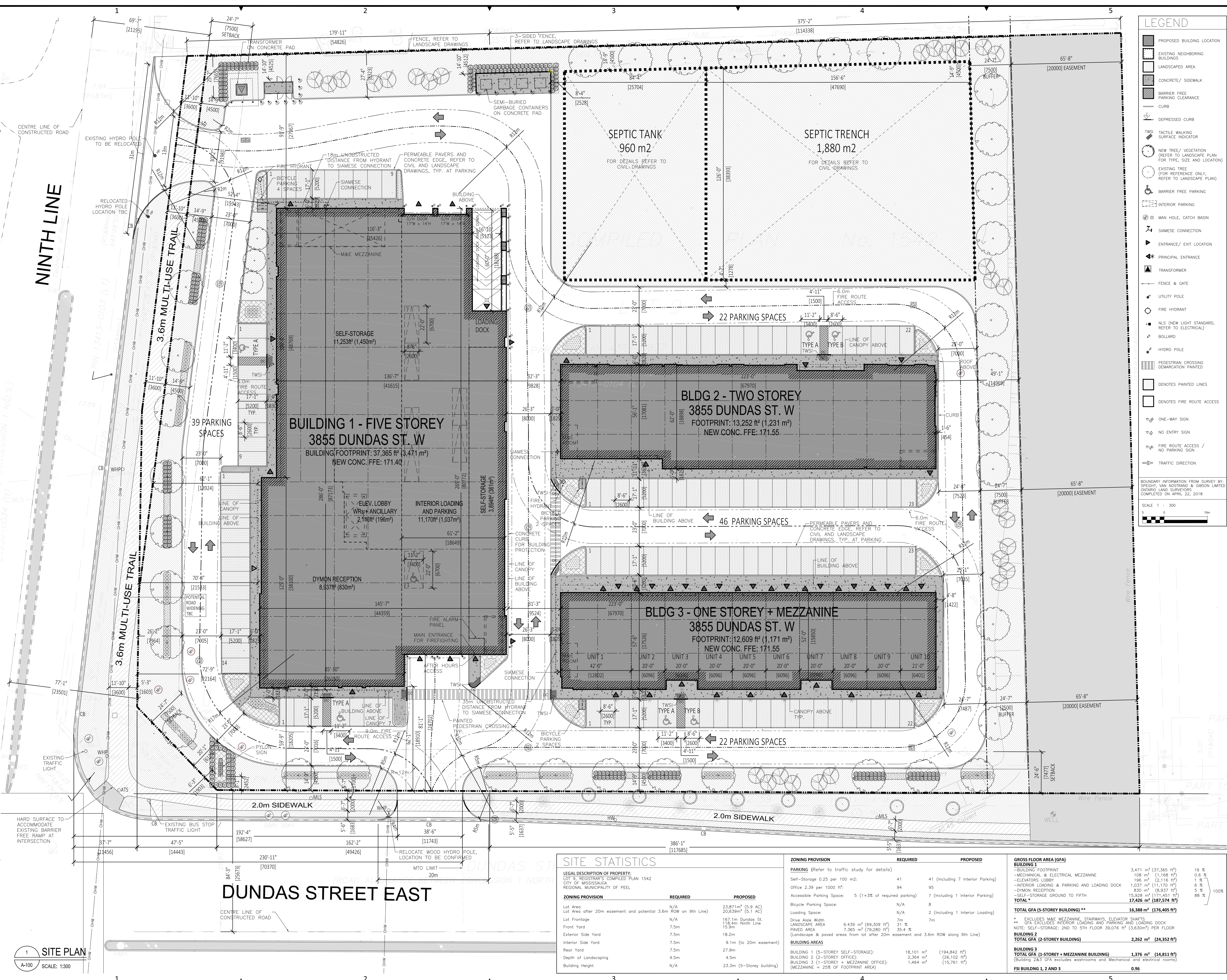


Arch D (2018) little block © 2018, Nicholas Caragianis Architect Inc.

