

**LEGEND**

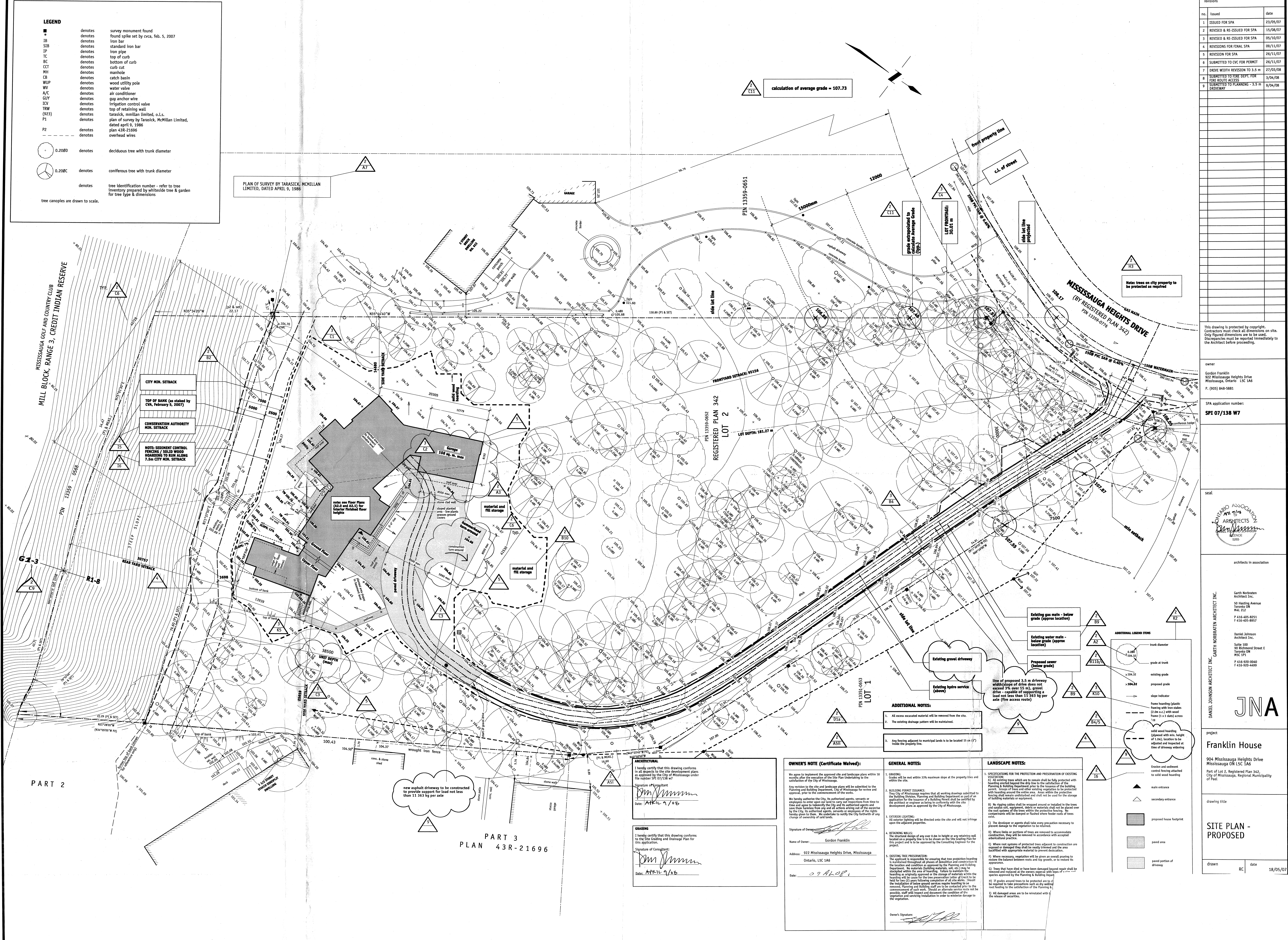
■	denotes	survey monument found
•	denotes	found spike set by cvca, feb. 5, 2007
IB	denotes	iron bar
SIB	denotes	standard iron bar
IP	denotes	iron pipe
TC	denotes	top of curb
BC	denotes	bottom of curb
CCT	denotes	curb cut
MH	denotes	manhole
CB	denotes	catch basin
WUP	denotes	wood utility pole
WV	denotes	water valve
A/C	denotes	air conditioner
GUY	denotes	guy anchor wire
ICV	denotes	irrigation control valve
TRW	denotes	top of retaining wall
(923)	denotes	tarastick, milliman limited, o.l.s.
P1	denotes	plan of survey by Tarastick, McMillan Limited, dated April 9, 1996
P2	denotes	plan 43R-21696
---	denotes	overhead wires
○	denotes	deciduous tree with trunk diameter
⊗	denotes	coniferous tree with trunk diameter
○	denotes	tree identification number - refer to tree inventory prepared by whiteside tree & garden for tree type & dimensions
○	denotes	tree canopies are drawn to scale.

