and character, through future amendments to this Plan...

Please advise when "detailed plans and policies" are intended to be prepared for the Cleary Park district.

Policy 4.1.5.2

4.1.5.2 Notwithstanding the Mixed Use designation, only the following uses will be permitted on the ground floor:

- a. financial institution;*
- b. personal service establishment;*
- c. restaurant; and*
- d. retail store.*

Please confirm whether this policy applies only to "Retail Activation" streets shown on the Retail Activation schedule.

Policy 5.1.1

5.1.1 All roads shown on the Downtown Core Land Use Map and Schedule? Road Network will be public unless otherwise noted?).

Please confirm which Schedule this policy is referring to and which streets are required to be public. The Rogers proposal contains private streets in certain locations and these have been discussed and confirmed with City staff.

Policy 5.1.3

5.1.3 Daylight triangles are required.

Please confirm that roundings will also be acceptable as opposed to triangles (as per Amacon development).

Policy 5.1.8

5.1.8 Cycling facilities will be incorporated per the Cycling Master Plan. The City may in the future identify secondary cycling routes to be integrated with the design of the public realm.

Please confirm what facilities are being referred to. The cycling routes are being provided in the proposed development.

Policy 6.3

6.3 Development applications will follow the Green Development Standards as they relate to storm water management measures.

Full compliance with the GHS cannot be confirmed at this time given the level of design that is required. In our view, substantial compliance may be appropriate and a policy requiring full compliance is going beyond what may be reasonably possible in all cases.

2. Comments on the Draft Built Form Standards (Appendix 1)

Firstly, we note that Section 1.0 (Purpose) states that the purpose of the standards is "to provide urban design direction and guidance for proposed development...". In this respect, we would like to confirm what status these standards have in terms of the Official Plan. As an appendix to the Official Plan, is it intended that they have the same status as policy? If not, we believe that they should be provided as a separate guideline document so that there is no confusion. If they are intended to be policies, we believe that the level of detail goes beyond what is reasonable in terms of Official Plan policies. In this respect, the effect of these standards as set out in our comments below largely depends upon what is intended in terms of status.

We note that several of the standards would require an extreme detail of design which is at a level to which we have yet to progress to on the subject proposal. Our

level of concern with these items will largely depend on whether these standards will be guidelines or policy.

Below are our comments on the standards that we view as most critical at this time:

G12

Below grade parking structures may not protrude into the public realm, but may extend as far as the property line provided that a clearance of 1.5m is provided between the top of the parking structure and sidewalk.

The proposed development of the subject lands currently includes a typical extension beyond the property line of 1.25m for the parking structures, as permitted for Amacon, and an extension of garages fully under streets in two locations. In our view, these projections can be provided without interruption to underground utilities and with appropriate legal arrangements.

T8

Residential tower floor plates above the podium height will not exceed a maximum area of 750m² (average floor plate).

The tower floor plates proposed for the subject lands are consistent with surrounding approved towers and will fit with the surroundings. While some of the proposed towers have an average floor plate which exceeds 750 m² (e.g. Block 11's tower has an 800m²), the Amacon towers at Burnhamthorpe Road and Confederation Parkway measure 790m² and 830m², and Pinnacle's towers are at 1,050m² and 880 m². We believe that the proposed floor plates result in an appropriate built form and do not offend the intent of the guideline given the generous tower-to-tower separation. Furthermore, we are currently undertaking shadow studies to ensure that there would be no adverse negative impacts on surrounding open spaces.

T4

- *Maximize sunlight on the public realm in accordance with the parameters set out in the City of Mississauga's Standards for Shadow Studies;*

T5

Step backs of 3.0m will be applied to the street wall and podium design in order to achieve the angular plane (Refer to the City of Mississauga Standards for Shadow Studies);

T17

Elongated floor plates should be oriented in a manner which minimizes shadow impacts – this should be demonstrated in accordance with any sun/shadow studies that are required by the City;

T21

Buildings fronting along parks and open spaces will establish a maximum podium height and point tower location/massing that maximizes opportunities for sunlight exposure in accordance with the City of Mississauga's Standards for Shadow Studies;

With respect to the above items T4, T5, T17 and T21, we are now undertaking a shadow analysis in accordance with new methodology and standards of the City of Mississauga Standards for Shadow Studies. We do not have any issue with these items as guidelines, but a certain amount of flexibility should be considered in this respect if these are intended to be policies of the Official Plan.

Remaining Items

In addition to the above items, we also believe that the following items may become problematic, depending upon the ultimate design:

- A2 – requires a minimum of 95% of a property's frontage to be constructed to the build to line on 'A' Streets. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.
- A6 – requires a minimum of 75% vision glass at grade along 'A' Streets. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.
- B3 – provides that a maximum of 15% of the building frontage will be allowed to step back to a maximum of 3.0m from the built-to line. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.
- B6 - requires a minimum of 50% vision glass at grade along 'B' Streets. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.
- OS2 and OS4 – requires individual entrances to residential uses on the ground floor adjacent to parks and open spaces. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.
- R6 and R7 (7.0) – require maximum 10m retail frontages. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.
- RC9 (7.1) – prohibits tinted, reflective or opaque glazing. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.

- RC12 (7.1) – canopies to protrude a minimum of 1.5m to a maximum of 2.75m beyond retail edge. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.
- RC14 (7.1) – minimum patio depth of 2.5 metres. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.
- P6 – no exhaust vents to front onto 'A' streets. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.
- BF13 – construct building exteriors from clay, stone, and wood. Glass or steel is not mentioned. Please confirm what is intended by this standard.
- BF14 – no EIFS, stucco, metal siding, embossed brick or vinyl. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.
- T10 – maximum 20% of tower permitted to extend down to grade. This cannot be confirmed at this time and may be an issue. We request flexibility in this regard.
- T11 – tower does not overshadow and impact sunlight on public sidewalk. This requirement appears to be overly burdensome. Appropriate design would create shadows that are acceptable and move quickly. A requirement for NO shadow is unrealistic. Please clarify the intent of this standard.

The remaining standards not listed above are at a level of detail to which are difficult to confirm complete compliance at this time. However, based on our preliminary review the remaining items appear to be compliant. Again, we reiterate that these items should be in the form of guidelines as opposed to policy.

3. Comments on Draft Zoning Framework

Our comments on the draft zoning framework are provided based on the table entitled "Zoning Framework – Downtown Core" dated June 26, 2012. This table makes reference to proposed changes to By-law 0225-2007, but in many cases does not provide details on what those changes will be. For example, Zoning Framework proposes to add a definition of "Height of a Podium", but it does not describe what that definition will be. In this respect, we cannot comment on such a definition. It is within this context that we provide the following comments:

7.1.4A

Add provisions for buildings with 90% and 50% Retail Activation Frontages, in conformity with the Downtown Core Local Area Plan, and identify these Frontages on the Schedules.

Please confirm that the proposed regulation is intended to apply only to those areas identified as "Retail Activation" areas identified in the Draft OPA.

7.2.1

Introduce a CCO (Downtown Core - Office) zone in conformity with the Downtown Core Local Area Plan. Add Uses and Regulations to the CC1 to CC4, CCO and CCOS Base Zone Table and identify the CCO zone on the Z-Maps and Schedules.

Please advise what uses and regulations are intended to be added to the CC1 zone.

Add Line 3.2 to Table 7.2.1:

Maximum tower floor plate for an apartment dwelling shall be 750 m2 in CC1 to CC3 zones

We do not agree that a maximum floor plate size of 750 m2 is appropriate or necessary in all circumstances and that the built form of each development should be assessed within its own specific context having regard for applicable urban design guidelines and principles.

Delete Line 4.3 from Table 7.2.1:

~~".....a maximum of 30% of the length of the streetwall may be set back beyond the build-to-area"~~

Full compliance cannot be confirmed at this time given the level of design that is required.

Add Lines 4A.0 to 4A.10 - 'A' and 'B' Street Frontages to Table 7.2.1:

Regulations:

- Glazing in the first storey of a building*
- Main front entrance location criteria*
- Parking structures and vehicular access restricted from fronting on 'A' Streets*

Please confirm what is meant by "Main front entrance location criteria".

Full compliance with the 1st and 2nd standards cannot be confirmed at this time given the level of design that is required. The proposed development currently appears to comply with the 3rd standard.

Add Line 5.2 to Table 7.2.1:

The first three (3) storeys of a podium shall not project beyond or behind the first storey of the streetwall

Full compliance cannot be confirmed at this time given the level of design that is required.

We trust that the above comments will serve to assist in your evaluation of the Draft OPA, Zoning Framework and related Built Form Standards. Should you have any questions with respect to the above, please do not hesitate to contact me at 416-947-9744.

Yours very truly,

Bousfields Inc.



Michael Bissett, MCIP, RPP

- c. Jonathan Famme
- Hugh Lynch
- John Anderton
- Mark Reeve
- Neil Davis
- Ralph Bond
- Donald Clinton
- Tom Rotella

JAMES LETHBRIDGE PLANNING INC.

Planning Consultant

J.D. Lethbridge B.Arch., MRAIC, MCIP, R.P.P.

September 28, 2012

City of Mississauga
Development and Design Division
Planning and Building Department
300 City Centre Drive, 6th Floor
Mississauga, ON L5B 3C1

Attention: Ms. Marilyn Ball, Director

Dear Ms. Ball:

Re: Interim Control By-law Downtown – Draft Implementing Documents
Comments for Kerava Grove Estates Inc.

Thank you for your letter dated September 14, 2012 regarding comments on the draft implementing documents for the Downtown Interim Control By-law.

On behalf of Kerava Grove Estates Inc., a review has been made of the following proposed Downtown Core documents:

- Preliminary Draft Built Form Standards
- Preliminary Draft Local Area Plan
- Proposed Amendments Downtown Core Zones

I wish to provide the comments on these draft documents as follows:

Downtown Core
Preliminary Draft Built Form Standards

Kerava Grove Estates Inc. does not support Section 5.2 Specific Standards for Buildings on 'B' Street Frontages" and does not support Section 5.3 Design for Access, Parking, Service and Loading as it applies to the proposed Kerava development on the south side of Burnhamthorpe Road.

We support the City's objective to "Build a Desirable Urban Form" and the vision for a vibrant Downtown Core.

Kerava Grove Estates Inc. has been working closely with planning and urban design staff and members of the Transportation and Works Department to ensure that its lands on the south side of Burnhamthorpe Road and west of Kariya Drive contribute to achieving the City's vision.

Numerous meetings have taken place over the last year to review the progress of the design development for the Kerava project with the intent to start implementation in the relatively near

future. A listing of the dates of the relevant meetings and the persons attending is attached for your information.

The initial development concept has not been significantly altered in terms of site organization and planned vehicular movement from that presented and discussed at the initial and all subsequent meetings with City staff.

A significant component of that design is the inclusion of a food store as part of the Phase 1 development identified as a key project in the creation of the Main Street "an urban place in the heart of Mississauga".

The food store tenant has functional requirements for vehicular access to loading and service areas for large delivery trucks that must be met to ensure a viable commercial operation at this location. Section 5.3 does not anticipate or permit a design solution that meets the delivery of the needs of a major food store.

A future north-south road approximately bisects the Kerava Grove Estates Inc. site. Kerava proposes that this central road function as an access road to the service areas located under the future development to the east and west. As such, the road would not meet the Specific Standards for Buildings on 'B' Street Frontages. It is intended that the physical solution for the Webb Drive and Burnhamthorpe road frontages obscure or minimize views into the central road and to not present it as a pedestrian connection.

In our opinion, the Built Form Standards should recognize the need for service roads in the Downtown Core and the design requirement should acknowledge the service requirements in an urban area. The proposed central road on the Kerava Grove Estates site should not be designated a 'B' street on "Schedule Downtown Core A & B Street Frontages". It should be designated as a service road.

Preliminary Draft Local Area Plan

Kerava Grove Estates Inc. has concerns for Subsection 3.2.2..12 of Parking, Servicing and Loading Design in the Streetscape.

In addition, we question the requirements of Subsection 5.1.2 of 5.1 Road System.

Subsection 3.2.2.12 does not anticipate the inclusion of public roads, which may be used to meet the access and maneuvering requirement of service and delivery vehicles. The creation service roads should be permitted.

Subsection 5.1.2 requires daylight triangles, which may be contrary to the City's objective to create pedestrian friendly streets and the urban design objective of building on the street. The subsection should be amended to say daylight triangles may be required.

Proposed Amendments – Downtown Core Zones

Kerava Grove Estates Inc. has concerns with proposed subsection 7.2.1 restricting the maximum tower plate for an apartment dwelling to be 750m² in CC1 to CC3 zones. The proposed regulation would dictate that the tower plate be 750m² or less from the commencement of the tower element to the top of the apartment building.

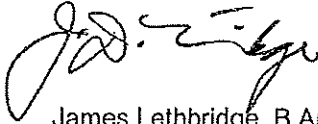
In my opinion, the regulation should provide for the opportunity to have a transition from the base or from the top of a podium. In addition, the regulation should allow for variations in the tower plate based on the scale and/of height of the development.

I wish to note that, as written, the proposed zoning amendment appears to eliminate the possibility of a "slab" apartment building, which may be an appropriate solution for a specific site condition or context.

It is suggested that the maximum tower plate for a "point tower" be an average of 800m².

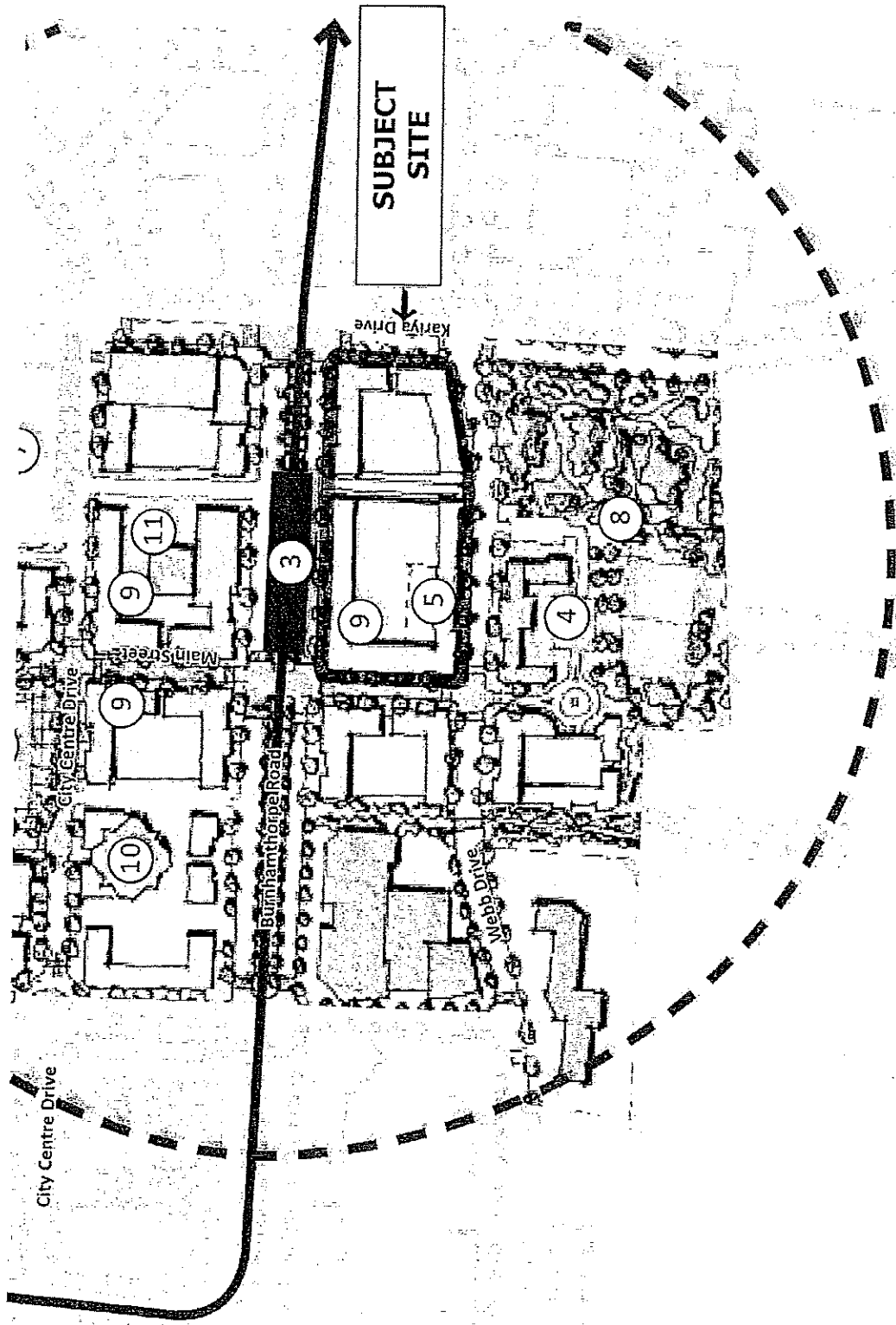
Please contact me should you require any additional information.

Yours truly,

A handwritten signature in black ink, appearing to read 'J. Lethbridge', with a stylized flourish at the end.

James Lethbridge, B.Arch., MRAIC, MCIP, R.P.P.

Cc: Lino Pellicano, Kervara Grove Estates Inc.
David Butterworth, Kirkor
Brent Whitby, Kirkor



District Plan

DOWNTOWN21 MASTER PLAN

JAMES LETHBRIDGE PLANNING INC.

Planning Consultant

J.D. Lethbridge B.Arch., MRAIC, MCIP, R.P.P.

Kerava Grove Estates Inc.

List of Meetings with City of Mississauga

September 9 2011

Attendance: Diana Rusnov, Hugh Lynch, Ed Nicolucci, Steven Bell, Lino Pellicano, David Butterworth

December 5 2011

Attendance: Darren Morita; Hugh Lynch; Peter Griffiths; Julie Tot; Diana Rusnov; Lino Pellicano, David Butterworth

February 3 2012

Attendance: Ed Nicolucci, Lino Pellicano, David Butterworth

March 7

Attendance: Councillor Nando Iannicca, Jim Lethbridge, City of Mississauga Staff, Lino Pellicano, David Butterworth

April 20

Attendance: Ed Nicolucci, Steven Bell, Lino Pellicano, David Butterworth

June 12 2012

Mississauga Urban Design Advisory Panel - Kerava Development Greenpark Homes

Attendance: Ed Nicolucci, Steven Bell, Lino Pellicano, David Butterworth

Sept 9 2012

Attendance: Ed Nicolucci, Steven Bell, Lino Pellicano, David Butterworth

Daniels CCW Corporation
20 Queen Street West
Suite 3400
Toronto, ON M5H 3R3
Tel: 416.598.2129
Fax: 416.979.0415

TRANSMITTAL

To: City of Mississauga Planning & Development Committee

From: Bryan Bowen, Manager of Development, Daniels CCW Corporation

Date: November 5, 2012

Subject: Downtown 21 Master Plan – Draft Implementing Documents

Dear Members of the Planning & Development Committee,

I am pleased to provide this written submission in regards to the Downtown 21 Master Plan – Draft Implementing Documents.

Firstly, on behalf of Daniels CCW Corporation, I would like to commend the Planning and Building Department on the breadth and quality of the draft recommendations put forward. It is the stated goal of the Downtown 21 Master Plan to create a “true urban place in the heart of Mississauga”. Daniels CCW Corporation is a long-standing partner with the City of Mississauga in working towards this goal. We find that many of the proposed amendments strike the appropriate balance of market flexibility and regulatory control needed to accomplish this shared objective.

There is, however, room for improvement. Notably, the overly prescriptive language used in many of the Local Area Plan's urban design requirements, which would replace the necessary flexibility of “guidelines” with an inflexible series of “requirements”.

Daniels CCW Corporation's primary concern is that this ‘one-size-fits-all’ policy approach will pre-empt the ability for applicants and City staff to work collaboratively on innovative urban design solutions. Instead, wherever urban design “requirements” are not fully satisfied, we fear that constructive dialogue will be replaced by a more cumbersome and bureaucratic process of Zoning By-law and Official Plan Amendments.

For example, draft Local Area Plan Policy 3.2.2.5 requires that “*Functioning principal entrances to buildings will be provided on ‘A’ streets*”. Could this clause not use less prescriptive language that “encourages” principal entrances to front ‘A’ Streets, while recognizing that the character and activity sought for these important streetscapes can be achieved in other meaningful ways?

To demonstrate this point, Daniels’ nearly completed ‘Limelight’ mixed-use condominium project benefitted from an ability to locate two main lobby entrances at a more central location within the development site. Though both ‘Limelight’ lobbies front proposed ‘B’ Streets, this design solution afforded greater flexibility and profile for the retail units that will soon play an important role in animating Living Arts Drive (a proposed ‘A’ Street). Further, this separation avoids future potential conflict between primary residential entrances, and active commercial entrances and permitted outdoor

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patio spaces. Under the current proposed design "requirements", this successful design solution would not have been permitted.

We note also that Policy 3.2.2.14.a requires "*(residential) lobbies and principal entrances located at grade...shall be limited in size in order to allow for maximum activation of the street.*" Again, this prescriptive language hinders the design flexibility for buildings with 'A' Street frontages, as it removes the potential for creating feature lobby spaces (which can, in their own right, contribute to an active and interesting streetscape). We find that restricting primary lobby entrances to 'A' Streets, while subsequently limiting their size in order to minimize their impact, is a somewhat contradictory policy, and would unduly restrict our iterative design process.

These two brief examples demonstrate Daniels CCW Corporation's concern with a proposed shift towards prescriptive urban design "requirements" as Official Plan and Zoning By-law policy. The City of Mississauga should continue to rely on OP and zoning policies to establish the 'Big Picture' organization of land-uses and built form, and not use these overreaching policies to establish and potentially restrict creative, design-related solutions simply because of 'policy guidelines'.

As an alternative approach, we would suggest establishing a clearer hierarchy and defined roles for each of the Downtown Core's three regulatory layers - Local Area Plan, Zoning By-law and Built Form Standards - as summarized below:

- The Official Plan policies contained within the **Local Area Plan** could more appropriately limit themselves to 'Big Picture' ideas: an overall Vision for the Downtown Core, and the key structural elements (road network and hierarchy, transit priorities, land use mix, employment and population targets, etc.) which will shape the Downtown Core over time. These policies could further direct City staff and landowners to a separate, non-statutory series of urban design guidelines for additional direction.
- The **Zoning By-law** could define key metrics associated with an appropriate scale of development (building height, density, parking, setbacks, etc.), but avoids translating design preferences (i.e. maximum tower floor plates; heights of base buildings, etc.) into specific minimum/maximum statutory requirements.
- Finally, per Official Plan policy, detailed urban design guidelines would be limited to the **Built Form Standards**: a non-statutory document that establishes a starting point for discussions between City staff and applicants; and provides a legible and Council-endorsed framework for use by City staff when evaluating development applications.

Thank you for the opportunity to review and discuss these materials. We look forward to continuing this dialogue in the weeks and months ahead. In the interim, please do not hesitate to contact the under-signed with questions or comments.

Yours very truly,



Bryan Bowen
Daniels HR Corporation

Daniels CCW Corporation
20 Queen Street West
Suite 3400
Toronto, ON M5H 3R3
Tel: 416.598.2129
Fax: 416.979.0415

CC: N. Haggart, Daniels HR Corporation
M. Ball, City of Mississauga
S. Bell, City of Mississauga
D. Rusnov, City of Mississauga

October 24, 2012

Our File No.: 10-1246

Ms. Diana Rusnov
City of Mississauga
Planning and Building Department
300 City Centre Drive
Mississauga, ON L5B 3C1

Dear Ms. Rusnov:

**Re: Wal-Mart Mississauga
Downtown 21 Master Plan June 26, 2012**

We are solicitors for Wal-Mart Canada Corp. ("Wal-Mart"), an anchor within the Square One Shopping Centre. We are writing to provide comments on the Downtown 21 Master Plan which includes the Local Area Plan for the Core, the related draft zoning framework and draft built-form standards.

Wal-Mart in particular has concerns with respect to certain policies in the Local Area Plan and the proposed built form standards and their application to existing development, particularly with respect to the Shopping Centre.

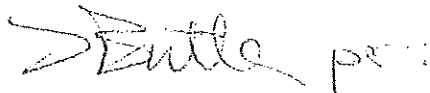
Wal-Mart believes that the Local Area Plan for the Core should include policies which address existing uses and acknowledge that certain existing uses will likely continue in their current form for the foreseeable future. Downtown 21 should include policies which address the phasing of development and provide some direction for interim development within the Core, particularly for minor expansions of existing uses.

Also the proposed built-form standards for the Downtown Core are very prescriptive in nature and offer very little flexibility for future development and redevelopment. We are not able to comment on the proposed zoning standards until the complete by-law is made available for review.

We would be pleased to meet at your convenience to discuss the above-noted concerns.

Yours very truly,

Goodmans LLP

A handwritten signature in cursive script, appearing to read "Roslyn Houser".

Roslyn Houser
JAB/

C.C. Chris Hanson



Labreche Patterson & Associates Inc.

Professional Planners, Development Consultants, Project Managers

VIA MAIL AND E-MAIL (diana.rusnov@mississauga.ca)

Our File: P-375-09 Q

October 25, 2012

Ms. Diana Rusnov
Manager, Development Central
Planning and Building Department
City of Mississauga
300 City Centre Drive
Mississauga, ON
L5B 3C1

Dear Ms. Rusnov:

**Re: Draft Downtown Core Local Area Plan Amendments – “Downtown21 Master Plan”
City of Mississauga**

We represent A&W Food Services of Canada Inc., McDonald's Restaurants of Canada Ltd., the TDL Group Corp. (operators and licensors of Tim Hortons Restaurants), and Wendy's Restaurants of Canada Inc. as well as their industry association, the Ontario Restaurant Hotel and Motel Association (ORHMA). We are providing this written submission to you on behalf of our clients after having reviewed the proposed draft Downtown Core Local Area Plan amendments to determine if the proposed amendments would apply to our clients' current and future operating interests. Please accept this as our written submission on the subject matter.

ORHMA is Canada's largest provincial hospitality industry association. Representing over 11,000 business establishments throughout Ontario, its members cover the full spectrum of food service and accommodation establishments and they work closely with its members in the quick service restaurant industry on matters related to drive-through review, regulations, and guidelines.

With the assistance of Labreche Patterson & Associates Inc., ORHMA has a strong record of working collaboratively with municipalities throughout the Province to develop mutually satisfactory regulations and guidelines that are fair and balanced in both approach and implementation for existing and new drive-through facilities (“DTF”). These planning-based solutions are most often specific urban design guidelines for drive-through facilities and may include specific zoning by-law regulations that typically relate to minimum justified stacking/queuing requirements and setback relative to the actual DTF/queuing lane of the restaurant.

Based on our review of the proposed Downtown Core Local Area Plan, DTF are proposed to be prohibited in the “Mixed Use” designation as per section 4.1.4.1 which lists “convenience

restaurant with drive-thru facility" as a use that is not permitted. We object to this specific prohibition being contained at the level of a Local Area Plan and therefore, the Official Plan.

As noted above, specific urban design guidelines are common throughout Ontario. It is important to note that the implementation of official plan based policies that specifically prohibit DTF in areas that would otherwise permit service retail commercial uses and associated parking areas is not a common or appropriate form of policy based regulation applied to these facilities in Ontario. In fact, the Ontario Municipal Board has noted in a case regarding the 2005 official plan for the City of Ottawa that *"the proper approach for controlling these is the one adopted by the City of Toronto, which prohibits these facilities through its zoning by-law and not in its Official Plan. Official Plans do not need to be prescriptive like zoning by-laws."* This is an approach repeated in almost every case, both at the Ontario Municipal Board and in the Courts, on proposed official plan prohibitions for this specific use. It is imperative to note that any considered prohibition of DTF in the zoning by-law is limited to very specific areas which also need to be appropriately considered and justified.


We wish to note, as you may already be aware, that our clients, through their solicitor Michael Polowin of Gowlings has appealed the Region of Peel approved Mississauga Official Plan. The relevant policies under appeal include 4.1.1.e and 4.2.1.b of the Downtown Core Local Area Plan. The now further proposed prohibition of DTF proposed in the Downtown Core Local Area Plan is a similar matter that we object to and ask that the City reconsider any further proposed new prohibition on DTF until the other related appeals are settled at the OMB.

We have reviewed the material available regarding the draft Downtown Core Local Area Plan and there are no related studies or even detailed planning justification as to why this specific prohibition of DTF within this Secondary Plan is justified.

Based on the foregoing, we request an opportunity to meet with you to discuss our concerns regarding the Downtown Core Local Area Plan Amendment for the City of Mississauga as detailed above and provide you with copies of the noted material upon request. Thank you for your consideration of our comments herein and we look forward to working with you to mutually resolve our concerns.

Please also consider this letter our formal request to be provided with copies of all future notices, reports, and resolutions relating to the Downtown Core Local Area Plan Amendment.

Yours truly,
Labreche Patterson & Associates Inc.


Victor Labreche, MCIP, RPP
Senior Principal

Copy: Crystal Greer, Director of Legislative Services and City Clerk, City of Mississauga
 (via e-mail: crystal.greer@mississauga.ca)

John Calvert, Director, Policy Planning Division, City of Mississauga
 (via e-mail: john.calvert@mississauga.ca)

Susan Tanabe, Manager, Community Planning, City of Mississauga
(via e-mail: susan.tanabe@mississauga.ca)

Downtown21 Master Plan Mailing List, City of Mississauga
(via e-mail: DT21.info@mississauga.ca)

Marco Monaco, ORHMA
(via e-mail: mmonaco@orhma.com)

Leo Palozzi, The TDL Group Corp.
(via e-mail: palozzi_leo@timhortons.com)

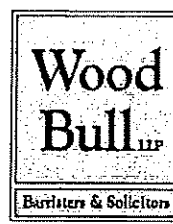
Leslie Smejkal, The TDL Group Corp
(via e-mail: smejkal_leslie@timhortons.com)

Paul Hewer, McDonald's Restaurants of Canada Limited
(via e-mail: paul.hewer@ca.mcd.com)

Susan Towle, Wendy's Restaurants of Canada, Inc.
(via e-mail: susan.towle@wendys.com)

Darren Sim, A&W Food Services of Canada Inc.
(via e-mail: dsim@aw.ca)

Michael Polowin, Gowling Lafleur Henderson LLP
(via e-mail: michael.polowin@gowlings.com)



MUNICIPAL, PLANNING & DEVELOPMENT LAW

5 November 2012

Sent via E-mail

Members of General Committee
and Members of Council
City of Mississauga
300 City Centre Drive
Mississauga, ON L5B 3C1

Dear Committee Member/Councillors:

**Re: Downtown21 Master Plan - Implementing Documents
(Downtown Core Local Area Plan, the Proposed Amendments to Zoning By-law 0225-
2007 for the Downtown Core Local Plan Area, and the Built Form Standards for the
Downtown Core)
Public Meeting held on 5 November 2012 - Submission by Morguard Investments
Limited, 1432997 Ontario Limited and Acktion Capital Corporation**

We represent Morguard Investments Limited ("Morguard") on its own behalf and as representative of 1432997 Ontario Limited and Acktion Capital Corporation, who are the owners (the "Owners") of properties municipally known as 33, 55, 77 and 201 City Centre Drive, in the City of Mississauga (the "City").

With the assistance of its consultants, our clients have followed the Downtown 21 master planning process as it has progressed, and have previously provided comments on various matters in that regard to City staff, both verbally and orally. Our clients are supportive of the City's efforts to create a high quality Downtown Core, and agree that this key area is one that has the potential to become a destination and a truly mixed use urban centre.

In this context, our clients have now reviewed, with the assistance of their consultants, the latest draft instruments, being the Downtown Core Local Area Plan (the "Proposed OPA"), the summary of Proposed Amendments to Zoning By-law 0225-2007 for the Downtown Core Local Plan Area, and the Built Form Standards for the Downtown Core. We note that the actual text of the proposed zoning amendments should be made available in order to provide an opportunity for proper consideration and comments on that instrument.

Our clients have identified serious concerns with these instruments in general, as well as how they relate to their lands. They conclude that a combination of further study and amendments to the proposed

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instruments is required to ensure that the lands within the City Centre are able to be developed as proposed and are attractive for both public and private investment.

In that regard, on behalf of our clients, we submit the following comments:

Light Rail Transit (LRT) Route Alignment

The Schedule to the Proposed OPA entitled "Downtown Core Local Plan Area Land Use Map" shows the LRT route going through our client's lands, along the proposed Clarica Drive. For your ease of reference, we attach a copy of that Schedule with our clients' lands highlighted (see Appendix 1).

Our client has consistently objected to the routing of the LRT along Clarica Drive. This objection has been addressed by our clients' transportation consultant, BA Group, who has identified serious concerns with this proposed route alignment. As detailed in its letter dated 5 November 2012, a copy of which is attached (see Appendix 2), BA Group notes as follows:

The practical limitations on site access for these lands combined with the City's proposal to place the LRT line along Clarica Drive and reduce the number of traffic lanes on City Centre Drive to two through lanes would substantially impair the functional operation of the existing buildings, and severely limit the future development potential of the sites.

... It also causes substantial disruption to City Centre Drive, reduces access to many development parcels along it and results in awkward and substandard intersections on City Centre Drive south of Robert Speck Parkway.

In this context, documents being produced as part of Preliminary Design and Transit Project Assessment Process currently being undertaken in connection with the Hurontario-Main Street LRT Project suggest that feedback is still being sought on the LRT route alignment. Since that environmental assessment process has yet to be completed, it remains possible that the results of it will be at odds with that is being proposed in the Downtown Core Local Plan Area Land Use Map.

As part of the process of determining the appropriateness of an LRT route on Clarica Drive, BA Group recommends that a below-grade alignment along Clarica Drive be investigated. In addition, other options for connecting the system from Hurontario to City Centre Drive (for eg using Robert Speck Parkway) ought to be investigated.

It is premature to approve the route alignment as part of this official plan process, prior to the environmental assessment process being completed and the location of the LRT route being confirmed, in particular where the proposed routing has such serious negative consequences.

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Location of LRT Station Areas

The Schedule to the Proposed OPA entitled "Downtown Core Long Term Transit Network" shows a Light Rail Transit Station Area located along Hurontario Street, in close proximity to its intersection with Burhamthorpe Road. Section 5.2.6 of the Proposed OPA provides that "the precise location of higher-order transit stations within the areas illustrated above will be determined through the Hurontario-Main LRT Project".

However, at the Public Information Centre No. 1 for the Hurontario-Main LRT Project, held on 25-26 June 2012, a presentation was given wherein a station was shown along Clarica Drive. We attach a copy of both the relevant Schedule and the presentation panel showing the differing station locations, for your ease of reference (see Appendix 3).

In view of the uncertainty as to the location of the LRT station, the inconsistency as between the OP documentation and the information at the public information centre simply underlines the prematurity of proceeding with the Proposed OPA at this time.

Road Network Generally

The Vision for the plan, which is set out at the beginning of the Proposed OPA, identifies a series of "key challenges" for the Downtown Core, including "creat[ing] a finer-grained, well-connected road network ...". The proposed road network is shown on the Schedule entitled "Downtown Core Road Network and Classification". For your ease of reference, we attach a copy of that Schedule.

Our client's transportation consultant, BA, recommends that further thought be given to the impact of the proposed road network before it is approved in schedules to the official plan. In particular, care needs to be taken to balance the other "key challenges" identified in the Vision that call for the intensification of the area with a mix of uses. Those other challenges have been identified as "strengthen[ing] the Core's role as the primary location for major office, highest concentration of retail commercial, mixed use, civic uses and cultural development" and "attract[ing] new office development to balance population and employment".

In general, there is insufficient detail regarding the intended use of the proposed roadways (rights of way) in terms of numbers of lanes and the proposed uses of those in the proposed instruments. To assist the City in identifying the level of specificity that is required, BA group has prepared a table entitled "Mississauga City Centre System Requirements", which is attached to its letter of 5 November 2012 (which letter is attached to this letter as Appendix 2). The table sets out not only the road classification and basic right-of-way width, but also number of through-lanes per direction, bicycle accommodation and on-street parking, among other things. All of these elements are necessary to ensure that all of the

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stakeholders, including the City, have clarity as to how the public rights of way will be deployed and to ensure that proper attention is paid to the possible implications of competing demands on the roadway.

Our client is advised that if the City is to achieve its vision of creating a fine grain pattern of urban streets that responds appropriately to vehicular traffic, public transit and active transportation needs, appropriate planning in regard to these matters should be carried out coincidentally with any land use plan. This is consistent with its experience as a developer of significant development projects across Canada.

Road Network Specific to Clients' Lands

The Proposed OPA proposes a second new road through our clients' site. This is highlighted on the Schedule entitled "Downtown Core Road Network and Classification" (see Appendix 4).

Our consultants have advised that this second new road would seriously constrain the site for future development, without any apparent traffic reason for doing so. This proposed street should be removed from the proposed amendment.

As to Clarica Drive, it is proposed to be a minor collector. Table 8.3 of the Mississauga Official Plan indicates that minor collectors are to be between 20 and 26 metres in width. BA advises that this width is insufficient to accommodate the LRT trains in combination with the necessary vehicular capacity.

A and B Frontages

Proposed Clarica Drive is designated as having an 'A Frontage' on the Schedule entitled "Downtown Core A & B Street Frontage", while the proposed second roadway is designated on the same Schedule as having a "B Frontage" (see Appendix 5).

As noted previously, our clients object to the identification of another street through its lands. In any event, the designation of street frontages as A and B with the related limitations on function of buildings abutting these streets is an inappropriate constraint to put in the official plan.

Parking

The Proposed OPA prohibits the development of surface parking in the Downtown Core, and add additional restrictions regarding the location and design of parking structures in the area. It appears that the provisions of the zoning amendments will implement this intent. The instruments as drafted fail to take into consideration the economic reality of developing these sites, in particular for new office buildings, and attracting tenants to those developments.

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Our client has consistently advised the City that a more pro-active programme to provide more publicly available parking, spear-headed by the City, is required to achieve the office intensification sought by the official plan policies. Simply prohibiting surface parking does not address the underlying problem. In fact, such prohibition should be accompanied by a plan to deliver the needed parking in structures, whether below or above grade.


Request - Refer Back To Staff

The planning instruments before Committee should be referred back to staff in order that our clients and their representatives can meet with staff to address our clients' concerns in amended planning instruments and initiatives related to such matters as the provision of parking, amongst others, in a manner that will be supportive of office intensification in the City Centre.

Our clients remain committed to working with the City on a co-operative basis to ensure that the plan for the City Centre contains policies and programmes that are sensible and achievable.. They look forward to further discussions with staff and Council.

Yours very truly,

Wood Bull LLP


f. Dennis H. Wood
DHW/jrs
c. Client

Attach.

DRAFT

Downtown Core Local Area Plan Land Use Map

City of Mississauga 2016 June

LAND USE DESIGNATIONS

- Mixed Use
- Office
- Public Open Space
- Greenbelt
- Parkway Belt West
- Residential High Density
- Urban

TRANSPORTATION LEGEND

- Provincial Highway and Interchange
- Arterial
- Minor Collector
- Local Road
- Bus Rapid Transit Corridor
- Light Rail Transit Corridor
- Proposed Grade Separation

LAND USE LEGEND

- 1996 NEP / 2000 NEF Composite Noise Contours
- Natural Hazards
- Open 1: Conceptual Centim View Drive connection to E.D. Hwy, 403 concept.
- Conceptual ILM term
- General Information
- School Road : For additional information see Table D-2: Road Classification; Major Collectors
- The Inland Bus Rapid Transit Corridor depicts the proposed location of the transit corridor for the year 2010 Environmental Assessment Approval.

Notes:

- Any part of the road network shown outside City boundary is shown for information purposes only.
- All road proposals within the Highway 403 Corridor are conceptual and require review and approval by the Provincial Government.
- Refer to Schedule 2, Natural System for the location of the Natural Areas System and Natural Networks.
- The limits of the Natural Network shown on this map are for illustrative purposes only. The appropriate Conservation Authority should be consulted to determine their actual locations.
- The 1996 Noise Exposure Prediction (NEP) and 2000 Noise Exposure Prediction (NEF) Composite Noise Contours are shown for information purposes only and are not part of the official map. They will change from time to time as new information becomes available. For accurate reference the composite NEP/NEF map produced by Transport Canada at a scale of 1:50,000 should be consulted.

Appendix 2



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45 St. Clair Avenue West, Suite 300
Toronto, Ontario M4V 1K9
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www.bagroup.com
bagroup@bagroup.com

November 5, 2012

Brian Spratley
Director, Development
Morguard Investments Ltd.
55 City Centre Drive, Suite 800
Mississauga, Ontario
L5B 1M3

Dear Mr. Spratley:

Re: Mississauga City Centre Downtown Core Implementing Documents

We have reviewed the latest material prepared by the City in order to implement the Downtown 21 Master Plan concept that was prepared a few years ago.

We have raised concerns regarding the transportation related elements in the Downtown Master Plan with the City on several occasions on behalf of Morguard Investments Ltd. and continue to believe that they are critically important but largely unresolved issues. As best we can tell, the City has not addressed most of them in a substantive way, has not had any meaningful consultation with the stakeholders and has not advanced the investigation of the practical feasibility of many of the critical transportation elements in the plan. In our view this makes the adoption of the proposed implementing documents premature.

We continue to be concerned regarding the impact of the proposed plan on Morguard's properties at 33, 55, and 77 City Centre Drive. The practical limitations on site access for these lands combined with the City's proposal to place the LRT line along Clarica Drive and reduce the number of traffic lanes on City Centre Drive to two through lanes would substantially impair the functional operation of the existing buildings, and severely limit the future development potential of the sites.

We have been perplexed for some time about the proposal to move LRT service off of Hurontario Street and place it along City Centre Drive. This route reduces convenient coverage for the existing office node on the east side of Hurontario Street which might be expanded in the future. It also causes substantial disruption to City Centre Drive, reduces access to many development parcels along it and results in awkward and substandard intersections on City Centre Drive south of Robert Speck Parkway. If the LRT must be diverted to City Centre Drive, then a below grade alignment should seriously be investigated to properly mitigate the problems mentioned above and other options for connecting it from Hurontario to City Centre Drive need to be properly investigated (e.g. using Robert Speck Parkway).

We also think it is very important to include more details regarding the lane patterns for all of the important streets in the plan and to correctly classify Rathburn Road, Confederation Parkway and City Centre Drive as major arterials and a major collector respectively. We attach as an example, a table that

should be included with the implementing documents for the Downtown Core in order to properly address the role and functional requirements for critical components of the street network.

We stand ready to discuss these issues with the City. In fact, we suggest a series of working meetings with appropriate City representatives in order to better understand and resolve as many of the critical issues as possible.

Sincerely,
BA Consulting Group Ltd.

A handwritten signature in black ink, appearing to read "R Bond", with a stylized flourish at the end.