revisions

no.	issued	date
1	ISSUED FOR SPA	23/09/07
2	REVISED & RE-ISSUED FOR SPA	15/08/07
3	REVISED & RE-ISSUED FOR SPA	05/10/07
4	REVISIONS FOR FINAL SPA	09/11/07
5	REVISION FOR SPA	26/11/07
6	SUBMITTED TO CIV FOR PERMIT	26/11/07
7	DRIVE WIDTH REVISION TO 3.5 m	27/03/08
8	SUBMITTED TO FIRE DEPT. FOR FIRE ROUTE ACCESS	3/04/08
9	SUBMITTED TO PLANNING - 3.5 m DRIVEWAY	9/04/08

PLAN OF SURVEY BY TARASTICK, MCMILLAN LIMITED, DATED APRIL 9, 1996

calculation of average grade = 107.73



CITY MIN. SETBACK  
TOP OF BANK (as stated by CVA, February 5, 2007)  
CONSERVATION AUTHORITY MIN. SETBACK  
NOTE: SEDIMENT CONTROL FENCING / SOLID WOOD BOARDING TO RUN ALONG 7.5m CITY MIN. SETBACK

note: on Floor Plans (A2 & A3) refer to interior finished floor heights

new asphalt driveway to be constructed to provide support for load not less than 11 303 kg per axle

PART 3  
PLAN 43R-21696

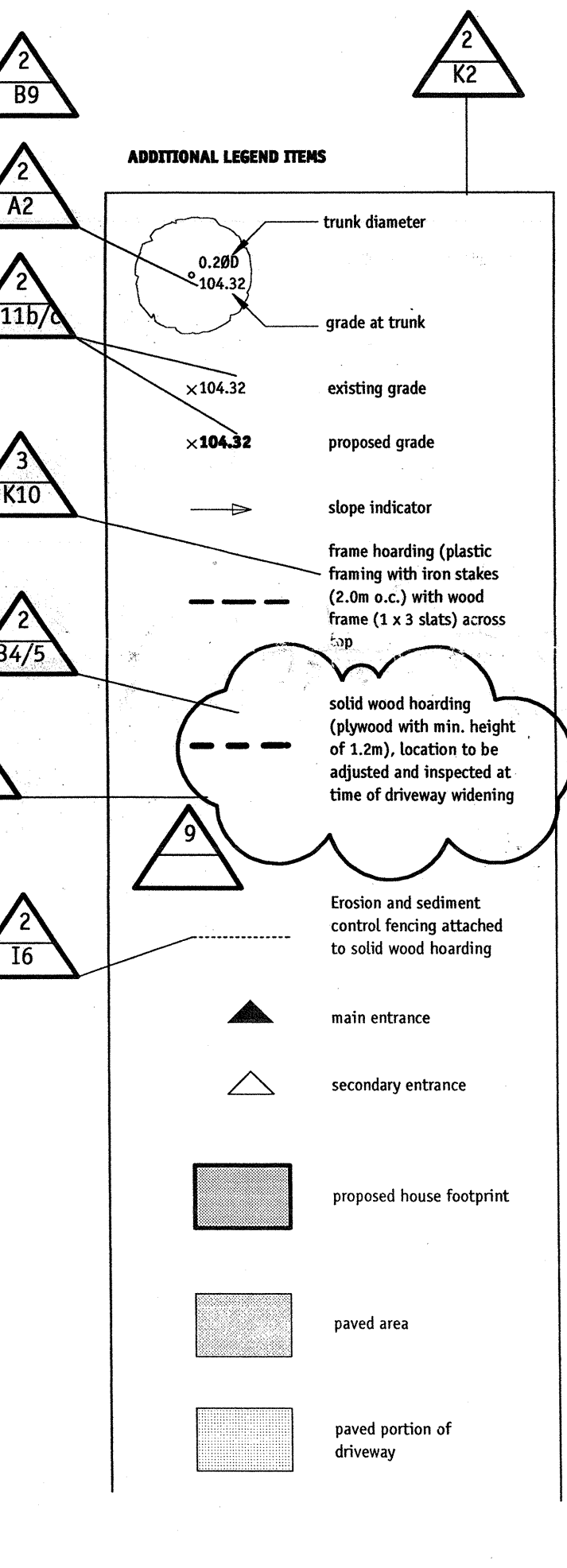
**ARCHITECTURAL**  
I hereby certify that this drawing conforms in all respects to the site development plans as approved by the City of Mississauga under the number SPI 07/138 W7  
Signature of Consultant: *[Signature]*  
Date: APRIL 9/08

**GRADING**  
I hereby certify that this drawing conforms to the Site Grading and Drainage Plan for this application.  
Signature of Consultant: *[Signature]*  
Date: APRIL 9/08

**OWNER'S NOTE (Certificate Waived):**  
We agree to implement the approved site and landscape plans within 18 months after the execution of the Site Plan Underwriting to the satisfaction of the City of Mississauga.  
Any revision to the site and landscape plans will be submitted to the Planning and Building Department, City of Mississauga for review and approval, prior to the commencement of the works.  
We hereby authorize the City, its authorized agents, servants or employees to enter upon our land to carry out inspections from time to time and agree to indemnify the City and its authorized agents and save them harmless from any and all claims arising out of the acceptance by the City of its authorized agents, servants or employees for the right hereby given to them. We undertake to notify the City forthwith of any change of ownership of said land.  
Signature of Owner: *[Signature]*  
Name of Owner: Gordon Franklin  
Address: 922 Mississauga Heights Drive, Mississauga Ontario, L5C 1A6  
Date: 07/12/08

**GENERAL NOTES:**  
1. GRADING: Grading will be not within 3% maximum slope at the property lines and within the site.  
2. EXISTING PERMIT ISSUANCE: The City of Mississauga requires that all working drawings submitted to the Planning and Building Department for review and approval be accompanied by a copy of the existing permit for the site. If the applicant for the issuance of a Building Permit shall be certified by the architect or engineer as being in conformity with the City Development Plans as approved by the City of Mississauga.  
3. EXTERIOR LIGHTING: All exterior lighting will be directed onto the site and will not spill light upon the adjacent properties.  
4. RETAINING WALLS: The structural design of any over 0.6m in height or any retaining wall located on a property to be shown on the Grading Plan for this project and to be approved by the Consulting Engineer for the project.  
5. EXISTING TREE PRESERVATION: The applicant is responsible for ensuring that tree protection fencing is installed throughout all phases of acquisition and construction to the location and condition as approved by the Planning and Building Department. The existing tree protection fencing shall be maintained in accordance with the Planning and Building Department's Tree Protection Fencing Regulations. Any damage to the existing tree protection fencing shall be repaired or replaced at the owner's expense with trees of a similar species approved by the Planning and Building Department. If trees that have died or been damaged beyond repair shall be removed and replaced at the owner's expense with trees of a similar species approved by the Planning and Building Department. If trees that have died or been damaged beyond repair shall be removed and replaced at the owner's expense with trees of a similar species approved by the Planning and Building Department. If trees that have died or been damaged beyond repair shall be removed and replaced at the owner's expense with trees of a similar species approved by the Planning and Building Department.  
6. All damaged areas are to be replaced with the same or better.

**LANDSCAPE NOTES:**  
1. SPECIFICATIONS FOR THE PROTECTION AND PRESERVATION OF EXISTING VEGETATION:  
A) All existing trees which are to remain shall be fully protected with a minimum of 1.5m high and 100mm diameter plastic sheeting around the drip line to the satisfaction of the Planning and Building Department prior to the issuance of the Building Permit. A quality report shall be submitted to the Planning and Building Department with the Building Permit application. Areas within the protective sheeting shall be maintained and shall not be used for the storage of building materials or equipment.  
B) No digging shall be done or any material shall be placed on the site until the protective sheeting has been installed. All areas within the protective sheeting shall be maintained and shall not be used for the storage of building materials or equipment.  
C) The developer or agents shall take every precaution necessary to prevent damage to the vegetation to be protected.  
D) When links or portions of trees are removed to accommodate construction, they will be removed in accordance with accepted arboricultural practice.  
E) Where root systems of protected trees adjacent to construction are exposed or damaged they shall be neatly trimmed and the area backfilled with appropriate material to prevent denudation.  
F) Where necessary, vegetation will be given an overall pruning to restore the balance between roots and top growth, or to return the species to its natural shape and form.  
G) Trees that have died or been damaged beyond repair shall be removed and replaced at the owner's expense with trees of a similar species approved by the Planning and Building Department.  
H) If grades around trees to be protected are to be altered, the applicant shall submit a tree protection plan to the Planning and Building Department for review and approval. The tree protection plan shall include a tree protection plan for the trees to be protected and shall be approved by the Planning and Building Department.  
I) All damaged areas are to be replaced with the same or better.



This drawing is protected by copyright. Contractors must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the Architect before proceeding.

owner:  
Gordon Franklin  
922 Mississauga Heights Drive  
Mississauga, Ontario L5C 1A6  
P: (905) 648-5881

SPA application number:  
**SPI 07/138 W7**

seal:  
**DANIEL JOHNSON ARCHITECTS INC.**  
ARCHITECTS  
D. Johnson  
2005

architects in association:  
**GARTH NORBRATEN ARCHITECT INC.**  
Garth Norbraten  
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50 Hastings Avenue  
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M4C 1P2  
Tel: 416-465-8251  
Fax: 416-465-8957

**DANIEL JOHNSON ARCHITECT INC.**  
GARTH NORBRATEN ARCHITECT INC.

project:  
**Franklin House**  
924 Mississauga Heights Drive  
Mississauga ON L5C 1A6  
Part of Lot 2, Registered Plan 342,  
City of Mississauga, Regional Municipality  
of Peel

drawing title:  
**SITE PLAN - PROPOSED**

drawn: RC date: 18/05/07