Ralph F. Bond
Executive Chairman

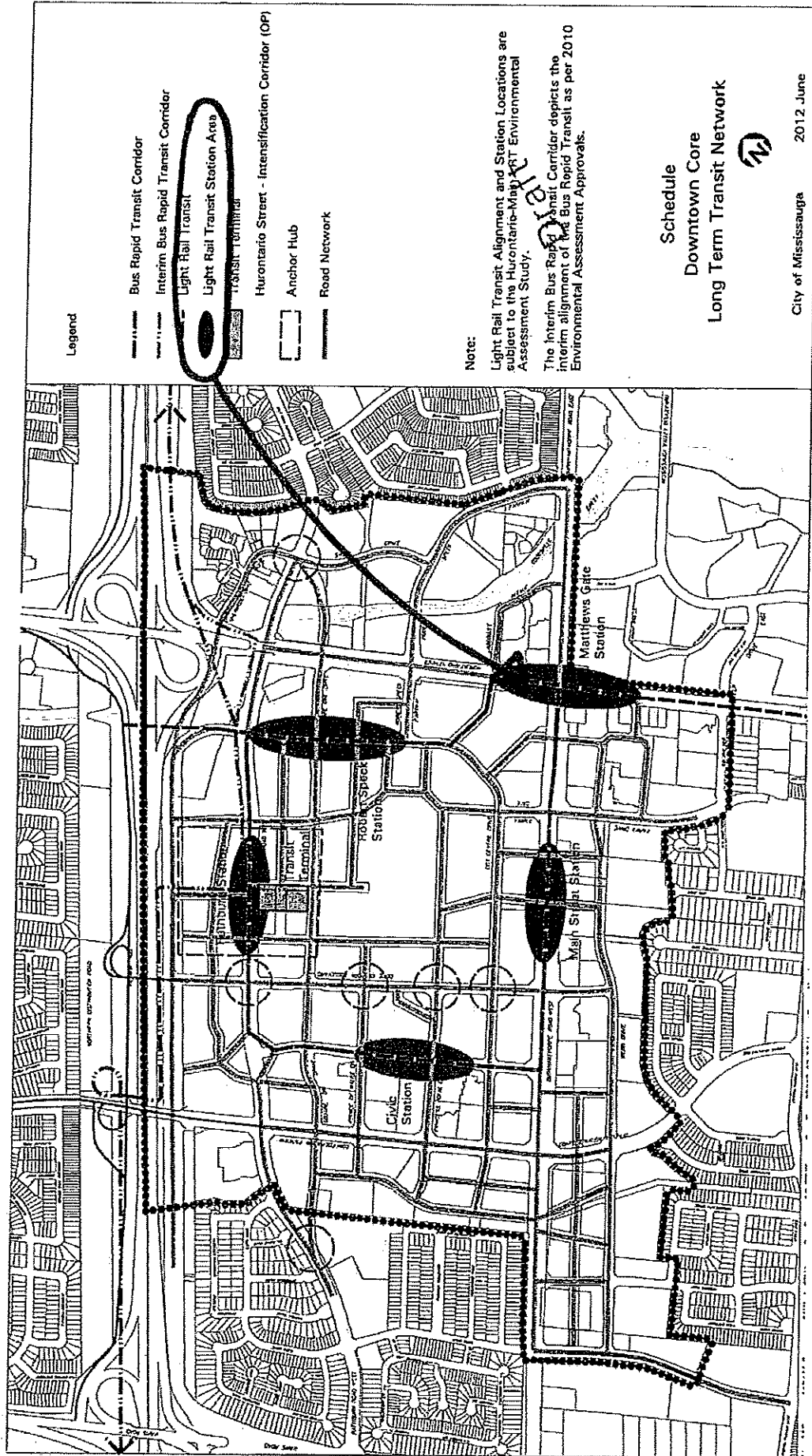
cc.
Mr. Dennis Wood, Wood Bull LLP, Barristers and Solicitors

Attachments
Street System Requirements Suggested Official Plan Schedule

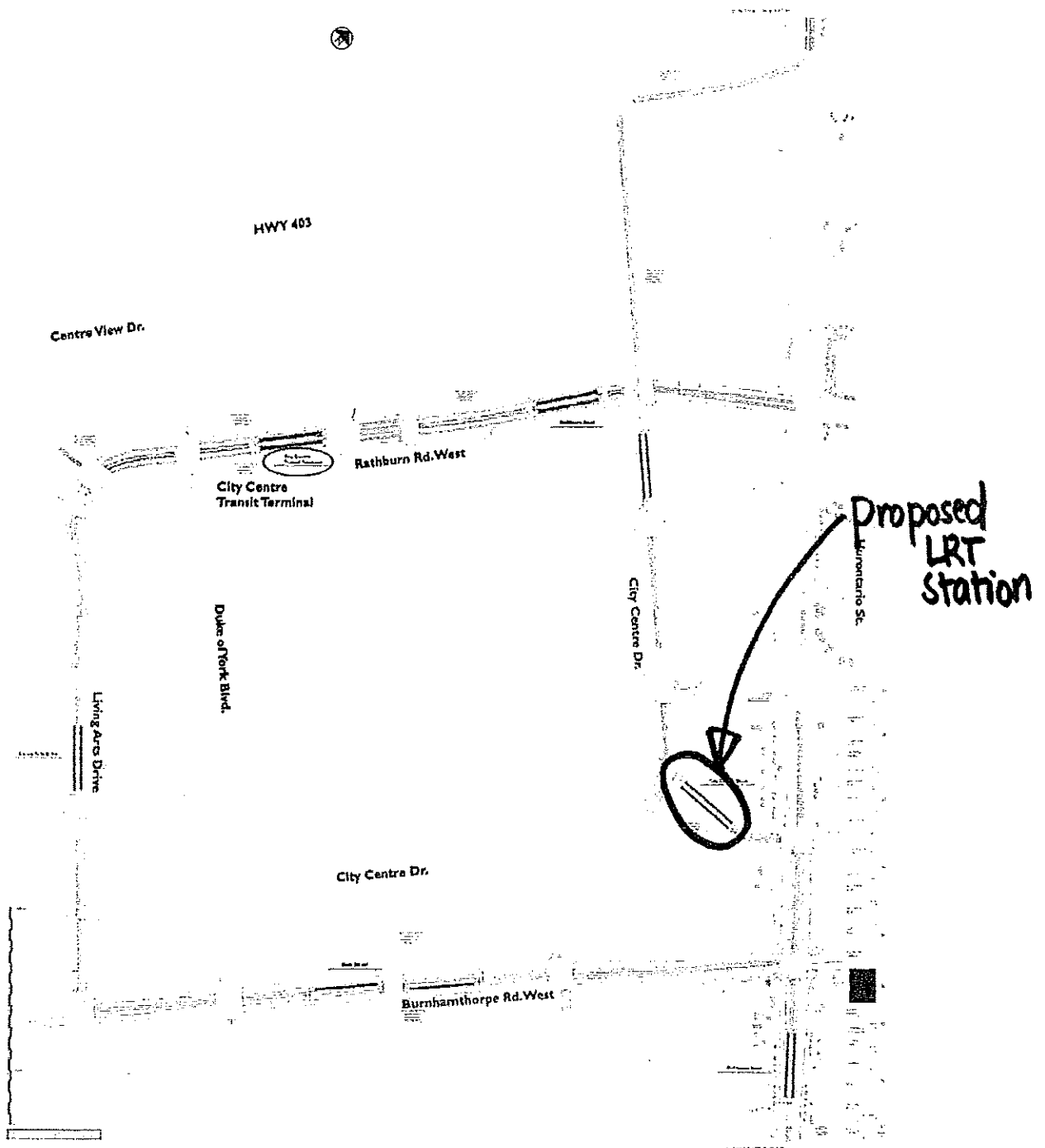
Mississauga City Centre Street System Requirements - Suggested Official Plan Schedule

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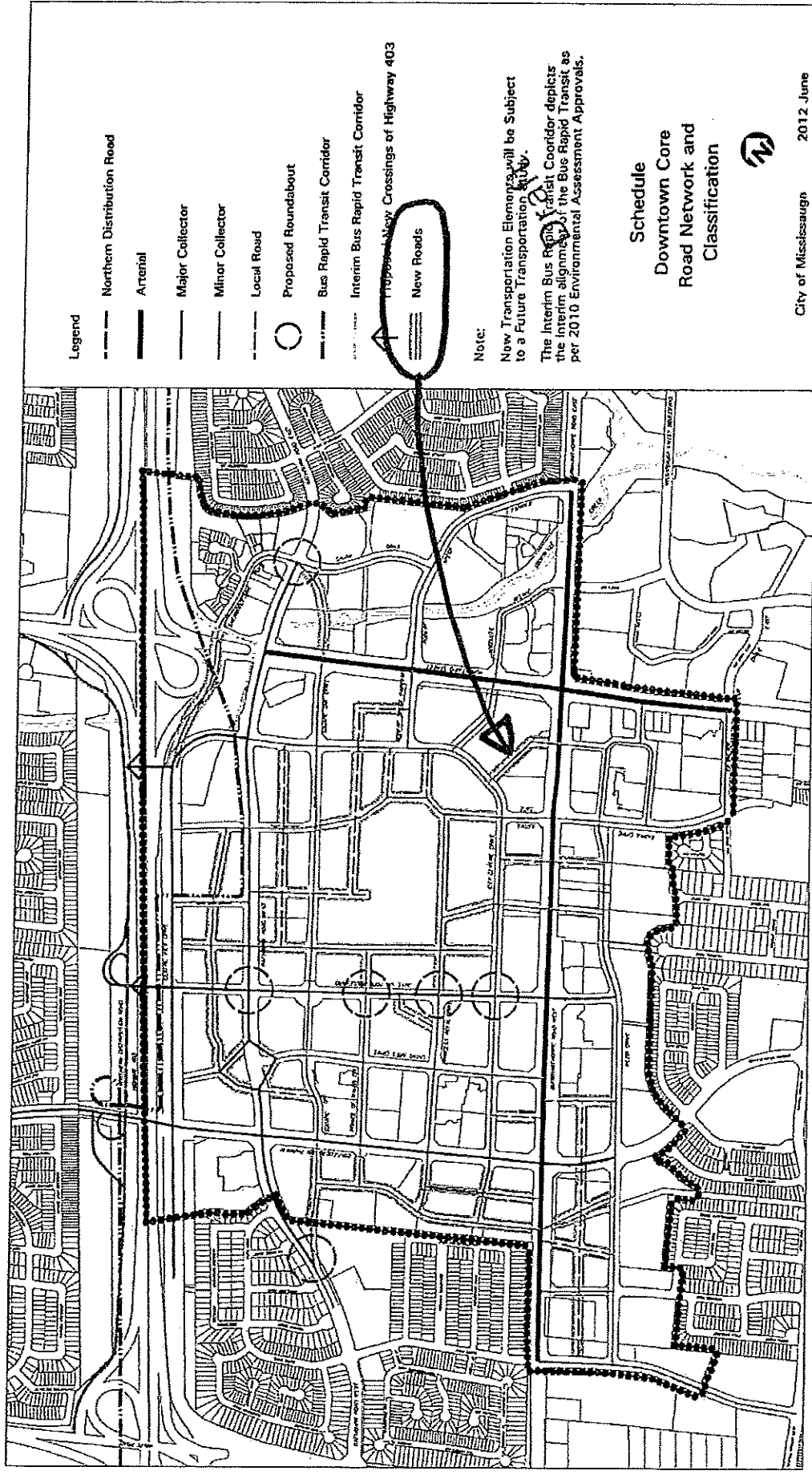
Appendix 3



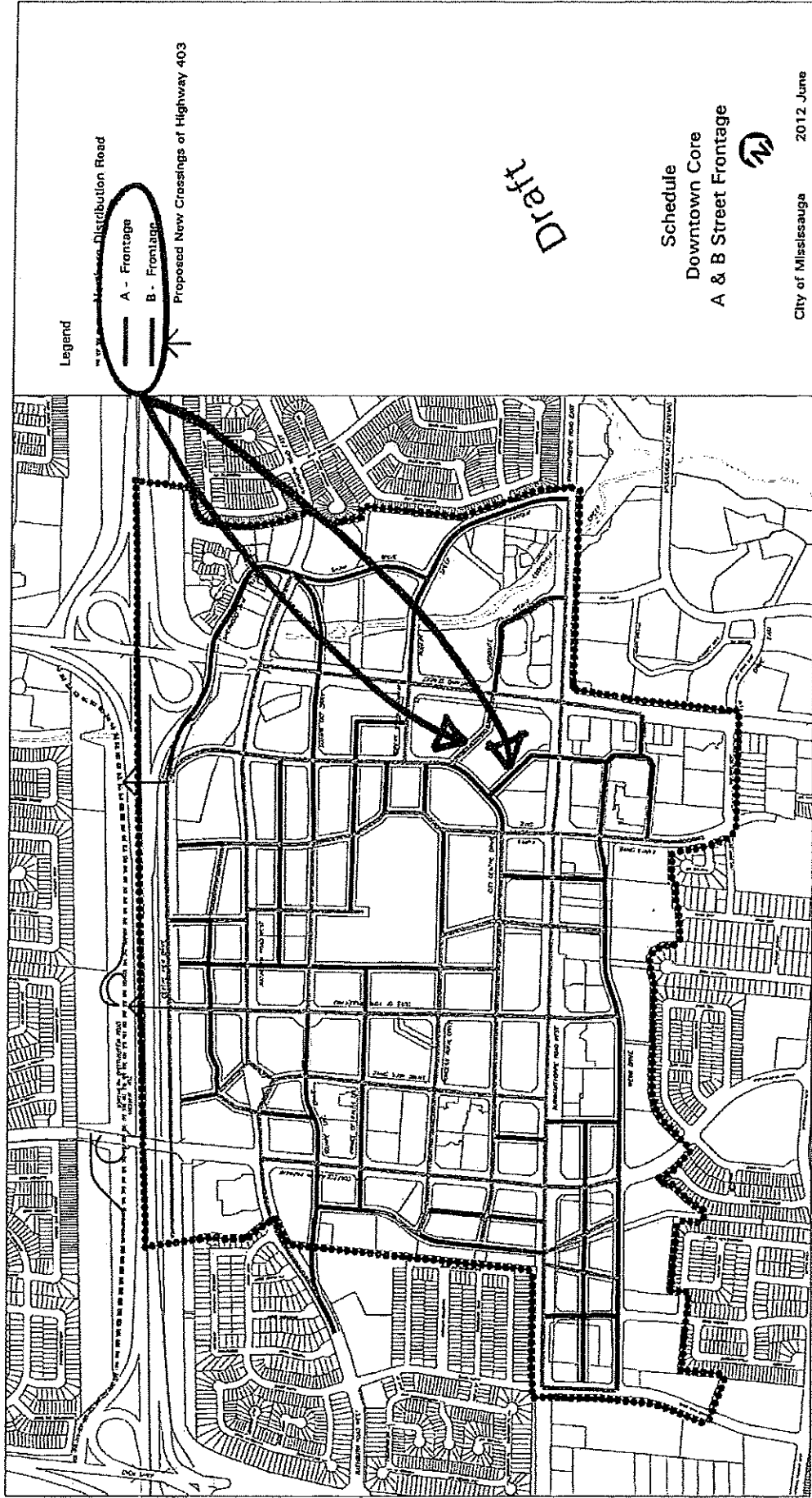
04 Downtown Mississauga



Appendix 4



Appendix 5





MISSISSAUGA CENTRAL LIONS CLUB

Mississauga City Council
c/o Diana Haas,
Office of the City Clerk
300 City Centre Drive
Mississauga, ON
L5B 3C1

November 5 2012

Dear Council Members,

As you may be aware the Mississauga Central Lions Club has managed a Farmers Market in the Parking Lot areas surrounding the Square One Shopping Centre for the past 37 years. This Market has been able to run because of the generous cooperation of current and past owners and management of the Square One Shopping Centre who have allowed us free use of the parking lot space. Our market includes patrons who drive in weekly from outside Mississauga just to shop at the market.

Lions Clubs International is the world's largest Community service organization with 1.35 million members in 207 countries and territories around the world.

Operation of this Farmers Market allows our club to support over seventy organizations, charities and individuals. We have averaged distributing about \$120,000.00 annually to these parties.

We recognize that the nature of the downtown core is evolving and intensifying. With the framework you are developing with Downtown21 we will see the area fill in with building, business, commercial and Residential over time.

Over the last year our club has examined a number of long term possibilities for the continued existence of the Farmers Market within Mississauga's Core. One of the ideas within the Downtown21 area of focussed will be the focus of this submission.

Given increased numbers of people coming to the city core, demand for convenient accessible parking will intensify.

The Local Area Plan outline provided for this meeting, in its Vision sections 2.1.6 and 2.1.7 speak to parking and mix of uses within buildings and along individual street frontages. Section 2.1.10 speaks to developments and activities that enhance the downtown as a destination. Our submission deals with how to continue the Farmers Market as a destination and a means to incorporate them into the cities long term plan for the core.

3.2.2.10 deals with Parking and it is in this area where we ask your consideration of our idea.

There are a number of existing structured parking facilities in the core today that serve as a basis for our suggestion to your zoning / planning efforts.

The Parking lots outside the Bay and Wal-Mart at Square One and the older segment of the Credit Valley Hospital parking garage each have large ceiling heights on their ground levels. These existing parking structures at Square one were designed for convertibility to additional retail space or other uses. If a future structured parking facility were built in the core with a ground level height sufficient to support the height and weight of the trucks used by the Mississauga Central Lions Club farmers, then that area could be used as a new home for the market. Perhaps it could even be designed for use on a year round basis. The façade and signage would differentiate it and help make the facility look less garage like.



MISSISSAUGA CENTRAL LIONS CLUB

While out of scope of this meeting – A Farmers Market could either continue to be held as it is today on Fridays or Sundays on that first level. Given that the trend is to pay parking in the core during the day, patrons may have to pay to park to visit that Market. Our club would entertain working with the city and development partners to continue The Mississauga Central Lions Club Farmers Market – our clubs largest continuing fundraising activity. Without this market our club would not be able to continue its support for these organizations and many of them would be hard pressed to find alternative funding in todays economy.

We would also wish to work with any party given the undertaking of planning and developing a year round market.

Sincerely,

Jeffrey Friedman
Director
Mississauga Central Lions Club

c.c. Mr. Jamshed Ali – Club President
Mr. Manny Castellino – Farmers market Chair

Interim Control By-law for the Downtown Core**Downtown Core Local Area Plan, Zoning By-law Amendments and Built Form Standards****Response to Comments**

Since the November 5, 2012 public meeting the Downtown Core Local Area Plan, the Zoning By-law Amendments and Built Form Standards, attached to this report as Appendices 4, 5 and 6, have been updated to: reflect the format and policies of the newly approved Mississauga Official Plan; eliminate any duplication between the documents; provide greater clarity and elaborate where necessary; and address the comments raised as noted in the following table. The Local Area Plan will appear most different because of the reformatting and restructuring of the document. Where policies exist in the Mississauga Official Plan, they were no longer included in the Local Area Plan. The Zoning Amendments are highlighted throughout the document to clearly show where changes or additional provisions have been added

Some of the major changes to the documents since the November 5, 2012 public meeting include:

Local Area Plan

- Has been expanded to elaborate on the function of the Downtown Core in the city structure and its position as an employment, retail, civic and cultural centre with residential, education and entertainment centre for the City;
- Details have been provided in the Section 5.0 - Direct Growth regarding density and population projects for the Downtown Core;
- Section 9.0 - Build a Desirable Urban Form has been refined, with significantly more detail provided in the Built Form Standards;
- Residential entrances for uses above the ground floor in Retail Activation areas have been permitted;
- The road pattern on the Schedules has been revised to reflect the Rogers Master Plan for the lands located on the southwest quadrant of Burnhamthorpe Road West and Confederation Parkway;
- Special Sites 6, 7 and 8 have been deleted and the policies related to the provision of open space in these areas have been addressed in the Land Use policies for Mixed Use and Office designations;

- A Special Site policy has been added for the Baif Developments Limited site, located at the southwest quadrant of Burnhamthorpe Road West and the future extension of Main Street, to recognize an existing situation related to access to the site from Burnhamthorpe Road West;
- An Implementation Section has been added to the Local Area Plan which speaks to Site Plans requirements and the conveyance and acquisition of roads.

Zoning By-law Amendment

- The maximum floor plate size of residential towers has been increased from 750m² (8,073 sq. ft.) to 850m² (9,150 sq. ft.);
- The minimum linear building frontage required for retail activation on certain streets has been reduced from 90% to 75%;
- The maximum retail unit depth in the Retail Activation area has been replaced with a minimum unit depth of 10m (32.8 ft.).

Built Form Standards:

- Have been refined to provide greater clarity;
- The Built Form Standards are proposed to be implemented through the Site Plan By-law.

The following Table outlines the comments received and staff's response to the comment.

#	Respondent	Issue/Comment	Staff Response
1	John Filipetti, Oxford Properties Group	<p>Local Area Plan</p> <p>The documents generally identifies the importance of Square One, it fails to recognize the future needs of the region serving retail centre and could negatively impact many of the characteristic that have made Square One successful.</p> <p>The region serving retail function of Square One is not sufficiently protected. There is no specific reference to the important commercial role played by Square One.</p>	<p>The Foster a Strong Economy section of the Downtown Core Local Area Plan (LAP) has been expanded to identify and recognize the importance of Square One as an economic influencer in the City and Region.</p> <p>Recommended revised policy:</p> <p>Add Section 10.0 Foster a Strong Economy section to the Downtown Core Local Area Plan including the following statement:</p> <p>“The Downtown Core is important to the economy of the City of</p>

		<p>1.2.a Strengthen the Core's role as the primary location for major office, highest concentration of retail commercial, mixed use, civic uses, and cultural development.</p> <p>This section should refer to the region-serving retail role of Square One.</p> <p>This section recognizes the Downtown's role as "a regional destination" but does not carry forward the specific recognition of the region-serving retail role of Square One.</p> <p>Square One serves a vital function in Mississauga's Downtown Core as a Regional commercial centre. This should be recognized in this policy by recognizing regional retail role, not just "highest concentration."</p>	<p>Mississauga. Square One Shopping Centre contains the primary retail concentration in the City and is a strong regional economic draw within the Downtown and the city as a whole."</p>
		<p>It is unclear whether "employment" would include retail uses.</p>	<p>For the purposes of Population plus jobs (PPJ's), retail jobs are considered employment jobs.</p> <p>No change required.</p>
		<p>For the Rathburn and Square One Districts, the emphasis is on office uses at the expense of potential retail expansions.</p>	<p>One of the objectives of the Interim Control By-law (ICB) was to protect for strategic uses such as office. One of goals of the Local Area Plan is to protect for and ensure that we have a balance of uses within the Downtown Core, which will ensure the economic success of the area. Ground floor retail uses are permitted in the Office designation.</p> <p>Square One and its functions have been recognized as a specific district within the Local Area Plan. The existing use that will continue into the future, however future expansions should align with the new policies to ensure they are outward facing, pedestrian oriented and of a scale that enhances the streetscape.</p> <p>No change recommended.</p>
		<p>City needs a realistic plan and incentive structure to promote office uses, given many of the existing</p>	<p>The Main Street Working Group (under the direction of Strategic Initiatives) has agreed to work together to refine the Downtown21 Master</p>

		disincentives for such uses.	<p>Plan concept and develop a business plan for the Main Street District. A business plan will be developed which will evaluate if and what incentives may be appropriate. Any incentives would require approval from City Council.</p> <p>No change recommended.</p>
		The draft local area plan provides not discussion regarding transition or phasing. Policies should protect existing uses while allowing for the gradual implementation of the City's vision. An example is the long term plan to ensure appropriate and necessary vehicular and servicing access to Square One.	<p>The Official Plan and associated Local Area Plans set out the ultimate vision for the City.</p> <p>Vehicular and servicing access have been addressed through roads and servicing sections of the Plan.</p> <p>No change recommended.</p>
		The various policies related to parking and access ignores the existing and future needs of Square One and its tenants. Greater flexibility is required for parking solutions and vehicular access in association with the region serving retail centre.	<p>It is recognized that the need for parking will continue to exist, however how that parking is provided will change. Surface parking lots do not align with the vision for an urban downtown core, nor is it an efficient use of land, therefore policies have been added that address below grade and structured parking options.</p> <p>The City is currently developing a strategy to evaluate the provision of parking in the downtown. The initial parking strategy document focuses on the proposed Main Street District and will:</p> <ul style="list-style-type: none"> • evaluate the amount of parking that is required in the Main Street District based on the potential development scenarios as provided in the Downtown 21 document and the Main Street District Business Plan and Commercial Study; • provide options for the implementation of parking solutions for the district; • give guidance on the role of shared parking in the implementation of parking facilities in the Main Street District; • provide context to the impact of zoning by-law requirements for parking in the Main Street District; and, • elaborate on the role that the Parking-In-Lieu program can have on the provision of parking in the Main Street District.

			<p>The City currently has a Parking-In-Lieu program in operation for the downtown which can be utilized to meet parking zoning by-law requirements.</p> <p>No change is recommended.</p>
		<p>There is little detail regarding the planning and urban design implications of the convergence of vehicle traffic, local transit, GO Transit, BRT and LRT in the Rathburn corridor.</p>	<p>The study being undertaken related to the Hurontario-Main Light Rapid Transit (LRT) project study will be reviewing and providing recommendations related to vehicular and transit movement within the Downtown Core.</p> <p>The ultimate location of the transit stations, routing and anchor hub are uncertain at the present time and will be detailed through the LRT study. When the final design work is completed and the Environmental Assessment approved, changes to the implementing documents will be brought forward for Council's adoption at that time.</p> <p>No change required at this time.</p>
		<p>Information is required from the City regarding its intention to have the landowners convey land into public ownership for the new roads, and if this is the City's intention, when and how the City would propose to do so.</p>	<p>Roads that have been delineated in the Local Area Plan illustrate the ultimate road network necessary for the Downtown Core. The roads will be acquired through various means, including through development applications, expropriation and acquisition. The Implementation Section of the Local Area Plan has been revised to reflect the various ways roads may be acquired by the City. The zoning by-law has been amended to state that as a condition of the removal of the H Holding Symbol, that the conveyance or dedication of a right of way may be required.</p> <p>Revised policy and zoning recommendations:</p> <p>That the Implementation Section of the Local Area Plan include the following: "Mississauga may apply a holding provision to lands within the Downtown Core to ensure that the policies of this Plan are implemented. The removal of the holding provision will be conditional on the applicant satisfying the</p>

			<p>requirements of the policies of the Plan, including:</p> <p>a) requiring the conveyance of land for new public roads, including realignments of roads or impose an obligation upon a landowner to construct or pay for the construction of new roads, where not otherwise permitted under the <i>Planning Act</i>;</p> <p>That the Zoning B-law Holding Provision removal include the following condition:</p> <p>“Convey or dedicate to the City a right-of-way to be used for a street on ‘A’ and ‘B’ Street Frontages identified on the Schedules of this Part of this By-law, where a street currently does not exist.”</p>
		The existing block sizes are well suited to large scale office development while non-road through block pedestrian routes can provide the required linkages. Additional flexibility is required to maintain appropriately scaled office development sites.	<p>The blocks proposed through the Local Area Plan are of sufficient size to accommodate office development based on the recommendations of the Downtown21 Master Plan.</p> <p>No change recommended.</p>
		No details are provided as to how the City intends to achieve this vision (Main Street) particularly in view of the different ownerships involved.	<p>The Main Street Working Group was formed to bring together the different landowners within the Main Street District and the City to develop a coordinated vision and business plan for the district. There are many mechanisms available to the group to overcome the challenges of different ownerships. With the assistance of LiveWorkLearnPlay, the City has proposed the idea of forming a Main Street District Association (as one possible approach) to the group to assist in this coordination role. Work will continue with the group to explore this option or others that the Main Street Working Group may see value in exploring together.</p> <p>No change required.</p>
		For Sites 6 and 8, further information is required regarding the City’s plan for acquiring these lands and the design intent for the parkland network.	<p>Special Sites 6, 7 and 8 have been removed and the policies have been added to the Office and Mixed Use designation. The policies that speak to the opportunities related to providing open space, either public or publicly accessible ground related private open space within developments. If it was</p>

			<p>public parkland, the lands would be conveyed or acquired through the development application process.</p> <p>Revised policy recommendation.</p> <p>That the Mixed Use and Office Land Use policies be revised to add policies regarding open space, either public or private, in the areas previously shown as Special Sites 6, 7 and 8.</p>
		<p>Flexibility is required in the application of the proposed build-to lines, especially when applied to Square One. It is unrealistic to expect a shopping mall the size of Square One to always build to the streets on all edges. Similar concerns relate to the requirement for active ground floor uses, narrow storefronts in new development and restrictions on building materials.</p>	<p>The build to lines are required to address the ‘A’ and ‘B’ Street requirements. In order to achieve urban downtown, buildings need to address the streets rather than be set back.</p> <p>In addition to requiring streetwalls close to the property line within build-to areas (0-7.6m (25ft.)), the requirement for active ground floor uses along “Retail Activation Areas” is especially important to ensure that a high quality, walkable and human scale environment is created along the priority areas of the downtown.</p> <p>No change recommended.</p>
		<p>Minimum of 3 storeys is a challenge for future expansions of Square One.</p>	<p>Mississauga Official Plan (Figure 5-5) has already established the minimum height requirement of 3 storeys within the Downtown.</p> <p>No change recommended.</p>
		<p>Proposed restrictions on curb cuts, driveways and laneways may impact servicing and delivers to Square One and its potential expansions.</p>	<p>The policies related to the ‘A’ and ‘B’ category of streets provides flexibility when no ‘B’ frontage is provided for a block.</p> <p>No change recommended.</p>
		<p>1.2.c Attract new office development to balance population and employment</p> <p>Retail should be added as a desirable use to attract and maintain in the Core, especially since retail is a form of</p>	<p>The current zoning restricts accessory uses in the Office zone to 20% of the total gross floor area of each building, however the proposed Zoning provisions for the Downtown Core-Office permit retail uses on the total ground floor of an office building and permits a wider range of accessory uses..</p>

		employment in the Square One context.	<p>Recommended zoning:</p> <p>See Section 7.1.4.3 in Appendix 5- Zoning Provisions for details for accessory uses in office buildings.</p>
		<p>1.2.d Create over the longer term a more fine-grained well-connected road network in the Downtown Core that supports multi-modal transportation modes: walking, cycling, transit and the car</p> <p>Agree that all modes of transportation need to be supported in the future road network. Should not only support multi-modal but also ensure appropriate reasonable access for all modes of transportation.</p>	<p>The concept of multi-modal includes vehicular transportation is an important principle for the downtown core; however details regarding the associated infrastructure is too detailed for the purposes of a local area plan. The restriction of vehicular accesses on ‘A’ Streets is to ensure for a high quality pedestrian environment.</p> <p>No change required.</p>
		<p>1.2.f Provide a new development framework and policy regime founded on greater predictability and certainty in outcomes, to better direct growth and support existing and planned services.</p> <p>In principle, greater predictability is desirable for Oxford as well. However, a provision referencing the importance of flexibility should be included as well. Flexibility is a necessity in the retail/commercial environment, and in order for Square One to remain competitive and for Downtown to maintain its status as a regional commercial centre, the importance of this flexibility should be mentioned.</p>	<p>The Local Area Plan policies provide direction for future development in the downtown core. To date the policies and regulations have provided a great deal of flexibility however has not provided sufficient direction to guide development from a suburban to an urban model.</p> <p>No change recommended.</p>
		<p>General text: “The vision moving forward is for the Downtown Core to be a mixed use urban centre, with a balance of residential and employment uses...”</p> <p>This policy should read “...a balance of residential, retail, and employment uses...”</p>	<p>A balance of employment, retail, residential, education, civic and cultural uses are envisioned for the Downtown Core and is addressed in a number of areas in the Local Area Plan such as the Guiding Principles and Community Concept.</p> <p>Recommended revised policy:</p> <p>That the Downtown Core Local Area Plan speak to the balance of uses, such as:</p>

			<p>Guiding Principles – The vision for the Downtown Core is to be a mixed use urban centre, with a balance of residential, office and retail employment uses, complemented by civic and cultural uses.</p> <p>Community Concept – The Downtown Core’s position as an employment, retail commercial, civic and cultural centre will be balanced by residential development, education, entertainment and facilities for business visitors and tourists.</p>
		<p>2.1 Development Objectives</p> <p>2.1.1 A high quality of urban design in the built form that is unique, mixed use, pedestrian friendly and transit supportive, and which contributes to the unique identity and prominence of the Downtown Core.</p> <p>There is no mention of the importance of vehicular movement in the Development Objectives. We recognize that other modes of transportation are key elements of the future Downtown, but safe and efficient traffic flow ought to also be recognized as an objective.</p> <p>This policy should also mention encouraging safe and efficient vehicle movement. Vehicular movement will be a reality in Downtown in both the immediate and distant future, and it is important to acknowledge this fact.</p>	<p>The policies state that multi-modal transportation is part of the downtown, this includes vehicles. An expanded road network has been added that will provide for greater options for moving through the core. A section has been added to the Local Area Plan entitled “The Create a Multi-Modal City”.</p> <p>Recommended revised policy:</p> <p>Section 8.0 Create a Multi-Modal City</p> <p>“The Downtown Core will accommodate all modes of transportation to enable the movement of people and vehicles to, from and within the Downtown Core.”</p>
		<p>2.1.2 The location of streets, the mix of uses, a high standard of urban and streetscape design, and the development and enhancement of a comprehensible public / private system of pathways and open space, including public art will:</p> <p>a) integrate retail commercial, office, civic and other facilities</p> <p>b) facilitate pleasant and safe pedestrian and cyclist</p>	<p>The previous policies have been replaced to address parking.</p> <p>Recommended revised policy:</p> <p>Add 8.3 Parking and Transportation Demand Management</p> <p>8.3.1 The City will undertake a strategy to evaluate the provision of parking in the Downtown.</p> <p>8.3.2 Parking for new development will be accommodated in below</p>

		<p>movement throughout the Downtown Core</p> <p>c) provide opportunities for passive outdoor recreation within the Downtown Core</p> <p>d) Provide access to and from the Cooksville Creek greenbelt</p> <p>e) reinforce and expand the role of the Downtown Core as the focus of city wide cultural, community and civic activities</p> <p>Mention of maintaining regional accessibility, in order to support the regional commercial function that is vital to the economic health of Downtown, should also be made. The importance of maintaining a sufficient parking supply should also be mentioned.</p> <p>Policy (b) should also mention vehicular movement.</p> <p>Policy (e) should also mention reinforcing the role of Downtown as the focus of regional commercial activity.</p>	<p>ground or above ground structures.</p> <p>8.3.3 Surface parking lots for new development will not be permitted.</p> <p>8.3.4 Mississauga will encourage Transportation Demand Management measures as part of development applications within the Downtown Core.</p>
		<p>2.1.4 Development will result in a unique Downtown Core character, enhanced through the creation of view corridors and gateway features, and visibility of the Civic Centre and public gathering spaces.</p> <p>Square One should be added as an important visible marker.</p>	<p>View corridors are generally intended for civic buildings, structures, elements of public art and architecturally significant buildings, natural features and/or open spaces.</p> <p>No change recommended.</p>
		<p>2.1.5 The Downtown Core road system will be completed to achieve multi-modal transportation</p> <p>This policy should also emphasize the importance of developing a road system that encourages safe and efficient vehicular movement.</p>	<p>Safe and efficient movement for all modes of transportation is a basic principle for municipalities and is addressed in the Mississauga Official Plan.</p> <p>No change required.</p>
		<p>2.1.7 A mix of uses throughout the Downtown Core will be found within buildings and along individual streets.</p> <p>This policy should be refined to change “found” to</p>	<p>As noted previously, the Downtown Core will be a mixed use urban centre with a balance of uses.</p> <p>No change required.</p>

		“encouraged”	
		<p>2.1.8 A balance of residential and employment uses will be developed throughout the Downtown Core.</p> <p>This policy should also include retail/commercial uses as a desirable use.</p>	<p>A balance of employment, retail, residential, education, civic and cultural uses are envisioned for the Downtown Core and is addressed in a number of areas in the Local Area Plan such as the Guiding Principles and Community Concept.</p> <p>Recommended revised policy:</p> <p>That the Downtown Core Local Area Plan speak to the balance of uses, such as:</p> <p>Guiding Principles – The vision for the Downtown Core is to be a mixed use urban centre, with a balance of residential, office and retail employment uses, complemented by civic and cultural uses.</p> <p>Community Concept – The Downtown Core’s position as an employment, retail commercial, civic and cultural centre will be balanced by residential development, education, entertainment and facilities for business visitors and tourists.</p>
		<p>2.1.11 Development and activities that will expand tourism in the Downtown Core and the region.</p> <p>2.1.12 The prominence of the Downtown Core as a mixed use centre will be maintained.</p> <p>This policy should mention encouraging and supporting the regional retail that currently draw visitors to Downtown.</p> <p>Prominence of region-serving retail role should also be maintained.</p>	<p>The Vision and Foster a Strong Economy sections of the Local Area Plan have been revised to expand these sections.</p> <p>Recommended revised policy:</p> <p>4.1 Guiding Principles, includes the following:</p> <ul style="list-style-type: none"> Strengthen the Core’s role as the primary location for major office, highest concentration of retail commercial, mixed use, civic and cultural uses; <p>10.0 Foster a Strong Economy states: “The Downtown Core is important to the economy of the City of Mississauga. Square One Shopping Centre contains the primary retail concentration in the City and is a strong regional economic draw within the Downtown and the city as a whole.”</p>

	<p>3.0 Urban Design</p> <p>3.1.1 Urban form in the Downtown Core will develop incrementally. The submission of a concept plan will be required for all development applications and must demonstrate how the urban design policies will be implemented through the development review process.</p> <p>Clarity should be added to describe what constitutes a concept plan.</p>	<p>“Concept plan” is a generally accepted planning term and is a term used in the Mississauga Official Plan. Detailed terms of reference are prepared for each application.</p> <p>No change required.</p>
	<p>3.2.1.1 Development will provide physical definition of the streets and ensure a seamless relationship between the public and private realm. Existing and new roads in the Downtown Core will be identified for the purposes of:</p> <ul style="list-style-type: none"> a. establishing categories of street frontages; b. identifying urban design policies that articulate the intent of the street frontage categories; and c. specifying Built Form Standards that provide direction and detailed development guidance in relation to the urban design frontage categories, included in the Downtown Core Local Area Plan as Appendix 1. <p>In addition to streets being defined by their form and function as related to frontages, the streets’ physical function as a corridor for mobility needs to be addressed. This policy should also mention the importance of access to retail.</p>	<p>Access is permitted on ‘B’ Frontages and ‘A’ Frontages where a block has no access to a ‘B’ Frontage.</p> <p>No change recommended.</p>
	<p>3.2.1.2 Mississauga will ensure a fine grain pattern of urban streets in the Downtown Core to:</p> <ul style="list-style-type: none"> a. Create high quality street designs that support a comfortable, pedestrian scale, cycling and transit supportive environment. <p>The creation of a fine grain urban block structure can be made through a combination of vehicular streets defining blocks edges and other urban design features – such as</p>	<p>The road network proposed through the Local Area Plan creates block sizes that are of a human scale and provide for a vibrant, walkable and compact downtown. In a walkable and urban context, the ideal block size should have a block perimeter of between 400 - 650 m (1,312 - 2,133 ft.) or between a 5 to 10 minute walk. The number of intersections created by smaller blocks creates multiple routing and turning options for vehicle, increasing the capacity of each intersection by spreading the traffic over multiple intersections.</p> <p>Section 9.2.1 Streets and Blocks of the Local Area Plan provides more</p>

		<p>plazas, pedestrian walkways, or openings in the street wall – to break down the scale of blocks. Too fine a grain might unduly burden overall site circulation and vehicular traffic, and increase the amount of stormwater run-off from the larger amounts of impermeable paving.</p> <p>Blocks need to provide a flexible urban structure that allows for reasonable block sizes that accommodate all forms of Downtown Mississauga’s access and mobility needs – for transit, vehicles, bicycles and pedestrians; development needs; and future growth potential.</p>	<p>detail regarding the blocks and streets.</p> <p>Recommended revised policy:</p> <p>9.2.1 Streets and Blocks</p> <p>A fine grain grid and network of streets and blocks is fundamental to this Plan and will serve as the framework for achieving urbanism.</p> <p>They serve pedestrians, transit, vehicles, cycling and provide space for public utilities and services, trees and landscaping, building access, framing of views, and access to sky views and sunlight.</p>
		<p>3.2.1.3 In addition to providing routes for multi-modal travel, streets are a significant public resource within the Downtown Core. The design of streetscape should:</p> <ul style="list-style-type: none"> a. Ensure a high level of urban design in all components b. Enclose and contain the streets with well-designed buildings and groups of buildings to create a predictable pattern of development, and define the public realm and open space system c. Ensure streets achieve a sense of enclosure by minimizing their visual width and scale with the use of streetwalls and boulevard treatments d. Ensure pedestrian and cycling amenity, comfort, convenience and safety e. Ensure design and functional elements are incorporated which reduce traffic speed <p>With regard to:</p> <ul style="list-style-type: none"> b) Predictability in planning should not preclude future development opportunities. For a long-term master plan, flexibility in future development is critical for the eventual planning and development to best response to market needs and demands of the city. 	<p>The existing City Centre district policies lack the detail required as the downtown continues to evolve. The proposed Local Area Plan provides a more predictable planning regime and greater detail to ensure a vibrant and walkable downtown is created. The policies establish basic parameters for future development, but do not preclude opportunities for creativity by the development industry.</p> <p>As noted above, the finer grain network provides a variety of options for vehicular traffic throughout the core.</p> <p>No change recommended.</p>

		<p>(e) Streets with reduced traffic speeds should be balanced with roads and boulevards that can accommodate the displaced higher volumes of traffic to maintain an adequate Level of Service for roads in the Downtown Mississauga area</p>	
		<p>3.2.2.1 'A' streets are designated 'A' and/or 'B' streets, which differentiate the various streets by their function, character, built form treatments and design</p> <p>a. 'A' Streets have a critical role and function in the Downtown Core. They are intended to be the most important for securing animation and character, a comfortable pedestrian environment, street activity and vibrancy</p> <p>b. 'B' streets allow for site servicing and access and are also intended to support street activity, achieve character and a pedestrian friendly environment.</p> <p>c. New development will follow specified 'A' and/or 'B' street standards for each street in the Downtown Core. The character of built-form varies according to the 'A' or 'B' street designation. The framework is shown in the A & B Street Schedule of this Plan.</p> <p>In addition to defining streets by form and function, the definition of streets should allow for concentrated areas of retail, corridors for different modes of transportation and pedestrianized areas and more flexibility in the mandate of continuous frontage. Sensitively placed curb cuts should be accommodated on vehicular-accessed streets to allow for block access and servicing. Placement will minimize the effect on pedestrian zones.</p> <p>Alternate wording: A Streets: Continuous retail frontage; vehicles allowed on street; generous sidewalks provided for pedestrians A' Streets: Pedestrianized streets with episodic retail;</p>	<p>The 'A' and 'B' Frontage classification system outlined in the Local Area Plan reflects the category identified in the Downtown21 Master Plan. The categories have been thoroughly reviewed and are considered appropriate.</p> <p>No change recommended.</p>

		<p>vehicles allowed on street</p> <p>B Streets: Connector streets for vehicular traffic; pedestrian-friendly in character; vehicles allowed on street</p> <p>B' Walkways: Through-Block pedestrian connections; vehicles not permitted on walkway</p> <p>C Streets: Access streets, primarily for vehicular traffic</p>	
		<p>3.2.2.6 Curb cuts, driveways and laneways are prohibited on 'A' streets, except where a site or block does not have access from a 'B' street, or if there is a requirement for emergency vehicle access.</p> <p>Curb cuts need to be provided for building servicing, loading and parking access. This policy should indicate that, where curb cuts occur on a street with pedestrian priority, their impact on the pedestrian environment will be minimized.</p>	<p>Wherever curb cuts occur, their impact on the pedestrian environment must be minimized to ensure for safety and will be addressed through the site plan process.</p> <p>No change required.</p>
		<p>3.2.2.7 'B' street provide development blocks with vehicular access to off street parking, deliveries, garbage pick-up, service and loading. 'B' streets will also have an important pedestrian character designed to a high standard of built form and streetscape to support the public realm.</p> <p>We propose a more specified definition of 'B' streets as connectors. B Streets would serve as connector streets for vehicular traffic and remain pedestrian-friendly in character. B' Walkways would be through-block pedestrian connections, where vehicles would be prohibited from accessing. In addition to the redefined A, A', B, and B' streets/walkways, we propose an additional street type 'C', which will be designed as vehicular access priority roads.</p> <p>Additionally, continuous frontage for the entire length of B streets might create an over-abundance of retail spaces/GFA. Mandating such development may not be feasible in the short- to medium-term or, in the absence of</p>	<p>The road categories set out in the Local Area Plan originates from the Downtown21 Master Plan.</p> <p>No change recommended.</p>

		<p>balanced ratios with other programs, even the long-term. We note that regional-scale mall retail may expand beyond their local capacity for use; however, the same argument does not apply to the street-front retail and there is a finite capacity for how much of it the site will be able to support, even at build-out.</p>	
		<p>3.2.2.11 Above grade structured parking will be designed so that...:</p> <p>b. Parking structures will not directly front onto ‘A’ streets, but will be screened by liner buildings incorporating a mix of uses between the parking structure and street space; and</p> <p>g. At grade exhaust vents serving structured parking facilities will not be permitted to front onto ‘A’ streets, but may be located on ‘B’ streets provided that they are architecturally treated and vertically integrated into a building’s exterior wall and cladding system.</p> <p>(b) We accept the principle that ground floor liner uses are required, but, for office podiums, we believe screened upper floors may have parking components. This requirement should not be interpreted as requiring “liner” buildings on all levels so long as they are present at the ground (pedestrian) level and upper levels have appropriate screens and other architectural treatments as required to provide for an attractive and pedestrian-friendly streetscape.</p> <p>(g) We proposed revising this policy to state that at-grade exhaust vents can be located on an ‘A’ street when a block does not have a ‘B’ street as an edge condition.</p>	<p>As noted in the Downtown21 Master Plan, the design and placement of above-grade parking structures will have a significant impact on the character and vitality of the pedestrian street environment. Parking structures are required to be designed to minimize the negative visual impact of blank walls and loss of activity on the street. Greater clarity is provided regarding above ground parking structures.</p> <p>The policy regarding exhaust vents has been revised.</p> <p>Recommended revised policy:</p> <p>9.3.2 Relationship to the public realm</p> <p>h. design and locate utilities, exhaust vents and municipal services to minimize services to minimize negative impacts on the public realm.</p> <p>9.3.3.10 Structured Parking</p> <p>b. above grade parking structures will not directly front onto ‘A’ streets, but will be entirely screened by liner buildings, incorporating a mix of uses between the parking structure and street space;</p> <p>e. where abutting a street, above grade parking structures and their facades will be designed to the highest level of architectural treatment and façade animation to mask the parking and screen views of the interior.</p>
		<p>3.2.2.14 Development incorporating at-grade retail and commercial uses at the frontages, will be designed so that:</p> <p>a. Lobbies and principal entrances located at grade serving</p>	<p>The Retail Activation policies have been revised to allow for lobbies providing access to residential uses above the ground storey subject to certain limitations.</p>

	<p>residential uses above the ground storey shall be limited in size in order to allow for maximum activation of the street</p> <p>b. Where areas of retail focus have been identified in accordance with the Retail Activation Schedule of this Plan, lobbies and principal entrances serving residential uses above the ground storey will be located on streets where the least amount of retail is required, or where no retail frontage requirement is specified</p> <p>b) Areas of retail focus (the Retail Activation Schedule) will need to be re-considered (see street classification diagram, KPF vs DT 21). Maximum activation can be achieved where entrances serving residential uses above the ground storey make strategic use of the same street on which the retail frontage occurs. We do not advise that residential entrances be completely separated from retail streets, so long as the design of street-facing residential building entrances are consistent with the urban design concept of that street and reinforce its pedestrian accessibility.</p> <p>(c) To be successful, a retail requirement on the scale of the development contemplated has to have a range of floor plate sizes and frontage lengths. At this scale, an exclusive focus on storefronts with “narrow width and frequent rhythm” will not be possible, and tenant requirements will dictate the size and dimension of the retail units. The overarching objective should be to assure the success and pedestrian-friendliness of street front and Main Street retail, not to canonically dictate the dimensions of each unit. Instead of dictating the economic form of retail, we would recommend specifying the maximum distances between entrances, minimum streetwall and façade projection requirements, and the frequency and rhythm of glazing, display windows and other façade treatments. Formal requirements do not have to match economic requirements.</p>	<p>The Retail Activation area has been established to create distinct areas where at grade retail uses on street frontages will create an active pedestrian environment. The limitation in the size of the street related units was established to ensure that there is a variety of uses along the street frontage. Changes have been made to the unit depth, to require units to have a minimum depth of 10m (32.8 ft.), thereby allowing flexibility in the unit layout beyond the 10m (32.8 ft.) depth.</p> <p>Recommended revised policy:</p> <p>9.3.3.6 Residential Entrances Located on Retail Activation Streets</p> <p>Where areas of retail activation have been identified in accordance with the Retail Activation schedule of this Plan, main front entrances and lobbies providing access to residential uses above the ground storey will be:</p> <ul style="list-style-type: none"> • Limited in width; • Located to establish and reinforce patterns of access between blocks of development; and • Positioned so that there is minimal interruption of retail uses along the block. <p>Recommended revised zoning provisions:</p> <p>The width of the lobby for residential uses above the ground floor shall not be greater than 6.5m (21.3 ft.).</p>
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	<p>3.2.2.17 Buildings that surround, have proximity or have street frontage facing parks or open space will be designed according to ‘A’ street requirements and have the highest level of architectural expression, articulation and use of materials.</p> <p>Each plaza, park and other open space proposed for the Square One Lands has a different character. Extending a single set of street classification requirements to all of them will not be appropriate and will result in too much retail space. Each park, plaza and open space should be treated uniquely, based on its particular circumstances.</p>	<p>The open space and private open space system is a critical component of the downtown. The relationship between the open space blocks, whether publically or privately owned, and surrounding buildings and streets is critical to the success of the downtown. These open space blocks must be made create a sense of place, comfortable and part of the pedestrian experience. The revised policies speak to the variety of forms open space can take in the Downtown Core.</p> <p>Recommended revised policy:</p> <p>9.2.5 Open Space and Amenity Areas Open Space and Amenity Areas in the Downtown Core will:</p> <ul style="list-style-type: none"> • Consist of a variety of open spaces, parks, squares, plazas, naturalized green areas and publicly accessible ground related private amenity areas; • Positively contribute to the image and character of the Downtown Core with high standards and quality materials; • Reinforce and frame a view, a significant building or terminate a vista, where appropriate; and • Provide connections to the large pedestrian and cycling network in the Downtown Core and adjacent areas, where appropriate. <p>9.3.3.9 Private Open Space Private open space may be incorporated into new developments along ‘A’ or ‘B’ Street frontages in part of whole, provided that:</p> <ul style="list-style-type: none"> • The design of private open space will integrate seamlessly with the adjoining street-network, pedestrian environment and overall open space system; • The design of the private open space contributes positively to the identity of the Downtown Core; • The private open space interfaces with existing and/or proposed development in a legible and cohesive manner; • The design of the private open space is executed to the highest urban design and landscape architecture standards; • Private open space is accessible, safe and is being provided for the use and enjoyment of the general public on a year-round, seasonal and 24 hour basis.
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		<p>3.3.1.1. The Main Street Station serves as a destination node for the Main Street and is shown in the Long Term Transit Network Schedule on this Plan. This station area will be a vibrant, walkable, mixed use place.</p> <p>Oxford believes Main Street would be more appropriately located west of where Downtown 21 illustrates it to provide a better relationship with future shopping centre expansions.</p>	<p>The location of the transit stations will be determined through the Hurontario-Main LRT project study. Once the exact stations locations are determined amendments may be required to the locations identified in the Local Area Plan. The proposed stations locations are based on the Master Plan Study.</p> <p>No change required at this time, changes may be made in the future to reflect the recommendations of the Hurontario-Main LRT project study.</p>
		<p>3.3.4.1 The Rathburn Station Area is served by the LRT and Bus Rapid Transit and, is adjacent to the City Centre Transit Terminal. It connects with the future development north of Square One Mall along Rathburn Road. The station</p>	<p>The Interim Control By-law was passed by Council to among other things protect for strategic land uses. The preservation of the lands on the north side of Rathburn Road, within the Rathburn Station Area. In discussions with Oxford, they have indicated that they also anticipate office uses within</p>

		<p>area is characterized as an office district, with some entertainment uses.</p> <p>The classification of allowable uses restricting development to “office district, with some entertainment” uses is too restrictive and undermines the mixed-use character required to attain a high degree of activation and pedestrian-orientation, as befits the major station area of a transit-oriented district. We would anticipate that this area will be primarily office; however, ground floor retail uses should not be restricted to “entertainment” and strategic clusters for residential and serviced apartment development should be integrated, perhaps along Square One Drive and toward either end of Rathburn, from Duke of York to Centre View/City Centre. There is also a lack of clarity in terms of what “prestigious employment district” means in terms of land use.</p>	<p>this area. The ground floor uses permitted under the Office Zone for the Downtown Core permit a variety of uses.</p> <p>Greater clarity regarding the uses permitted is found in the Land Use – Office policies.</p> <p>No change recommended.</p>
		<p>4.1.1.1 Notwithstanding the Uses Permitted in all Designation, the following additional uses will also be permitted:</p> <p>a. cogeneration facility will be permitted as an accessory use.</p> <p>b. commercial parking facility;</p> <p>The City may wish to replace the mention of a “cogeneration” facility to “district energy” facility, more generally to accommodate other low-impact alternatives, such as tri-generation, hydrogen fuel-cell facilities, thermal ice storage, if these are appropriate and cost-effective at the time. We note that while ground-source infrastructure will not require a particular accessory space to the same extent as these district energy technologies will, they will play a key part in helping the city to achieve its carbon footprint reduction requirements.</p>	<p>The definition of co-generation means the generation of two or more forms of heat energy, electrical power and mechanical power from one fuel source, such as gas or renewable sources but excluding oil, coal and nuclear. District energy is not considered a use and therefore is not listed.</p> <p>No change required.</p>
		<p>Retail Activation</p> <p>4.1.5.1 Existing and new streets in the Downtown Core have been identified for the purpose of:</p>	<p>The Retail Activation Area is based on the study undertaken by the City’s consultants, LiveWorkLearnPlay which determined that the demand for retail space within the downtown core, including Square One, is sufficient</p>

	<p>a. establishing retail objectives within mixed use buildings; b. identifying districts and areas of focus for which retail has been determined to be a strategic priority in the Downtown Core; c. setting out requirements for the amount of at grade retail to be achieved on street frontages in accordance with the Retail Activation Schedule included in this Plan; and d. identifying permitted retail uses as outlined below.</p> <p>Districts and areas of focus should reflect commercial realities, respecting the shopping centre and its expansion sites, as well as the adjacency requirements. The Retail Activation Schedule, even without being extended by the proposed 'A' street requirement for public plazas, open spaces, and parks, would appear to result in excessive "local" retail development and, perhaps, insufficient regional retail development, especially when economically viable floorplates and leasing depths are considered for these areas. With respect to the Square One Lands, the Schedule should be aligned with the requirements of the Oxford/AIMCo holdings and the Square One Lands master plan.</p>	<p>to support the areas outlined requiring ground floor retail uses.</p> <p>The Square One Lands Master Plan is at its very preliminary stages and has not been thoroughly reviewed by staff. At this time it is not appropriate to revise the proposed policies to address the Master Plan. If appropriate changes may be made through development applications to address the Master Plan.</p> <p>No changes recommended at this time.</p>
	<p>Office 4.1.6.1 Notwithstanding the Office policies of this Plan, the following additional uses will also be permitted: a. hospital; b. post-secondary educational facility; c. residential dwellings associated with an institutional use.</p> <p>Provided that the zone boundaries are not changed to allow strategically placed mixed-use overhead residential development along Square One Drive and at either the Duke of York or the City Centre/Centre View ends of Rathburn, we recommend adding serviced apartments, hotels, and rental residential as permitted accessory uses,</p>	<p>As noted previously, the protection of lands for office uses is deemed critical to the success of the downtown, therefore allowing residential uses is not appropriate at this time.</p> <p>The majority of lands within the Downtown Core are designated Mixed Use, thereby allowing residential uses as well as other uses. The subject lands are especially important to preserve for office uses given their proximity to existing and future transit.</p> <p>No change recommended.</p>

		subject to the block-by-block plan, and so long as office is the primary focus of each block-podium cluster.	
		<p>Transportation</p> <p>Site access and mobility are critical to the future growth and success of Downtown Mississauga and the Square One Shopping Centre. Transportation goals should provide solutions that promote all forms of site access and mobility, as well as accommodate the pedestrian, bicycle, vehicular and public transportation needs of the area and the region.</p>	<p>The evolution of the downtown core is intended to be multi-modal, recognizing all modes of transportation from pedestrians and cyclist to vehicles and transit. Section 8.0 Create a Multi-Modal City has been added.</p> <p>Recommended revised policy:</p> <p>8.0 Create a Multi-Modal City The Downtown Core will accommodate all modes of transportation to enable the movement of people and vehicles to, from and within the Downtown Core.</p> <p>8.1 Multi-Modal Network A multi-modal transportation system is key to ensuring the efficient movement of people and goods within the Downtown Core. Arterial roads, Highway 403 and a system of local collectors and roads facilitate the movement of vehicles, transit, cyclists, pedestrians and goods into, out of and within the Core.</p>
		<p>5.1.3 The basic rights-of-way for minor collector roads and local roads may be reduced without an amendment to this Plan subject to the City being satisfied that the role and function of such roads are maintained.</p> <p>Based on consultation with a local traffic engineer, vehicular traffic in Mississauga is going to increase in the future, even when accounting for a 40% modal share. A reduction in the number of lanes can increase the area's congestion and accessibility, which are undesirable conditions for this most important regional centre.</p>	<p>The City has commenced a Movement Study in conjunction with the LRT study for the Downtown Core to ensure the coordination of the multi-modal transportation requirements in the core. As noted previously, the Downtown Core is continually evolving and will be subject to further study which may require the approval of additional implementing planning documents.</p> <p>No change recommended at this time.</p>
		5.1.5 The proposed Highway 403 North Collector (Northern Distribution Road), located north of the Downtown Core, is	The Local Area Plan does not include the planned timing for road projects.

		<p>intended to provide access to and from the Downtown Core road network.</p> <p>The plan should indicate the planned timing for this road.</p>	<p>No change required.</p>
		<p>5.1.6 Centre View Drive is intended to provide access to eastbound Highway 403 via a link east of City Centre Drive.</p> <p>The plan should indicate the planned timing for this road and illustrate clarify if “access” includes ingress and egress.</p>	<p>This is a conceptual link that provides access to Hwy 403 eastbound from Centre View Drive. The Local Area Plan does not include the planned timing for road projects. The timing for this link is an operational matter.</p> <p>No change required.</p>
		<p>5.2.2 An Anchor Hub is designated at the interchange of the Bus Rapid Transit Corridor and the Hurontario Light Rail Corridor. The exact location will be determined through a future study.</p> <p>5.2.5 Higher order transit stations will be situated within the Downtown Core.</p> <p>The current and future regional importance of Downtown Mississauga and the confluence of multiple modes of transit at the site allow for a significant investment in transportation infrastructure. By planning for an Integrated Transit Station that brings BRT, LRT, GO and MiWay users together in a centralized location, transfer between systems will be streamlined and infrastructure and excavation investments can be grouped together and reduced.</p> <p>We propose the Integrated Transit Station to be situated on [Block 4]. This allows for workers and residents on the blocks north of Rathburn and the Square One Shopping Centre users south of Rathburn easy walking access to the centralized station. A portion of the Downtown Mississauga population will be within a reasonable walking distance of</p>	<p>The current Hurontario-Main LRT project study is undertaking preliminary design and will complete the Transportation Project Assessment Process (TPAP). This process includes public engagement and is reviewing the corridor alignment and stations locations. Should any changes be required, they will be dealt with through an Official Plan Amendment after the completion of the TPAP process.</p> <p>No change recommended at this time.</p>

		for local transit access and for regional and higher-speed transit access.	
		<p>5.2.7 Within transit station areas, the City will require that development applications address Transit Oriented Development (TOD) objectives. These include moderate to high density development, comprised of a mix of uses and designed with an emphasis on the pedestrian experience and opportunities to maximize transit ridership.</p> <p>In addition to pedestrian-oriented design, the City must also plan for and accommodate the large amount of vehicular traffic that will access the area. By recognizing and planning for all modes of mobility, planning can help balance out all modes' needs for seamless accessibility and mobility.</p>	<p>As noted previously, the City is undertaking a Movement Study in conjunction with the LRT study for the Downtown Core which is reviewing and will provide recommendations regarding the coordination of all the modes of movement within the Downtown Core. Once the study is complete should any changes be required, they will be dealt with through an Official Plan Amendment. The new Multi-Modal City policies expand on this concept.</p> <p>Recommended revised policy:</p> <p>8.0 Create a Multi-Modal City The Downtown Core will accommodate all modes of transportation to enable the movement of people and vehicles to, from and within the Downtown Core.</p> <p>8.1 Multi-Modal Network A multi-modal transportation system is key to ensuring the efficient movement of people and goods within the Downtown Core. Arterial roads, Highway 403 and a system of local collectors and roads facilitate the movement of vehicles, transit, cyclists, pedestrians and goods into, out of and within the Core.</p>
		<p><i>Built form standards:</i> Requirement for 95% of a property's frontage on 'A' streets to be occupied by the streetwall build to line and 75% on 'B' streets are unreasonably high.</p>	<p>The need for minimum build to lines and streetwall requirements moves the built form requirements away from a suburban and potentially big box model to a more urban form of development. Upon further analysis the streetwall requirement has been reduced for 'A' Streets from 95% to 90% and maintains the 'B' Streets at 75%.</p> <p>Recommended revised built form standard:</p> <p>For 'A' Streets, a minimum of 90% of an 'A' property's frontage is required to be occupied by the streetwall at the built to line.</p>

		Certain built form requirements are unrealistic in the context of a shopping mall with a diverse selection of tenant size and design requirements.	<p>The restrictions related to unit size and use applies to Retail Activation areas only. The balance relate to the creation of an urban streetscape.</p> <p>No change recommended.</p>
		Combination of many new public roads and public spaces with the restriction on below grade garages below the public realm will restrict the ability to provide new and efficient parking.	<p>Underground and structured parking may be permitted where the City is satisfied that other City objectives are not compromised.</p> <p>Revised policy recommendation:</p> <p>8.2.2 Below grade encroachments into the road system are generally not permitted. On an exception basis, limited encroachment into the road allowance may be considered by the City, where the City is satisfied that its servicing, streetscape, transportation and design objectives are not compromised.</p>
		Requirements for individual unit entrances in parks and open spaces and narrow storefronts are problematic when seeking new retail tenants, especially when other retail areas in the City are not burdened with these other restrictive built form requirements.	<p>Open spaces are intended to be treated in a similar manner as the public realm associated with streets, therefore uses that face open spaces should address the space similarly to how they address sidewalks. The limitation of storefronts is applicable to Retail Activation Areas only.</p> <p>No change recommended.</p>
		<p>Proposed framework presents a number of challenges to the ongoing management of Square One and the surrounding lands.</p> <p>Flexibility is necessary to ensure the ongoing viability and competitiveness of Square One's important retail function as well as the revitalization of the area as an important office employment location.</p>	<p>It is understood that Square One will continue to exist and evolve over time, however it is important that any changes to the mall recognize and the need to address and contribute to the urban environment of the downtown core.</p> <p>The Foster a Strong Economy policies address the role of Square One and the further development in the Downtown.</p> <p>Revised policy recommendation:</p> <p>10.0 Foster a Strong Economy. The Downtown Core is important to the economy of the City of Mississauga. Square One Shopping Centre contains the primary retail concentration in the City and is a strong regional economic draw within the</p>

			Downtown and the city as a whole. The further development of post-secondary education, cultural, entertainment, tourist and business activities including major office in the Downtown will contribute to the economic success and sustainability of this area.
1B	Frank Lewinberg, Urban Strategies Inc., on behalf of Oxford	Although Downtown21 recognized the importance of Square One, there are some aspects of retail operations and future development potential that were not considered in Downtown21. In order for Square One to remain competitive, it needs certain operational and market-related considerations to be included.	<p>See above noted comments related to Square One Shopping Centre and the Foster a Strong Economy Section.</p> <p>Revised policy recommendation:</p> <p>See the above-noted Section 10.0 Foster a Strong Economy of the Downtown Core Local Area Plan.</p>
		Want to ensure the vehicular movement is convenient, effective and safe. The Local Area Plan is too silent on the importance of supporting vehicles to provide regional access that is needed to support the growth of retail, office and other mixed uses.	<p>As noted above, the policies state that multi-modal transportation is part of the downtown, this includes vehicles. An expanded road network has been added that will provide for greater options for moving through the core. See the Multi-Modal City section of the Local Area Plan.</p> <p>Revised policy recommendation:</p> <p>See Section 8.0 Create a Multi-Modal City of the Downtown Core Local Area Plan.</p>
		The proposed new streets that bisect blocks and in some cases the mall itself, which create economically unfeasible development sites.	<p>The road network is expected to develop over the long term and it may take a number of years to complete the network as the core evolves over time.</p> <p>No change recommended.</p>
2	Chad B. John-Baptiste, MMM Group Limited on behalf of Baif Developments Limited	<p>Local Area Plan</p> <p>Need clarification as to which policies supersede the other. Conflicts exist between: 3.2.25 – principal entrances on ‘A’ street, 3.2.2.14.b, lobbies and principal entrances serving residential uses above the ground storey be located on streets where the least amount or no retail required, some streets require 90% active retail frontage and some direct</p>	<p>Clarification will be provided in the wording to state that “notwithstanding the ‘A’ and ‘B’ classification, when subject to Retail Activation...” Main building entrances will be permitted on retail activation streets subject to limits on the size and provisions outlines in the policies, zoning and built form standards.</p> <p>Revised policy recommendation:</p>

		and discourage principal entrances to buildings along these facades. 3.2.2.9 Directs principal entrances to 'A' streets unless a development block only has a 'B' street. Where two residential towers are being developed may require the need for entrances on both the 'A' and the 'B' street or where 90% retail activation is required.	<p>The Retail Activation policies have been revised to allow for lobbies providing access to residential uses above the ground storey subject to certain limitations.</p> <p>Recommended revised policy:</p> <p>9.3.3.6 Residential Entrances Located on Retail Activation Streets Where areas of retail activation have been identified in accordance with the Retail Activation schedule of this Plan, main front entrances and lobbies providing access to residential uses above the ground storey will be:</p> <ul style="list-style-type: none"> • Limited in width; • Located to establish and reinforce patterns of access between blocks of development; and • Positioned so that there is minimal interruption of retail uses along the block.
		3.2.2.2. h. states that entrances are to be flush with the sidewalk. Recommend that this policy state that this be required where feasible to account for specific considerations, such as elevations or natural grade changes.	<p>Flush entrances are required both from an accessibility perspective and ensures an enhanced streetscape and pedestrian experience.</p> <p>No change recommended.</p>
		3.2.2.6. States those curb cuts, driveways and land ways on 'A' street are prohibited. Recommend that this policy allow for flexibility for development proposals with access restrictions that necessitate 'A' street access or for other design considerations.	<p>Flexibility has been provided for those development blocks that have all 'A' frontages or not served by 'B' Street frontages.</p> <p>No change recommended.</p>
		3.2.2.11. f. requires above grade structured parking be designed for locations where the least amount of retail is required. Recommend that these policies be exempt from development proposals that have unique site considerations or for development proposals that integrate the passageway into the building design in an appropriate manner.	<p>Baif Developments Limited site is located on the southwest corner of Burnhamthorpe Road West and the future Main Street. Access to the site is proposed from both Burnhamthorpe Road and Webb Drive. The site will be designated as a Special Site to permit access to Burnhamthorpe Road, which is an 'A' Street.</p> <p>Revised policy recommendation:</p> <p>Special Site 6 Policies: Notwithstanding the 'A' Street policies contained in Section 9.3.3, access</p>

			for servicing will be permitted from Burnhamthorpe Road West.
		3.2.2.11. g. – prohibits at grade exhaust vents, recommends that the policy be revised to consider the location of exhaust vents within the site context and proposed tower/parking location.	<p>The policy regarding exhaust vents has been revised.</p> <p>Recommended revised policy:</p> <p>9.3.2 Relationship to the public realm h. design and locate utilities, exhaust vents and municipal services to minimize services to minimize negative impacts on the public realm.</p>
		3.2.2.14 – limits the size of principal lobbies and entrances serving residential uses above the ground story – recommend that additional text be added to allow it to be applied where feasible.	<p>This policy is intended to provide appropriate balance between the retail and residential uses and that the relatively inactive residential lobby does not dominate the street frontage.</p> <p>The limitation in the size of lobby applies to the Retail Activation areas in the Zoning By-law. The size of the lobby entrance has been increased from 5.0m (16.4 ft.) to 6.5 m (21.3 ft.) to provide a slightly larger size to address some of the comments raised by landowners.</p> <p>Revised zoning recommendation:</p> <p>...access to uses permitted above and below the first grade shall be permitted provided that the width of the access shall not be greater than 6.5m.</p>
		3.2.2.16 – recommend that functioning individual entrances include secondary entrances for units that are part of a larger residential development.	<p>This policy does not preclude residential entrances from internal corridors; however residential doorways to the street provide an important design function to the streetscape.</p> <p>No change required.</p>
		3.2.2.17 - recommend that a school yard or publicly owned pedestrian pathway not be considered as open spaces that have to abide by all 'A' street frontage guidelines.	<p>This policy was introduced to ensure 'eyes on the public realm', it is agreed that this should apply to public open spaces and walkways, however school yards are not subject to this provision.</p> <p>No change required.</p>

		3.2.3.6 – correlation between the sunlight requirements for ‘A’ and ‘B’ streets in the Downtown21 Master Plan and the City’s Standards for Shadow Studies is not clear.	<p>The City’s Standards for Shadow Studies provides the most up to date information and criteria and all shadow analysis should address the newly adopted criteria.</p> <p>No change required.</p>
		<p><i>Zoning By-law</i></p> <p>Definitions needed for Glazing and Height of Podium</p>	<p>Definitions have been added.</p> <p>Revised zoning recommendation:</p> <p>Glazing means clear or transparent glass.</p> <p>Height of a Podium means the vertical distance between the established grade and the highest point of the roof surface of the podium.</p>
		Require details regarding the 90% and 50% retail activation regulations.	<p>Details are included as Appendix 5 – Proposed Zoning - Section 7.1.4A Retail Activation Frontages</p> <p>No change required.</p>
		Maximum width and depth of retail activation units – should allow for adaptability of retail units over time. Recommend that the zoning provisions allow for a fluctuation in the retail storefront size in order to allow businesses to evolve over time and adapt to larger or smaller format stores. Allow a minimum of one retail store or percentage of the frontage to have a storefront that is greater than 10m (30ft).	<p>Limiting the width of retail units along street fronts ensures variation and interest at street level. Applications for minor variance will be able to address this specific issue and will be addressed on a site specific basis.</p> <p>No change recommended.</p>
		The maximum tower floor plate of 750m ² for apartment buildings requires a definition of tower floor plate and what is included within the floor plate calculation (ie. stairwells, balconies, elevator shafts, etc.).	<p>Through the discussions with the Downtown Core landowners, some noted concerns regarding the floor plate size, upon further review it is recommended that the maximum tower floor plate size of residential towers be increased to a gross floor area of 850m² (9,150 sq. ft.). Each application will be reviewed and will continue to be subject to the Urban Design standards that provide guidance to tower slenderness objectives.</p>

			<p>Recommended revised zoning provision:</p> <p>Maximum tower floor plate for an apartment dwelling shall be 850 m².</p>
		Introduction of 'A' and 'B' street frontages and vehicular access restrictions may be better addressed through the site plan approval process.	<p>The introduction of 'A' and 'B' Street classification is a guiding principle in the Downtown21 Master Plan and provides the foundation for the urban design policies in the Downtown Core.</p> <p>No change recommended.</p>
		<p><i>Built Form Standards</i></p> <p>Guideline regarding curb cuts, driveways and access prohibited from 'A' street frontages should allow for flexibility for development proposals with access restrictions that necessitate 'A' street access or for other design considerations.</p>	<p>Similar comment were made and addressed in the Local Area Plan policies. Special Site policies have been added to the Local Area Plan to address the specific access issues associated with the Baif lands.</p> <p>Revised policy recommendation addressed through the Local Area Plan as noted above.</p>
		Concerns with consistency between 'A' and 'B' street frontages and retail activation standards relating to principal building entrances. This guideline should be applied where feasible with consideration for the site specific restrictions and the design of the development proposal.	<p>Similar comments made and addressed in the Local Area Plan policies.</p> <p>No change recommended.</p>
		Guidelines relating to open space and park frontages should be clarified if they apply to a school yard or publicly owned pedestrian walkway as the guidelines should not apply to the walkway or school yard.	<p>Similar comments were made and addressed in the Local Area Plan policies.</p> <p>No change recommended.</p>
		RC2 limits the size of lobbies to 5m this will reduce the presence and visibility of residential entrances. Recommend that this size be applied with consideration for the development proposal, context and ROW width. Also question why retail storefronts are permitted to be 10m, it would be more appropriate to have consistency between the retail and residential lobbies.	<p>This policy is intended to provide appropriate balance between the retail and residential uses and that the relatively inactive residential lobby does not dominate the street frontage.</p> <p>The limitation in the size of lobby applies to the Retail Activation areas in the Zoning By-law. The size of the lobby entrance has been increased from 5.0m (16.4 ft.) to 6.5 m (21.3 ft.) to provide a slightly larger size to address some of the comments raised by landowners.</p>

			<p>Revised zoning recommendation:</p> <p>...access to uses permitted above and below the first grade shall be permitted provided that the width of the access shall not be greater than 6.5m.</p>
		RC6 and RC7 the maximum 10m storefront width and spacing limits the ability for retail spaces to be developed over time and adapt to the varying requirements of retail spaces. This requirement does not allow for fluctuation in the storefronts. Potentially one retail store could be greater than 10m.	<p>Limiting the width of retail units along street fronts ensures variation and interest at street level. Applications for minor variance will be able to address this specific issue and will be addressed on a site specific basis.</p> <p>No change recommended.</p>
		Location of exhaust vents on 'A' streets are not permitted and only on 'B' streets where architecturally treated, it is recommended that this guideline be revised to consider the location of exhaust vents within the site and proposed tower/parking location.	<p>Revised policies have been added to the Built Form Standards.</p> <p>Revised standard recommendation:</p> <p>P6: At grade exhaust vents serving structured parking facilities will be:</p> <ul style="list-style-type: none"> • Designed to minimize negative impacts on the public realm • Integrated into the exterior wall of buildings, expressed as part of the architectural character.
		T2 discussed podium heights relative to right of way width, alternatives should be considered including architectural articulation on the podium street wall and relating the street wall height with existing adjoining properties.	<p>T4 provides flexibility with regard to podiums design with the addition of standards that speak to the relationship of podiums to adjacent developments on Burnhamthorpe Road West.</p> <p>No change recommended.</p>
		T5 and T6 should be applied with consideration for the proposed design, extent of shadowing on the public realm and surrounding road ROW.	<p>One of the City's priorities for the public realm is to ensure comfort, including 5 hours of sunlight on the sidewalk.</p> <p>No change recommended.</p>
		T8 restricting the tower floor plate size of 750m ² , the floor plate size should be considered relative to the size of the site and the impact on adjacent buildings and open space.	<p>As noted in the Zoning section, the maximum tower floor plate size of residential towers be increased to 850m² (9,150 sq. ft.).</p>

			Recommended revised zoning provisions and built form standards: Maximum tower floor plate for an apartment dwelling shall be 850 m ² .
		T16 speaks to the orientation of the point towers, this should be applied with consideration for site specific characteristics and may be difficult to achieve when the towers are to be separated by 30m (T9 and Figure 39).	The wording states that “buildings should be located...” As applications for specific applications are made, staff will work with the applicants to control the extent of shadowing on the public realm. No change required.
		RD3, requires individual entrances on the ground floor, however many units have entrances from internal hallways or shared building entrances.	As noted in the Local Area Plan comments, entrances are permitted from both internal corridors as well as accesses from the street. No change required.
3	Michael Bissett, Bousefields Inc., on behalf of Rogers Real Estate Investments Ltd.	3.1.2 Confirm that the Built Form Standards are not elevated to the status of policies. They should not be included as an Appendix to the OP to avoid confusion.	The Built Form Standards for the Downtown Core will form an Appendix to the Site Plan By-law. Revised recommendation: That the Site Plan By-law be amended to require all applications for site plan approval in the Downtown Core to provide plans and drawings that are consistent with the Downtown Core Built Form Standards.
		3.2.2.1.c – the Rogers proposal has one ‘A’ street rather than the two shown on the ‘A’ and ‘B’ schedule.	As per discussions with staff and representatives for Rogers Real Estate regarding their master plan, the northern extension of Redmond Road (north of the internal east-west road) has been changed from an ‘A’ Street classification to a ‘B’ Street classification, the portion of the internal east-west street abutting the open space block has been changed from a ‘B’ Street classification to an ‘A’ Street classification. Recommended revised policy: That the northern extension of Redmond Road (north of the internal east-west road) be changed from an ‘A’ Street classification to a ‘B’ Street classification, and that the portion of the internal east-west street abutting

			<p>the open space block be changed from a 'B' Street classification to an 'A' Street classification.</p> <p>All the Local Area Plan schedules have been revised to reflect the road pattern proposed through the Rogers plan.</p>
		3.2.2.2.e – retail and service commercial uses may not be located at grade in all circumstances depending upon market and design considerations.	<p>Retail is not required for all at grade conditions. Retail activation areas require ground floor retail, whereas other areas are encouraged to achieve active ground floor areas. The Rogers lands are not subject to the Retail Activation policies.</p> <p>No change required.</p>
		3.2.2.11.g – policy related to the location of exhaust vents, however this policy is at a level of detail that would best be implemented as a guideline rather than an OP policy.	<p>The policy regarding exhaust vents has been revised.</p> <p>Recommended revised policy:</p> <p>9.3.2 Relationship to the public realm h. design and locate utilities, exhaust vents and municipal services to minimize negative impacts on the public realm.</p>
		3.2.2.14.a – will this policy limit the ability to locate on ground floor residential amenity spaces or at grade residential uses.	<p>The subject policy applies to Retail Activation areas which do not permit residential uses on the ground floor. The Rogers lands are not subject to the Retail Activation policies, but will however be subject to the 'A' and 'B' Street requirements for residential uses.</p> <p>No change required.</p>
		3.2.3.6 – the shadow studies should ensure that there is not 'undue' shade on the surrounding context.	<p>The City of Mississauga Standards for Shadows Study was approved by Council in 2011 and is the criteria by which the City evaluates shadow studies.</p> <p>No change is recommended.</p>
		3.3 – when will detailed plans and policies be prepared for the Cleary Park district.	<p>The specific plans and policies related to each district will be developed over time. In the case of the subject lands, the Master Plan process may be</p>

			used as the basis for specific policies for the Cleary District. No change required.
		4.1.5.2 – clarify whether this policy (use restrictions) applies only to Retail Activation streets as per the OP schedule.	The Retail Activation areas are subject to the restriction of uses as identified in the Local Area Plan. No change required.
		5.1.1 – confirm which streets are required to be public. The Rogers proposal contains private street(s) in certain locations.	All streets shown on the road network schedule are considered public or subject to a public easement. No change required.
		5.1.3 – confirm that roundings will be acceptable as opposed to site triangles.	The policies have been amended to delete the reference to daylight triangles. Revised recommended policy: Delete the reference to daylight triangles.
		5.1.8 – what cycling facilities are being referred to?	The facilities are referring to the cycling routes identified on Map 5-2, Proposed Mississauga Cycling Route Network (City Centre Detail) of the Mississauga Cycling Master Plan (September 2010). No change required.
		6.3 – full compliance with the Green Development Standards is beyond what may be reasonably possible in all cases.	Storm water management measures are required throughout the Downtown Core in accordance with the Green Development Standards. The implementation of the balance of the standards is reviewed through specific development application reviews. No change required.
		<i>Built Form Standards</i>	The Built Form Standards for the Downtown Core will form an Appendix to the Site Plan By-law.

		Confirm status of the built form standards in terms of the Official Plan. They should be provided as a separate guideline document rather than Official Plan policies due to the level of detail provided. Will the built form standards be used as guidelines or policy?	<p>Revised recommendation:</p> <p>That the Site Plan By-law be amended to require all applications for site plan approval in the Downtown Core to provide plans and drawings that are consistent with the Downtown Core Built Form Standards.</p>
		G12 – underground parking should be permitted to extend beyond 1.25m under street, subject to appropriate legal arrangements.	<p>Requests for encroachments will be dealt with through the processing of development applications.</p> <p>No change required.</p>
		T8 – one tower exceeds 750m ² (Block 11 – 800 m ²), given the tower separation, will result in an appropriate built form.	<p>As noted in the Zoning section, the maximum tower floor plate size of residential towers be increased to 850m² (9,150 sq. ft.).</p> <p>Recommended revised zoning provisions and built form standards:</p> <p>Maximum tower floor plate for an apartment dwelling shall be 850 m².</p>
		T4 , T5, T17 and T21 flexibility should be considered if these are intended as OP policies.	<p>The Built Form Standards will be part of the Site Plan By-law.</p> <p>No change required.</p>
		<p>A2 – flexibility is requested with regard to a minimum of 95% of the building is to be built to the build to line.</p> <p>A6 – flexibility is requested with regard to the 75% vision glass at grade along ‘A’ streets requirement.</p>	<p>The need for minimum build to lines and streetwall requirements moves the built form requirements away from a suburban and potentially big box model to a more urban form of development. Upon further analysis the streetwall requirement has been reduced for ‘A’ Streets from 95% to 90% and for maintaining ‘B’ Streets at 75%.</p> <p>Recommended revised built form standard:</p> <p>For ‘A’ Streets, a minimum of 90% of a property’s frontage is required to be occupied by the streetwall at the built to line.</p>
		B3 – flexibility is requested regarding the maximum of 15% of the building being permitted to be set back a maximum	Build to areas have been added throughout the Downtown Core. Given the desire to create an urban, pedestrian friendly environment, buildings

		of 3.0m from the build to line.	<p>setbacks should be minimized. 'B' Streets are also less onerous than 'A' Street requirements.</p> <p>Revised zoning provision:</p> <p>That build to areas be added to all road frontages within the Downtown Core.</p>
		B6 – flexibility is required with regard to the minimum of 50% vision glass be provided at grade along 'B' streets.	<p>Vision glass is important to ensure blank walls do not abut the public realm.</p> <p>No change recommended.</p>
		OS2 and OS4 – flexibility is requested regarding individual entrances to residential uses on the ground floor adjacent to parks and open spaces.	<p>As noted in the Local Area Plan section, eyes on the street and activity along the street are important elements of the Downtown Core vision.</p> <p>No change recommended.</p>
		RC6 and RC7 – flexibility is requested regarding the maximum retail frontage of 10m.	<p>Limiting the width of retail units along street fronts ensures variation and interest at street level. Applications for minor variance will be able to address this specific issue and will be addressed on a site specific basis.</p> <p>No change recommended.</p>
		RC9 (7.1) – flexibility is requested regarding the prohibition of tinted, reflective or opaque glazing.	<p>Vision glass is very important for at grade conditions to contribute to the pedestrian environment.</p> <p>No change recommended.</p>
		RC12 (7.1) - flexibility is requested regarding the canopy protrusion.	<p>A range of 1.5m (4.9 ft.) to 2.75m (9.0 ft.) is provided for canopy protrusions.</p> <p>No change recommended.</p>
		P6 – flexibility is requested regarding parking garage vents.	<p>Details regarding exhaust vents have been moved to the Built Form Standards document, with general policies that govern adverse impacts on the public realm.</p>

			<p>Revised policy recommendation:</p> <p>That the details regarding the location of exhaust vents be included in the Built Form Standards rather than the Local Area Plan.</p>
		<p>BF13 – confirm what is intended with the statement regarding building materials.</p> <p>BF14 – flexibility is requested regarding building materials.</p>	<p>High quality building materials are required for all buildings, with specific materials noted that meet this criteria.</p> <p>A variety of materials are listed as appropriate.</p> <p>No change required.</p>
		T10 – flexibility is requested regarding the maximum of 20% of the tower being permitted to extend down to grade.	<p>This has been provided to recognize flexibility in tower placement and design subject to maintaining the Urban Design objectives.</p> <p>No change recommended.</p>
		T11 – a requirement for no shadow is unrealistic, clarify the intent of this statement.	<p>The City’s Standards for Shadow Studies provides the most up to date information and criteria and all shadow analysis should address the newly adopted criteria.</p> <p>No change required.</p>
		<p><i>Zoning Provisions</i></p> <p>7.1.4A – confirm that the proposed regulation is intended to apply only to those areas identified as “retail activation”.</p>	<p>This provision applies to retail activation areas only.</p> <p>No change required.</p>
		7.2.1 – advise what uses and regulations are intended to be added to the CC1 zone.	<p>See attached Appendix 4 – Zoning Provisions for the Downtown Core.</p> <p>No change required.</p>
		7.2.1 (Line 3.2) – do not agree with the maximum floor plate size of 750m ² is appropriate or necessary in all circumstances. Each development should be assessed on its own merits.	<p>Through the discussions with the Downtown Core landowners, some noted concerns regarding the floor plate size, upon further review it is recommended that the maximum tower floor plate size of residential towers be increased to a gross floor area of 850m² (9,150 sq. ft.). Applications will</p>

			<p>also be subject to the Urban Design standards that provide guidance on tower slenderness objectives.</p> <p>Recommended revised zoning provision:</p> <p>Maximum tower floor plate for an apartment dwelling shall be 850 m².</p>
		7.2.1 – what is meant by main front entrance location criteria.	<p>Front doors on the street are a requirement to address the public realm; this does not preclude a secondary access from internal corridors associated with residential towers.</p> <p>No change required.</p>
4	James Lethbridge, James Lethbridge Planning Inc., on behalf of Kerava Grove Estates Inc.	<p>3.2.2.12 – concerns with this section related to service, loading and storage to be located within buildings. Service roads should be permitted.</p> <p>Built Form Standards</p> <p>The Built Form Standards should recognize the need for service roads in the Downtown core and the design requirement should acknowledge the service requirements in an urban area. The proposed central road on the Kerava Grove Estates site should not be designated a ‘B’ street but instead should be a designated as a service road.</p> <p>5.3 – does not anticipate or permit a design solution that meets the loading and service area needs for large delivery trucks as anticipated as part of this project.</p>	<p>Kerava Grove Estates Inc. is proposing a mixed use development that includes a grocery store on the second floor of the podium of their condominium towers. The loading and servicing area associated with the grocery store is proposed to be located on the road within the Kerava proposal that has been identified as a ‘B’ Street. Kerava and their consultants have indicated that the loading flexibility is required in this location due to operational and grading constraints on the site.</p> <p>The City of Toronto has had a great deal of experience with urban grocery stores and larger format stores within dense urban areas. Given their experience and the proposal by another downtown core developer who is proposing another grocery store within a podium of their residential tower, Kerava Grove Estates will need to further examine the loading and servicing requirements of their site to ensure the associated servicing is internalized and smaller delivery trucks are used. This is primarily an operational change needed by the retailers.</p> <p>In order to allow grocery stores to occupy the second floor within a retail activation area, the zoning has been revised to add ‘grocery store’ as a permitted use on the second floor.</p> <p>Recommended revised zoning:</p>

			That 'grocery store' be added to the list of uses permitted on the second floor within the retail activation area.
		5.1.2 – should be reworded to state that daylight triangles <u>may</u> be required.	<p>Wording has been amended to delete the reference to daylight triangles.</p> <p>Revised recommended policy:</p> <p>Remove the reference to daylight triangles.</p>
		<p>Zoning provisions</p> <p>7.2.1 – concerns with the 750m² tower plate size. The regulation should provide for the opportunity to have a transition from the base or from the top of the podium. Variations in the tower plate should be based on the scale and or height of the apartment. 800m² may be more appropriate.</p>	<p>Through the discussions with the Downtown Core landowners, some noted concerns regarding the floor plate size, upon further review it is recommended that the maximum tower floor plate size of residential towers be increased to a gross floor area of 850m² (9,150 sq. ft.). Applications will also be subject to the Urban Design standards that provide guidance on tower slenderness objectives.</p> <p>Recommended revised zoning provision:</p> <p>Maximum tower floor plate for an apartment dwelling shall be 850 m².</p>
5	Roslyn Houser, Goodmans, Barristers & Solicitors, on behalf of Wal-Mart Canada Corp.	Concerns with respect to certain policies and built form standards as they affect Square One. The policies should address existing uses and acknowledge that certain existing uses will likely continue in their current form for the foreseeable future. Policies should address the phasing of development and provide some direction for interim development within the Core, particularly for minor expansions of existing uses.	<p>The subject document will form part of the Official Plan which lays out the long term goals and intent of the City related to development within the Downtown Core. The intent is to provide direction for future development.</p> <p>Given that this is a future looking document, there are no interim policies.</p> <p>The zoning of the lands allows the use to continue, however any alterations or additions to the building will be required to address the new policies and zoning regulations.</p> <p>No change recommended.</p>
		The proposed built form standards for the Downtown Core are very prescriptive in nature and offer very little flexibility for future development and redevelopment.	The built form standards provide direction regarding the future development within the downtown core to ensure the principles of pedestrian oriented, high quality streetscape are addressed.

			No change recommended.
6	Victor Labreche, Labreche, Patterson and Associates on behalf of A&W Food Services of Canada Inc., McDonald's Restaurants Canada Ltd., TDL Group Corp., Wendy's Restaurants Canada Inc., The Ontario Restaurant Hotel and Motel Association (ORHMA)	4.1.4.1 – drive -through facilities are prohibited in the mixed-use designation, we object to this prohibition.	<p>The Mississauga Official Plan has been appealed with regard to the drive through facility policies. This appeal is outstanding and will be addressed through a future Ontario Municipal Board hearing.</p> <p>No change required at this time as the matter is before the OMB.</p>
	Bryan Bowen' The Daniels Corporation	<p>Generally speaking, several of these policies appear more prescriptive in tone than is commonly found in the body of an Official Plan, and may be more appropriately reserved for the supporting Built Form Standards.</p> <p>Clause 3.2.2.5 dictates that “<i>Functioning principal entrances to buildings will be provided on ‘A’ streets</i>”. Could this clause not use less prescriptive language that “encourages” this relationship of principal entrance to an ‘A’ Street, per more detailed directions in the Built Form Standards? It would be unfortunate for such a broad-brush, however worthwhile a policy, to trigger an OPA process, simply because an alternate, acceptable design solution prefers a main entrance fronting a ‘B’ Street or interior laneway. Note this was the case at Daniels’ recent Limelight project, where the ability to locate the main lobby</p>	<p>The intent of the proposed documents, Local Area Plan, zoning provisions and built form standards is to provide direction for future development in the downtown core. Each subsequent document provides greater detail and direction.</p> <p>The policies related to Residential Uses on Retail Activation Streets or otherwise are expanded.</p> <p>Revised policy recommendation:</p> <p>9.3.3.6 Residential Entrances Located on Retail Activation Streets Where areas of retail activation have been identified, main front entrances and lobbies providing access to residential uses above the ground storey will be:</p> <ol style="list-style-type: none"> Limited in width; Located to establish and reinforce patterns of access between blocks

		entrance more central to the site preserved greater flexibility for retail layout fronting Living Arts Drive, and avoided future potential conflict between residential entrances, and commercial entrances and future patio spaces.	<p>of development; and</p> <p>c. Positioned so that there is minimal interruption of retail units along the block.</p> <p>9.3.3.7 Residential Uses</p> <p>Development incorporating residential uses at-grade or expressed in townhouse form will be designed to:</p> <ol style="list-style-type: none"> Provide functioning, individual entrances to residential units and to animate the frontage with windows on the ground floor that look out onto the street; Create a high quality interface and transition between the public sidewalk and front door to ensure adequate separation, definition and privacy; Provide high quality landscape architecture treatments within frontages, transitions zones and setbacks; and Consider designs that allow for the potential conversion of ground floor residential uses to commercial and retail uses over time.
		3.2.2.14.a requires “lobbies and principal entrances located at grade...shall be limited in size in order to allow for maximum activation of the street.” Again, this starts to hinder design flexibility for properties with Street A frontages, as it removes any potential for feature lobby spaces (which can, in their own right, contribute to an active and interesting streetscape).	<p>Through discussions with a representative of Daniels Corporation, it was clarified that this restriction applies to ‘A’ Streets within Retail Activation areas. The Daniels lands are not subject to the Retail Activation policies.</p> <p>Details are provided in the previous comment.</p> <p>No change required.</p>
		Wherever a more prescriptive design guideline appears in the Built Form Standards, perhaps it need not be repeated in the Local Area Plan. Instead, the LAP could establish higher-level urban design intent, with the Built Form Standards providing the necessary framework for staff to evaluate proposals as brought forward, and assess each on its merit.	<p>The Local Area Plan has been updated to eliminate duplication between the Mississauga Official Plan and the Local Area Plan for the Downtown Core and the Built Form Standards have also been updated.</p> <p>Changes have been made to the Implementing Documents as attached in Appendices 4-6 of this report.</p>
	Dennis Wood,	It is premature to approve the route alignment as part of the	The general corridor alignment for the Light Rail Transit (LRT), station

	Wood Bull, LLP, on behalf of Morguard Investments Limited	<p>local area plan process prior to the environmental assessment process being completed and the location of the LRT route being confirmed, in particular where the proposed routing has such serious negative consequences.</p> <p>In view of the uncertainty as to the location of the LRT station, the inconsistency as between the OP documentation and the information at the public information centre underlines the prematurity of proceeding with the proposed LAP at this time.</p>	<p>locations and the location of the proposed maintenance facility as identified in the Hurontario-Main Street Corridor Master Plan, was adopted by Council (July 7, 2010) as a basis for further detailed planning of the corridor and rationale for the Interim Control By-law (ICB).</p> <p>The current Hurontario-Main LRT project study is undertaking preliminary design and will complete the Transportation Project Assessment Process (TPAP). This process includes public engagement and is reviewing the corridor alignment and station locations. Should any changes be required, they will be dealt with through an Official Plan Amendment after the completion of the TPAP process.</p> <p>No change required at this time.</p>
		<p>Further thought should be given to the impact the proposed road network will have. There is insufficient detail regarding the intended use of the proposed roadways right of ways in terms of number of lands and the proposed uses.</p> <p>The new road proposed south of Clarica Drive will cause serious constraints on the site for future development without any apparent traffic reason for introducing the road. This proposed road should be removed from the proposed amendment.</p>	<p>The City is undertaking a Movement Study for the Downtown Core which is reviewing and will provide recommendations regarding the coordination of all the modes of movement within the Downtown Core. Once the study is complete should any changes be required, they will be dealt with through an Official Plan Amendment.</p> <p>No change recommended at this time.</p>
		<p>Suggest changes to the road classification and right of way width and allocation of uses within the ROW.</p>	<p>The City's Official Plan classifies all roads and designates their ultimate right-of-way width. It is not the City's practice to include the level of detail as proposed in BA Consulting's table.</p> <p>No change recommended.</p>
		<p>Proposed Clarica Drive is designated an 'A' Street. The designation of street frontages as 'A' and 'B' with the related limitations on function of buildings abutting these streets is an inappropriate constraint to put in the Official Plan.</p>	<p>The 'A' and 'B' Street classification is an important element of the Downtown21 Master Plan and has been reflected in the Local Area Plan.</p> <p>No change recommended.</p>

		Restrictions on surface parking fail to take into consideration the economic reality of developing these sites, in particular for new office buildings and attracting tenants to those developments.	<p>The intent of this policy is not to take away any existing surface parking, however to ensure that through any new development or redevelopment, parking is provided in underground garages or structures to ensure greater intensification and an improved urban environment. Additional details are provided in the following comment.</p> <p>No change required.</p>
		Restrictions on surface parking should be accompanied by a plan to deliver the needed parking in structures, whether below or above grade.	<p>The City is currently developing a strategy to evaluate the provision of parking in the downtown. The initial parking strategy document focuses on the proposed Main Street District and will:</p> <ul style="list-style-type: none"> • evaluate the amount of parking that is required in the Main Street District based on the potential development scenarios as provided in the Downtown 21 document and the Main Street District Business Plan and Commercial Study; • provide options for the implementation of parking solutions for the district; • give guidance on the role of shared parking in the implementation of parking facilities in the Main Street District; • provide context to the impact of zoning by-law requirements for parking in the Main Street District; and, • elaborate on the role that the Parking-In-Lieu program can have on the provision of parking in the Main Street District. <p>The City currently has a Parking-In-Lieu program in operation for the downtown which can be utilized to meet parking zoning by-law requirement.</p> <p>No change recommended.</p>
		Implementing documents should be amended to be supportive of office intensification in the City Centre.	<p>Mississauga Official Plan and the draft Local Area Plan for the Downtown Core policies look to creating a mixed use downtown core, with a balance between residential and employment uses. It is deemed to have the highest concentration of both these type of land uses. Office development within the downtown core is a fundamental component of the evolution of the core. The proximity of the Rathburn lands to transit infrastructure make them</p>

			<p>ideal for office development.</p> <p>No additional changes recommended.</p>
	<p>Mississauga Central Lions Club, Jeffrey Friedman, Director</p>	<p>Looking for opportunities to continue the operation of a farmers market in the downtown core.</p>	<p>Farmers markets are a desirable use for the downtown core and contribute to the vibrant environment that is being sought. Under the existing zoning, a farmers market is permitted in the CC1 zone (Square One mall lands); it is recommended that a farmer's market use be permitted in additional zones in the downtown core.</p> <p>Revised zoning recommendation:</p> <p>That a farmers' market be permitted in the CC1, CC2 and CCOS zones.</p>

January 22, 2013

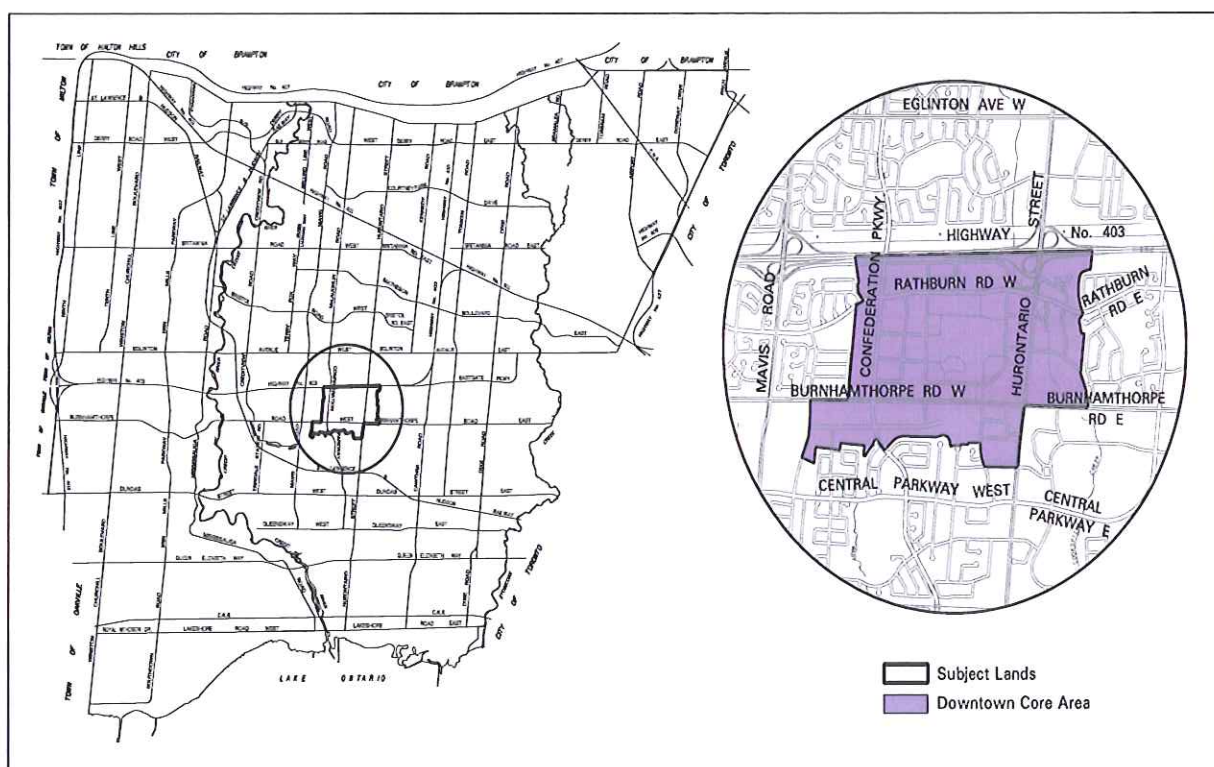
Downtown Core

1.0 HOW TO READ THE DOWNTOWN CORE LOCAL AREA PLAN

Mississauga Official Plan (the Plan) consists of a principal document and a series of local area plans, provided under separate cover. This is the Downtown Core Local Area Plan (this Area Plan) and provides policies for lands located in central Mississauga, as shown on Figure 1. It includes lands identified in the City Structure as the Downtown Core.

There are some instances where the policies and schedules of the principal document do not address all circumstances particular to the Downtown Core. In these cases, the Downtown Core Local Area Plan elaborates on, or provides exceptions to the policies or schedules of the principal document.

This Area Plan must be read in conjunction with the Mississauga Official Plan principal document. Parts 1 to 4, the schedules and the appendices of the principal document, are applicable to the Downtown Core area, unless modified by this Area Plan. For example, the policies of this Area Plan must be read in conjunction with the environmental, multi-modal, urban form and land use policies of Parts 2 and 3 of the principal document. In the event of a conflict, the policies of this Area Plan take precedence.



Map 1: The Downtown Core Local Area is located in central Mississauga and is identified in the City Structure as Downtown Core.

2.0 CONTEXT

Since its rural beginning as farmland in the 1970s, Downtown Mississauga has been evolving into an exciting urban place. Today the Downtown Core consists of high density residential developments, office buildings, mixed use developments, parks, post secondary institutional and cultural facilities, civic uses and recreational and entertainment uses developed around the periphery of the Square One Shopping Centre.

Over the last decade, flexible zoning provisions combined with favourable market conditions have resulted in extensive private investment in high density residential and mixed use condominium development such as the internationally acclaimed Absolute/Marilyn buildings. During this time, there has been some expansion of the Square One Shopping Centre but limited new office development.

Recent public investments, including the new Sheridan College campus, regional transit infrastructure Bus Rapid Transit (BRT), planning for Hurontario Light Rail Transit (LRT) and significant city wide public realm investments and amenities such as Celebration Square continue to enhance the Downtown's role as a regional destination in the Greater Toronto Area. The Downtown Core is located within a major designated growth area and identified as an Anchor Hub in the Regional Transportation Plan. The Downtown Core continues to be a significant focus for investment in the Greater Toronto Area.

3.0 COLLABORATION

The Downtown 21 Master Plan process was the basis for reviewing the Local Area Plan policies of this Plan. The goal of this Area Plan is to establish a framework for the development of a vibrant, urban downtown that serves as the commercial, business and cultural centre of Mississauga and is a place where people choose to live, work and play. The public were engaged throughout the process in open houses, workshops and presentations and will

continue to be consulted as changes to the plans evolve.

4.0 VISION

A key goal of the City's Strategic Plan is to Create a Vibrant Downtown that will be the civic and cultural soul of the city as well as a strong economic centre.

The basis for the Downtown Core Local Area Plan is the Downtown21 Master Plan, which was received by Council in April 2010. The Downtown21 Master Plan sets the direction for transforming the Downtown Core from a suburban model to an urban mixed use centre.

The objective is to create a high quality, pedestrian friendly, human scaled environment that is a meaningful place for all citizens and also continues to attract lasting public and private investment in the Downtown to support existing and planned infrastructure, particularly higher order transit.

Additional investment is being made to transit in the Downtown, including the Light Rail Transit system along Hurontario Street and through the core. The Bus Rapid Transit system will also serve the Downtown Core connecting it with areas to both the east and west. The current focus for local and interregional public transit is in the area of Rathburn Road West and Station Gate Road consisting of the City Centre Transit Terminal and GO platforms. The future BRT station will also be constructed in this area. With the ongoing commitment to public transit infrastructure combined with transit supportive developments this area will develop as a key mobility hub within the Greater Toronto Area.

The existing road pattern is made up of super blocks. An expanded road network is proposed that will create an urban pattern of development blocks that are walkable in scale and well connected. The new road network will result in urban scaled blocks, providing routing options for vehicular, servicing and goods movement, pedestrian and cycling movement within the Core. The scale of the streets is to be narrower with special attention paid to the public realm and elements within the boulevard to ensure

a comfortable, enjoyable and safe pedestrian environment.

Downtown Mississauga has already begun its transformation from a suburban auto-oriented centre, to one that is truly urban, rich in character, memorable and geared to the pedestrian experience.

The Downtown which forms a part of the Urban Growth Centre is expected to be the focus for population and employment growth in the City to 2031. The Core is expected to maintain its prominence as the city's the highest density mixed use centre. Going forward, it will be necessary to ensure a balance between residential and employment uses including retail, in order to achieve a sustainable downtown core.

4.1 Guiding Principles

This Area Plan aims to support the following key opportunities for the Downtown Core:

- a. strengthen the Core's role as the primary location for major office, highest concentration of retail commercial, mixed use, civic and cultural uses;
- b. accommodate forecasted growth without impacting the natural environment and quality of life;
- c. attract new jobs, particularly in the office sector to balance population and employment;
- d. create a fine grained, well connected road network . that supports multi-modal transportation modes: walking, cycling, transit, servicing and goods movement, and the car;
- e. develop an integrated urban place that achieves design excellence in buildings, the public realm and a distinctive, memorable character in mixed use districts; and
- f. provide a new development framework and policy regime founded on greater predictability and certainty of outcomes, to better direct

growth and support existing and planned services.

The vision for the Downtown Core is to be a mixed use urban centre, with a balance of residential, office and retail employment uses, complemented by civic and cultural uses. Continued development of a variety of entertainment activities that will contribute to activity both day and night will be encouraged where appropriate.

Additional office development is critical to achieve a strong employment base and move the Downtown in a forward direction.

This Plan will better direct development, achieve a stronger economic base, strengthen the transportation systems, create linkages and access, improve urban design and enhance the pedestrian experience resulting in a more vibrant and active mixed use Downtown Core.

4.2 Community Concept

The focus of these policies is to reinforce and enhance the image of the Downtown Core as a prominent destination and urban mixed use centre in the Greater Toronto Area. These policies also address the role of the Downtown Core as a community within Mississauga

The Downtown Core's position as an employment, retail commercial, civic and cultural centre will be balanced by residential development, education, entertainment, and facilities for business visitors and tourists. New districts are proposed within the Downtown Core to support these existing and emerging activities. Each district will develop with its own character, mix of uses, function and scale. The policies of this Area Plan will serve to facilitate the dynamic growth and change of the Downtown Core as it matures.

4.3 Districts

The City will prepare detailed plans and policies for the various Districts identified on Schedule 1, Downtown Core Districts, each with its own identity, scale and character, through future amendments to this Area Plan. The following provides a general outline of the intended character for each District within the Downtown Core. The Districts are:

- Main Street
- Civic
- Confederation
- Rathburn
- Cleary Park
- Hurontario
- Square One
- Sussex

4.3.1 Main Street District

The Main Street District is envisioned as the heart of the Downtown Core, with a broad mix of active street level retail, restaurants, cafes, patios and entertainment facilities with a mix of uses above. The District will be a vibrant, walkable place that is active at all times of the day. The Main Street District is intended to bring together the commercial activity of the north, the Civic Centre district to the west, with the residential developments to the south. The District straddles Burnhamthorpe Road West, extending southward to Kariya Drive and northward to Square One Shopping Centre. The Civic District and Duke of York are the western boundary with Kariya Drive and the Office District being the eastern boundary.

The vision for this District is to create an active lively pedestrian oriented urban place in the heart of the emerging “downtown” that would serve as a model, catalyst and attractor for ongoing investment

in the larger area. Key objectives include the following:

- a. to create at its heart a “main street” that connects from Square One Shopping Centre across Burnhamthorpe Road West to the larger residential communities to the south of Burnhamthorpe Road West;
- b. to incorporate a broad mix of uses and users that would contribute to make this a vibrant part of the city fabric;
- c. to create a critical mass of at least 5,000 residents, 5,000 employees, with neighbourhood-oriented retail/restaurant uses; and
- d. to realize this vision in a relatively short time horizon.

The Main Street Transit Station Area

4.3.1.1 The Main Street Station serves as a destination node for the Main Street and is shown on Schedule 3, Long Term Transit Network of this Plan. This station area will be a vibrant, walkable, mixed use place.

4.3.2 Civic Centre District

The Civic Centre District is a five block public campus and public open space that is home to the city’s premiere public institutions including the Civic Centre, Celebration Square, Central Library, Living Arts Centre, Scholars’ Green and the Sheridan College Campus. This district is envisioned as a singular civic space comprised of smaller parks and plazas and institutional uses, linked together by the pedestrian street design of Duke of York Boulevard, Living Arts Drive and the flush street design of City Centre Drive, Princess Royal Drive, Prince of Wales Drive and Square One Drive.

Civic Centre Station Area

The Civic Centre Station Area serves as a destination node for the concentration of civic uses along Living Arts Drive including Celebration Square, Civic Centre, Central Library, YMCA, Living Arts Centre and Sheridan College. Shown on Schedule 3, Long Term Transit Network of this Plan, the station area will provide connection to the public open space network and serve a significant residential population in the Confederation Parkway District. Placemaking and wayfinding objectives will guide the development in this station area.

4.3.3 Confederation Parkway District

The Confederation Parkway District serves as the Western gateway to the Downtown Core. This is a rapidly growing urban residential neighbourhood that will be home to over 20,000 people, centred along Confederation Parkway. The district will contain a series of new park spaces that will connect Zonta Meadows Park to the Civic Centre District. The Confederation Parkway District will serve as the northwestern gateway into the Downtown Core and will include a mix of uses which encourage a sense of place and pedestrian movement.

4.3.4 Rathburn District

The Rathburn District is currently a pattern of suburban retail uses and surface parking lots. This district will intensify over the long term with an emphasis on office and employment uses that can take advantage of highly designed, efficient, comfortable pedestrian amenities and access to future higher order transit. Visibility and access to Highway 403 and transit make this a prestigious employment district.

Rathburn Transit Station Area

4.3.4.1 The Rathburn Station Area is served by the LRT and Bus Rapid Transit and, is adjacent to the City Centre Transit Terminal. It connects with the future development north of Square One Shopping Centre along Rathburn Road. The station area is

characterized as an office district, with some entertainment uses.

4.3.5 Cleary Park District

This future neighbourhood extends west to Grand Park Drive and forms the south western gateway to the Downtown Core. The extension of John Cleary Park north to Burnhamthorpe Road will serve the future residential community and completes the Mary Fix Greenway connection, which will link this neighbourhood to the balance of the Downtown Core.

4.3.6 Hurontario District

The Hurontario District includes the Downtown's highest concentration of existing office uses, providing the foundation for new office development in the short term. The district has the potential to increase the amount of office space through new development and intensification of existing sites.

Robert Speck Station Area

4.3.6.1 This station serves the concentration of office at Robert Speck Parkway and Hurontario Street and future office development along City Centre Drive.

4.3.7 Square One District

The Square One District is home to the Square One Shopping Centre, one of the largest and most successful shopping centres in Canada. It is expected that the shopping centre will continue to draw people from across the city and the larger region. It is also expected that it will evolve, intensify and adapt to develop under-utilized surface parking lots. Office uses combined with ground floor retail and possibly residential on the upper floors are encouraged, particularly along City Centre Drive, Duke of York, Robert Speck Parkway and Square One Drive. In the process of intensifying, the connectivity of the shopping centre to the

surrounding area and the street network will be strengthened and a more urban built form will emerge.

Additions to Square One Shopping Centre will:

- be expressed in an outward fashion and designed to support a pedestrian friendly environment along the frontages;
- be designed in accordance with 'A' street frontage requirements when additions surround, have proximity or have frontage facing public or private open space;
- have the highest level of architectural expression, articulation and use of materials at the frontage;
- have active ground floor uses to animate the adjoining walkway area, street or public or private open space; and
- have ground floor uses that incorporate transparent windows and entrances that have direct access to the adjoining walkway, street, or public or private open space.

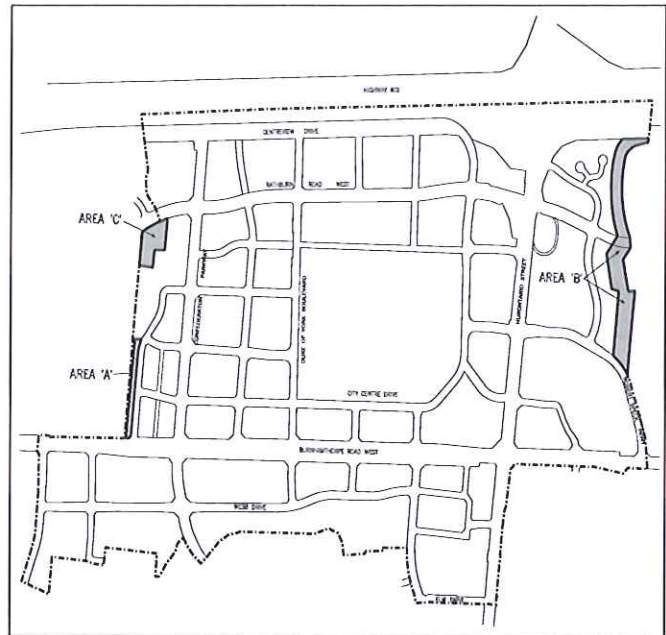
4.3.8 Sussex District

This is currently the densest, mixed use district in the Downtown Core and includes significant office and residential development. Some infill opportunities exist for additional office, ancillary uses, and residential development.

Matthews Gate Station Area

4.3.8.1 This station area at Hurontario Street and Matthews Gate serves the concentration of office and residential lands in the Sussex and Mississauga Valley Precincts. The station area will be designed to facilitate pedestrian connections among the Sussex Centre, Kariya Park, and the school board lands while also serving the needs of a dense residential area population.

4.3.9 Transition Areas



Map 2: Transition Areas

4.3.9.1 The Transition Areas will promote positive integration of building scale and intensity of development between the Downtown Core and abutting communities.

4.3.9.2 The design of the built environment should encourage:

- mid-rise built form adjacent to the Downtown Core boundaries and north of Burnhamthorpe Road West, with height transitions to a maximum of five storeys, on lands shown as Area 'A' on Map 2;
- low-rise built form adjacent to the Downtown Core boundaries, with height transitions from a maximum of two storeys at the Downtown Core boundaries to a maximum of eight storeys at the inner edge of the Transition Areas for lands abutting the easterly limit of the Downtown Core, shown as Area 'B' on Map 2 and lands immediately south of Rathburn Road West, shown as Area 'C' on Map 2;
- orientation of buildings enabling a sensitive integration with adjacent low density development;

- d. internalized service areas and parking to minimize impact on adjacent residential;
- e. pedestrian and bicycle links to adjacent communities; and
- f. appropriate setbacks and landscaping adjacent to the existing walkways.

5.0 DIRECT GROWTH

5.1 Introduction

The Downtown Core constitutes one of the four Character Areas within the greater Downtown, which is the City's Urban Growth Centre (UGC). The Downtown is intended to contain the highest densities, tallest buildings and greatest mix of uses. The entire UGC is planned to achieve a minimum gross density of 200 residents and jobs combined per hectare by 2031. The City will strive to achieve a gross density of 300 to 400 residents and jobs combined per hectare. The Downtown is also planned to achieve an average population to employment ratio of 1:1 measured as an average across the entire Downtown.

The existing gross density in the Downtown Core is approximately 210.7 residents and jobs combined per hectare. ¹Based on existing development and that under construction, the current population to employment ratio is 1.6:1.² It is estimated that existing planned and approved residential development will add up to 10,000 additional residents to the Downtown Core in the next decade.

With a gross density of 210.7 residents and jobs combined per hectare, the Downtown Core exceeds the minimum density target. As the Downtown Core will likely need to offset lower densities elsewhere in the Downtown, additional overall intensification is desirable.

Given the unlimited height and density permitted in the Downtown Core and prevailing market conditions, high density residential development has

predominated. Employment growth has not kept pace with residential development in the Downtown Core. The expected additional residential population will further skew the population to employment ratio. The challenge will be to meet the employment targets in order to achieve a sustainable balance between residents and employees. Additional employment which includes retail, office, public sector, institutional and other jobs will be required to provide more opportunities to live and work in the City and to support transit and other investments.

5.1.1 The City will monitor the gross density and population to employment ratio in the Downtown Core and assess its ability to accommodate further growth through the development approval process.

5.1.2 Increases in employment opportunities will be accommodated on lands designated mixed use, office and the non-residential component of high density residential development where applicable.

5.1.3 Strategies to encourage, incent and support employment uses may be pursued including consideration of Community Improvement Plans and other planning tools.

¹Focus on Mississauga 2012, City of Mississauga

²Focus on Mississauga 2012, City of Mississauga

6.0 VALUE THE ENVIRONMENT

6.1 Parks and Open Spaces

Open space in the Downtown Core has a distinct character from other city parks with a focus on place making, social interaction and district identity. Open space and publicly accessible ground related amenity areas may take the form of civic gathering spaces, neighbourhood parks, naturalized spaces, public squares and private amenity areas. They should be accessible to people of all ages and abilities as facilities for passive enjoyment and urban life.

6.1.2.1 Public open space within the Downtown Core should be flanked by public roads to ensure they are open to all and not considered private spaces.

6.1.2.2 Public open spaces will be connected and continuous to form an 'Emerald Necklace' throughout the Downtown Core and connect the downtown to existing adjacent parkland such as Zonta Meadows Park, John Cleary Park, Civic View Walk and Kariya Park, and as greenbelt lands such as Bishopstoke Walk along Cooksville Creek. The size and configuration of all proposed parks will be subject to further review through a Local Area Plan update or through the review of individual development applications.

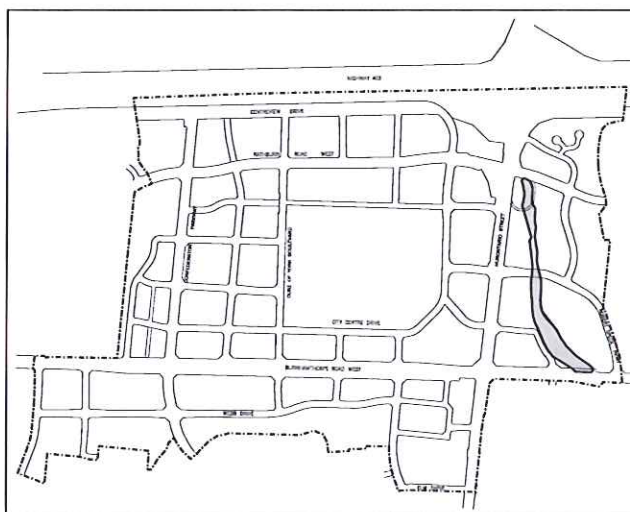
6.1.2.3 Stormwater retention and stormwater quality ponds are generally not appropriate uses for public parkland, however, in some instances overland flow pond stormwater facilities may be accommodated in public parkland.

6.2 Cooksville Creek Corridor

6.2.1 The Cooksville Creek Corridor as shown on Map 3 is recognized as a public amenity and resource. To protect, enhance and restore this natural feature, the design of the built environment will ensure:

a. appropriate setback of buildings from the corridor (landscaping only);

- b. improved visibility, access and linkage to the corridor from development parcels and public streets;
- c. views/informal surveillance to the corridor;
- d. integration of public/private open space and landscape areas;
- e. compatible positive relationship between the built form and the corridor;
- f. parking structures are designed and located to complement the corridor.



Map 3: Cooksville Creek Corridor

6.3 Stormwater Management

6.3.1 Any development within the Cooksville Creek watershed will require the implementation of on-site stormwater management techniques to control the 100 year post-development stormwater discharge to 2 year pre-development levels.

6.3.2 Development applications will follow the Green Development Standards as they relate to storm water management measures. All practices will be designed and implemented to the satisfaction of the City and CVC Authority.

7.0 Complete Communities

7.1 Introduction

The Downtown Core contains many elements of a complete community including:

- a mixture of land uses and an assortment of activities such as retail stores, employment uses, community and facilities, parks and public transit;
- a mixture of housing forms and densities;
- cultural and educational resources such as the Living Arts Centre, the Mississauga Art Gallery, the Central Library and Sheridan College; and
- opportunities for people to engage in community life through a high quality public realm in the Civic District, vibrant cultural activities and meeting facilities.

7.1.1 In order to achieve a complete community in the Downtown Core, Mississauga will guide development toward:

- a compact urban form that is walkable and provides convenient access to a variety of land uses and public transit;
- a range of housing options;
- additional cultural resources, community infrastructure and educational institutions; and
- opportunities for enhancing the public realm.

7.2 Community and Cultural Infrastructure

Community and cultural infrastructure in the Downtown Core is unique in that it functions both as a city wide and sometimes regional draw as well as serving the local community who live in the core. The Downtown contains a significant concentration of distinctive cultural resources such as facilities, buildings and events which represent a cultural

infrastructure cluster considered to be a cultural node.

7.2.1 Mississauga will encourage partnerships and collaboration to further develop community and cultural infrastructure resources in the Downtown Core.

7.3 Distinct Identity and Character

The Downtown Core exhibits a distinct identity and character from the rest of the city.

7.3.1 Opportunities to further the significance of the Downtown Core through the design of the road and transit network, the public realm and built form will be addressed through the review of development applications and City initiatives.

8.0 CREATE A MULTI-MODAL CITY

The Downtown Core will accommodate all modes of transportation to enable the movement of people and vehicles to, from and within the Downtown Core.

8.1 Multi-Modal Network

A multi-modal transportation system is key to ensure the efficient movement of people and goods within the Downtown Core. Arterial roads, Highway 403 and a system of local collectors and roads facilitate the movement of vehicles, transit, cyclists, pedestrians and goods into, out of and within the Core.

8.2 Road System

8.2.1 All roads shown on the Long Term Road Network and Classification, Schedule 2 and Downtown Core Local Area Plan Land Use Map, Schedule 6 will be public. The design, access requirements and public/private responsibilities will be determined through the development application process or through a Local Area Plan update.

8.2.2 Minor adjustments to the basic rights-of-way for minor collector roads and local roads may be

made without an amendment to this Plan subject to the City being satisfied that the role and function of such roads are maintained.

8.2.3 Below grade encroachments into the road system are generally not permitted. On an exception basis, limited encroachment into the road allowance may be considered by the City, where the City is satisfied that its servicing, streetscape, transportation and design objectives are not compromised.

8.2.4 Additional rights-of-way will be required for the proposed roundabouts identified on Schedule 2, Downtown Core Long Term Road Network and Classification.

8.2.5 As traffic volumes increase, dedicated transit lanes may be necessary.

8.2.6 The proposed Highway 403 North Collector (Northern Distribution Road), located north of the Downtown Core, is intended to provide access to and from the Downtown Core road network.

8.2.7 Centre View Drive is intended to provide access to eastbound Highway 403 via a link east of City Centre Drive.

8.2.8 A future functional feasibility study will be undertaken to review the north collector, Centre View Drive link to Highway 403 and other road or ramp proposals contained in the Downtown21 Master Plan which may impact Highway 403.

8.2.9 Cycling facilities will be incorporated per the Mississauga Cycling Master Plan. The City may in the future identify secondary cycling routes to be integrated with the design of the public realm.

8.3 Parking and Transportation Demand Management

8.3.1 The City will undertake a strategy to evaluate the provision of parking in the Downtown.

8.3.2 Parking for new development will be accommodated in below ground or above ground structures.

8.3.3 Surface parking lots for new development will not be permitted.

8.3.4 Mississauga will encourage Transportation Demand Management measures as part of development applications within the Downtown Core.

8.4 Anchor Hub

8.4.1 The Downtown Core will be served by a *higher order transit* system that provides service within the Downtown with connections to other parts of the City, neighbouring municipalities and interregionally as identified on Schedule 3, Downtown Core Long Term Transit Network.

8.4.2 An *Anchor Hub* is designated at the interchange of the Bus Rapid Transit Corridor and the Hurontario Light Rail Corridor. The exact location will be determined through a future study.

8.4.3 As part of the proposed Mississauga Bus Rapid Transit (BRT) facility, the existing transit terminal may be modified to serve future development growth and to connect with the BRT facility. In the long term, an additional BRT station is also proposed near the intersection of Rathburn Road West and City Centre Drive.

8.4.4 Transit facilities will be designed to serve the City wide transit network; internal transit services; the BRT facility, interregional transit systems; and the pedestrian system linking developments, Square One Shopping Centre and cultural facilities.

8.4.5 *Higher order transit* stations will be situated within the Downtown Core.

8.4.6 The precise location of *higher-order transit* stations within the areas illustrated above will be determined through the Hurontario Light Rail Transit (LRT) Project.

8.4.7 Within transit station areas, the City will require that development applications address Transit Oriented Development (TOD) objectives. These include moderate to high density

development, comprised of a mix of uses and designed with an emphasis on the pedestrian experience and opportunities to maximize transit ridership.

8.4.8 Development applications will be supported by studies that include a review of the land use and urban design components of the station area as a whole, including surrounding privately held lands, the configuration and design of intersections and other pedestrian design elements within the public realm.

8.4.9 Ground level retail development will be required within Transit Station Areas to activate the area and street.

8.4.10 Parking will be managed carefully within Transit Station Areas. The City will consider reducing parking requirements within Transit Station Areas.

8.4.11 A distinct character for each Transit Station Area will develop, guided by the District character descriptions of this Area Plan. The City may also develop Transit Station Area Plans as a basis for guiding and assessing development applications in Transit Station Areas.

8.4.12 Development will address the ease and comfortable movement of people between transit modes and to other destinations within the Downtown Core, reinforcing this area as an anchor hub.

9 BUILD A DESIRABLE URBAN FORM

9.1 General

Vibrant downtowns are diverse places, rich in character, experiences and complexity. To achieve a desirable urban form in this context, downtowns require a coordinating framework to create predictability in the built environment, to ensure highly accessible and social places that are healthy,

comfortable, attractive, dynamic, memorable and geared to the pedestrian experience.

The intent of the urban design policies of this Area Plan is to provide direction and define principles for the physical design of the Downtown Core. Urban form including the location of streets, mix of uses, a high standard of urban design, streetscape design, and the development and enhancement of a comprehensive public/private system of linkages and open space, including public art will be achieved in the Downtown Core through the following:

- a fine grain grid network of urban scale land blocks and streets that supports transit and a pedestrian oriented Core;
- the highest standard of design in the public and private realms that establishes a sense of place and civic identity, seamlessly integrating to produce a prominent high quality Downtown Core environment;
- a connected and well designed urban open space system that provides opportunities for public gathering and passive outdoor recreation;
- well defined skyline elements, views, gateway treatments and landmarks, distinctive character areas, districts and neighbourhoods, open space, high quality landscapes and streetscape treatment, public art and signage;
- a compact built form that has a high level of physical continuity and cohesion between buildings, from block to block, and from street to street;
- buildings that generate a high degree of animation, enabling active ground floors, vibrant streets and walking;
- the incremental transition of large surface parking lots into more intensive, urban scale development incorporating structured parking that supports the built form and multi-modal objectives of this plan;

- linkages that ensure compatible integration, transition and contextual fit with the character and scale of adjacent communities; and
- ensuring that development combines high quality design, scale, massing and the use of materials together with landscape and streetscape to create a high standard of urbanity.

9.2 The Public Realm

The public realm consists of those areas that are shared and accessible to the public such as streets, boulevards, squares and open space. It is considered a significant asset in achieving a desirable urban form.

Elements of the public realm also include pedestrian paths, cycling amenities, bridges, plazas, transportation hubs, gateways, natural features, view corridors and public landmarks. Together, these convey the image, identity and character of the Downtown Core setting.

9.2.1 Streets and Blocks

A fine grain grid and network of streets and blocks is fundamental to this Plan and will serve as the framework for achieving urbanism.

A great benefit of a well connected network of streets and small blocks is that it makes a downtown understandable to residents and visitors. There is order and clarity to the downtown's organization if its streets connect and allow intelligible ways to conceive the downtown and travel within and between places. Streets in the Downtown Core will also be defined by public and private buildings and open space to create an important sense of enclosure and outdoor 'rooms' that function as public spaces themselves.

They serve pedestrians, transit, vehicles, cycling and provide space for public utilities and services, trees and landscaping, building access, framing of views, and access to sky views and sunlight.

9.2.1.1 The Downtown Core will be developed to:

- a. create a fine grain grid of streets;
- b. provide high quality designs for streets and intersections that achieve, definition, enclosure and comfort for pedestrians and street life;
- c. accommodate on-street parking and cycling amenity in public rights of way, where feasible; and
- d. incorporate coordinated street furniture, street trees, lighting systems and traffic signage appropriate to the character of the Downtown Core.

9.2.2 Boulevards and Sidewalks

9.2.2.1 Boulevards and sidewalks provide an important framework for pedestrian movement, connectivity and street life. As public amenities, they integrate the special districts within the Downtown Core and provide connectivity to adjacent communities. The design of boulevards in the Downtown Core will:

- a. incorporate coordinated design themes, high quality materials, street trees and landscaping;
- b. be designed as active, animated public spaces that seamlessly integrate with buildings and other components of the public realm to define the street space;
- c. maximize opportunities to incorporate places to meet, sit and socialize; and
- d. achieve pedestrian comfort, weather protection and safety, particularly at transit stops.



Figure 1: Boulevards incorporate street trees for rhythm and definition, along with generous sidewalks and pedestrian scale lighting for comfort and safety.

9.2.3 Streets and Frontage Categories

9.2.3.1 A hierarchy distinguishes the function and attributes of streets in the Downtown Core. Existing and proposed roads in the Downtown Core are identified for the purpose of:

- a. establishing 'A' and 'B' Street Frontage categories that identify:
 - streets having the highest pedestrian character; and
 - where vehicular access to development for parking, loading and servicing will occur on street frontages;
- b. identifying urban design policies that articulate the intent of the street frontage categories; and
- c. specifying Built Form Standards that provide direction and detailed development guidance in relation to the urban design policies and frontage categories.

9.2.4 Gateways, Routes, Landmarks and Views

9.2.4.1 The Downtown Core is characterized by a number of landmark buildings and sites such as the Civic Centre, the Central Library, the Living Arts Centre, Celebration Square and the Absolute 'Marilyn' buildings. As visual symbols of the Downtown Core, they create memorable experiences for local residents, workers and visitors alike.

9.2.4.2 The development of landmark buildings in the Downtown Core will be encouraged on sites having the following attributes:

- high visibility;
- major views and vistas toward the site;
- unique topographic characteristics;
- gateway locations and intersections; and

- where the proposed use includes a major destination.

9.2.4.3 The development of future buildings will ensure that important views along Burnhamthorpe Road and Hurontario Street, and views towards the Civic Centre District are preserved.

9.2.5 Open Space and Amenity Areas

Open Space and Amenity Areas in the Downtown Core will:

- consist of a variety of open spaces, parks, squares, plazas, naturalized green areas and publicly accessible ground related private amenity areas;
- positively contribute to the image and character of the Downtown Core with high standards and quality materials;
- reinforce and frame a view, a significant building or terminate a vista, where appropriate; and
- provide connections to the larger pedestrian and cycling network in the Downtown Core and adjacent areas, where appropriate.

9.2.6 Transit and Active Transportation

To achieve the transit and active transportation objectives of this plan, development will need to interface seamlessly with the public realm by incorporating design elements that integrate with proposed transit stops and stations.

Design of the built form, streetscape and landscape areas will:

- integrate transit stations and bus stops with development;
- provide walkways from transit stops to main front building entrance(s); and
- incorporate weather protection in waiting areas;

9.3 Buildings and Site Development

9.3.1 Buildings

Buildings are the most pronounced element of the urban fabric and create the sense of place. Buildings in the Downtown Core will shape and articulate the streets and open spaces by forming edges and streetwalls to establish definition and enclosure. Collectively they create the pedestrian environment, frame the public realm and establish the urban setting.

9.3.1.1 The design, location and character of buildings in the Downtown Core will:

- have regard for scale and enclosure of the public street;
- mitigate the perceived mass of large buildings and long frontages by:
 - using special massing to articulate the built form; and
 - providing a change in materials, textures, patterns, colours and details to create a sense of smaller scale buildings;
- design corner lot buildings with special massing and architectural treatments on both streets to give prominence along the frontages and visually distinguish these sites;
- prohibit blank building walls abutting the street; and
- have buildings that deploy high quality, resilient and durable materials such as stone, clay brick, wood, glass and metals.

9.3.2 Relationship to the Public Realm

The Downtown Core will evolve with built form that contains the streets with well designed buildings and groups of buildings to create a predictable pattern of development, and define the public realm and open space system.

General policies to establish how buildings interface with the public realm apply to all streets in the Downtown Core. Specific policies articulate the role of 'A' and 'B' Street Frontages and provide further direction on access and servicing of development blocks, at grade retail, residential uses, buildings facing open space and structured parking.

9.3.2.1 To create a desirable relationship with the public realm, buildings will be subject to the following:

- a. locate streetwalls of buildings within build-to areas on development blocks at the build-to line to contain the street and provide enclosure;
- b. coordinate build-to lines with adjacent properties in order to create consistent edges and street walls along frontages;
- c. ensure a variation in setbacks along the building frontages to articulate façade emphasis at the build-to line, thereby allowing for visual interest, outdoor patios, recessed entries and landscaped areas;
- d. design active ground floor uses to animate the public realm as an extension of the pedestrian environment;
- e. incorporate transparent windows in ground floor uses;
- f. locate functioning main front entrances to buildings so that they are clearly identifiable and prominent with direct access to the public sidewalk, pedestrian connections and transit facilities;
- g. design and locate lobby, retail and commercial entrances so that they are flush with the sidewalk elevation; and
- h. design and locate utilities, exhaust vents and municipal services to minimize negative impacts on the public realm.

9.3.3 Frontage Provisions

9.3.3.1 Role of 'A' & 'B' Streets

All existing and new roads are categorized as 'A' and/or 'B' Streets and are shown on Schedule 4, Downtown Core A and B Street Frontage of this Area Plan. The categories differentiate the streets by their role and function, character, built form treatments and overall design. They underpin the Downtown Core's urban vision and implement the urban design and public realm objectives of the Downtown21 Master Plan.

'A' Streets have a critical role and function in the Downtown Core. They are the most important for securing animation and character, a comfortable pedestrian environment with access to sunlight and sky views, street activity and vibrancy. Development fronting onto 'A' Streets will require the greatest attention to urban design, ensuring a cohesive built form and streetscape treatment to achieve the highest standard in the public realm.

'B' Streets allow for site servicing and access, but also act to support street activity, a pedestrian friendly environment and a high quality built form and streetscape treatment.

New development will follow specified 'A' and/or 'B' street standards for each street in the Downtown Core. The site organization and character of built form varies according to the 'A' or 'B' Street frontage category as follows:

9.3.3.2 Provisions for 'A' Streets:

9.3.3.2.1 Development fronting onto 'A' Streets will:

- a. have continuous buildings along development blocks to provide a continuity of built form from one property to the next;
- b. provide functioning main front entrances to buildings on 'A' streets; and
- c. be prohibited from locating curb cuts, driveways and laneways on 'A' streets.



Figure 2: Buildings on 'A' Streets are continuous along the length of development blocks and integrate seamlessly with the public realm to produce lively, animated, pedestrian oriented frontages.

9.3.3.3 Provisions for 'B' Streets

9.3.3.3.1 Development fronting onto 'B' Streets will:

- a. have buildings along development blocks, with provision for vehicular access to off-street parking, access for deliveries, garbage pick-up, servicing and loading; and
- b. provide functioning main front entrances on 'B' streets.



Figure 3: 'B' Streets allow for vehicular access to off street parking in addition to deliveries, garbage pick-up, servicing and loading.

9.3.3.4 Exceptions to Access Provisions

9.3.3.4.1 The following exceptions will apply to all Streets in the Downtown Core:

- a. curb cuts, driveways and laneways may be located on 'A' streets provided that:
 - a site or block does not have access from a 'B' street, or if there is a requirement for emergency vehicle access; and
 - impacts on the pedestrian environment are minimized through a high standard of design treatment consistent with the quality of the public realm;
- b. where a development block has an 'A' and 'B' Street frontage, the most prominent building entrance will be located on the 'A' Street frontage; and
- c. corner entrances may be required where development is located at corner sites or prominent street intersections.

9.3.3.5 Buildings with At Grade Retail

9.3.3.5.1 Development incorporating at-grade retail frontages will be designed so that:

- a. the street is lined with continuous active retail uses;
- b. storefronts are expressed with a narrow width and frequent rhythm that supports the



Figure 4: Storefronts collectively incorporate a strong sense of rhythm and pattern across the building frontage, assisting pedestrians with spatial perception, orientation and accessibility.

pedestrian experience at the street level;

- c. uses will be directly related to the public sidewalk and street level, and will incorporate operating entrances, doorways and storefront windows oriented to the street, along with signage and lighting to provide animation, interest and variety in the streetscape;
- d. storefronts incorporate the highest standard of materials and design with clear transparent windows and doors that provide clear views into and out from ground floor uses;
- e. such uses will incorporate fixed canopies, awnings, cantilevers, or similar features that are architecturally compatible with the design of the building in order to achieve pedestrian scale, comfort and weather sheltered pedestrian routes; and
- f. where appropriate, patios and outdoor amenity space should be provided adjacent to retail and commercial entrances to promote activation and street vibrancy.

9.3.3.6 Residential Entrances Located On Retail Activation Streets

9.3.3.6.1 Where areas of retail activation have been identified in accordance with Schedule 5, Retail Activation of this Area Plan, main front entrances and lobbies providing access to residential uses above the ground storey will be:

- a. limited in width;
- b. located to establish and reinforce patterns of access between blocks of development; and
- c. positioned so that there is minimal interruption of retail units along the block.

9.3.3.7 Residential Uses

9.3.3.7.1 Development incorporating residential uses at grade or expressed in townhouse form will be designed to:

- a. provide functioning, individual entrances to residential units and to animate the frontage with windows on the ground floor that look out onto the street;
- b. create a high quality interface and transition between the public sidewalk and front door to ensure adequate separation, definition and privacy;
- c. provide high quality landscape architecture treatments within frontages, transition zones and setbacks; and
- d. consider designs that allow for the potential conversion of ground floor residential uses to commercial and retail uses over time.



Figure 5: Transition areas between the front doors of residential uses and the public sidewalk incorporate landscaping and architectural treatment.

9.3.3.8 Buildings Facing Open Space



Figure 6: Buildings incorporate high quality materials and articulated facades, framing open space to create green, robust and attractive park settings.

9.3.3.8.1 Buildings that surround and face parks and open space will be designed according to 'A' street frontage requirements and will have the highest level of architectural expression, articulation and use of materials.

9.3.3.9 Private Open Space

Private open space may be incorporated into new developments along 'A' or 'B' Street frontages in part or whole, provided that:

- the design of private open space will integrate seamlessly with the adjoining street network, pedestrian environment and overall open space system;
- the design of the private open space contributes positively to the identity of the Downtown Core;
- the private open space interfaces with existing and/or proposed development in a legible and cohesive manner;
- the design of the private open space is executed to the highest urban design and landscape architecture standards;
- private open space is accessible, safe and is being provided for the use and enjoyment of the

general public on a year-round, seasonal and 24 hour basis.

9.3.3.10 Structured Parking

9.3.3.10.1 Structured parking will be designed so that:

- a. structured parking and vehicular access will be located to minimize impacts on the property and on surrounding properties and will improve the safety and attractiveness of adjacent streets, parks and open spaces;
- b. above grade parking structures will not directly front onto 'A' streets, but will be entirely screened by liner buildings incorporating a mix of uses between the parking structure and street space;
- c. above grade parking structures will have active uses on the ground floor such as retail with an appropriate scale and architectural expression to support activity on the streets, parks and/or open spaces;
- d. above grade parking structures will only directly front onto one 'B' street, where more than one 'B' street frontage exists;
- e. where facing 'B' streets, above grade parking structures and their facades will be designed to the highest level of architectural treatment and façade animation to mask the parking and screen views of the interior; and
- f. entrances, lobbies and passageways that provide a convenient means of pedestrian access to parking facilities from the sidewalk will be enclosed, limited in size, appropriately signed and integrated into the façade design without appearing as dominant elements on the street frontages.

9.3.3.11 Exceptions to Frontage Provisions

9.3.3.11.1 The City at its discretion may consider exceptions, in part or in whole, to the frontage provisions where:

- a. the City has determined that there are extenuating site constraints; and/or
- b. where development proposals are able to demonstrate urban design excellence.

9.4 BUILDINGS

To achieve a variety of character and diversity in built form, a wide range of building forms will be encouraged across the Downtown Core to include the following:

9.4.1 Low Rise Buildings

9.4.1.1 Low rise buildings (3 - 5 storeys) will be designed to provide a minimum of 3 storeys both at the street frontage and across the entire building area.

9.4.2 Mid-rise Buildings

9.4.2.1 Mid-rise buildings (6 – 12 storeys) will be designed to:

- a. incorporate special massing, stepbacks, pedestrian perception lines, and articulation at the streetwall and upper storeys to contain the street or public space, and support a pedestrian scale; and
- b. mitigate the impacts of wind, shade and shadow and demonstrate how proposals adhere to the City of Mississauga Standards for Shadows Studies.

9.4.3 Tall Buildings

Tall buildings characterize a good part of the Downtown Core and define the city pattern and urban structure. To ensure high quality of life, they must be designed to enhance the pedestrian environment, provide access to natural light, sky views and privacy for residents, employees and visitors to the Downtown Core.

General

9.4.3.1 Tall building proposals in the Downtown Core will be designed to:

- a. encourage a variation in heights on large development parcels; and
- b. integrate with adjacent buildings to ensure a seamless interface within blocks of development.



Figure 7: Tall buildings articulate the city pattern and urban structure, while visually reinforcing the civic importance of the Downtown Core and the image of the City as a whole.

9.4.4 Form of Tall Buildings

9.4.4.1 Tall buildings in the Downtown Core will be designed and massed in the form of a podium middle shaft/tower and top.

9.4.4.2 The Podium will be designed to:

- have a height that is generally equal to the width of the right of way, but not less than 3 storeys;
- incorporate a street wall placed at the build-to-line, having a minimum height of 3 storeys; and
- incorporate step backs at the upper storeys to articulate the massing in combination with the streetwall.

9.4.4.3 The middle shaft/tower will be:

- located in relationship to the Podium and adjacent buildings;
- designed to maintain generous spatial separation between towers to maximize access to sky views, natural daylighting, and adequate privacy;
- have a limited floor plate size;
- articulating the floor plates to break down the mass of the building; and
- create street interest and enhance skyline character.

9.4.4.4 The tower top, consisting of the upper floors of a tall building, will be designed to:

- achieve a distinctive skyline profile; and
- use materials, finishes and patterns that are consistent with the overall building design and architectural expression.

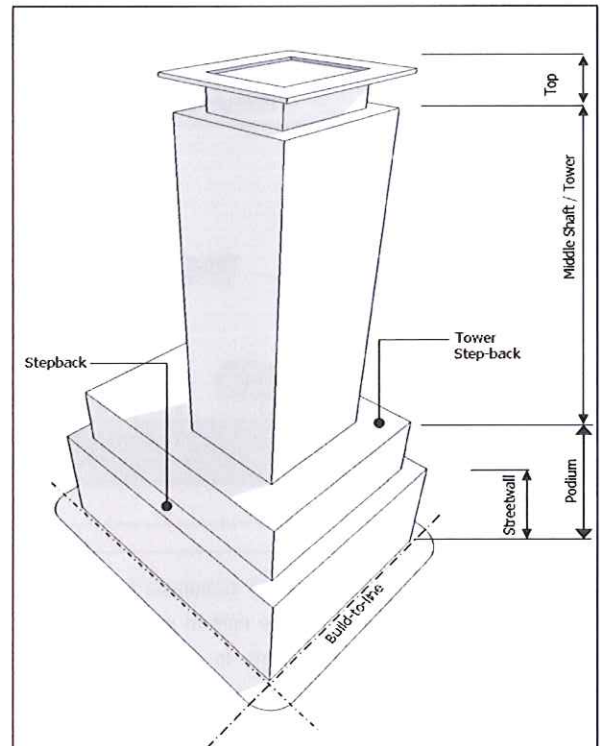


Figure 8: Massing of Tall Buildings

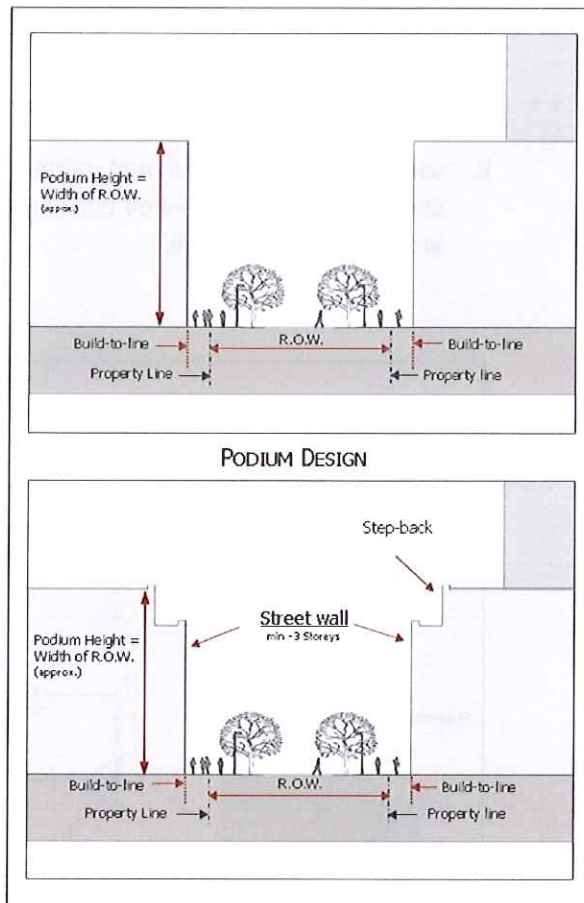


Figure 9: Tall buildings will incorporate a Podium that is generally equal to the width of the right of way. Streetwalls will also be incorporated into Podiums to contain the street, assist with pedestrian scale, sunlighting provisions on the public realm and mitigate the overall height of podiums.



Figure 10: Tall buildings in Downtown Core will be massed in the form of the podium, middle shaft/tower and top.

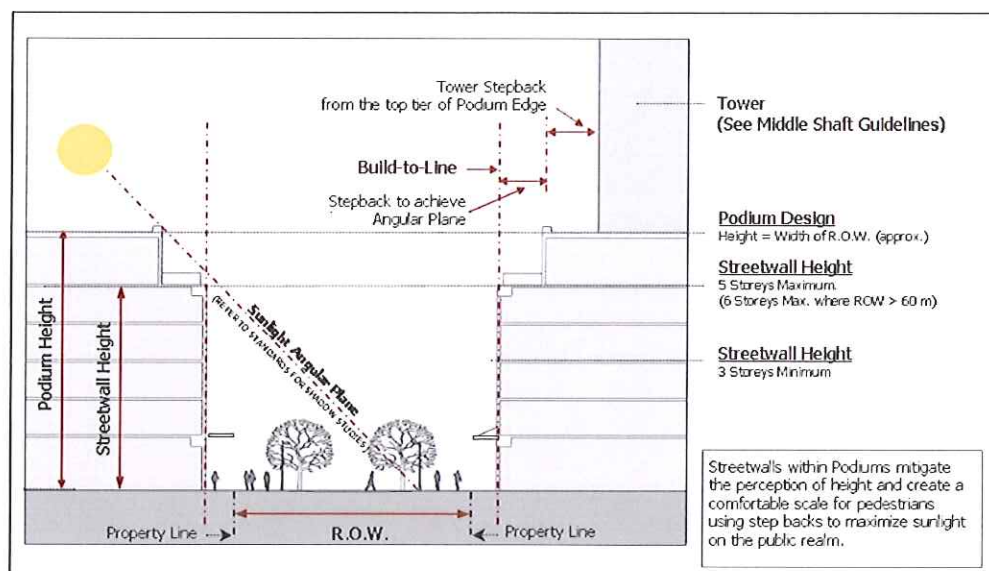


Figure 11: Podiums and their streetwalls will be designed with stepbacks at the upper storeys to provide light filled sidewalks and boulevards in the Downtown Core.

9.4.5 Parking, Servicing and Loading

9.4.5.1 Parking facilities to support new development will:

- a. be accommodated in below grade or above grade structured parking;
- b. identify access from the street;
- c. encourage shared parking between developments where appropriate;
- d. incorporate walkways, traffic islands and pedestrian refuges as integral components of parking facilities; and
- e. have recognition of the needs of cyclists.

9.4.5.2 Service, loading and garbage storage facilities will be located internally within buildings.

9.4.6 Signage

9.4.6.1 The design, location, size and character of building signage will:

- a. be visually integrated with development as an extension of the building's architectural expression; and
- b. ensure compatibility of scale and character of the signage with the building and the context of the site.

9.4.7 Site Development

9.4.7.1 Development proponents will be required to upgrade the public boulevard and contribute to the quality and character of streets and open spaces by providing:

- a. street trees and landscaping and relocating utilities, if required;
- b. lighting;
- c. weather protection elements;
- d. screening of parking areas;

- e. bicycle parking;
- f. public art;
- g. street furniture; and
- h. sustainable design elements

10.0 FOSTER A STRONG ECONOMY

The Downtown Core is important to the economy of the City of Mississauga. Square One Shopping Centre contains the primary retail concentration in the City and is a strong regional economic draw within the Downtown and the city as a whole. The further development of post-secondary education, cultural, entertainment, tourist and business activities including retail and major offices in the Downtown will contribute to the economic success and sustainability of this area.

Higher order transit initiatives will also support the development of the downtown as the economic centre of the city and a prominent regional destination.

10.1 Mississauga will promote collaboration through public private partnerships to achieve office development, post-secondary educational institutions and higher order transit infrastructure within the downtown.

10.2 Mississauga will consider a range of planning tools to achieve these objectives.

10.3 Mississauga will encourage development and other activities that will expand business opportunities and tourism in the region.

11.0 Land Use

11.1 General Land Use

11.1.1 Uses Permitted in all Designations

11.1.1.1 Notwithstanding the Uses Permitted in all Designations policies of this Plan, the following additional uses will also be permitted:

- a. *cogeneration* facility will be permitted as an accessory use; and
- b. commercial parking facility.

11.1.2 Residential

11.1.2.1 Residential consists of the following designation:

- a. Residential High Density.

11.1.2.2 Special needs housing will be in a built form consistent with the dwelling forms permitted by the residential designation.

11.1.3 Mixed Use

11.1.3.1 Notwithstanding the Mixed Use policies of this Plan, the following additional uses will also be permitted:

- a. horizontal multiple dwellings accessory to an apartment dwelling;
- b. hospital;
- c. long-term care dwelling;
- d. major office;
- e. residential dwellings associated with an institutional use; and
- f. retirement dwelling.

11.1.3.2 Special needs housing will be in a built form consistent with the dwelling forms permitted by the residential designation.

11.1.3.3 The following uses are not permitted:

- a. convenience restaurant with drive-thru facility; and
- b. motor vehicle sales and rental facility.

11.1.3.4 Townhouses will be permitted in Transition Areas B and C as shown on Map 2, Transition Areas of this Area Plan.

Retail Activation

11.1.3.5 Existing and new streets in the Downtown Core have been identified on Schedule 5, Retail Activation of this Area Plan for the purpose of:

- a. establishing retail objectives within mixed use buildings;
- b. identifying districts and areas of focus for which retail has been determined to be a strategic priority in the Downtown Core;
- c. setting out requirements for the amount of at-grade retail to be achieved on street frontages in accordance with the Schedule 5 Retail Activation included in this Area Plan; and
- d. identifying permitted retail uses as outlined below.

11.1.3.6 Notwithstanding the Mixed Use designation, only the following uses will be permitted on the ground floor of buildings fronting a Retail Activation street:

- a. financial institution;
- b. personal service establishment;
- c. restaurant; and
- d. retail store.

11.1.3.7 Notwithstanding the Mixed Use designation, future development will accommodate linkages that will form part of an extensive system of linked parks and open spaces. The provision of

linkages may be in the form of boulevards, plazas and park spaces which shall be made accessible to the public. The location and size shall be determined in conjunction with development. In order to achieve open space of acceptable size, configuration and location, the City will consider how the proposed open space enhances connectivity between parks and the Districts. Prior to the approval of any draft plan of subdivision, severance or any other development application within this designation, property owners shall demonstrate to the satisfaction of the City, how open space objectives within this area will be satisfied through the submission of development and open space concept plans.

11.1.3.8 Notwithstanding the Mixed Use designation of lands located on the south side of Rathburn Road West, between Hurontario Street and the future extension of Duke of York Boulevard, future development will accommodate one or more areas of public parkland and will form part of an extensive system of linked parks and open spaces. The location, number and size of the park block(s) shall be determined in conjunction with the development of lands in this area. In order to achieve parkland of acceptable size, configuration and location, the City will encourage consolidation of parkland of multiple sites within the Area, either through dedication or acquisition, having consideration for matters including the proximity to

residential uses and to the transit hub.

Prior to approval of any draft plan of subdivision, severance or any other development application within this area, property owners shall demonstrate to the satisfaction of the City how the City's parkland objectives within this area will be satisfied, through the provision of development and parkland concept plans. Notwithstanding the provision of public recreational facilities provided through the registration of Plan M-1010, prior to final approval of any severance, subdivision or any other development application within this area, property owners shall dedicate sufficient parkland or enter into appropriate agreements with the City and other owners of lands to secure the provision of adequate parkland from other development parcels within the area.

11.1.4 Office

11.1.4.1 Notwithstanding the Office policies of this Plan, the following additional uses will also be permitted:

- a. hospital; and
- b. post-secondary educational facility.



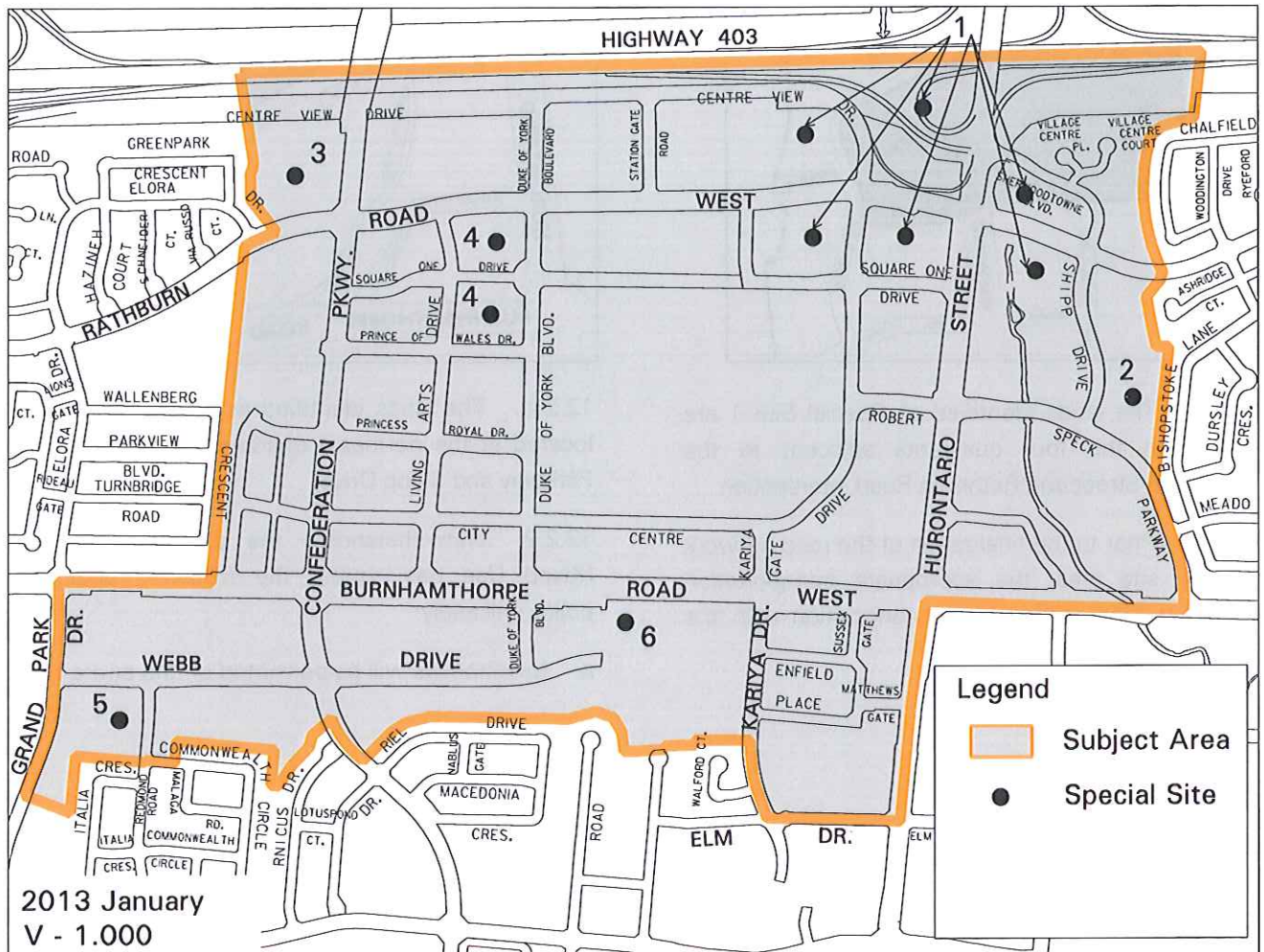
Figure 12: Retail Streets in the Downtown Core will contribute to area vibrancy, economic vitality and life on the streets.

11.1.4.2 Notwithstanding the Office policies of this Plan, the total Gross Floor Area of accessory uses will not be limited.

11.1.4.3 Notwithstanding the Office policies of this Plan, development adjacent to and the proposed east-west street north of Rathburn Road West, west of City Centre Drive to Living Arts Drive will serve as an important linkage in the parks and open space system. Future development along this corridor shall be designed to provide a high quality pedestrian experience along boulevards and through private and public open spaces such as plazas and parks. Notwithstanding the provision of public recreational facilities provided through the registration of Plan M-1010, prior to final approval of any severance, subdivision or any other development application within this area, property owners shall dedicate sufficient parkland or enter into appropriate agreements with the City and other owners of lands to secure the provision of adequate parkland from other development parcels within the area.

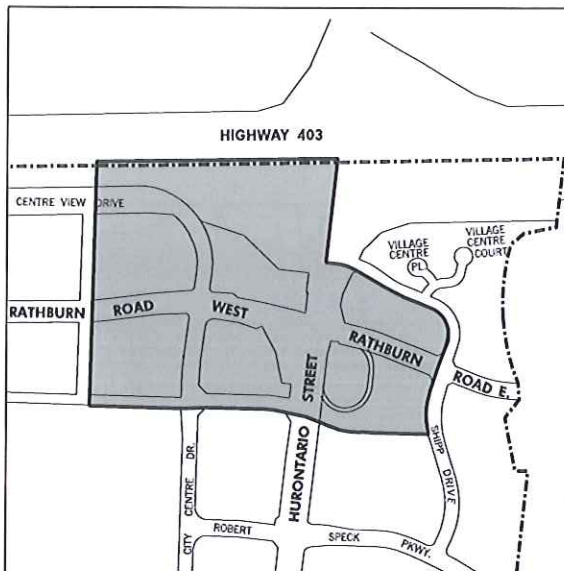
12.0 Special Site Policies

There are sites within the Downtown Core that merit special attention and are subject to the following policies:



Map 4: Location of Special Sites within the Downtown Core Local Area Plan

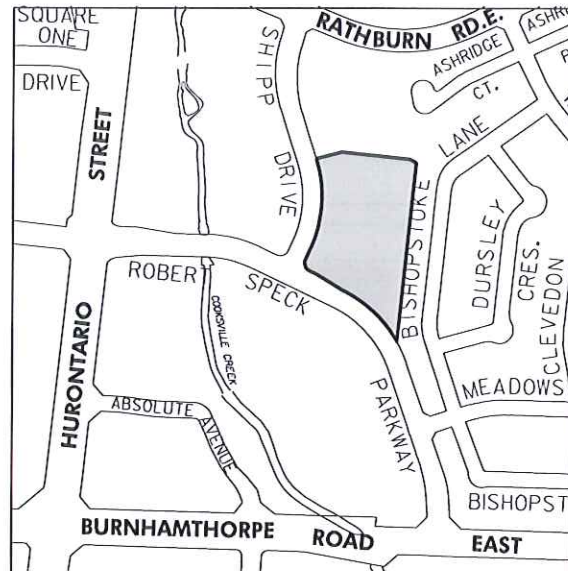
12.1 Site 1



12.1.1 The lands identified as Special Site 1 are located in the four quadrants adjacent to the Hurontario Street and Rathburn Road intersection.

12.1.2 Prior to the finalization of the road network for this site area, the appropriate transportation studies will be carried out in conjunction with the Provincial Government.

12.2 Site 2

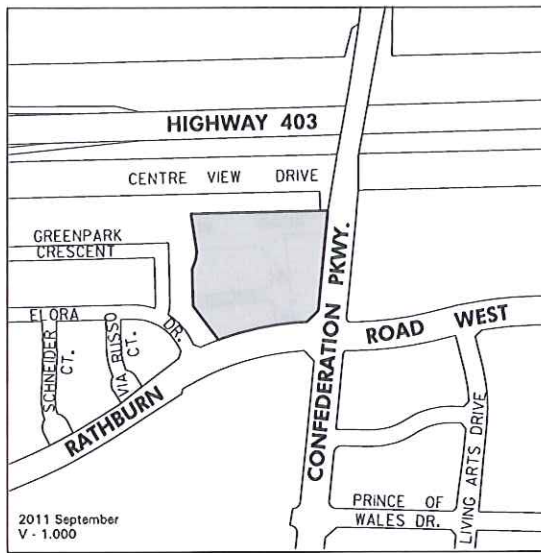


12.2.1 The lands identified as Special Site 2 are located at the northeast quadrant of Robert Speck Parkway and Shipp Drive.

12.2.2 Notwithstanding the provisions of the Mixed Use designation, the following additional policy will apply:

- a. townhouses will be permitted on the entire site.

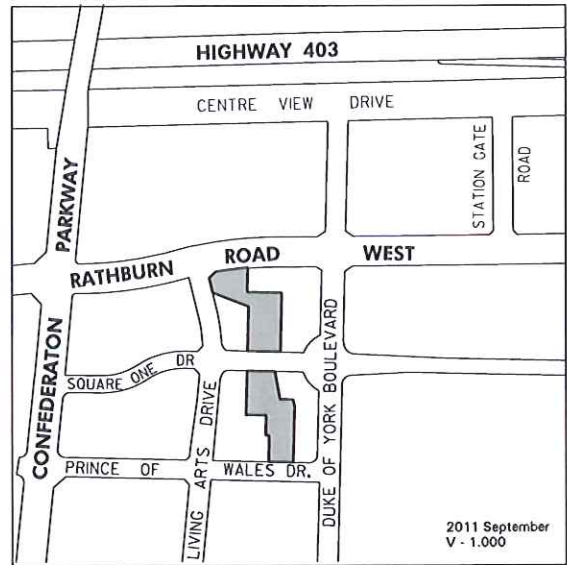
12.3 Site 3



12.3.1 The lands identified as Special Site 3 are located north of Rathburn Road, west of the Confederation Parkway extension.

12.3.2 Notwithstanding the provisions of the Mixed Use designation, townhouse dwellings will be permitted.

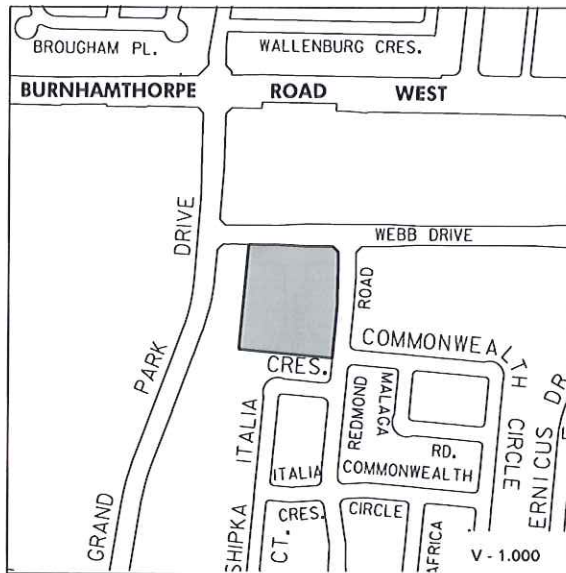
12.4 Site 4



12.4.1 The lands identified as Special Site 4 are bounded by Rathburn Road West to the north, Duke of York Boulevard to the east, Prince of Wales Boulevard to the south and Living Arts Drive to the west.

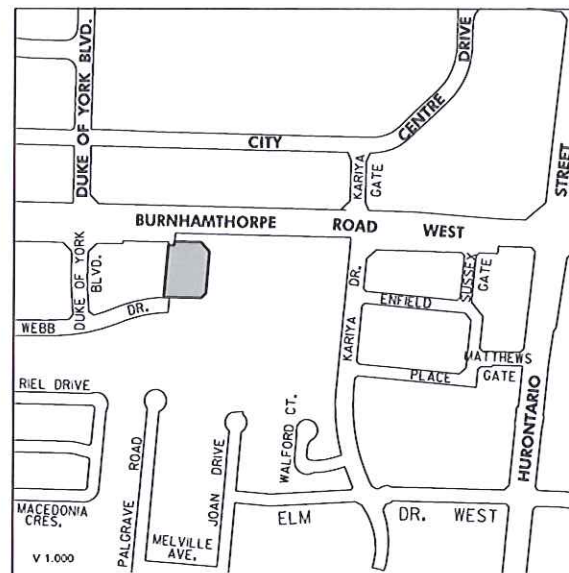
12.4.2 Notwithstanding the Open Space and Mixed Use designations shown on the Land Use Plan, the lands designated Open Space and Mixed Use may be increased or decreased in size, reconfigured or relocated within Special Site 4 without an amendment to this Plan and these lands may also be used for parking.

12.5 Site 5



12.5.1 Notwithstanding the Residential High Density designation, an apartment dwelling with a maximum height of 27 storeys will be permitted.

12.6 Site 6



12.6.1 The lands identified as Special Site 6 are located at the south west corner of Burnhamthorpe Road East and the future extension of Main Street.

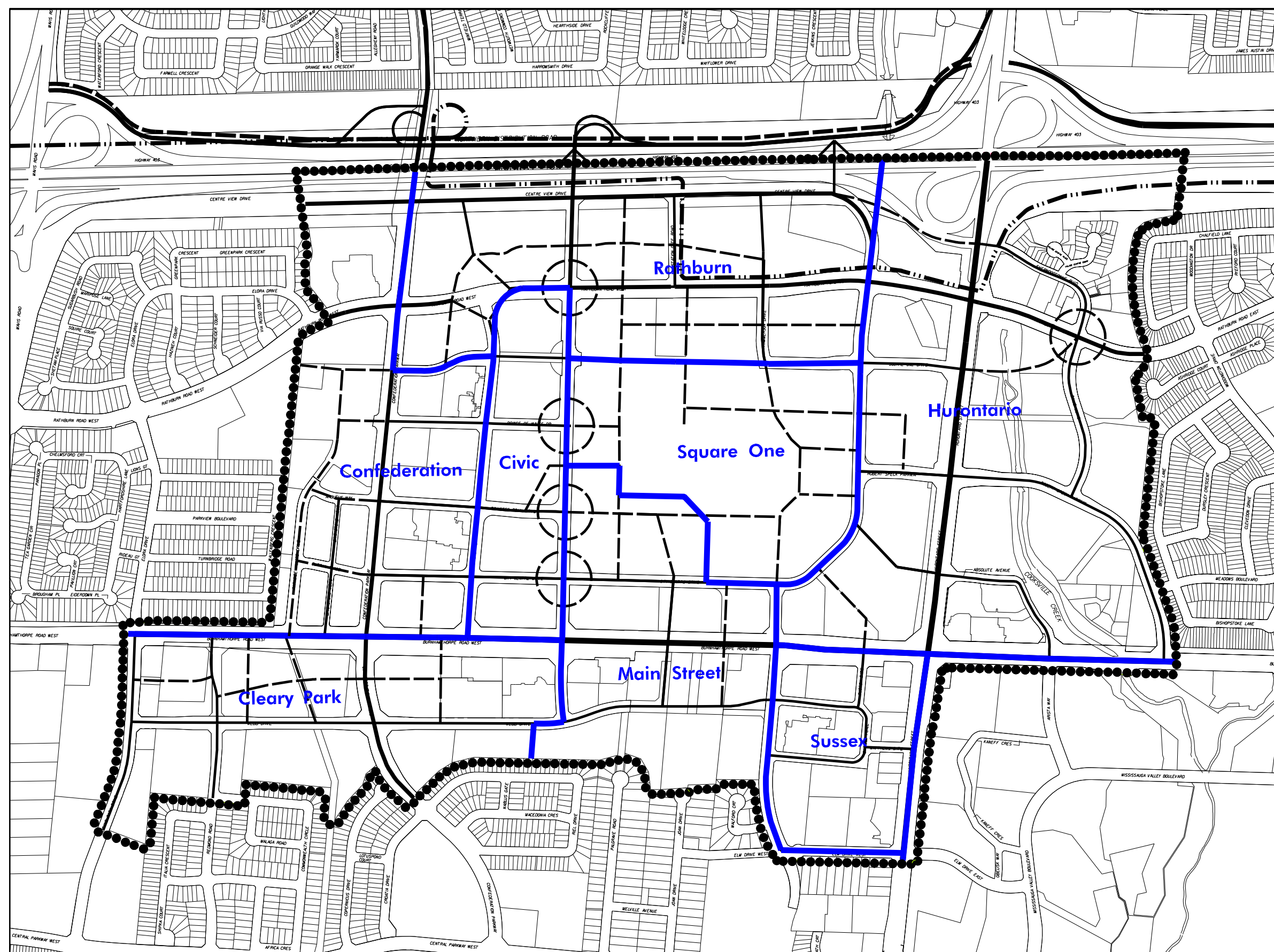
12.6.2 Notwithstanding the 'A' Street policies of this Area Plan, access for servicing will be permitted from Burnhamthorpe Road West.

13.0 Implementation




13.1 Mississauga may apply a holding provision to lands within the Downtown Core to ensure that the policies of this Plan are implemented. The removal of the holding provision will be conditional on the applicant satisfying the requirements of the policies of this Plan, including:

- a. requiring the conveyance of land for new public roads, including realignments of roads or impose an obligation upon a landowner to construct or pay for the construction of new roads, where not otherwise permitted by the *Planning Act*;
- b. requiring the gratuitous dedication of land for new public roads, including realignments of roads or impose an obligation upon a landowner to construct or pay for the construction of new roads where not otherwise permitted by the *Planning Act*;
- c. the submission of a concept plan for all development applications proposing phased development and must demonstrate how the policies of this Plan and this Area Plan will be implemented through the development review process; and
- d. the submission of a site plan application which demonstrates compliance with the built form policies of the Plan and this Area Plan.

13.2 Site plan control is a key mechanism to implement the Council approved Built Form Standards and will form the basis for site plan approval including the review and approval of building elevations, and sustainable design elements in the adjoining public right-of-way.

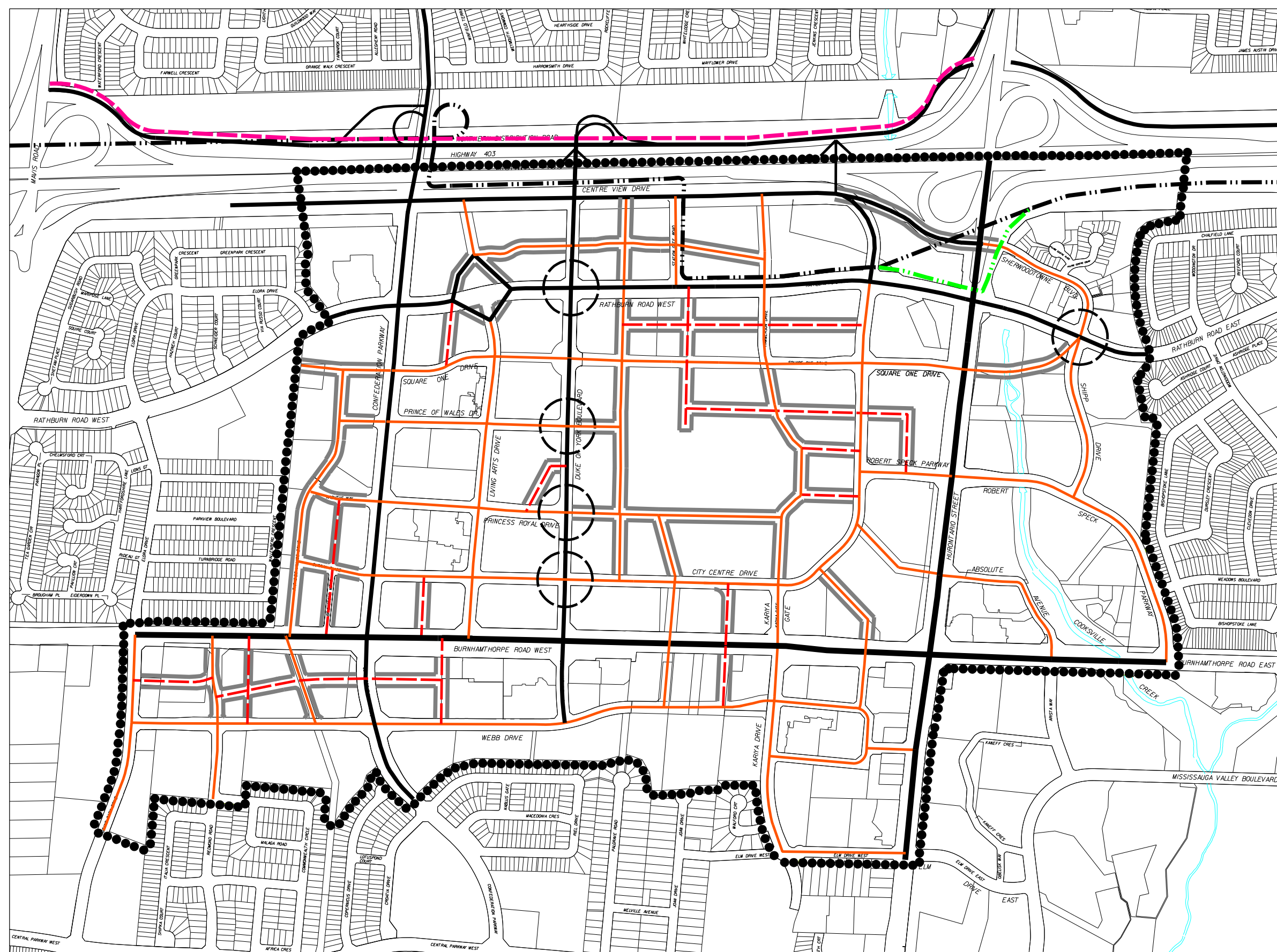


Legend

-  Downtown Core District Boundaries
-  Existing Roads
-  New Roads

Schedule 1 Downtown Core Districts





Legend

- Northern Distribution Road
- Arterial
- Major Collector
- Minor Collector
- Local Road
- Proposed Roundabout
- Bus Rapid Transit Corridor
- Interim Bus Rapid Transit Corridor
- Proposed New Crossings of Highway 403
- New Roads

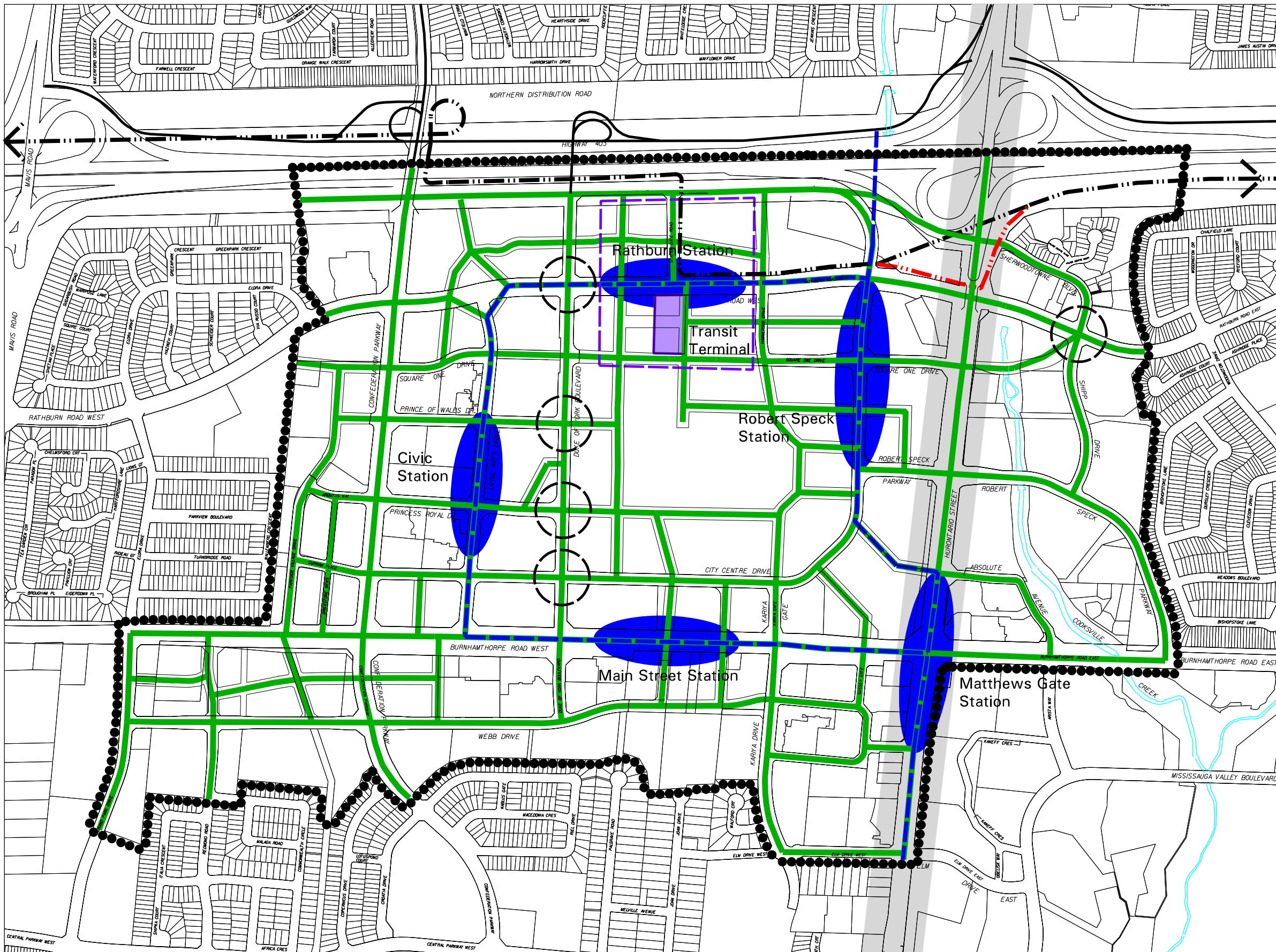
Note:

New Transportation Elements will be Subject to a Future Transportation Study.

The Interim Bus Rapid Transit Corridor depicts the interim alignment of the Bus Rapid Transit as per 2010 Environmental Assessment Approvals.

Schedule 2 Downtown Core Long Term Road Network and Classification





Legend

- Bus Rapid Transit Corridor
- Interim Bus Rapid Transit Corridor
- Light Rail Transit
- Light Rail Transit Station Area
- Transit Terminal
- Hurontario Street - Intensification Corridor (OP)
- Anchor Hub
- Road Network

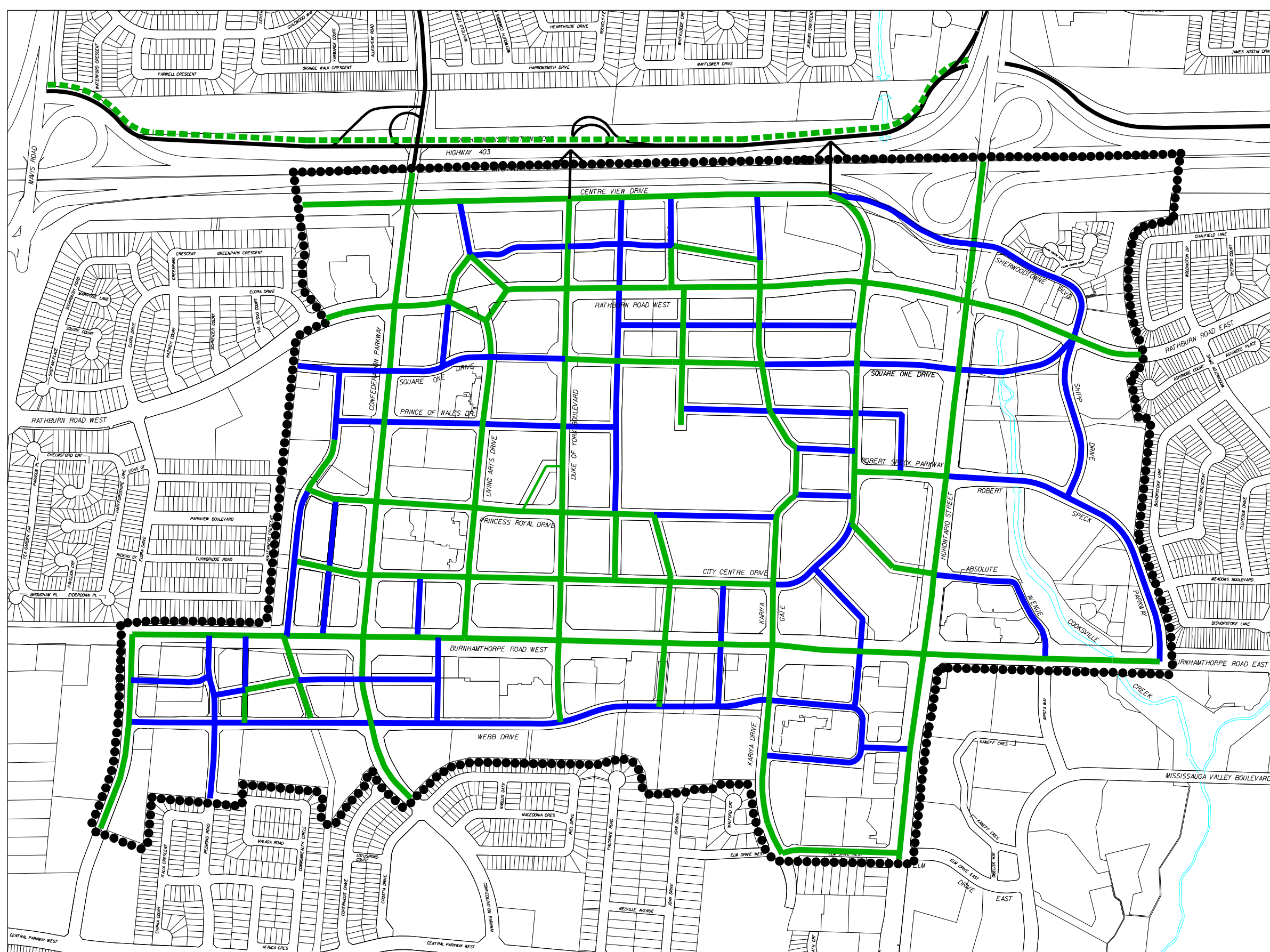
Note:

Light Rail Transit Alignment and Station Locations are subject to the approval of the Hurontario-Main LRT Transit Project Assessment Process.

The Interim Bus Rapid Transit Corridor depicts the interim alignment of the Bus Rapid Transit as per 2010 Environmental Assessment Approvals.

Schedule 3
Downtown Core
Long Term Transit Network

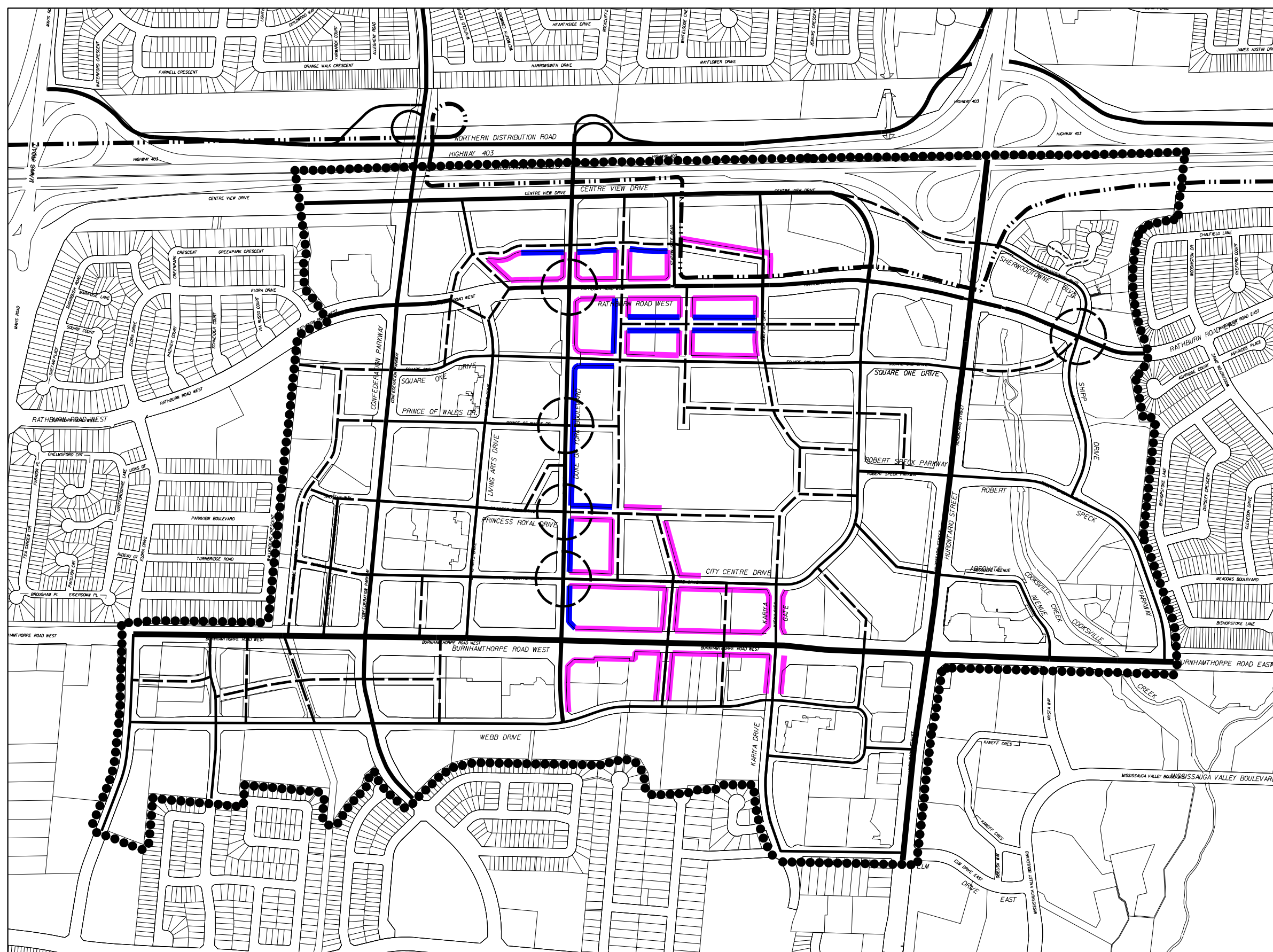




- Legend
- Northern Distribution Road
 - A - Frontage
 - B - Frontage
 - ↑ Proposed New Crossings of Highway 403

Schedule 4
Downtown Core
A & B Street Frontage





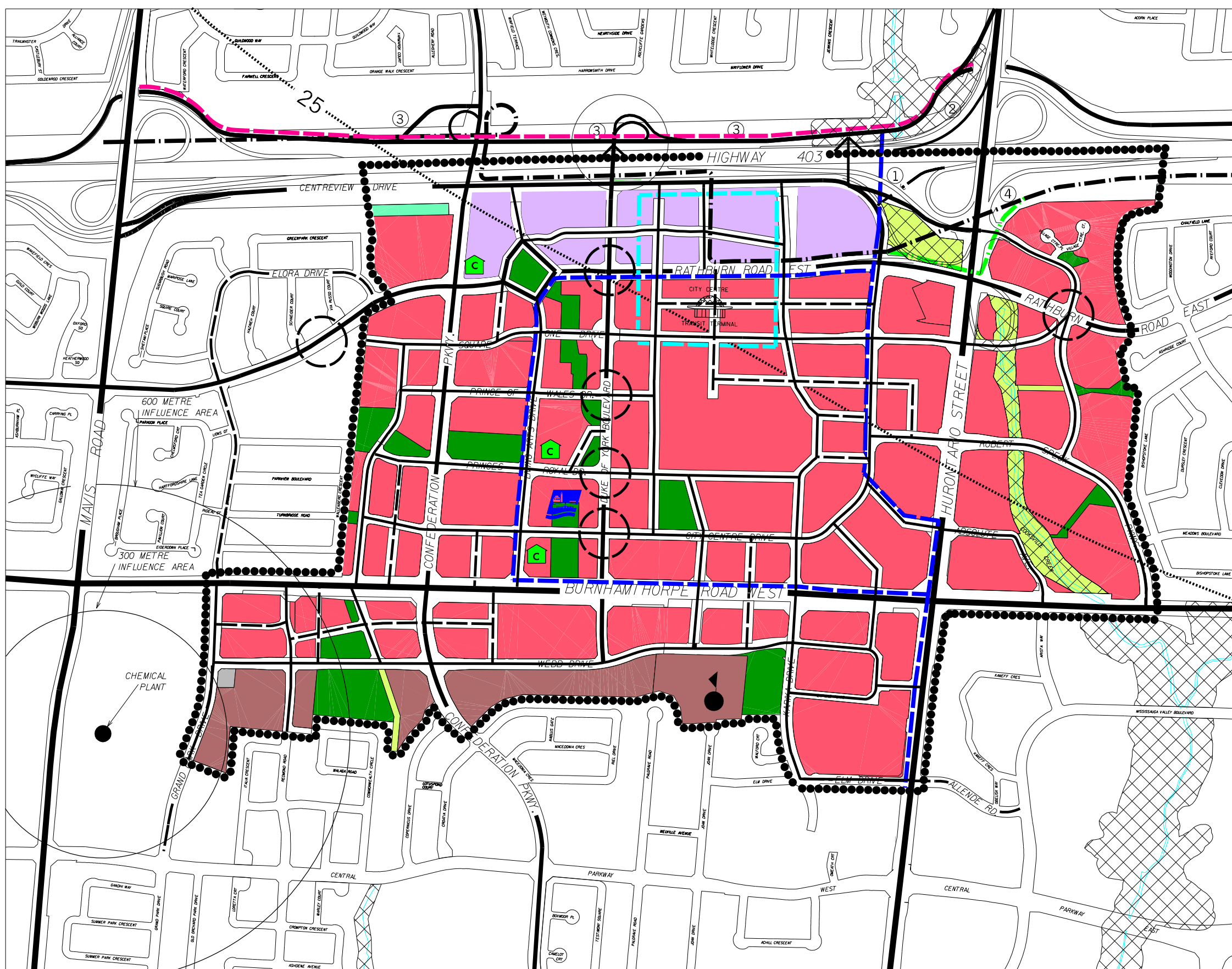
Legend

Percentage of ground floor along the street frontage required to contain retail uses:

- 75%
- 50%

Schedule 5 Retail Activation





LAND USE DESIGNATIONS

- Mixed Use
- Office
- Public Open Space
- Greenbelt
- Parkway Belt West
- Residential High Density
- Utility

LAND USE LEGEND

- 1996 NEP / 2000 NEF Composite Noise Contours
- Natural Hazards

- Option 1, Conceptual Centre View Drive connection to EB Hwy. 403 concept.
- Conceptual N-W ramp terminal relocation.
- Future Road - For additional Information see Schedule 5: Long Term Road Network and Table 8-2: Road Classification - Major Collectors
- The Interim Bus Rapid Transit Corridor depicts the interim alignment of the Bus Rapid Transit as per 2010 Environmental Assessment Approvals.

Notes:

- Any part of the road network shown outside the city boundaries is shown for information purposes only.
- All road proposals within the Highway 403 Corridor are conceptual and require review and approval of the Provincial Government.
- Refer to Schedule 3, Natural System for the location of the Natural Areas System and Natural Hazards.
- The limits of the Natural Hazards shown on this map are for illustrative purposes only. The appropriate Conservation Authority should be consulted to determine their actual location.
- The 1996 Noise Exposure Projection (NEP)/2000 Noise Exposure Forecast (NEF) Composite Noise Contours are shown for information purposes only and are not part of this Local Area Plan. These contours will change from time to time as new information becomes available. For accurate reference the composite NEP/NEF map produced by Transport Canada at a scale of 1:50 000 should be consulted.

TRANSPORTATION LEGEND

- Provincial Highway and Interchange
- Northern Distribution Road
- Arterial
- Major Collector
- Minor Collector
- Local Road
- Bus Rapid Transit Corridor
- Interim Bus Rapid Transit Corridor
- Light Rail Transit Corridor
- Proposed Grade Separation
- Proposed Roundabout
- Anchor Hub
- Civic Centre (City Hall)
- Public School
- City Centre Transit Terminal
- Community Facilities
- Local Area Plan Boundary

Schedule 6
Downtown Core Local Area Plan
Land Use Map

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Section 1.2: Definitions

1.2 DEFINITIONS	
TERM	DEFINITION
D	
Dwelling Unit	
Horizontal Multiple Dwelling	<p>means a building, <i>or part thereof</i>, other than a townhouse dwelling, or apartment dwelling, not exceeding four (4) storeys in height, containing more than three (3) attached dwelling units that are divided horizontally and/or vertically, each with an entrance that is independent or through a common vestibule.</p> <p>See Illustration No. 3 - Section 1.3 - Illustrations</p>
G	
Glazing	<i>means clear or transparent glass.</i>
P	
Podium	<p>means that portion of the first two (2) storeys of an apartment dwelling, long-term care dwelling or retirement dwelling, excluding a parking structure, mechanical floor area, storage area, service room and/or refuse and loading area, that is permitted to encroach into a required front and/or exterior side yard.</p> <p><i>means the base of a building, structure or part thereof located at or above established grade that projects from the tower portion of the building.</i></p>
Height of a Podium	<i>means the vertical distance between the established grade and the highest point of the roof surface of the podium.</i>
S	
Staff/Student Residence	means accommodation owned or operated by <i>or on behalf of</i> a university, college or hospital consisting of dwelling units or rooms, or both.

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Part 2: General Provisions

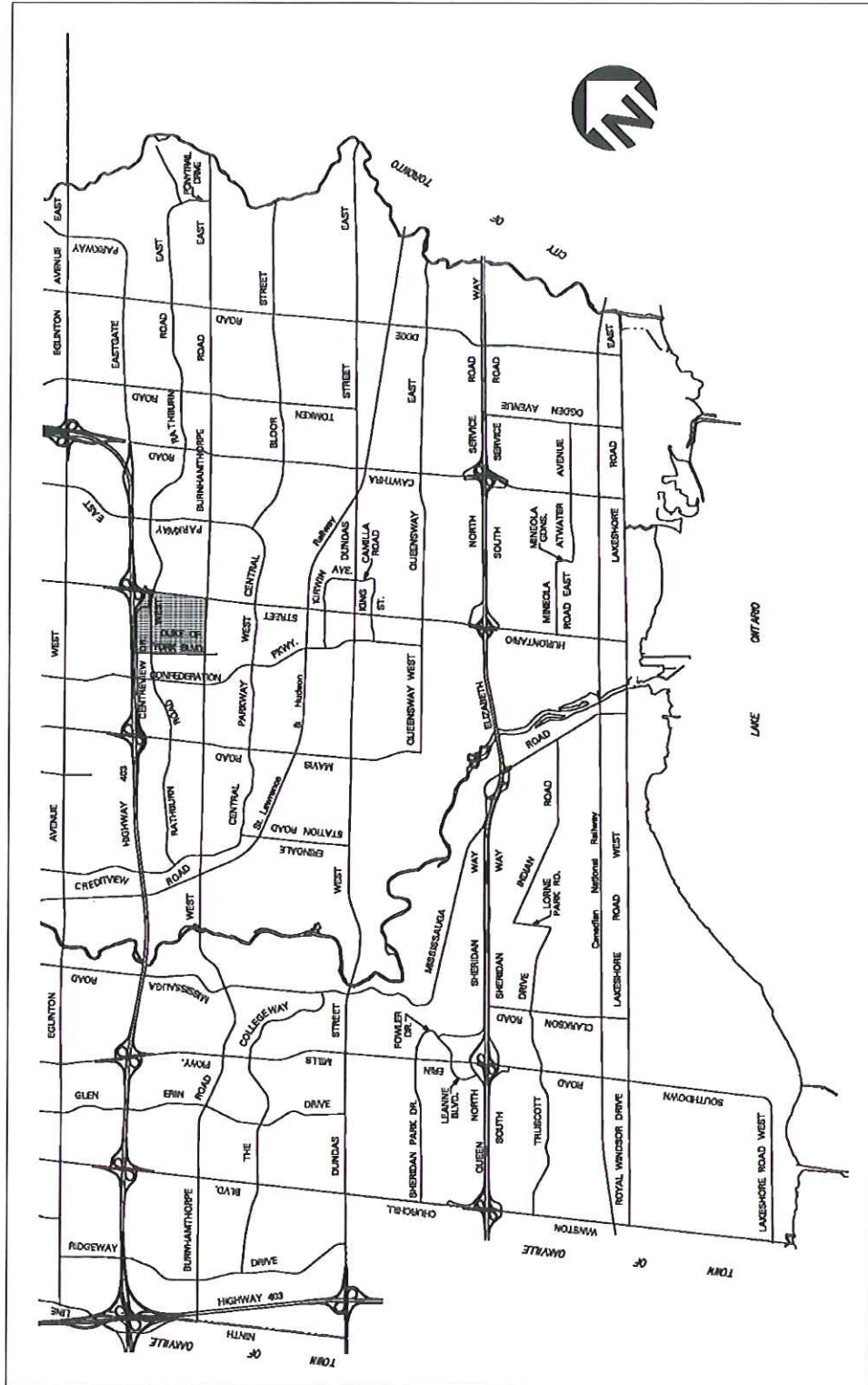
2.1 GENERAL PROVISIONS

2.1.2.2 Other Restrictions

The following other restrictions shall apply:

Table 2.1.2.2.1 - Night Club

Column	A	B
Line		
1.0	Where permitted, a night club shall comply with the provisions of the applicable Base Zone and/or Exception Zone and the following:	
1.1	Maximum gross floor area of a night club	1 115 m ²
1.2	Every lot shall have frontage on a street identified on Schedules 2.1.2.2(1) or (2)	✓
1.3	See also Sentence 2.1.2.1.1 of this By-law	✓
2.0	<i>A night club in a CC1, CC2 or CCO zone shall only be permitted within the shaded area identified on Schedule 2.1.2.2(2) and shall comply with the provisions of the applicable Base Zone and/or Exception Zone and the following:</i>	✓
2.1	<i>Maximum gross floor area of a night club</i>	300 m ²
2.2	<i>Sentence 2.1.2.1.1 of this By-law shall not apply</i>	✓
2.3	<i>A night club shall only be located within a non-residential building</i>	✓
2.4	<i>A night club shall not be located within the same building or in a building immediately adjacent to another building containing a night club</i>	✓



Schedule 2.1.2.2(2) - Street Location Criteria
for Night Clubs and Funeral Establishments

***REVISED**

2.1.9 Uses Permitted in More Than One Zone Category

The following uses are permitted in more than one zone category:

Table 2.1.9.4 - Day Care

Column	A	B
Line		
1.0	A day care is permitted only in these zones	R1 to R16, RM1 to RM9 and RA1 to RA5, C1 to C4, CC1 to CC4, CCO , CCOS, OS1, OS2 and I zones ⁽¹⁾

NOTE: (1) See Subsection 2.1.23 of this By-law.

Table 2.1.9.5 - Essential Emergency Service

Column	A	B
Line		
1.0	An essential emergency service is permitted only in these zones	R1 to R16, RM1 to RM9 and RA1 to RA5, O, C1 to C5, CC1 to CC4, CCO , CCOS, E1 to E3, OS1 to OS3, PB1, PB2, U, D, I, B and AP zones

Table 2.1.9.6 - Community Centre, Community Athletic Field, Public Walkway and/or Library

Column	A	B
Line		
1.0	A community centre, community athletic field, public walkway and/or library is permitted only in these zones (0379-2009)	R1 to R16, RM1 to RM9 and RA1 to RA5, O, C1 to C4, CC1 to CC4, CCO , CCOS, E1, E2, E3, OS1, OS2 and I zones

Table 2.1.9.7 - Temporary Tent and/or Stage

Column	A	B
Line		
1.0	A temporary tent is permitted only in these zones (0325-2008)	R1 to R16, RM1 to RM9 and RA1 to RA5, O, C1 to C5, CC1 to CC4, CCO , H-CC1, H-CC2, H-CCO , CCOS, E1 to E3, OS1 to OS3, I and D zones (0325-2008)
2.0	A temporary stage is permitted only in these zones (0325-2008)	C1 to C4, CC1, CC2, CCO , H-CC1, H-CC2, H-CCO, CCOS, E1 to E3, OS1, OS2, and I zones (0325-2008)

Table 2.1.9.8 - Community Garden

Column	A	B
Line		
1.0	A community garden is permitted only in these zones	R1 to R16, RM1 to RM9 and RA1 to RA5, O, C1 to C5, CC1 to CC4, CCO , H-CC1 to H-CC4, H-CCO, CCOS, E1 to E3, OS1 to OS3, U, I, D and B zones

Table 2.1.9.9 - Parking/Security Attendant Booth

Column A		B
Line		
1.0	A parking/security attendant booth is permitted only in these zones (0379-2009)	RM4, RM9, RA1 to RA5, O, C1 to C5, CC1 to CC4, CCO , CCOS, E1 to E3, OS1 to OS3, U and I zones

Table 2.1.9.10 - Transit Terminal and/or Transit Corridor

Column A		B
Line		
1.0	A transit terminal and/or transit corridor is permitted only in these zones	RM4 to RM6, RM9 and RA1 to RA5, O, C1 to C5, CC1 to CC4, CCO , H-CC1 to H-CC4, H-CCO, CCOS, E1, E2, E3, OS1, OS2, PB1, PB2 and I zones

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Part 3: Parking, Loading and Stacking Lane Regulations

3.1 PARKING, LOADING AND STACKING LANE REGULATIONS

3.1.2.2 Required Number of Parking Spaces for Non-Residential Uses

Off-street parking spaces for non-residential uses shall be provided in accordance with Table 3.1.2.2 - Required Number of Parking Spaces for Non-Residential Uses.

Table 3.1.2.2 - Required Number of Parking Spaces for Non-Residential Uses

Column	A	B
Line 1.0	TYPE OF USE	MINIMUM OFF-STREET PARKING REGULATIONS
30.0	Night Club:	
30.1	Night Club	25.2 spaces per 100 m ² GFA - non-residential
30.2	Night Club (in CC1, CC2 and CCO zones)	9.0 spaces per 100 m ² GFA - non-residential
33.0	Personal Service Establishment:	
33.3	Personal Service Establishment (in CC2 to CC4 and CCO zones) (0207-2008)	4.3 spaces per 100 m ² GFA - non-residential
41.0	Retail:	
41.3	Retail Store (in CC2 to CC4 and CCO zones) (0207-2008)	4.3 spaces per 100 m ² GFA - non-residential
42.0	Restaurants:	
42.3a	Take-out Restaurant (in CC2 to CC4 and CCO zones)	4.3 spaces per 100 m ² GFA - restaurant
42.5	Restaurant (less than or equal to 220 m ² GFA - restaurant in CC2 to CC4 and CCO zones)	4.3 spaces per 100 m ² GFA - restaurant
42.6	Restaurant (greater than 220 m ² GFA - restaurant in CC2 to CC4 and CCO zones)	9.0 spaces per 100 m ² GFA - restaurant

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7.1.2 Uses Not Permitted in CC3 Zone Areas 'A', 'B' and 'C'	7.1 ~ 1
7.1.3 Townhouse and Street Townhouse Dwellings in CC3 Zone Areas 'A' and 'B'	7.1 ~ 1
7.1.3.A Horizontal Multiple Dwellings in CC1 to CC4 Zones	7.1 ~ 1
7.1.4 Accessory Uses	7.1 ~ 1
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7.2.6 CCO Exception Zones	7.2.6 ~ 1
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PURPOSE

The purpose of this Part is to provide a number of **Downtown Core** ~~City-Centre~~ Zones, that allow for retail, office, and residential development and open space, in appropriate locations in **the Downtown Core** ~~City-Centre~~.¹

7.1 GENERAL PROVISIONS FOR **DOWNTOWN CORE** CITY CENTRE ZONES

In addition to the zone provisions contained in Parts 1 to 3 of this By-law, the following General Provisions for **Downtown Core** ~~City-Centre~~ Zones shall also apply:

7.1.1 Uses Not Permitted in a CC1 Zone

7.1.1.1 The following uses shall not be permitted in a CC1 zone:

- (1) Convenience Restaurant
- (2) Funeral Establishment
- (3) Motor Vehicle Sales, Leasing and/or Rental Facility - Restricted
- (4) Amusement Arcade

7.1.2 Uses Not Permitted in CC3 Zone Areas 'A', 'B' and 'C'

7.1.2.1 The following uses shall not be permitted in Areas 'A', 'B' and 'C' identified on Schedules CC3(1) to CC3(3) of this By-law:

- (1) Banquet Hall/Conference Centre/Convention Centre
- (2) Overnight Accommodation
- (3) Restaurant
- (4) Take-out Restaurant
- (5) Entertainment Establishment

7.1.3 Townhouse and Street Townhouse Dwellings in CC3 Zone Areas 'A' and 'B'

7.1.3.1 Townhouse and street townhouse dwellings shall only be permitted within Areas 'A' and 'B' identified on Schedules CC3(1) to CC3(3) of this Section.

7.1.3A Horizontal Multiple Dwellings in CC1 to CC4 Zones

7.1.3A.1 Horizontal multiple dwellings shall only be permitted accessory to an apartment dwelling in CC1, CC2, CC3 and CC4 zones.

7.1.4 Accessory Uses

7.1.4.1 Uses Accessory to a Permitted Use in the CC1 Zone

7.1.4.1.1 The following uses are permitted within a building used for a permitted use in the CC1 zone:

- (1) Cogeneration Facility**
- (2) Night club in compliance with Table 2.1.2.2.1 of this By-law**

7.1.4.1.2 An outdoor patio shall be permitted accessory to a restaurant, take-out restaurant or retail store where the primary function is the sale of food.

¹ The purpose statement is for clarification purposes and does not form part of this By-law.

~~7.1.4~~

7.1.4.2

Uses Accessory to a Permitted Use in CC2, CC3 and CC4 Zones

7.1.4.2.1

The following uses are permitted accessory to an office **building**, medical office **building**, apartment dwelling, long-term care dwelling, retirement dwelling, overnight accommodation, banquet hall/conference centre/convention centre, **hospital**, **university/college**, **staff/student residence**, **parking structure**, centre for the performing arts or any combination thereof in CC2, CC3 and CC4 zones except as restricted in Article 7.1.2.1 of this Section:

- (1) Financial Institution
- (2) Personal Service Establishment
- (3) Repair Establishment
- (4) Recreational Establishment
- (5) Restaurant, with or without an outdoor patio
- (6) Take-out Restaurant, with or without an outdoor patio
- (7) Retail Store
- (8) Entertainment Establishment
- (9) Motor Vehicle Rental Facility
- (10) Cogeneration Facility
- (11) Outdoor patio accessory to a restaurant, take-out restaurant or retail store where the primary function is the sale of food

7.1.4.2.2

A night club shall be permitted accessory to a permitted use in a CC2 zone in compliance with Table 2.1.2.2.1 of this By-law.

7.1.4.2.3

Unless otherwise permitted, the uses contained in ~~Article 7.1.4.1~~ **Sentences 7.1.4.2.1 and 7.1.4.2.2** shall be located within ~~a building, structure or part thereof used for an office building~~, medical office **building**, apartment dwelling, long-term care dwelling, retirement dwelling, overnight accommodation, banquet hall/conference centre/convention centre, **hospital**, **university/college**, **staff/student residence**, **parking structure**, centre for the performing arts or any combination thereof.

7.1.4.2.4

~~A maximum of 20% of the total gross floor area non-residential may be used for~~ Uses identified in ~~Article 7.1.4.1~~ **Sentences 7.1.4.2.1 and 7.1.4.2.2** and shall not be permitted above the first storey.

~~7.1.4.4~~

~~A maximum of 20% of the total gross floor area apartment dwelling zone may be used for uses identified in Article 7.1.4.1 and shall not be permitted above the first storey.~~

7.1.4.2.5

A motor vehicle rental facility shall not park or store motor vehicles that are offered for rent or ~~sale~~ **lease** in required parking spaces.

7.1.4.2.6

The minimum separation distance of a restaurant or take-out restaurant from a Residential Zone contained in Lines 1.0 and 3.0 of Table 2.1.2.1.1 of this By-law shall not apply to RA1 to RA5 zones. (0379-2009)

7.1.4.3

Uses Accessory to a Permitted Use in the CCO Zone

7.1.4.3.1

The following uses are permitted accessory to an office building, medical office building, hospital, university/college, or any combination thereof in the CCO zone:

- (1) Financial Institution
- (2) Personal Service Establishment
- (3) Repair Establishment
- (4) Recreational Establishment
- (5) Restaurant
- (6) Take-out Restaurant
- (7) Retail Store
- (8) Entertainment Establishment
- (9) Motor Vehicle Rental Facility
- (10) Cogeneration Facility
- (11) Night Club in compliance with Table 2.1.2.2.1 of this By-law
- (12) Outdoor patio accessory to a restaurant, take-out restaurant or retail store where the primary function is the sale of food

- 7.1.4.3.2 Unless otherwise permitted, the uses contained in Sentence 7.1.4.3.1 shall be located within an office building, medical office building, hospital, university/college, or any combination thereof.
- 7.1.4.3.3 Uses identified in Sentence 7.1.4.3.1 shall not be permitted above the first storey.
- 7.1.4.3.4 A motor vehicle rental facility shall not park or store motor vehicles that are offered for rent or lease in required parking spaces.
- 7.1.4A Retail Activation Frontages**
- 7.1.4A.1 Notwithstanding Table 7.2.1, Sentences 7.1.4.2.1 and 7.1.4.3.1 of this Section, uses identified as Retail Activation Uses in Sentence 7.1.4A.2.4 and located on Retail Activation Frontages shall only be permitted in compliance with the provisions of Subsection 7.1.4A of this Section.
- 7.1.4A.2 A building located on a lot abutting a street with a 75% or 50% Retail Activation Frontage identified on Schedules CCI, CC2(2) and CCO of this By-law shall comply with the following:
- 7.1.4A.2.1 The first storey of a building shall contain Retail Activation uses in units abutting/within the linear building frontage;
- 7.1.4A.2.2 The maximum width of a unit used for a Retail Activation use shall be 10.0 m, measured at the linear building frontage;
- 7.1.4A.2.3 The minimum depth of a unit used for a Retail Activation use shall be 10.0 m;
- 7.1.4A.2.4 The minimum height of a unit containing a Retail Activation use shall be 4.5 m measured from finished floor to ceiling;
- 7.1.4A.2.5 Retail Activation Uses shall only include the following and shall only be located on the first storey:
- (1) Financial Institution
 - (2) Personal Service Establishment
 - (3) Restaurant
 - (4) Take-out Restaurant
 - (5) Retail Store
- 7.1.4A.2.6 Notwithstanding Sentences 7.1.4.2.4 and 7.1.4.3.3 of this Section, the following uses shall also be permitted on the second storey of a building located on a lot abutting a street with a 75% or 50% Retail Activation Frontage in CC2 and CCO zones:
- (1) Grocery Store
 - (2) Repair Establishment
 - (3) Recreational Establishment
 - (4) Entertainment Establishment
 - (5) Motor Vehicle Rental Facility
 - (6) Cogeneration Facility
 - (7) Night club in a CCO zone and accessory to a permitted non-residential CC2 zone, in compliance with Table 2.1.2.2.1 of this By-law
- 7.1.4A.2.7 For the purpose of this Section, linear building frontage shall be measured for that portion of a building located at or within the build-to area measured from the exterior of outside walls parallel to the street line.
- 7.1.4A.3 A building located on a lot abutting a street with a 75% Retail Activation Frontage shall also comply with the following:
- 7.1.4A.3.1 A minimum of 75% of the first storey of the linear building frontage shall form the exterior wall of units used for Retail Activation Uses;
- 7.1.4A.3.2 Where a residential building, structure or part thereof has frontage on a street with a 75% Retail Activation Frontage, pedestrian access to uses permitted above and below the first storey shall be permitted provided that the width of the pedestrian access shall not be greater than 6.5 m;

7.1.4A.4 A building located on a lot abutting a street with a 50% Retail Activation Frontage shall also comply with the following:

7.1.4A.4.1 A minimum of 50% of the first storey of the linear building frontage shall form the exterior wall of units used for Retail Activation Uses.

7.1.5 CC4 Zone Regulations

7.1.5.1 Apartment, Long-Term Care and Retirement Dwelling Regulations

7.1.5.1.1 The total maximum number of dwelling units on all lands zoned CC4 and CC4-1 to CC4-5 shall be 5 321.

~~7.1.5.1.2 An apartment, long-term care and retirement dwelling shall be a minimum of three (3) storeys in height.~~

7.1.5.1.3 2 An apartment, long-term care and retirement dwelling may have a separate direct and/or shared access to the dwelling units at the ground floor and/or above the first storey and/or a private or shared corridor.

7.1.5.2 Underground Parking Structures

Underground parking structures are permitted below a street in accordance with the regulations contained in Table 7.1.5.2 - Underground Parking Structures.

Table 7.1.5.2 - Underground Parking Structures

Column	A	B	C
Line	Street Width	Maximum Encroachment	Minimum Vertical Depth
1.0	12.5 m	6.25 m on each side of the street	0.5 m 1.0 m
2.0	23.5 m	1.25 m on each side of the street	1.0 m
3.0	40.0 m	1.25	1.0 m

~~7.1.5.3 Podiums~~

~~7.1.5.3.1 A podium in a CC4 zone is defined as that portion of any building or structure located at or above established grade to the maximum podium height as set out in each Exception Zone.~~

~~7.1.5.3.2 Height of a podium is measured as the vertical distance between established grade and the top of the roof surface of the podium.~~

~~7.1.5.4 Building Height~~

~~7.1.5.4.1 Maximum height for buildings with a flat roof shall be measured from established grade to the highest point of a flat roof but shall not include mechanical penthouses, stairways and structures providing access to roof tops.~~

~~7.1.5.4.2 Maximum height for buildings with a sloped roof shall be measured from established grade to the mean height level between the eaves and ridge of a sloped roof but shall not include mechanical penthouses, stairways and structures providing access to roof tops.~~

7.1.6 Long-Term Care Dwellings in CC1 to CC4 Zones

For the purpose of calculating the number of dwelling units in a long-term care dwelling, two (2) long-term care beds shall equal one (1) long-term care dwelling unit.

~~7.1.5.5~~ **7.1.7** Zone Boundaries

~~7.1.5.5.1~~
7.1.7.1

Where a zone boundary as shown on Schedule "B" of this By-law follows a proposed or existing street, the centreline of the street is the zone boundary.

7.2 CC1 to CC4, **CCO and CCOS ZONES
(**DOWNTOWN CORE** CITY-CENTRE)**
7.2.1 CC1 to CC4, **CCO and CCOS Permitted Uses and Zone Regulations**

All buildings and structures shall comply with the provisions contained in Parts 1 to 3 and Section 7.1 of this By-law, and the uses and zone regulations specified within the applicable zone column contained in Table 7.2.1 - CC1 to CC4, **CCO** and CCOS Permitted Uses and Zone Regulations.

Table 7.2.1 - CC1 to CC4, **CCO and CCOS Permitted Uses and Zone Regulations**

Column	A	B	C	D	E	F	G
Line 1.0	USES	ZONES (0379-2009)					
		CC1 <i>Downtown Core - City-Centre-Retail Core Commercial</i>	CC2 <i>Downtown Core - City-Centre-Mixed Use</i>	CC3 <i>Downtown Core - City-Centre-Mixed Use Transition Area</i>	CC4 <i>Downtown Core - City-Centre-Mixed Use</i>	CCO <i>Downtown Core - Office</i>	CCOS <i>Downtown Core - City-Centre-Open Space</i>
PERMITTED USES							
2.0	<i>DOWNTOWN CORE</i> <i>CITY-CENTRE</i>						
2.1	Office	✓	✓	✓	✓	✓	
2.2	Medical Office	✓	✓	✓	✓	✓	
2.3	Apartment Dwelling	✓ ⁽⁺⁾	✓ ⁽⁺⁾	✓ ⁽⁺⁾	✓ ⁽⁺⁾ (5)		
2.4	Long-Term Care Dwelling	✓ ⁽⁺⁾	✓ ⁽⁺⁾	✓ ⁽⁺⁾	✓ ⁽⁺⁾ (5)		
2.5	Retirement Dwelling	✓ ⁽⁺⁾	✓ ⁽⁺⁾	✓ ⁽⁺⁾	✓ ⁽⁺⁾ (5)		
2.6	Townhouse Dwelling			✓ ⁽⁶⁾			
2.7	Street Townhouse Dwelling			✓ ⁽⁶⁾			
2.8	All uses permitted in C1 to C4 Base Zones (0325-2008)	✓ ⁽²⁾					
2.9	Banquet Hall/Conference Centre/Convention Centre	✓	✓	✓ ⁽³⁾	✓		
2.10	Hospital	✓	✓	✓	✓	✓	
2.11	University/College	✓	✓	✓	✓	✓	
2.11A	Staff/Student Residence (0308-2011)	✓	✓	✓	✓		
2.12	Commercial School	✓	✓				
2.13	Active Recreational Use	✓	✓	✓	✓	✓	✓
2.14	Passive Recreational Use	✓	✓	✓	✓	✓	✓
2.15	Parking Lot	✓	✓	✓	✓		
2.16	Parking Structure	✓	✓	✓	✓		
2.17	Parking Structure - Below Grade Only						✓
2.18	Overnight Accommodation	✓	✓	✓ ⁽³⁾	✓		
2.19	Centre for the Performing Arts	✓	✓				
2.20	Outdoor patio accessory to a restaurant or take-out restaurant	✓					
2.21	Farmers' Market	✓	✓				✓

Table 7.2.1 continued on next page

Column	A	B	C	D	E	F	G
Line 1.0	USES	ZONES (0379-2009)					
		CC1 <i>Downtown Core - City-Centre-Retail Core Commercial</i>	CC2 <i>Downtown Core - City-Centre-Mixed Use</i>	CC3 <i>Downtown Core - City-Centre-Mixed Use Transition Area</i>	CC4 <i>Downtown Core - City-Centre-Mixed Use</i>	CCO <i>Downtown Core - Office</i>	CCOS <i>Downtown Core - City-Centre-Open Space</i>
Table 7.2.1 continued from previous page							
ZONE REGULATIONS							
3.0	GROSS FLOOR AREA						
3.1	Minimum gross floor area - apartment dwelling zone	1.0 times the lot area	1.0 times the lot area	1.0 times the lot area	1.0 times the lot area		
3.2	<i>Maximum tower floor plate for an apartment dwelling shall be 850 m²</i>	✓	✓	✓	✓		
3.3	<i>Notwithstanding the uses permitted in Lines 2.3, 2.4 and 2.5 of this Table, apartment, retirement and long-term care dwelling units shall not be permitted on the first storey of a building. Shared entrance and exit facilities through a common vestibule shall be permitted on the first storey</i>	✓					
4.0	BUILD-TO-AREAS						
4.1	Each building, structure and/or use shall comply with all regulations related to build-to-areas as shown on Schedule CC1, Schedules CC2(1) to CC2(3), Schedules CC3(1) to CC3(3) or Schedules CC4.1 to CC4.5 the Schedules and Exception Schedules of this Subsection Part	✓ ⁽⁴⁾ (7)	✓ ⁽⁴⁾ (7)	✓ ⁽⁴⁾	✓	✓ ⁽⁷⁾	
4.2	Notwithstanding the zone regulation contained in Line 4.1 of this Table, where a property has build-to-areas along more than two (2) lot lines, the building or structure shall be located along a minimum of two (2) build-to-areas	✓ ⁽⁴⁾	✓ ⁽⁴⁾	✓ ⁽⁴⁾	✓	✓	
4.3	Notwithstanding the zone regulation contained in Line 4.1 of this Table, a maximum of 30% of the length of the streetwall may be set back beyond the build-to-area	✓ ⁽⁴⁾	✓ ⁽⁴⁾	✓ ⁽⁴⁾			

Table 7.2.1 continued on next page

Column	A	B	C	D	E	F	G
Line 1.0	USES	ZONES (0379-2009)					
		CC1 Downtown Core - City-Centre-Retail Core Commercial	CC2 Downtown Core - City-Centre-Mixed Use	CC3 Downtown Core - City-Centre-Mixed Use Transition Area	CC4 Downtown Core - City-Centre-Mixed Use	CCO Downtown Core - Office	CCOS Downtown Core - City-Centre-Open Space
Table 7.2.1 continued from previous page							
4A.0	'A' and 'B' STREET FRONTAGES						
4A.1	A building located on a lot abutting a street with an 'A' or 'B' Street Frontage shall comply with the regulations contained in Lines 4A.2 to 4A.11 of this Table	✓	✓	✓	✓	✓	
4A.2	On a street with an 'A' Street Frontage, a minimum of 75% of the area of the first storey streetwall of a non-residential use shall contain glazing	✓	✓	✓	✓	✓	
4A.3	The main front entrance to each first storey unit that has an exterior wall abutting an 'A' Street shall be provided from that 'A' Street	✓	✓	✓	✓	✓	
4A.4	The main front entrance to units above or below the first storey, within a building, structure or part thereof that has frontage along an 'A' Street, shall be provided from that 'A' Street	✓	✓	✓	✓	✓	
4A.5	The main front entrance to each first storey unit that has exterior walls abutting both 'A' and 'B' Streets shall be provided from the 'A' Street	✓	✓	✓	✓	✓	
4A.6	The main front entrance to units above or below the first storey, within a building, structure or part thereof that has frontage along both 'A' and 'B' Streets, shall be provided from the 'A' Street	✓	✓	✓	✓	✓	
4A.7	A parking structure shall not face a street with an 'A' Street Frontage	✓	✓	✓	✓		
4A.8	Vehicular access to a building, structure or part thereof which abuts both 'A' and 'B' Streets shall be provided from the 'B' Street	✓	✓	✓	✓	✓	
4A.9	On a street with a 'B' Street Frontage, a minimum of 50% of the area of the first storey streetwall of a non-residential use shall contain glazing	✓	✓	✓	✓	✓	

Table 7.2.1 continued on next page

Column	A	B	C	D	E	F	G
Line 1.0	USES	ZONES (0379-2009)					
		CC1 <i>Downtown Core - City-Centre-Retail Core Commercial</i>	CC2 <i>Downtown Core - City-Centre-Mixed Use</i>	CC3 <i>Downtown Core - City-Centre-Mixed Use Transition Area</i>	CC4 <i>Downtown Core - City-Centre-Mixed Use</i>	CCO <i>Downtown Core - Office</i>	CCOS <i>Downtown Core - Open Space</i>
Table 7.2.1 continued from previous page							
4A.10	The main front entrance to each first storey unit that has an exterior wall abutting a 'B' Street shall be provided from that 'B' Street	✓	✓	✓	✓	✓	
4A.11	The main front entrance to units above or below the first storey, within a building, structure or part thereof that has frontage along a 'B' Street, shall be provided from that 'B' Street	✓	✓	✓	✓	✓	
4B.0	HEIGHT						
4B.1	Minimum Height	3 storeys	3 storeys	3 storeys	3 storeys	3 storeys	
4C.0	PODIUMS IN RESIDENTIAL BUILDINGS						
4C.1	Apartment, long-term care and retirement dwellings greater than 12 storeys shall contain a podium	✓	✓	✓	✓		
4C.2	The minimum height of a podium measured at the streetwall shall be three (3) storeys	✓	✓	✓	✓		
5.0	SETBACKS AND ENCROACHMENTS						
5.1	The first three (3) storeys of a podium in a residential building shall not project beyond or behind the first storey of the streetwall	✓	✓	✓	✓		
5.1 5.2	Minimum setback from the exterior face of a podium of residential buildings and structures, or parts thereof, located above the podium structure				3.0 m		
5.2 5.3	Notwithstanding the zone regulation contained in Line 5.1 5.2 of this Table, the maximum encroachment of portions of a residential building or structure into the required setback				1.5 m		

Table 7.2.1 continued on next page

Column	A	B	C	D	E	F	G
Line 1.0	USES	ZONES (0379-2009)					
		CC1 Downtown Core - City-Centre-Retail Core Commercial	CC2 Downtown Core - City-Centre-Mixed Use	CC3 Downtown Core - City-Centre-Mixed Use Transition Area	CC4 Downtown Core - City-Centre-Mixed Use	CCO Downtown Core - Office	CCOS Downtown Core - City-Centre-Open Space
Table 7.2.1 continued from previous page							
6.0	DRIVEWAYS, AISLES, PARKING AREAS, AND ACCESS AND PARKING						
6.1	An at-grade driveway, aisle, parking area or loading area shall not be permitted between a wall of a building or structure and a lot line abutting a street or within 7.6 m of a lot line abutting a street except for vehicular accesses or where a property has a lot line abutting more than two (2) streets, an at-grade driveway, aisle or parking area shall not be permitted between the wall of a building or structure and a lot line abutting two (2) of the streets	✓	✓	✓	✓	✓	
6.2	Driveways , internal roads and aisles are permitted to be shared with abutting lands with the same zoning	✓	✓	✓	✓	✓	
7.0	LANDSCAPED OPEN SPACE AREA						
7.1	Minimum Landscaped Open Space Area				40% of the lot area		
8.0	EXEMPTIONS						
8.1	The provisions of Subsection 2.1.14 of this By-law shall not apply	✓	✓	✓	✓	✓	

Part 7 - *Downtown Core* City-Centre Zones

Column	A	B	C	D	E	F	G
Line 1.0	USES	ZONES (0379-2009)					
		CC1 <i>Downtown Core - City-Centre - Retail Core Commercial</i>	CC2 <i>Downtown Core - City-Centre - Mixed Use</i>	CC3 <i>Downtown Core - City-Centre - Mixed Use Transition Area</i>	CC4 <i>Downtown Core - City-Centre - Mixed Use</i>	<i>CCO</i> <i>Downtown Core - Office</i>	CCOS <i>Downtown Core - City-Centre - Open Space</i>
Holding Provision							
<p>1. The holding symbol H is to be removed from the whole or any part of the lands zoned H-CC1, H-CC2, H-CC3, <i>H-CCO</i> and/or H-CCOS by further amendment to Maps 22, 28 and 29 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <p>(1) delivery of an executed Servicing Agreement and/or Development Agreement in a form satisfactory to The Corporation of the City of Mississauga, addressing and agreeing to the installation or placement of all required municipal works, including municipal walkways, the provision of land dedication for future public road widenings, and transit rights-of-way and easements, including the provision of parkland, the provisions of required securities, and related provisions provided that the Servicing and Development Agreements will not require the gratuitous dedication of land for new public roads, including realignments of roads, where not otherwise permitted under the <i>Planning Act</i> or impose an obligation upon a landowner to construct or pay for the construction of a new road;</p> <p><i>(2) convey/dedicate to the City a right-of-way to be used for a street on 'A' and 'B' Street Frontages identified on the Schedules of this Part of this By-law, where a street currently does not exist.</i></p> <p>2. The holding symbol H shall not prevent the use of buildings and structures legally existing on the date of passing of this By-law for those uses which are permitted by the zone in which they are located, or the expansion of parking facilities to support the uses within these existing buildings and structures.</p>							

- NOTES:
- (1) ~~See also Subsection 2.1.27 of this By-law.~~
 - (2) See also Subsection 7.1.1 of this By-law.
 - (3) See also Subsection 7.1.2 of this By-law.
 - (4) Additions which are constructed onto any building or structure legally existing on the date of passing of this By-law shall not be subject to the regulations of Lines 4.1 ~~to 4.3~~ and 4.2 contained in Table 7.2.1 of this By-law *for 100 City Centre Drive.*
 - (5) See also Subsection 7.1.5 of this By-law.
 - (6) See also Subsection 7.1.3 of this By-law.
 - (7) See also Subsection 7.1.4A of this By-law.*



DOWNTOWN CORE

Built Form Standards

January 22, 2013



DOWNTOWN CORE BUILT FORM STANDARDS

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INTRODUCTION

1.0 Purpose of the Standards

The purpose of the Downtown Core Built Form Standards is to provide urban design direction and guidance for proposed development at the planning application stage in order to assess, promote and fulfill the intent of the City's official plan policies, Downtown21 vision and zoning by-law - all of which shape and have influence on the urban structure, built form qualities and overall character of the Downtown Core.

Selected content from this document, has been incorporated into the Local Area Plan as Official Plan policy in addition to the zoning by-law. Applicants should also refer to the Mississauga Official Plan principal document (MOP), Downtown Core Local Area Plan, Zoning By-law, and Building Code to ensure that the applicable policies and requirements in these documents have been met. Furthermore, other City initiatives and special projects should be consulted to determine applicability, such as the Strategic Plan, Downtown21 Master Plan, Green Development Strategy, Hurontario Light Rail Transit Study, Accessibility Design Handbook and the City of Mississauga Standards for Shadow Studies, etc.

2.0 Objectives of the Standards

Chapter 9 of the MOP, 'Build a Desirable Urban Form' is a fundamental component of the Plan. This section along with the policies contained within Section 12 'Downtown' and the 'Downtown Local Area Plan' set out the urban design policies which support the vision for a vibrant Downtown Core. These built form standards act to articulate the policies in addition to the following objectives:

- Support the City of Mississauga's Strategic Plan and its Strategic Pillars for Change - a paramount goal is to *Create a Vibrant Downtown* that functions as a strong economic centre, while acting as the civic heart and soul of the city;
- Promote development that supports and implements the six guiding principles of the Downtown21 Master Plan; specifically, #6 - 'Create a Development Framework with Predictability' which recommends creating a policy framework that directs downtown development in a coordinated, comprehensive fashion through new urban design standards;
- Facilitate the fair and consistent application of design objectives;
- Integrate a mix of uses, through appropriate built form, including retail and commercial uses, offices, residential, cultural, entertainment and institutional uses — the whole of which is intended to put people in close proximity to a broad range of urban amenities and experiences;
- Achieve a high quality built form and strengthen the continuity of buildings that contribute to the emerging Downtown Core urban context;
- Ensure that development is resilient, environmentally friendly, safe and universally accessible; and
- Foster compact, pedestrian and transit oriented development that achieves vibrant street level activity and a public realm of the highest standard.



*The 20th Century was about getting around.
The 21st Century will be about staying in a place
worth staying in.*

~ James Howard Kunstler

INTRODUCTION (cont'd)

3.0 Expectation of the Standards

The Built Form Standards provide further direction on the Urban Design Policies set out in the Official Plan, Downtown21 Master Plan in addition to other city initiatives that support land use decisions and strategies for the Downtown Core.

The Standards set out detailed requirements to achieve a high quality built form in the Downtown Core that interfaces with the public realm in a seamless fashion. The Built Form Standards have been developed to communicate the design expectations, in advance of an application being filed, related to the quality and outcome of development.

The standards, in addition to the dimensions indicated, are to be addressed and achieved by development

proponents through the planning application process. Depending on the context or site, exceptions to the Standards may be considered at the discretion of the City, in whole or part, when there are extenuating site circumstances and/or where proposals are able demonstrate urban design excellence.

It should be noted that the standards may be amended, modified or updated on an as-needed basis to provide clarity on the intent of the Downtown21 Master Plan, the Downtown Core Local Area Plan, provisions of the Zoning By-law including the outcome of other studies or initiatives that bear on the Downtown Core.





3.1 How to Read the Standards

The rationale of the Downtown Core Built Form Standards is best understood by reviewing all sections, text and diagrams, including the policies cited within the City's Official Plan (Downtown Core Local Area Plan). The Built Form Standards reflect an integrated approach to the Downtown Core, in which buildings are keyed to the streets through street frontage standards that guide and provide direction on the general disposition of buildings through form-based design.

Moreover, the Standards are also contingent on an understanding that downtowns are complex urban places that require an overarching organizing structure with a view to creating a coherent, legible, high quality public realm and memorable sense of place.



THE FRONTAGE STANDARDS

DOWNTOWN CORE STREET FRONTAGE PLAN

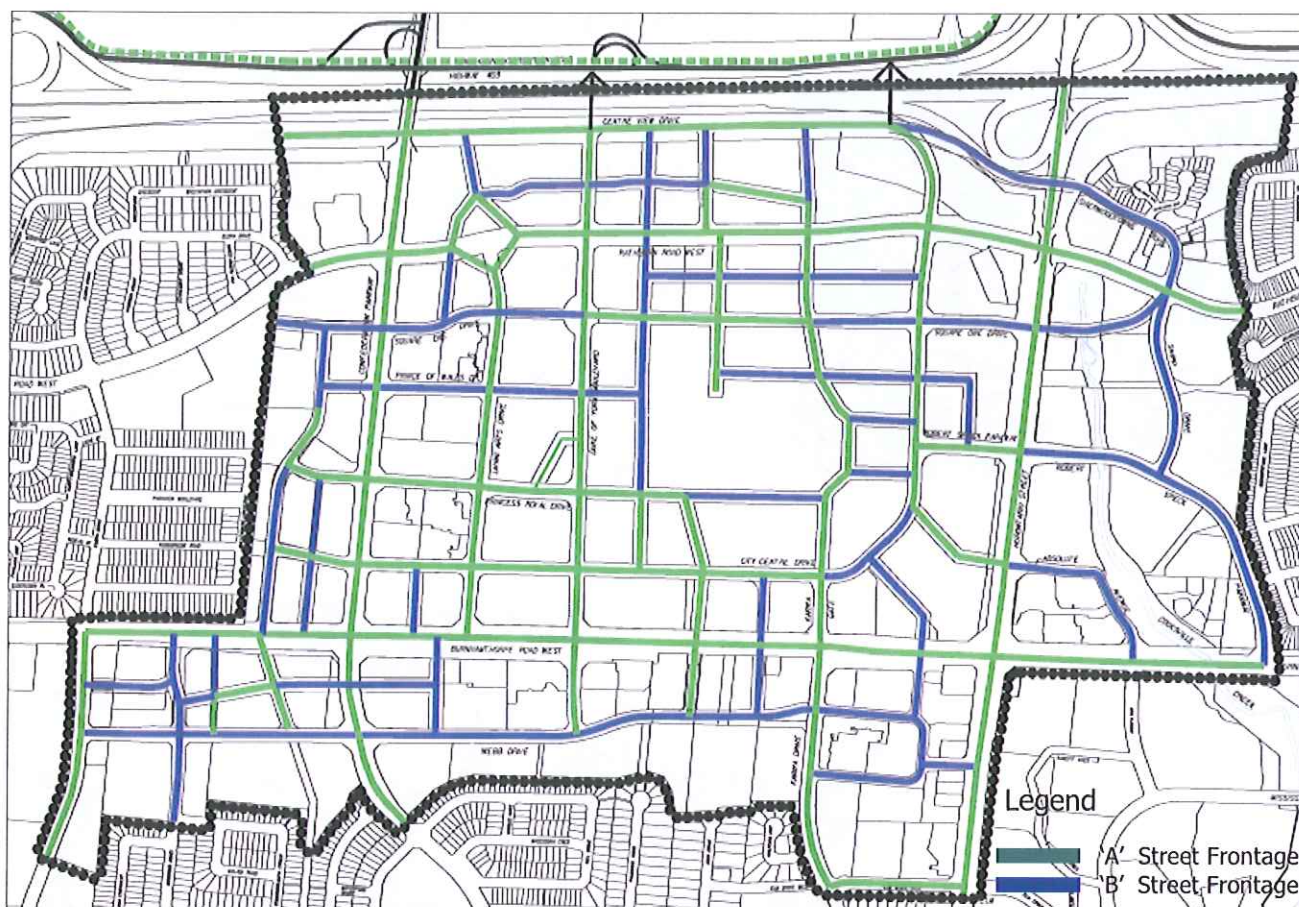


Figure 1: The Downtown Core Street Frontage Plan designates the frontage type for all existing and new streets in the Downtown Core. There are two categories - 'A' & 'B' Street Frontages. Refer to Downtown Core Local Area Plan policies and schedule.

4.0 Downtown Core Street Frontages

The City of Mississauga's Downtown Core vision (Downtown21 Master Plan) proposes new public streets to augment the existing public and private street pattern, thereby creating a comprehensive and interconnected urban grid. This framework is shown in the Downtown Core Street Frontage Plan above (see Figure 1).

Categories of frontages differentiate the various streets in the Downtown Core according to their function, character and design. As such, all streets are categorized as 'A' and/or 'B' frontages. 'A' Street Frontages will require the highest attention to urban design, having a cohesive built form to achieve character and a vibrant pedestrian environment.

Similarly, 'B' Street Frontages are designed to ensure a quality pedestrian environment and high standard of built form, but provide defined locations for necessary access, delivery, service, loading and parking facilities serving development blocks.

In general, new development will follow specified standards for each street frontage type which prescribes how buildings (through their site design, streetwalls, built form treatments, etc.) individually contain and provide visual enclosure of the street or open space in order to collectively frame and animate the public realm.



If you design communities for automobiles, you get more automobiles. If you design them for people, you get walkable, liveable communities.

– Parris Glendening and Christine Todd Whitman

Petrosino Square, Manhattan, NYC.

For each type of street frontage ('A' and/or 'B') the standards outline specific design requirements for new buildings such as:

- Building Location and Streetwall Placement
- Access, Loading and Servicing
- Buildings Facing Open Space
- Buildings Containing Structured Parking
- Ground Floor Treatments
- Priority Retail Activation Streets
- Minimum Building Height
- Treatments for Building Facades and Streetwalls
- Tall Buildings; and
- Transition to Adjacent Development

The following sections set out the standards to be achieved for buildings along the frontage types in accordance with the Downtown Core Local Area Plan policies and the Downtown Core Street Frontage Plan:

THE FRONTAGE STANDARDS (cont'd)

5.0 General Standards for Buildings on 'A' & 'B' Street Frontages

Buildings are the most pronounced element of the urban fabric and create the sense of place. Buildings in the Downtown Core will shape and articulate the streets and open spaces by forming edges and streetwalls to establish definition and enclosure. Collectively, they create the pedestrian environment, frame the public realm and establish the urban setting. Common standards for 'A' and 'B' Street Frontages set up the urban framework for all development blocks in the Downtown Core.

The following standards will apply:

- G1** Locate build-to-line requirements (within build-to areas) on development blocks to inform the orientation and placement of buildings and streetwalls;
- G2** Coordinate build-to lines with adjacent properties in order to create consistent edges and street walls along frontages;
- G3** Locate buildings parallel to the street, with streetwalls placed at the build to line, to contain the street and provide enclosure;
- G4** Ensure a variation in set backs along the building frontages to articulate façade emphasis at the build-to-line, in order to allow for visual interest, accommodate outdoor patios, recessed entries and landscaped areas (*for setback provisions, refer to Section 5.1 Specific Standards for 'A' Streets and Section 5.2 Specific Standards for 'B' Streets*);
- G5** Buildings should incorporate active uses at grade, such as commercial and retail, to animate the public realm and pedestrian environment (*Also, refer to Section 7.0 Ground Floor Treatments*);



Figure 2: Buildings are located parallel to street to provide enclosure and definition of the street space.

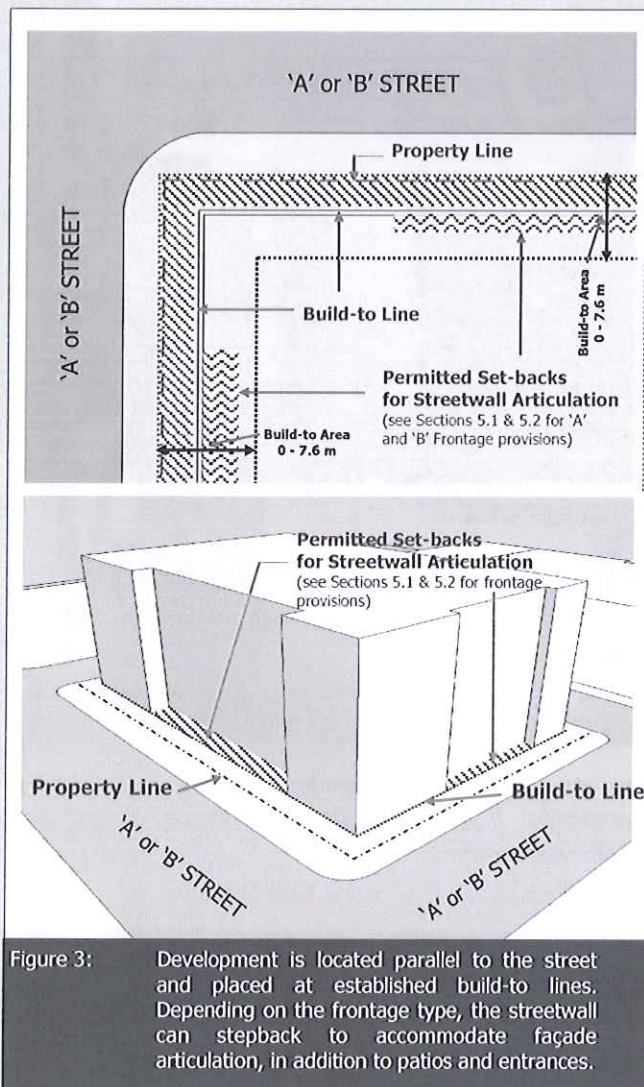
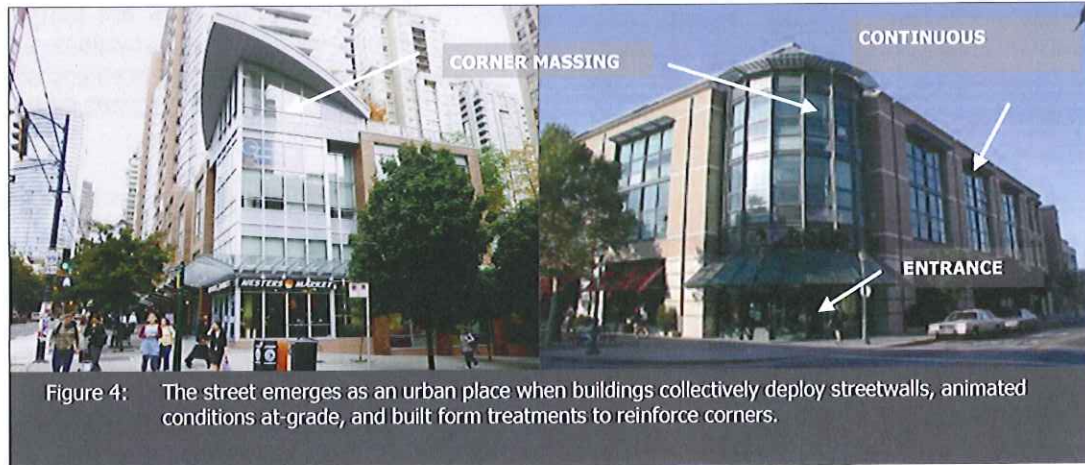


Figure 3: Development is located parallel to the street and placed at established build-to lines. Depending on the frontage type, the streetwall can stepback to accommodate façade articulation, in addition to patios and entrances.

- G6** Ground floor uses will incorporate transparent windows;
- G7** Locate main entrances flush with the public sidewalk;
- G8** Ensure site designs relate to and interface with existing, proposed and future transit stops and facilities;
- G9** Locate main building entrances so that they are clearly identifiable and prominent with direct access to the public sidewalk, pedestrian connections and transit facilities;
- G10** Where appropriate, provide corner entrances to buildings located at prominent intersections and/or gateways;

G11 Balconies may not protrude into the public realm, but may extend as far as the build-to line;

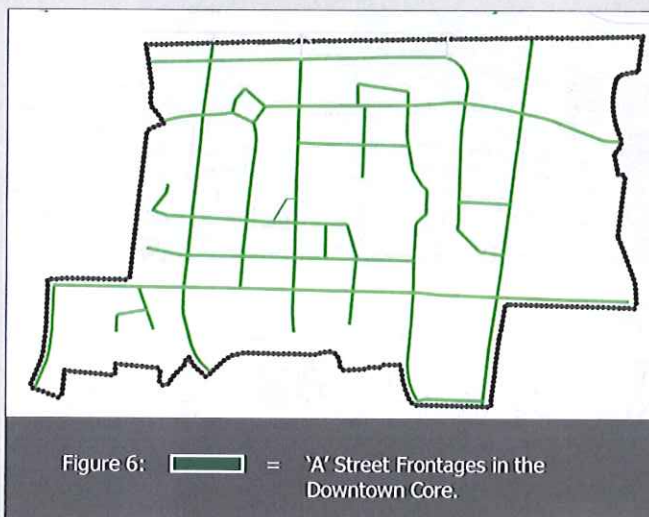
G12 Below grade parking structures will not protrude into the public realm, but can extend as far as the property line provided that a clearance of 1.5 m is provided between the top of the parking structure slab and sidewalk.



THE FRONTAGE STANDARDS (cont'd)

5.1 Standards for Buildings on 'A' Street Frontages

'A' Street have a critical role and function in the Downtown Core. They are the most important for securing animation and character, a comfortable pedestrian environment with access to sunlight and sky views, street activity and vibrancy. Development fronting onto 'A' Streets will require the greatest attention to urban design, ensuring a cohesive built form and streetscape treatment to achieve the highest standard in the execution of the public realm.



The following standards will apply:

- A1 Provide continuous buildings along development blocks fronting onto 'A' Streets to provide continuity of built form from one property to the next;
- A2 A minimum of 90% of a property's frontage is required to be occupied by the streetwall at the build-to line;
- A3 Development will be prohibited from locating curb cuts, driveways and laneways on 'A' Streets;
- A4 A maximum of 25% (i.e. 25% of 90%) of the building frontage will be allowed to step back to a maximum of 4.5 m from the build-to line to allow for articulation of the streetwall, including provision for outdoor patios, recessed entries and landscaped areas;

- A5 Functioning main entrances to buildings will be provided on 'A' Streets. (Also, see Section 7.0 Ground Floor Treatment);
- A6 Ground floor elevations along 'A' frontages will have a minimum of 75% transparent vision glazing with views into the building; and
- A7 Where residential uses are permitted at the ground level, special provisions will apply for the design of unit entrances and setbacks (see Section 11.9 Design for at grade Residential Uses).

E-A3 Exceptions to Access on 'A' Streets:

Curb cuts, driveways and access may be provided on 'A'-Street frontages provided that:

- a site or block does not have access from a 'B' Street or other means of access, or if there is a requirement for emergency vehicle access; and
- impacts on the pedestrian environment are minimized through a high standard of design treatment consistent with the quality of the public realm.



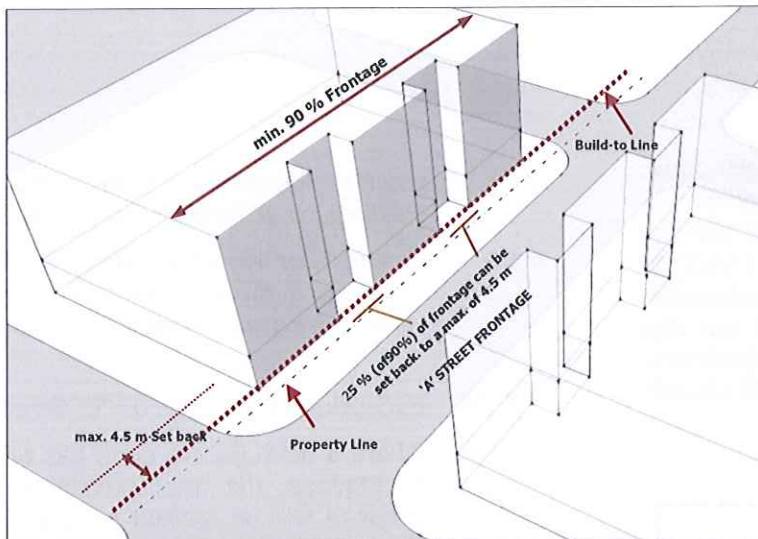


Figure 8: Illustration of a building streetwall positioned on 'A' Street frontages



Figure 11: Articulation of the façade along the build-to line provides visual interest at the street

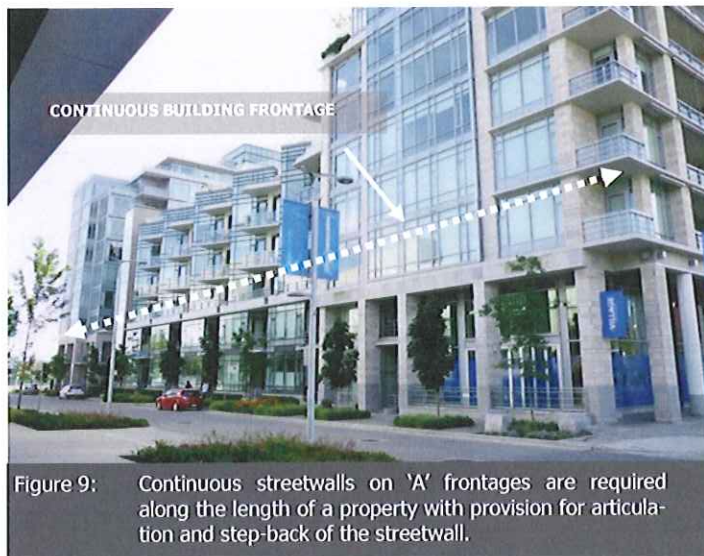


Figure 9: Continuous streetwalls on 'A' frontages are required along the length of a property with provision for articulation and step-back of the streetwall.



Figure 12: Variation and step backs along the street wall provide visual interest



Figure 10: Buildings follow the streetline and incorporate entrances at regular intervals with access to at-grade uses.



Figure 13: Principal entrances are clearly identifiable and articulated at the street frontage.

THE FRONTAGE STANDARDS (cont'd)

5.2 Standards for Buildings on 'B' Street Frontages

'B' Streets generally connect 'A' Streets to each other. In contrast to 'A' Streets, they provide development blocks with access for deliveries, garbage pick-up, service and loading, including vehicular access to structured and off-street parking within development sites. It should be noted that 'B' Streets are also intended to support a pedestrian environment, integrating a high standard of urban design to support street activity.

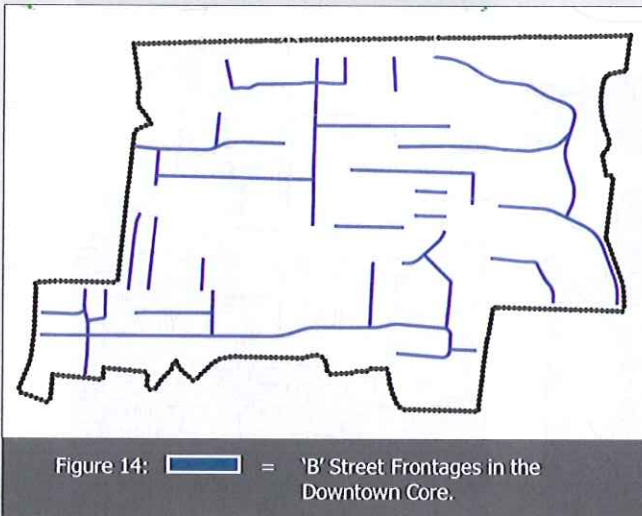



Figure 14:  = 'B' Street Frontages in the Downtown Core.

The following standards will apply:

- B1** 'B' Streets will have buildings along development blocks, with provision for vehicular access to off street parking, access for deliveries, garbage pick-up, servicing and loading (*refer to Section 5.3 Design for Access, Parking, Service and Loading*);
- B2** A minimum of 75% of a property's frontage is required to be occupied by the streetwall at the build-to line;
- B3** A maximum of 15% (i.e. 15% of 75%) of the building frontage will be allowed to step back to a maximum of 3.0 m from the build-to line, to allow for articulation of the streetwall, including provision for outdoor patios, recessed entries and landscaped areas;

B4 Provide functioning main entrances to buildings on 'B' Street frontages; and

B5 Ground floor elevations along 'B' frontages will have a minimum of 50% transparent vision glazing with views into the building.

E-B4 Exceptions to Access on 'B' Streets:

Where a development block has an 'A' and 'B' frontage, the most prominent building entrance will be located on the 'A' Street frontage.

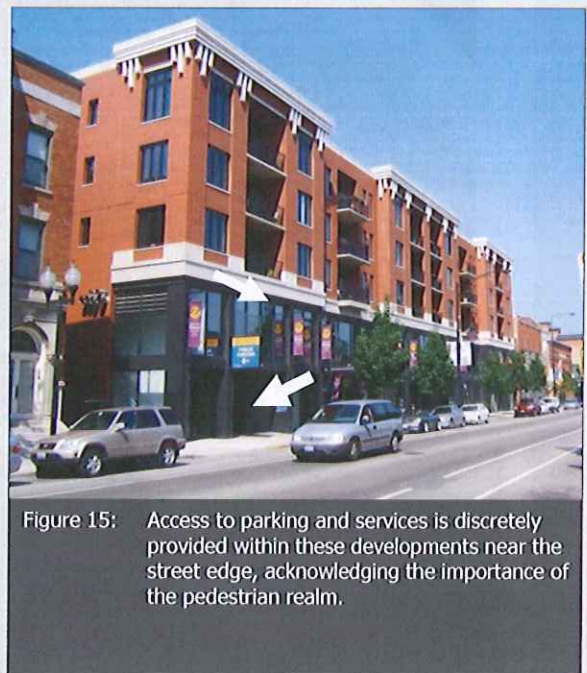


Figure 15: Access to parking and services is discretely provided within these developments near the street edge, acknowledging the importance of the pedestrian realm.

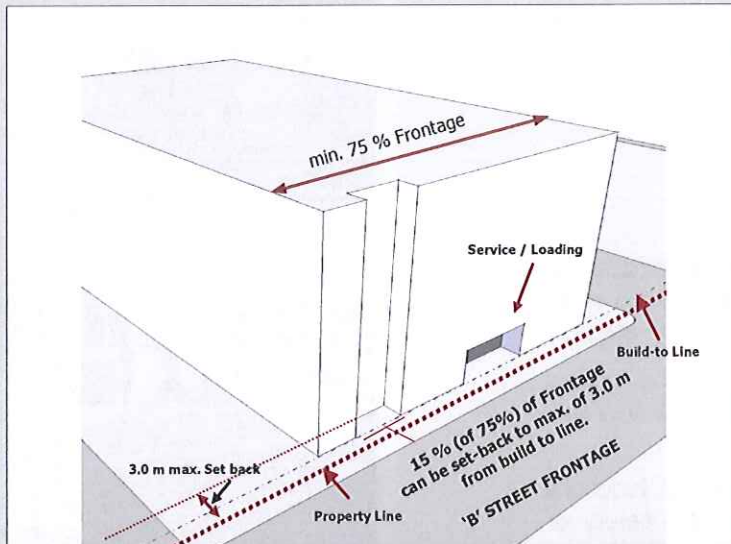


Figure 16: Illustration of a building streetwall positioned on a 'B' Street frontage.



Figure 17: 'B' frontages in the Downtown Core allow for service, loading and access, but are also envisioned to be pedestrian oriented with an attractive character.



Figure 18: Access to below grade parking is discretely executed at grade without compromise to the pedestrian environment or manner in which the building relates to the street.



Figure 19: Functioning principal entrances can be accommodated on 'B'-Streets subject to the Frontage Standards.

THE FRONTAGE STANDARDS (cont'd)

5.3 Design for Access, Parking, Service and Loading ('B' Streets)

Access for loading, garbage, parking and servicing to buildings will be located on 'B' Streets (*for exceptions, refer to Section 5.1, 'Standards for Buildings on 'A' Frontages'*). In general, new development will coordinate the location of service areas for delivery, parking, loading and garbage pick-up and will reduce vehicular interruptions along the public street in order to improve the aesthetic appeal of the streetscape.

The following standards will apply:

- SL1** Service, parking and loading should be coordinated on sites by providing consolidated locations that can serve a number of buildings simultaneously from one area;
- SL2** Loading, garbage and service spaces will be located internal to the building to avoid noise and visual impacts;
- SL3** Loading, servicing, other vehicular related functions and utilities will not detract from the use, safety or attractiveness of the pedestrian and public realm by:
 - incorporating special architectural treatment;
 - using soft and hard landscape treatments to screen loading and servicing areas; and
 - providing safe levels of illumination and lighting.
- SL4** The height required for overhead loading for bulk refuse within a collection area should conform to the Region of Peel's standards for overhead clearance;

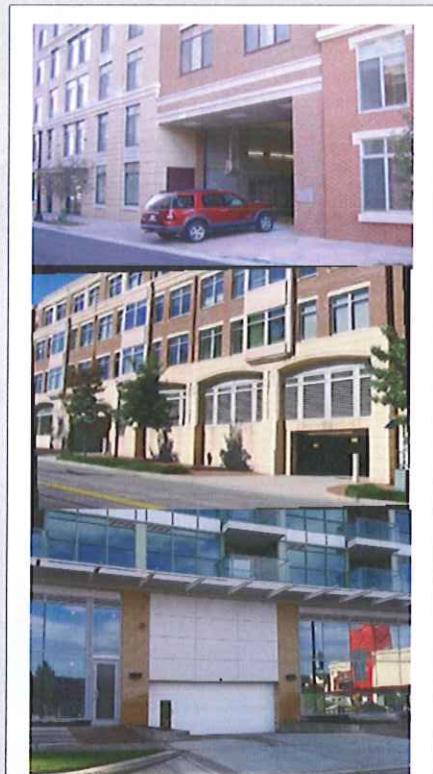


Figure 20: Above / Below - Vehicular access for loading, servicing and parking is designed in a compact fashion and integrated with the building façade.



6.0 Buildings Facing Parks and Open Space

New buildings which front onto, or have proximity to parks and open space will require special attention to their frontage treatments and architectural design in order to achieve the kind of character, sense of place and pedestrian experience warranted for these important elements of the public realm.

The following standards will apply:

- OS1** If the build-to line of a development fronts onto the edge, or street adjoining a public park or open space, then 'A' frontage requirements will apply (*refer to Section 5.1 'Standards for Buildings on 'A' Frontages'*);
- OS2** Building frontages along parks and open spaces will have uses on the ground floor to animate and/or activate the frontage such as retail, commercial and/or residential uses;
- OS3** Buildings which surround, have proximity, or front -onto parks and open space will have the highest level of architectural expression, articulation and use of materials;
- OS4** At grade level residential uses fronting onto parks and open space will have individual unit entrances in order to animate the street environment (*refer to Section 11.9 Design for At grade Residential Uses*);
- OS5** Parking structures or surface parking lots will not be permitted to front onto or address parks and open spaces; and
- OS6** The design of building massing will protect for maximum sun exposure onto parks and open space. (*Refer to Section 11.5 & 11.6 Tall Buildings - 'Site / Park Orientation'*).

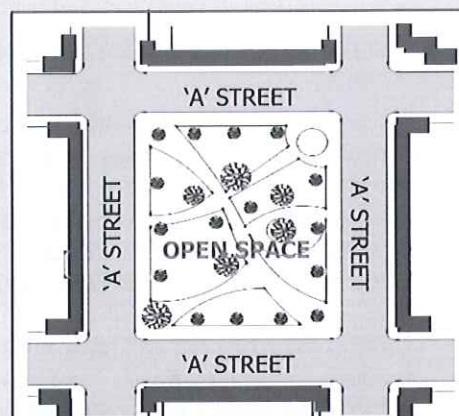


Figure 21: The facades of buildings that address open space will be treated like 'A' frontages, incorporating the highest level of architecture, articulation and use of materials.



THE FRONTAGE STANDARDS (cont'd)

7.0 Ground Floor Treatments

7.1 General Standards for Retail Uses (All Streets)

To ensure well designed ground floors, at-grade conditions incorporating retail uses must be carefully executed in order to animate the street edge and support the pedestrian experience. The following standards will apply to all streets in the Downtown Core (inclusive of those identified in Section 7.1 Retail Activation Streets):

- GF1** Ground floor heights will be a minimum of 4.5 metres (floor-to-floor, measured from established grade) to accommodate retail and commercial uses with windows that correspond to the height of ground floors;
- GF2** The primary entrance to each street-level tenant space that has its frontage along a public street will be provided from that street;
- GF3** Where retail units occupy prominent corner locations, design units to:
- address the corner with well designed, animated storefronts that wrap the corner; and
 - incorporate corner entrances;
- GF4** Entrances to retail and commercial tenant spaces will be operational, flush and directly related to the grade of the public sidewalk;
- GF5** Entrance doors to retail units should be recessed within storefronts in order to minimize conflicts between door swings and pedestrians;
- GF6** Ensure that ground floors containing storefronts articulate:
- a strong sense of rhythm and pattern collectively across frontages;
 - subtle recesses and reveals to create depth and visual interest; and
 - assist pedestrians with spatial perception, orientation and accessibility along retail frontages.



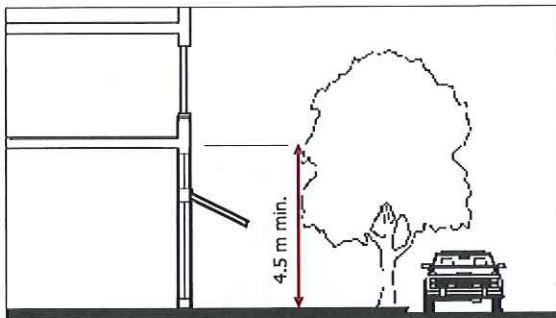


Figure 22: The ground floor of retail and commercial uses will have a minimum height of 4.5 m.



Figure 23: Storefronts when well executed promote a vibrant street life and the pedestrian experience.

GF7 At grade retail and commercial uses will incorporate the highest standard of storefront design consisting of:

- Durable, high quality materials such as wood, metal (steel and anodized aluminium, etc), glass, natural stone and brick;
- Clear transparent windows and doors that allow for views into and out of storefronts;
- Dark tinted, reflective or opaque glazing or 'appliqué lifestyle' panels placed on storefront windows are not permitted in the Downtown Core; and
- Elements such as mullions, glazing bars and transoms to help frame, divide and define storefront window sections and apertures;

GF8 When part of a larger single development or individual tenancy, provide coordinated and consistent signage and lighting that integrates with the storefront design, and which compliments or acts as an extension of the buildings architectural character;

GF9 The incorporation of architectural cantilevers, fixed canopies, awnings or similar features into a proposed development will be provided in order to achieve pedestrian scale, comfort and weather sheltered pedestrian routes. These should compliment the architectural character of the building and be made of highly durable materials, extending a min. of 1.5 m to a max. of 2.75 m, protrusion beyond the retail edge and/or into the public sidewalk area (refer to Figure 25); however, such installations should not conflict or interfere with any streetscaping elements or public realm treatments;

GF10 Where appropriate, patios and outdoor amenity space should be provided adjacent to retail/commercial frontages or entrances to promote activation of the street and vibrancy; and

GF11 Patios should have a depth of at least 2.5 m. and can be recessed into the building as part of the permitted setback from the build-to line, or placed beyond the build-to line along the spill-out zone providing that there is sufficient space. A clear sidewalk width is required to ensure pedestrian traffic flow is not disrupted.

THE FRONTAGE STANDARDS (cont'd)

General Standards for Ground Floor Treatments

DESIGN for STOREFRONTS

Buildings incorporating at grade commercial and/or retail uses will be designed to ensure that such uses will be directly related to the public sidewalk and will incorporate operating entrances, doorways and storefront windows oriented to the street; along with signage and lighting to provide animation, interest and variety in the streetscape.

Min Height of
Ground Floor

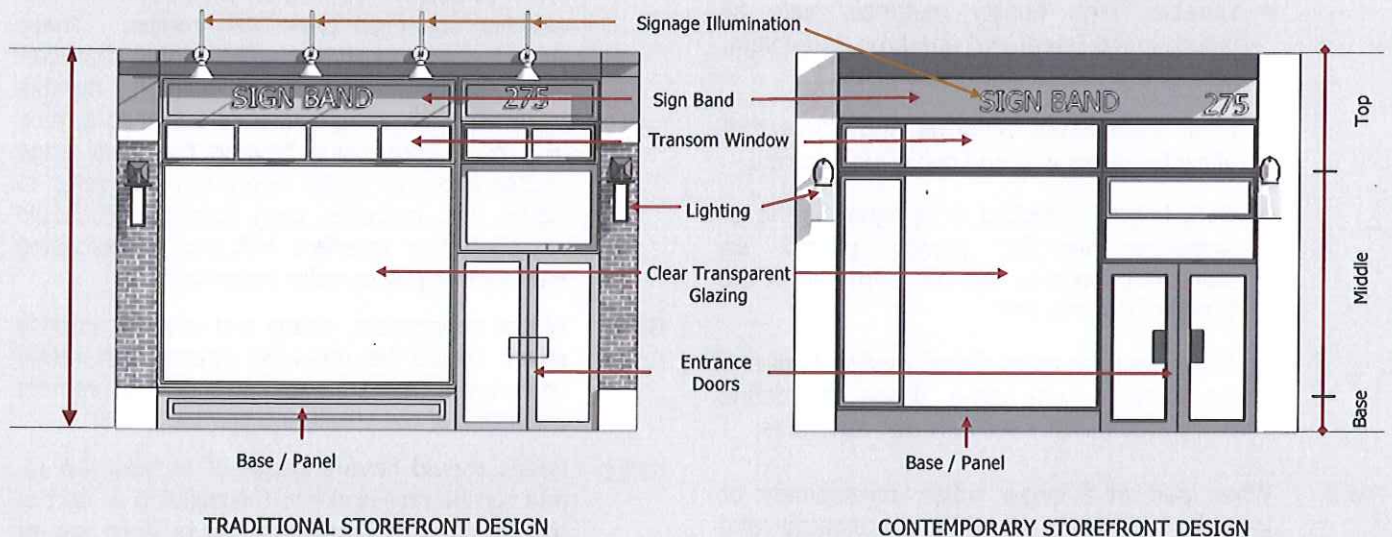
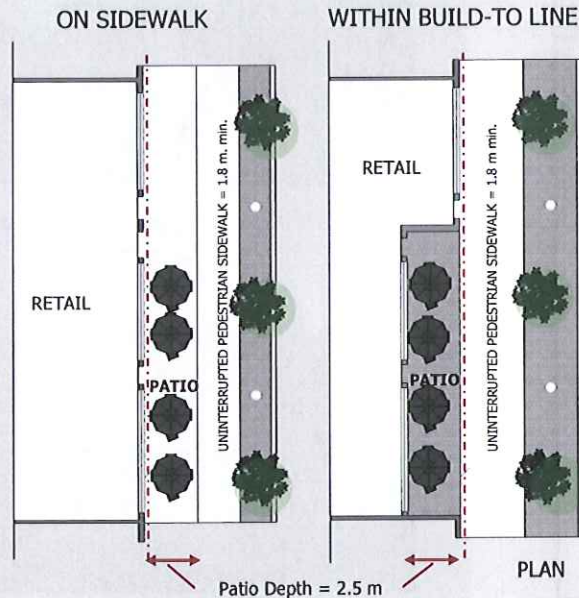


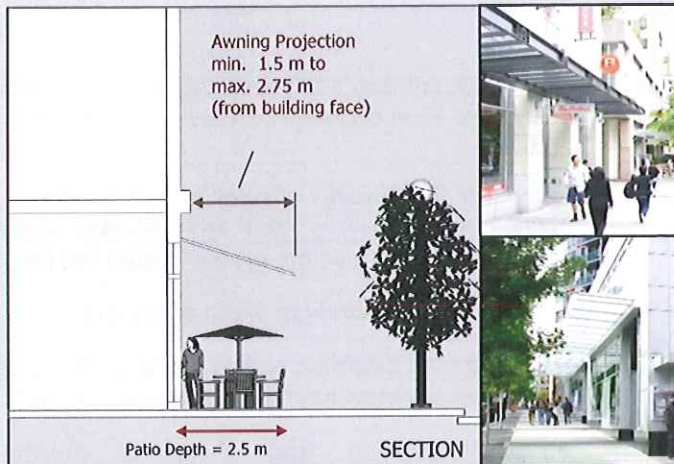
Figure 24: Storefronts can incorporate a variety of styles and character to animate the street edge. When well-executed, they contribute to the identity of the street and make retail and commercial frontages inviting and accessible to pedestrians.

General Standards for Ground Floor Treatments

DESIGN for OUTSIDE PATIO AREAS & PEDESTRIAN COMFORT



Patios can be recessed into the building as part of the permitted setback at the build-to frontage, or placed beyond the build-to line along the 'shy zone' providing that there is sufficient space and where pedestrian traffic flow is not disrupted.



Developments will incorporate architectural cantilevers, fixed canopies, awnings or similar features in order to achieve pedestrian scale, comfort and weather sheltered pedestrian routes. These should complement the architectural character of the building and be made of highly durable materials.



Patios and amenity space should be provided adjacent to retail /commercial entrances to promote activation and street vibrancy.



Figure 25: Design elements such as awnings and patios extend from storefronts to activate the street and create the urban experience for pedestrians.

THE FRONTAGE STANDARDS (cont'd)

Downtown Core Retail Activation Street Plan

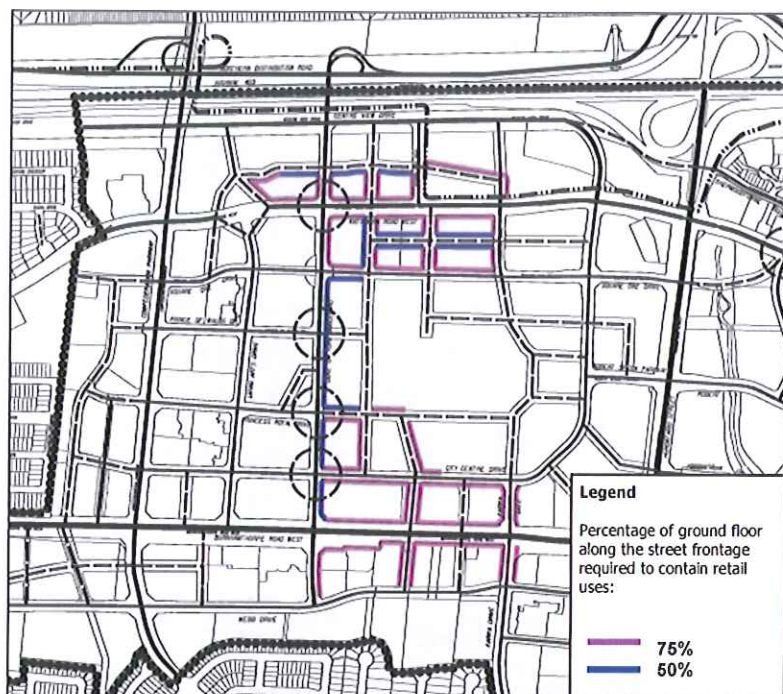


Figure 26: The Retail Activation Plan identifies retail objectives in the Downtown Core for existing and new streets. Also, refer to Downtown Core Local Area Plan - Retail Activation Policies and Schedule.

7.2 Retail Activation Street Standards

Existing and new streets in the Downtown Core have been identified for the purpose of establishing retail objectives within mixed use buildings. The Retail Activation Plan (shown above) identifies districts and areas of focus for which retail has been determined to be a strategic priority, setting out requirements for the amount of at-grade retail to be achieved on ground floors (corresponding to 75% or 50% minimum requirements).

In addition to the standards outlined in Section 7.0 'Ground Floor Treatments for At-grade Retail Uses', the design of units fronting onto Retail Activation Streets in the Downtown Core will:

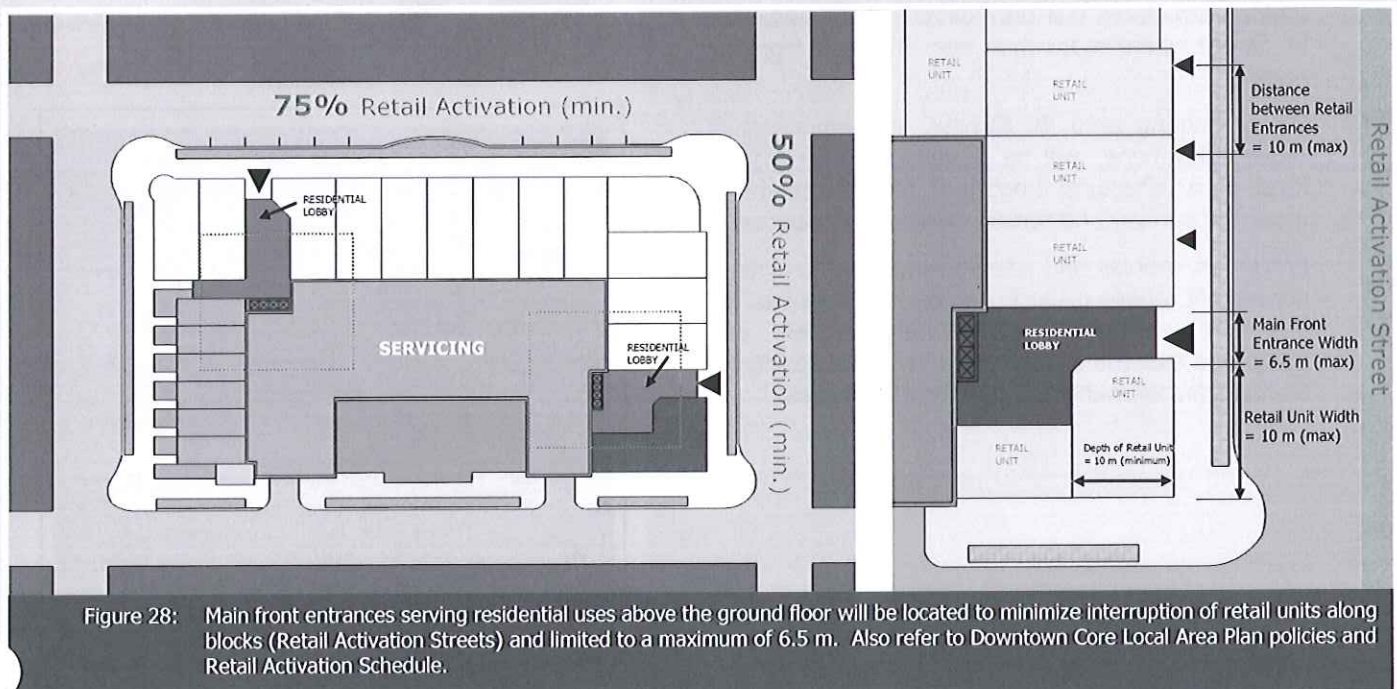
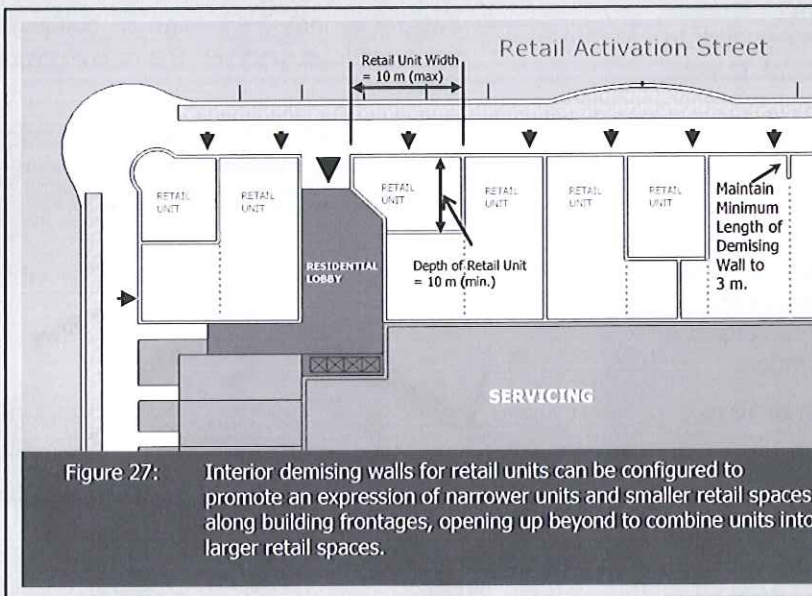
- RA1 Provide narrow storefronts to a maximum unit width of 10 m;
- RA2 Have a minimum unit depth of 10 m;

RA3 Design the entrances to retail units to a maximum spacing of 10 m between successive storefronts; and

RA4 To ensure the integrity of retail activation streets, main front entrances and lobbies that serve residential uses above the ground storey will be:

- limited to a maximum width of 6.5 m.;
- located to establish and reinforce patterns of access between blocks of development; and
- positioned so that there is minimal interruption of retail units along the block.





8.0 Design for Structured Parking Facilities on 'A' and 'B' Street Frontages.

Parking facilities will have an important role to play in supporting key uses, attractions and urban amenities in the Downtown Core. In general, development will locate structured parking and vehicular access to minimize impacts on the property and on surrounding properties and to improve the safety and attractiveness of adjacent streets, parks and open spaces.

The following standards will apply:

- P1** Parking structures will not directly front onto 'A' Streets, but will be entirely screened by 'liner' buildings incorporating a mix of uses between the parking structure and street space in accordance with Section 5.0 – 5.1 for 'A' Street Frontages;
- P2** Liner uses should have a minimum depth of 10 m.;
- P3** On the ground floor, parking structures will have active uses such as commercial or retail services with an appropriate scale and architectural expression to support activity on the streets, including those fronting onto parks and/or open spaces (*refer to Section 7.0 . Ground Floor Treatments*);
- P4** Parking structures will only directly front onto one 'B' Street where more than one 'B' street frontage exists;
- P5** When fronting onto 'B' Streets, parking structure façade elevations will be designed to the highest level of architectural treatment and animation to mask the parking and screen views of the interior;
- P6** Entrances, lobbies and passageways that provide a convenient means of access to parking facilities will be fully enclosed, appropriately signed and integrated into the façade design without appearing as dominant elements on the street frontages;

P7 At grade exhaust vents serving structured parking facilities will be:

- located to minimize negative impacts on the public realm; and
- integrated into the design of buildings, expressed as part of the architectural character.

P8 Consult the PEEL CPTED (Crime Prevention Through Environmental Design) Guidelines for the Design of Parking Garages.

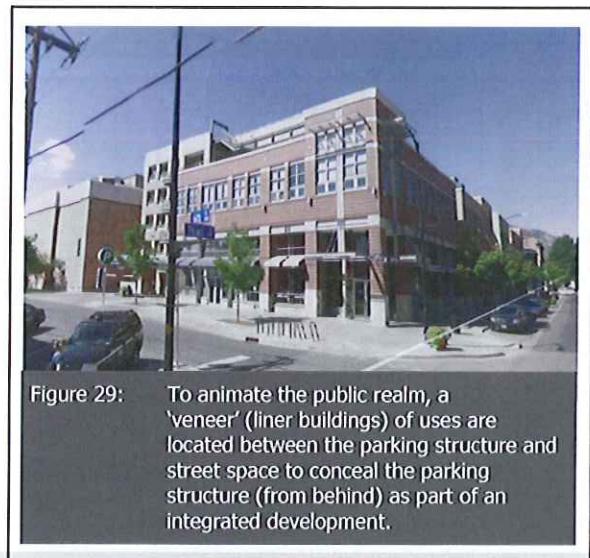
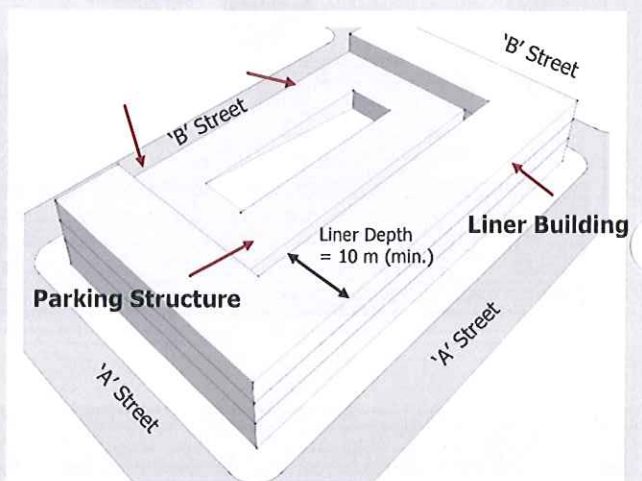


Figure 29: To animate the public realm, a 'vener' (liner buildings) of uses are located between the parking structure and street space to conceal the parking structure (from behind) as part of an integrated development.



Figure 30: Facades that are articulated with architectural treatment to resemble authentic buildings, and/or more animated approaches are used to mask structured parking (applicable to 'B' Streets).



Figure 31: A typical condition for a 'B' frontage in which at grade retail is incorporated at the base and the structured parking above is enclosed by façade treatments to screen the stalls and interior parking areas.



BUILDING DESIGN STANDARDS

9.0 Minimum Building Height

Mississauga's vision to urbanize the Downtown Core is intended to provide, a compact, mixed-use urban form that puts people in close proximity to jobs, transit, and a broad range of uses and urban amenities. To achieve this, a minimum building height of three storeys needs to be deployed to ensure the most efficient use of land and to create a pedestrian environment through street walls that contain the street and supports transit. In a downtown environment, one-storey temporary format buildings, such as big-box retail or entertainment facilities, served by surface parking, are examples of building typologies which are inefficient, suburban and do not lend themselves to creating a pedestrian friendly environment.

The following standards will apply:

BH1 All new buildings in the Downtown Core must achieve a minimum height of 10.7 metres (3 Storeys) both at the street frontage and across the entire area of the building.

N.B. Applicants should also refer to 'A' and 'B' frontage standards concerning build-to requirements, building placement, step-backs, etc.

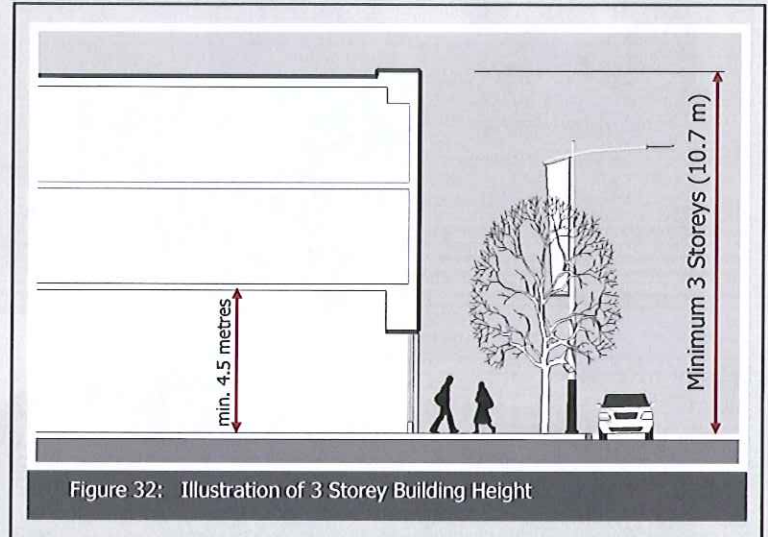


Figure 32: Illustration of 3 Storey Building Height



Figure 33: A 3 Storey mixed-use building with active ground floor retail/commercial uses contains the street and provides a comfortable pedestrian scale.

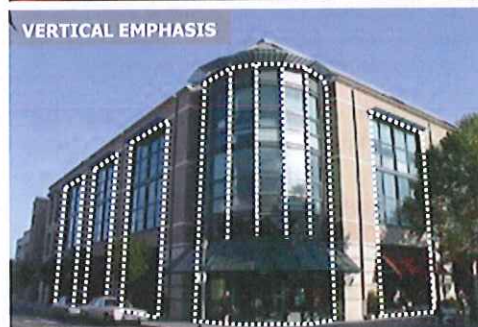
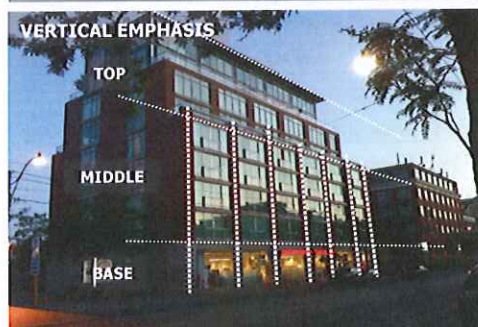


Figure 34: Buildings deploy a tri-partite configurations (base, middle and top), including horizontal and vertical expression lines to support and reinforce pedestrian scale aspects and an expression well suited to urban environments.

10.0 Streetwall and Building Façade Treatments

To ensure that development in the Downtown Core provides a strong sense of urbanity, the following built-form treatments will be incorporated into the design of buildings:

BF1 Mitigate the perception of large buildings and long frontages by:

- ensuring buildings and their streetwalls are well proportioned to address human scale;
- incorporating variation or special massing; and
- providing a change in materials, textures, patterns, colours and details on building frontages to create a sense of smaller scale buildings;

BF2 Ensure that the design of streetwalls in mixed-use buildings deploy:

- **Base** - to strongly define the at grade level;
- **Middle** - to define the upper storeys; and
- **Top** - to express the termination of the streetwall at the roof-line, parapet, related floor juncture or storey, in a way that articulates the expression and character of the building;
- Elements that accentuate floor and/or ceiling junctures and transitions between subsequent storeys. The should include horizontal expression lines, such as belt-courses, cornices, banding(s) or architectural treatments integrated into the streetwall expression;

BF3 Establish a rhythm, with frequency and articulation, across the streetwall by deploying elements that are vertically oriented and scaled to the pedestrian to include:

- all forms of fenestration, including transparent windows, apertures, bow, bay, storefronts, dormer and monitor-style windows; and
- pilasters, engaged columns, recesses, reveals, expression lines or other architectural treatments to create interest for the pedestrian and which serve to break up elongated facades.

BF4 Consider incorporating a balance in the proportion of glazing to solid wall materials in the design of facades in order to achieve pleasing symmetries and legible asymmetries;

BUILDING DESIGN STANDARDS (cont'd)

- BF5** Design corner lot buildings with special massing and architectural treatments on both streets to give prominence along the frontages and visually distinguish these sites;
- BF6** Express principal building entrances with a height, proportion and level of articulation that is compatible with the ground floor storey height, so that entrances are visible and serve as focal points for orientation and access from the street (*also, see Section 5.0 - 5.2, 'A'/'B' Standards for Street Frontage*);
- BF7** Incorporate upgraded doors for entrances, including egress and fire exit doors fronting onto streets;
- BF8** Design balconies to be recessed and/or architecturally integrated into the design of the building façade incorporating high quality materials, balustrades and railings;
- BF9** Integrate, conceal and screen roof top equipment into the complete building design;
- BF10** Deploy a hierarchy of materials with solid, or 'heavier' materials located closer to the ground as a means to visually anchor the building to grade;

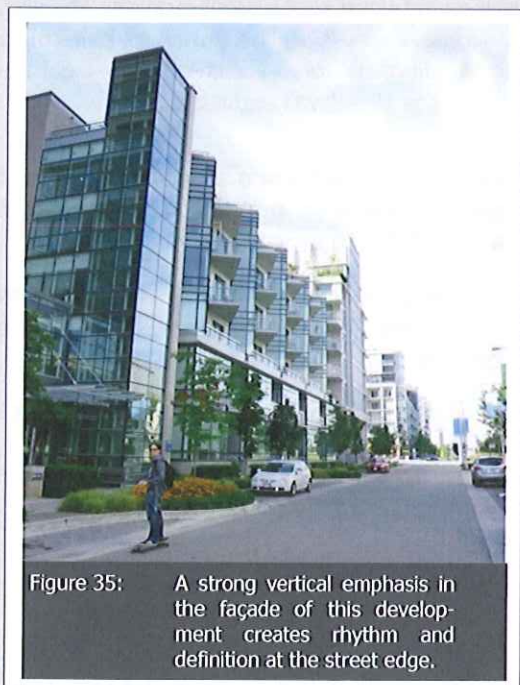


Figure 35: A strong vertical emphasis in the façade of this development creates rhythm and definition at the street edge.



- BF11** Construct building exteriors from enduring, natural materials such as clay brick, stone, metal, glass and wood in order to create durable buildings;
- BF12** Building materials such as stucco, metal siding, embossed face brick panels, vinyl, and EIFS (Exterior Insulation Finish Systems) are not to be used in the Downtown Core;
- BF13** Consider using building materials that are energy efficient and/or those that have been re-used or recycled (*Please consult the City of Mississauga's Green Development Standards for sustainable approaches and further direction*);
- BF14** Building signage will be visually integrated with the development as sign-bands or fascia signs, and as an extension of the building's architectural expression;
- BF15** Except for wayfinding signage and commemorative plaques, pylon and stand-alone signs are not permitted in the Downtown Core; and
- BF16** Ensure that utilities, meters, gas pipes and other building services installed on the ground plane do not negatively impact the presentation or scenic quality of existing or proposed development in the Downtown Core.

TALL BUILDING STANDARDS

11.0 Tall Buildings ~ Overview

Tall buildings characterize a good part of the Downtown Core and have a role to play among other building types and land uses in the emerging downtown context.

Tall buildings are accompanied with significant civic obligations and responsibilities compared to other structures in the built environment. Spatially, they articulate the city pattern and urban structure, while visually reinforcing the civic importance of the Downtown Core and the image of the City as a whole.

Tall buildings must consider location, placement, relationship to the street, height ranges, built form qualities, architectural treatment and their ability to enhance the pedestrian environment by minimizing shadowing of the public realm. They need to protect important views, impacts on cultural resources and be able to accommodate a range of uses and support for transit. Tall buildings must also ensure that fundamental quality of life aspects are provided for, such as access to natural light, sky views and privacy for those that live, work and visit the Downtown Core.

11.1 Massing Standards

Tall buildings in the Downtown Core will be designed to consist of three parts:

Podium

The Podium will enclose and provide definition and appropriate scale for adjacent streets, parks and open spaces, and integrate with adjacent buildings and address the impacts of parking, loading and servicing uses.

The Podium includes the street level to midrise portion of the development which includes the streetwall. The Podium will be designed in accordance with the frontage and massing standards set out in this document.

Middle Shaft (Tower)

The floor plate size and shape of the middle shaft (tower) will be designed with appropriate dimensions for the site; the middle shaft will be located and oriented on the site and in relationship to the Podium and adjacent buildings.

Towers above the Podium height are governed by the massing standards which provide direction on slenderness, orientation and separation.

Top

Design the top of the tall building to contribute to the skyline character and integrate roof top mechanical systems into the design.

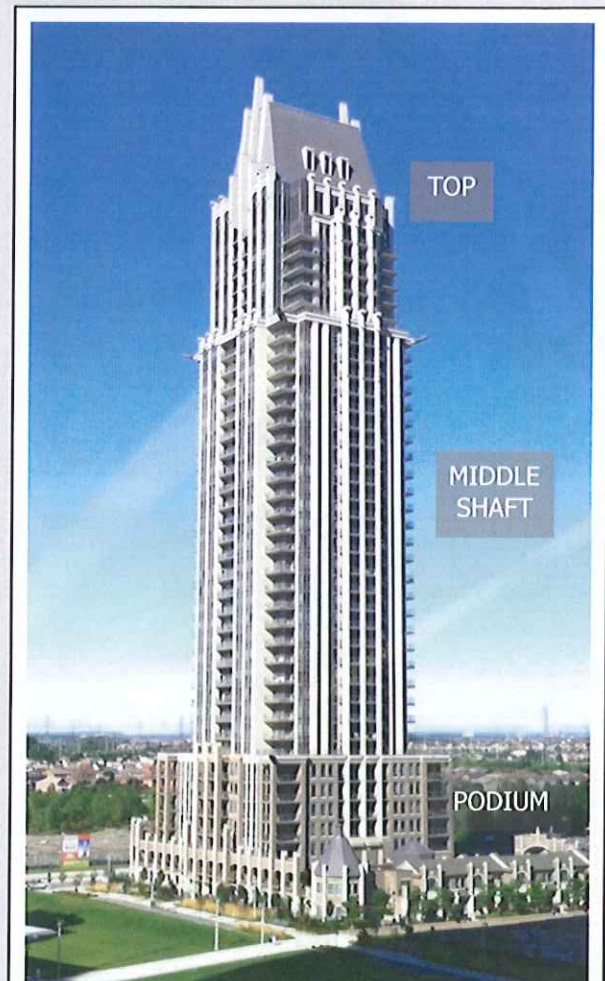
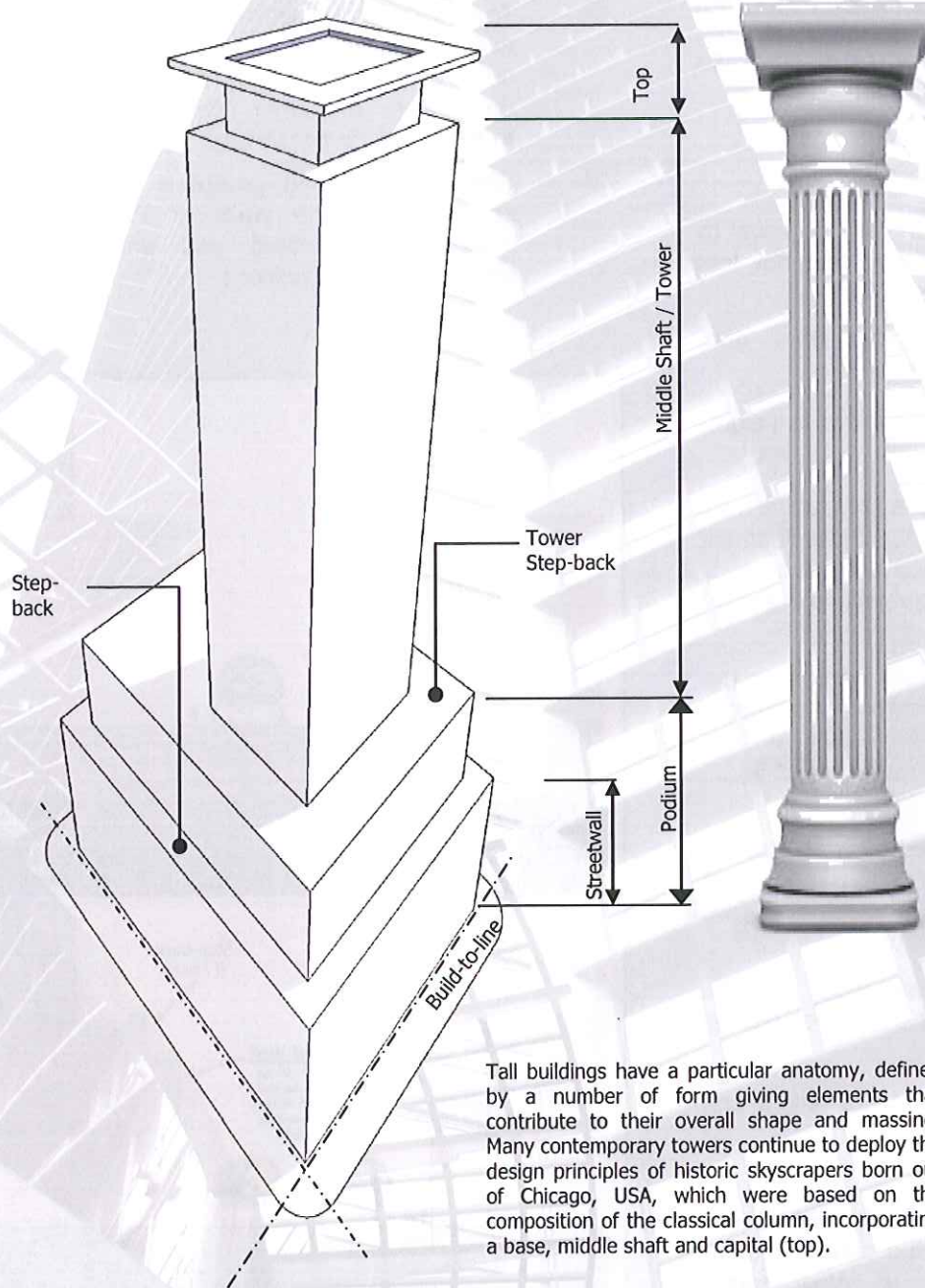


Figure 36: The tripartite form of the Tall Building is well articulated in this Downtown Mississauga Development.

TALL BUILDING ANATOMY



Tall buildings have a particular anatomy, defined by a number of form giving elements that contribute to their overall shape and massing. Many contemporary towers continue to deploy the design principles of historic skyscrapers born out of Chicago, USA, which were based on the composition of the classical column, incorporating a base, middle shaft and capital (top).



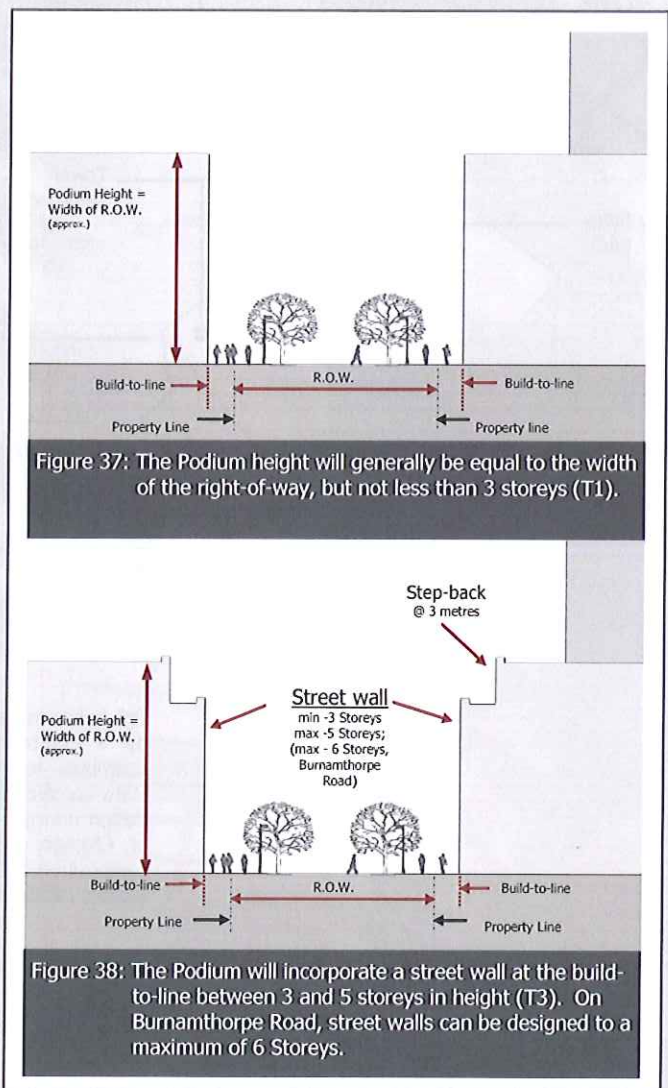
11.2 Podium Design

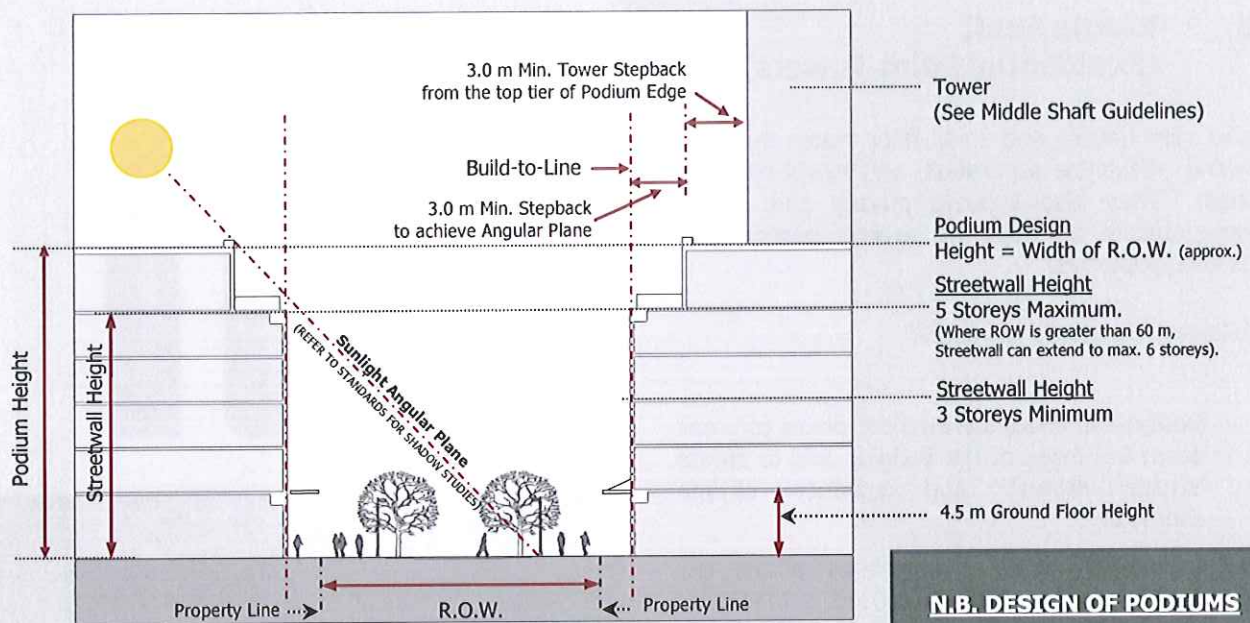
The design and placement of the podium requires careful consideration in terms of its role in helping to contain the street and achieving pedestrian scale qualities. Podiums will need to consider appropriate height in relation to the street right of way, streetwalls, and step-backs at the upper storeys, including ways in which sunlight can reach sidewalks to support a light-filled, vibrant public realm.

The following standards will apply:

- T1** The podium height will generally be equal to the width of the right-of-way, but not less than 3 storeys (refer to Figure 37);
- T2** The design of Podiums that front onto Burnamthorpe Road should:
- not be less than 6 storeys in height; and
 - have a height that is compatible with the podiums of adjacent development (existing or proposed and where they exceed 6 storeys) subject to Standard 'T5';
- T3** To support a pedestrian scale and contain the street, Podiums will also incorporate a street wall placed at the build-to-line, having a minimum of 3 storeys to a maximum of 5 storeys in height.
- T4** Where right-of-ways exceed 60 m, the street wall can be increased to a maximum of 6 storeys in accordance with Standard 'T2' (refer to Figure 38 and 39);
- T5** Podiums and their street walls will be articulated and massed at the upper storeys using step-backs to:
- mitigate the perception of height and create a comfortable scale for pedestrians;
 - maximize sunlight on the public realm in accordance with the parameters set out in the *City of Mississauga's Standards for Shadow Studies*;
 - mitigate the effects of wind on the pedestrian environment.

- T6** Step backs of 3.0 m will be applied to the street wall and podium design in order to achieve the angular plane (Refer to City of Mississauga Standards for Shadow Studies);
- T7** Towers should be set back a minimum of 3.0 m from the top tier of the Podium edge in order to establish a clear definition between the podium and tower (Refer to Figure 39 for illustration of Podium Design).
- T8** When Tall Building proposals are phased, ensure that party walls of Podiums are architecturally treated and enhanced to address interim conditions.





N.B. DESIGN OF PODIUMS

Applicants will be required to demonstrate how proposals achieve the podium design in relation to the corresponding width of the Right-of-Way. As such, the City of Mississauga Standards for Shadow Studies shall be consulted to establish appropriate streetwall heights and sunlight provisions for the public sidewalk.

Figure 39: Podium Massing - To support a pedestrian scale and contain the street, podiums will incorporate a street wall placed at the build-to-line. Together, these elements will mitigate the perception of height and create a comfortable scale for pedestrians using step backs to maximize sunlight on the public realm in accordance with the *City of Mississauga's Standards for Shadow Studies*.



Figure 40: Podiums when well designed and executed contribute positively to the pedestrian environment.

11.3 Middle Shaft (Residential Point Towers)

Compact slim towers and small floor plates minimize shadowing, maximize separation, and views between buildings. They also improve privacy and reduce overlook impacts on adjacent streets, parks, open spaces and properties.

The following standards will apply:

- T9** Design and articulate the floor plates to break down the mass of the building and to create 'street interest' and enhance skyline character;
- T10** Residential tower floor plates above the podium height will not exceed a maximum area of 850 m² (gross, inclusive of internal elevator cores, servicing and circulation components) and should be designed to achieve proportionately slender tower profiles based on the suggested guideline:
- 0 - 30 Storeys = 750 m² (gross)
 - 0 - 40 Storeys = Up to 800 m² (gross)
 - 0 - 50+ Storeys = Up to 850 m² (gross)
- T11** Provide a minimum spatial separation of 30 m between towers to maximize access to sky views, natural daylighting, adequate privacy, minimize wind conditions and collective shade on the streets, parks and open spaces;

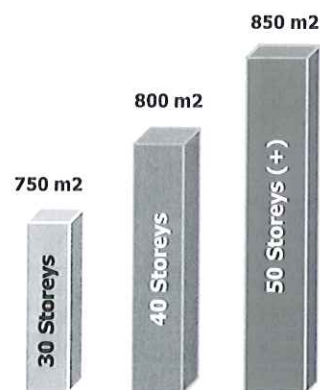


Figure 41: Slenderness & Floor Plate — Compact slim towers with small floor plates minimize shadowing, maximize separation and views between buildings, and reduce privacy and overlook impacts. To achieve the objective of compact slimmer towers, yet allow for tower massing flexibility, floor plates above the podium will be designed to a maximum of 850 m² (gross). See 'T9'.

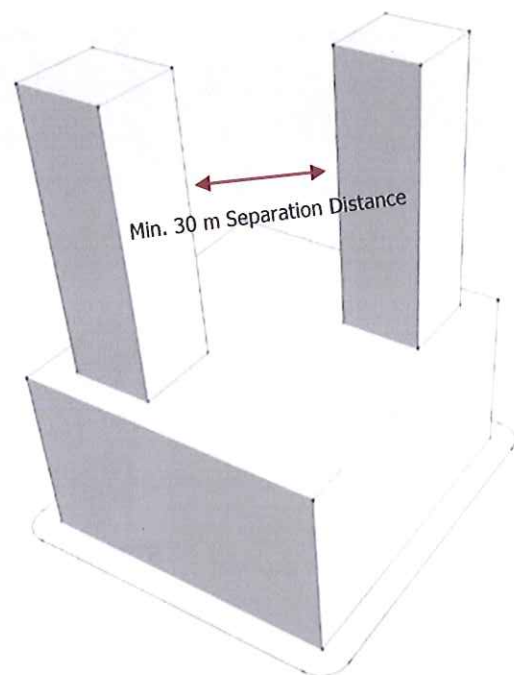


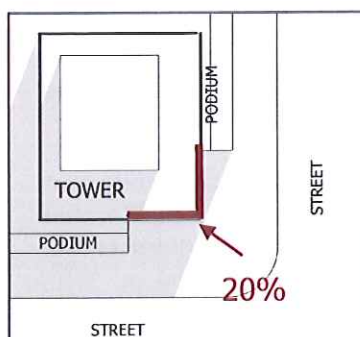
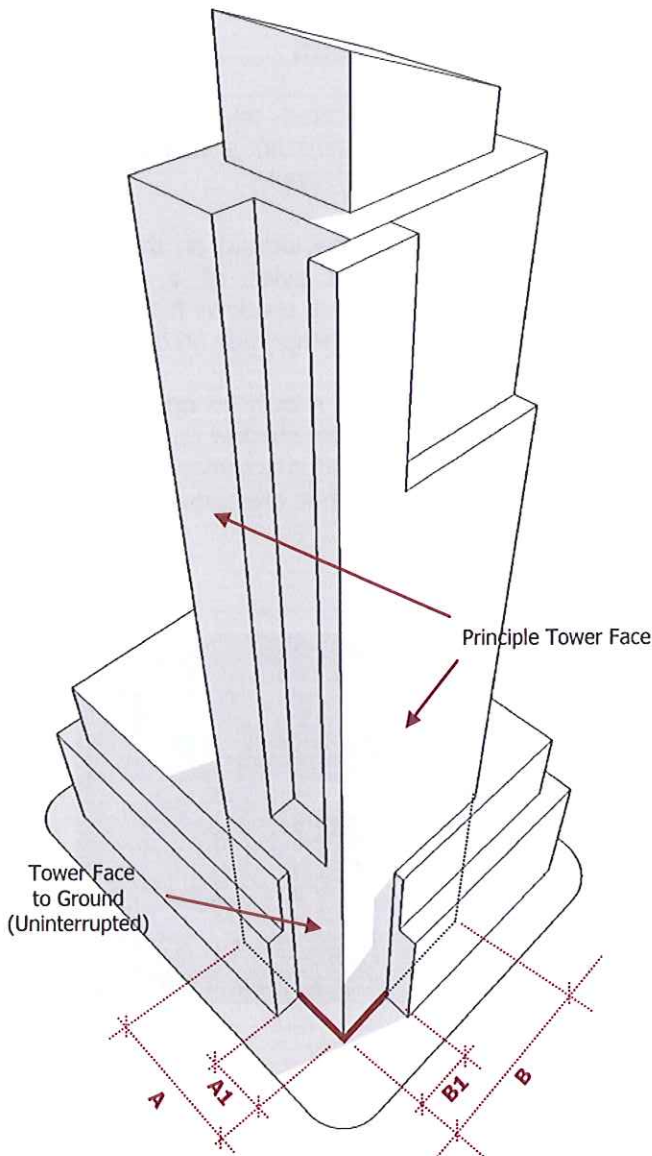
Figure 42: Tower Separation — Spacing towers with minimum separation will minimize collective shade and sunlight impacts of closely-spaced towers on streets, parks and adjacent residential buildings. This will also achieve increased access to sky views and natural lighting as well as increased privacy. The minimum spacing between point towers will be a minimum of 30m.



11.4 Uninterrupted Tower Shafts

To allow for different tower expressions and juxtaposition of form in the Downtown Core, a portion of the tower shaft may vertically extend down to grade in order to allow for an uninterrupted tower expression when incorporated into a podium or larger development scheme, subject to the following:

- T12** A maximum of 20% of the principle tower face may extend to grade without interruption by a Podium. Refer to Figure 40 for calculation of maximum allowable area of Uninterrupted Tower Shaft;
- T13** The placement of the tower should not overshadow and impact sunlight on the public sidewalk;
- T14** The setback to accommodate an uninterrupted tower shaft will count towards the allowable setback set out by the frontage standards for 'A' and 'B' Streets (see Section 5.1–5.2, *Street Frontage*);
- T15** When deployed at corner locations, the exposed at grade portion of the tower will be designed to create a highly animated and active condition, with entrances, in order to positively reinforce and celebrate the corner;
- T16** Tall building proposals must demonstrate that uninterrupted tower treatments do not introduce significant wind impacts on the pedestrian realm by virtue of the tower location itself;
- T17** Introducing design elements at-grade to mitigate the effects of wind that are integrated with the architecture of the building or landscape design.



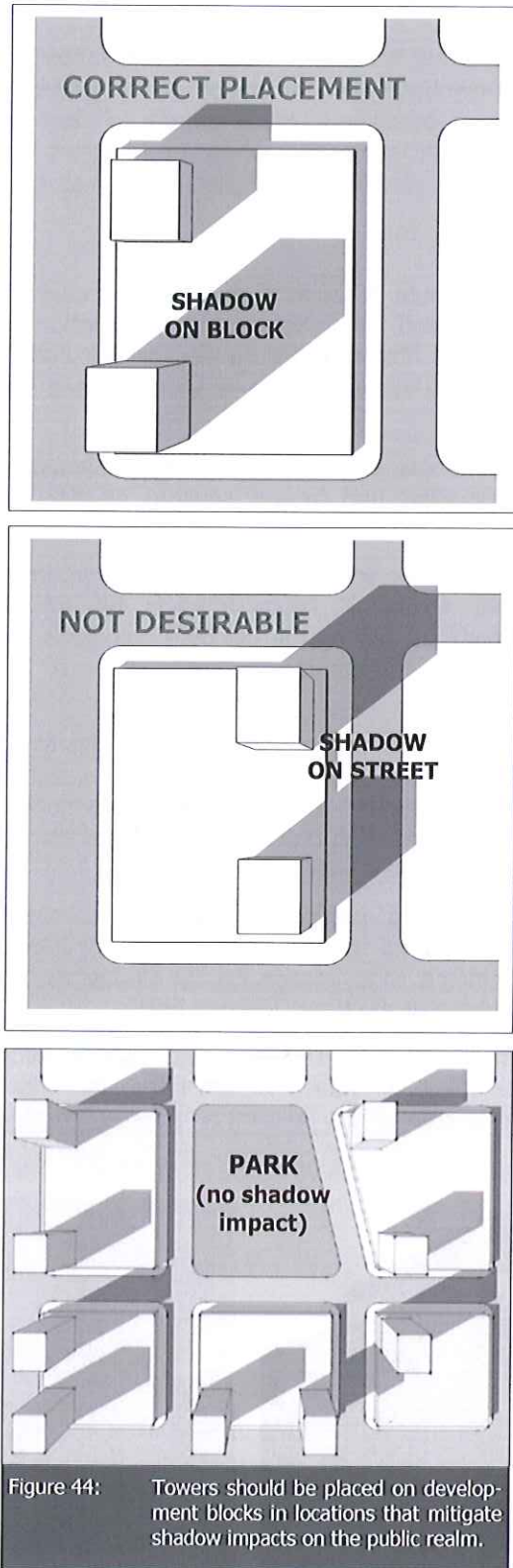
The maximum exposed Tower Face is calculated as follows:

$$\frac{A1 + B1}{A + B} \leq 20\%$$

Where:
A and B = Length of Principle Tower Faces
A1 and B1 = Exposed Face of the Tower (Uninterrupted)

Figure 43: Calculation of uninterrupted tower shafts.





11.5 Site Orientation

Point towers should be located on their sites to minimize shadow impacts on adjacent streets and open space. The following standards apply:

- T18** Point towers should be located on the north-west and south-west sides of a block or development site so that shadows fall primarily within the block itself rather than on the street;
- T19** Elongated floor plates should be oriented in a manner which minimizes shadow impacts - this should be demonstrated in accordance with any sun/shadow studies that are required by the City;



11.6 Park Orientation

- T20** Locate towers to minimize shadow impacts on adjacent parks and open spaces;
- T21** For blocks on the southeast and southwest sides of a park, towers should be located on the farthest side of the block from the park;
- T22** For blocks on the northeast and northwest sides of a park, point towers should be located on the southeast and southwest sides of the block;
- T23** Buildings abutting or facing onto parks and open spaces will establish a maximum podium height and point tower location/massing that maximizes opportunities for sunlight exposure in accordance with the *City of Mississauga's Standards for Shadow Studies*;



Figure 45: Delineate the top of the tower with a change in architectural detail and have the top meet the sky with a distinctive profile.



11.7 Tower (Roof) Top

Towers contribute to the image of the Downtown Core. The tops of towers should be designed as distinctive elements against the skyline, when seen from the street or from a distance. Moreover, a well-designed roofline creates opportunities for views to distinctive landmarks, including orientation and wayfinding.

- T24 Design the uppermost floors of the tops of tall buildings to achieve a sculptural or distinctive profile;
- T25 Design the tops of tall buildings to integrate and screen the mechanical penthouse function and other roof top units into the complete building design;
- T26 Use materials, finishes and patterns that are consistent with the overall building design and architectural expression;
- T27 Incorporate ways in which the roof top expression can be subtly illuminated and enhanced with architectural lighting effects during evening hours;

11.8 Built Form Compatibility & Transition to Adjacent Development

Taller buildings should be sited and organized to provide a desirable transition to adjacent lower form buildings and open space. They should also ensure compatible relationships between buildings of differing scale through adequate spatial separation.

Where a significant difference in scale exists between building heights, development will be required to deploy transition strategies through massing and built form, to achieve a harmonious relationship between proposed and existing development, and/or adjacent open spaces.

The following standards will apply:

- T28** Consider the size of the development area and the planned intensity of the use;
- T29** Consider the context of adjacent low scale development and other aspects such as the street width or adjacent open space;
- T30** Where a proposed development incorporates multiple buildings, design the buildings to step down in height from high to low, and where it abuts lower scale development;

- T31** For large properties, use an angular plane of 45 degrees from the closest property line of lower scaled residential development, or open space, to determine the minimum setback and height of a building within a development;
- T32** For single properties, deploy a stepping down of the building height and mass to achieve a transition to adjacent lower scale development or open space;
- T33** Design the development to address the impacts of shadow, sky-views and how sunlight can be maximized on the private and public realm;
- T34** Where a group of buildings and/or spaces act collectively to create a special architectural context (i.e. related by similar scale, heights, materials, colours, architectural character, landscaping and open space patterns or qualities) ensure that proposed infill development respects the context by deploying a strategy for building height that is compatible, and which positively contributes to the existing and/or anticipated pattern of development;
- T35** Tall building proposals will not compromise important view corridors or silhouettes associated with the Mississauga Civic Centre/City Hall;

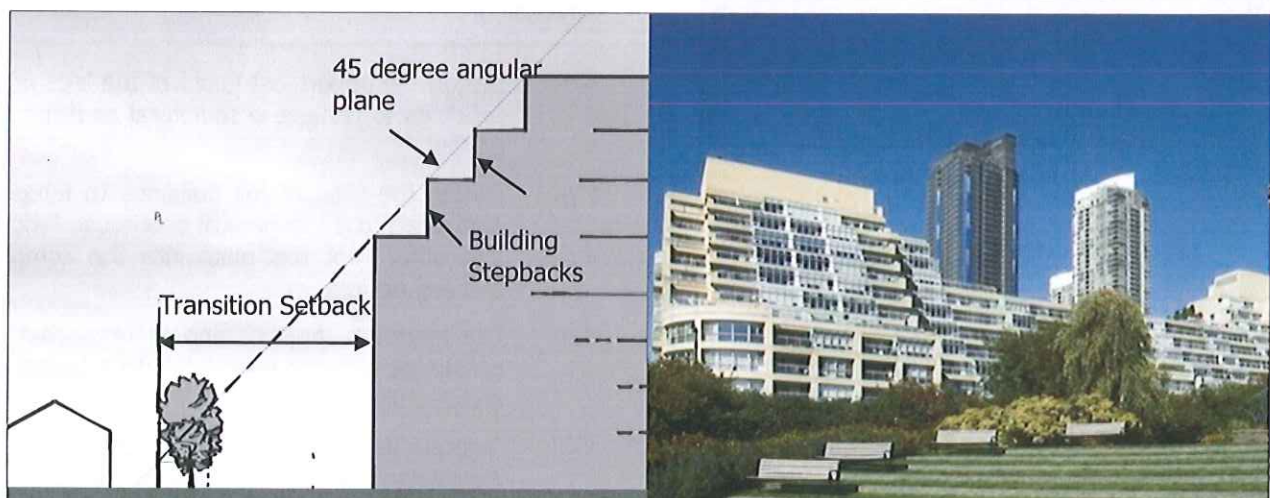


Figure 46: Taller buildings will mitigate height through step-down built form treatments in order to transition to adjacent lower scale development or open space.

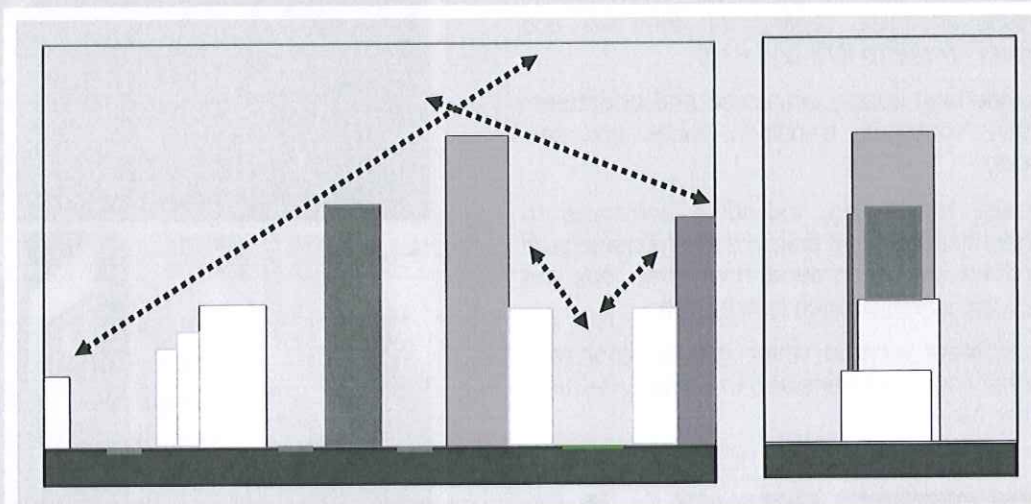
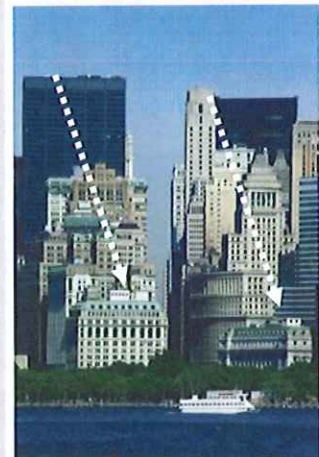


Figure 47: A progression in building heights over large blocks and areas can achieve more orderly arrangements and patterns in the built environment. Heights can be used to articulate and define the highest and most intense use of land, to the least intensive of uses.



11.9 Design for At Grade Residential (Horizontal Multiple Units)

Tall building proposals can integrate townhouse-form (horizontal multiple units) buildings to define edges, open space, streets and mews.

The following standards apply to townhouse form portions associated with tall buildings:

- T36** Create a high quality interface and transition between the public sidewalk and front door to ensure adequate separation, definition and privacy; (refer to RT5 and RT6)
- T37** Provide high quality landscape and treatments within frontages, transition zones and set-backs;
- T38** Provide functioning, individual entrances to residential units and animate the frontage with windows on the ground floor that look out onto the street or open space; and
- T39** Incorporate ways in which ground floor residential uses may transition to commercial uses in the future;



Figure 48: Above - Townhouse units address the street and incorporate landscaped transition areas between private individual entrances and the public sidewalk.

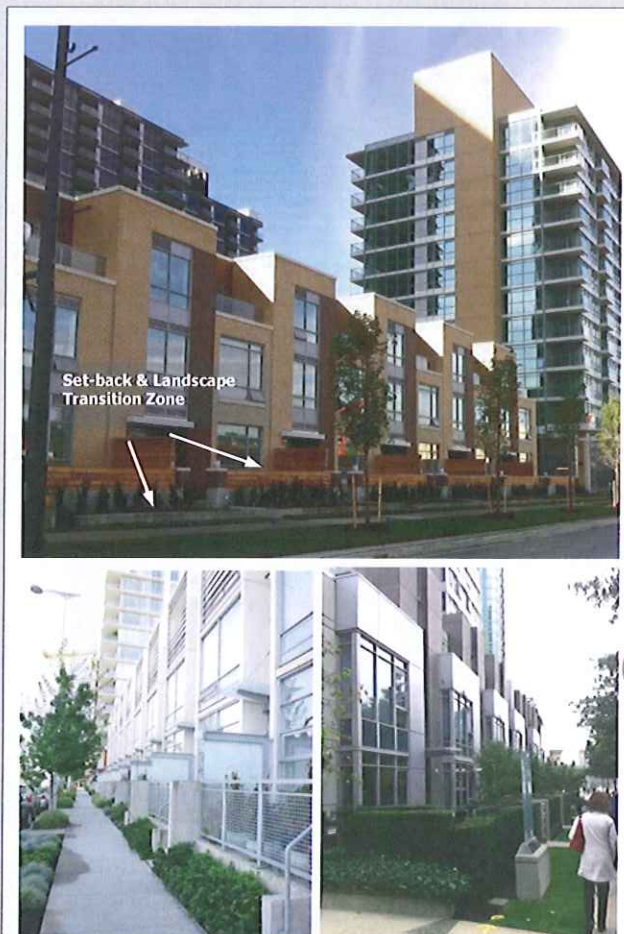


Figure 49 Examples of landscape treatments within transition zones.

T40 Standard Design for Raised Residential Units

- Provide individual unit entrances from the sidewalk;
- Incorporate a minimum setback of 3.0 metres, which includes front steps (maximum 6 risers) and porch;
- Buffer to include architectural and landscape treatments such as a raised planter, low fencing or landscaping to augment the transition zone; and
- The ground floor should be raised between 0.9 – 1.2 metres above the sidewalk level;

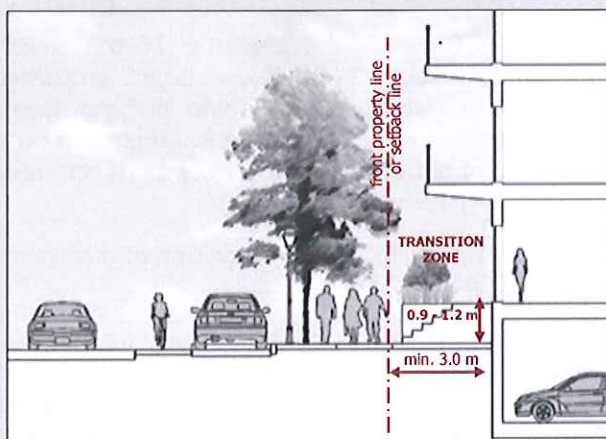


Figure 50: Approach I: Residential uses are elevated above the ground floor, but directly linked to the public sidewalk through individual points of access serving each unit.

T41 Standard for Grade Related Residential Units

(Including Retail Conversion as a Potential Future Use)

- Provide individual unit entrances that are grade related, with a direct connection to the public sidewalk;
- Incorporate a minimum setback of 4.5 metres;
- Buffer to include architectural and landscape treatments such as a raised planter, low fencing or landscaping to augment the transition zone; and
- Incorporate a minimum floor-to-floor height (ground floor to second floor) of 4.5 metres.

N.B. The City of Mississauga recognizes that there may be other approaches which achieve similar objectives for the conversion of at grade residential development to commercial/retail uses. These will be considered and assessed for their merit at the application stages.

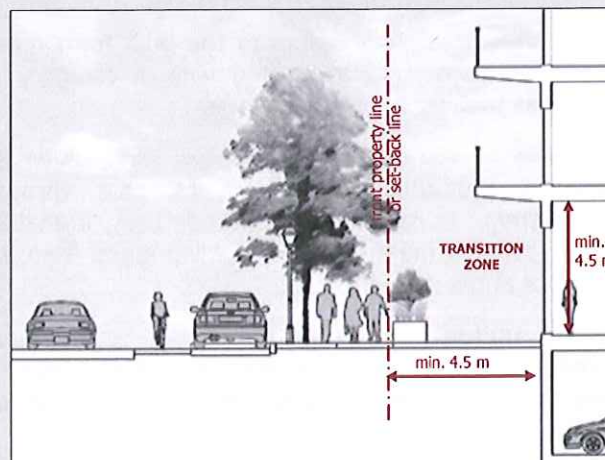


Figure 51: Approach II: Residential uses are located at the same level of the public sidewalk, with individual entrances, but designed for potential conversion to retail and or commercial uses.

GLOSSARY

Articulation - architectural detail that refines and gives a building interest and added richness.

At grade - refers to the uses located at the ground storey, and generally the manner in which they are expressed or articulated to positively support the public realm.

Build-to-line - a designated line placed within the build-to area on a development block which informs the placement and orientation of the streetwall or building.

Built form - buildings and structures.

Compatible/Compatibility - when the density, form, bulk, massing, height, setbacks and/or materials of buildings are able to co-exist in harmony with their surroundings.

Curb cut - a break in the curb for vehicular access from the street onto a property.

Façade - means one or more exterior sides of a building, which may front onto or face a public space such as a street, park, access, etc.

Frontage Design - Refers to the built form urban design requirements associated with a category of frontage such as 'A' or 'B' frontage.

Glazing - clear or transparent glass windows whose physical attribute allows light to pass through completely. In reference to at grade uses, it enables views towards the inside of a building space from the exterior at the sidewalk level.

Liner Building - A liner building vertically places useable building space between a parking structure and the street space (build-to-line) in order to screen the parking from view.

Patio - an outdoor space generally used for dining that adjoins a restaurant, grocery store, coffee shop or café.

Pedestrian scale - a size of building, or space that a pedestrian perceives as not dominating or overpowering.

Main Building Entrance - The primary means of access which serves pedestrians, patrons and/or users of a building through a common entrance, internal lobby or vestibule that provides access to uses other than retail or commercial uses that are located at grade.

Podium - means the base of the building, structure or part thereof, located at or above established grade that project from the tower portion of the building.

Public realm - the streets, parks and open spaces that are available for any member of the public to access, use and enjoy.

Scale - the size of a building or an architectural feature in relation to its surroundings and to the size of a person.

Sidewalk - unobstructed pedestrian travel route generally situated within the public right-of-way.

Spill-Out Zone - a space adjacent to storefront entrances where internal uses can spill out onto the public sidewalk or boulevard.

Streetscape - means the character of the street, including the street right-of-way, adjacent properties between the street right-of-way and building faces. Thus, the creation of a streetscape is achieved by the development of both public and private lands and may include planting, furniture, paving, etc.

Street frontage - the front and/or side of a property that faces an 'A' or 'B' street.

Streetwall - The façade of the building that defines the enclosure of the public space or street. It is defined through the use of a required step back at the upper storeys that articulates the building massing and establishes a consistent architectural line along the street frontage.

Step back - A required articulation of the building massing that helps establish the streetwall; it serves to reduce the appearance and bulk of the podium, mitigate the perception of height from the street and reduce shadow and wind impacts.

Storefront - the front of a store, or a room at the ground floor of a building that contains a display window at its front designed for commercial and retail uses.

Transit-supportive land uses - land uses that encourage transit use and transportation network efficiency.

N.B. Definitions in the Zoning By-law should be consulted and will take precedence over this Glossary.

[illegible]

DOWNTOWN CORE

Built Form Standards

A by-law to amend By-law Number 0293-2006, as amended, being
the Site Plan Control By-law.

WHEREAS pursuant to section 41 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, the council of a municipality may by by-law, designate the whole or any part of the municipality as a Site Plan Control Area, where in the Official Plan the area is shown or described as a proposed Site Plan Control Area;

AND WHEREAS The Corporation of the City of Mississauga enacted By-law 0293-2006, being a Site Plan Control By-law;

NOW THEREFORE the Council of The Corporation of the City of Mississauga,
ENACTS as follows:

1. By-law 0293-2006, as amended, being the City of Mississauga Site Plan Control By-law, is amended as follows:

- (a) Section 5 is amended by adding:

"(r) All development or redevelopment of lands shown on Schedule "12" attached to this By-law, subject to the following:

- (i) All applications for site plan approval made on lands as shown on Schedule "12" must provide such plans and drawings as required under Subsection 41(4) of the *Planning Act* which are consistent with the Built Form Standards, attached hereto as Schedule "12A".

ENACTED and PASSED this _____ day of _____ 2013.

MAYOR

CLERK