V:\DYMOM\18020 Mississauga_3855_Dundas_E (9th line)\3.0 DRAWINGS\18020 A-100.SP - JAVIERGU - 2021-12-03



LEGEND

- PROPOSED BUILDING LOCATION
- EXISTING NEIGHBORING BUILDINGS
- LANDSCAPED AREA
- CONCRETE/ SIDEWALK
- BARRIER FREE PARKING CLEARANCE
- CURB
- DEPRESSED CURB
- TACTILE WALKING SURFACE INDICATOR
- NEW TREE/ VEGETATION (REFER TO LANDSCAPE PLAN FOR TYPE, SIZE AND LOCATION)
- EXISTING TREE (FOR REFERENCE ONLY, REFER TO LANDSCAPE PLAN)
- BARRIER FREE PARKING
- INTERIOR PARKING
- MAN HOLE, CATCH BASIN
- SIAMSESE CONNECTION
- ENTRANCE/ EXIT LOCATION
- PRINCIPAL ENTRANCE
- TRANSFORMER
- FENCE & GATE
- UTILITY POLE
- FIRE HYDRANT
- NLS (NEW LIGHT STANDARD, REFER TO ELECTRICAL)
- BOLLARD
- HYDRO POLE
- PEDESTRIAN CROSSING DEMARCATION PAINTED
- DENOTES PAINTED LINES
- DENOTES FIRE ROUTE ACCESS
- ONE-WAY SIGN
- NO ENTRY SIGN
- FIRE ROUTE ACCESS / NO PARKING SIGN
- TRAFFIC DIRECTION

BOUNDARY INFORMATION FROM SURVEY BY: SPEIGHT, VAN NOSTRAND & GIBSON LIMITED COMPLETED ON APRIL 22, 2018

SCALE 1 : 300

nicholas caragianis architect inc.

137 Pamilla Street
Ottawa ON K1S 3K9
613 237 6801 ncarchitect.ca

PROJECT NORTH:

ARCHITECT'S SEAL:

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Notes: Contractor must verify all drawings, dimensions, details and specifications and report any discrepancies to the architect before proceeding with work. All drawings and specifications are instruments of service and the property of the architect, and these must be returned at the completion of the project, and may not be reproduced without the architect's written permission. All drawings are to be read in conjunction with specifications and consultants' documents. Do not scale drawings. Do not use for construction unless both indicated as "For Construction" and bearing the architect's stamp and signature. All construction to meet local, provincial and federal requirements.

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cfcrozier.ca

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email: info@tactdesign.ca

NO.	DATE	ISSUES DESCRIPTION
30	2021/12/03	ISSUED FOR ZBA
29	2021/11/08	FOR COORDINATION
28	2021/08/26	FOR COORDINATION
27	2020/11/25	FOR COORDINATION
26	2020/11/18	FOR COORDINATION
25	2020/10/08	FOR COORDINATION
24	2020/09/29	FOR COORDINATION
23	2020/09/16	FOR COORDINATION
22	2020/09/09	FOR DISCUSSION
21	2020/08/28	FOR DISCUSSION
20	8/20/2020	FOR DISCUSSION
19	2020/06/27	FOR DISCUSSION
18	2020/03/06	FOR DISCUSSION
17	2020/02/13	FOR DISCUSSION
16	2018-11-21	ISSUED FOR ZBA
ISSUE	YYYYMMDD	ISSUES DESCRIPTION

DYMON STORAGE

CLIENT NAME AND ADDRESS:
DYMON CAPITAL CORP.
2-1830 WALKLEY ROAD
OTTAWA ON, K1H 8K3

PROJECT NAME & LOCATION:
9th LINE & DUNDAS W
3855 DUNDAS ST. W
MISSISSAUGA ON

NCA PROJECT NUMBER: 2018.0020 FILE NUMBER:
OWNER'S CONTRACT NUMBER: OWNER'S PROJECT NUMBER:

CAD FILE NAME: 18020 A-100.SP

SHEET TITLE: **SITE PLAN**

SCALE: 1:300 SHEET ID: A-100

DRAWN BY: CLW/SG
DATE CREATED: 2018.03.07

SITE STATISTICS

LEGAL DESCRIPTION OF PROPERTY:
LOT 9, REGISTRAR'S COMPLETED PLAN 1542
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEELE

ZONING PROVISION	REQUIRED	PROPOSED
Lot Area	N/A	23,871m ² (5.9 AC)
Lot Area after 20m easement and potential 3.6m ROW on 9th Line	N/A	20,639m ² (5.1 AC)
Lot Frontage	N/A	167.1m Dundas St
Front Yard	7.5m	118.4m Ninth Line
Interior Side Yard	7.5m	18.2m
Exterior Side Yard	7.5m	9.1m (to 20m easement)
Rear Yard	7.5m	27.9m
Depth of Landscaping	4.5m	4.5m
Building Height	N/A	23.3m (5-Storey building)

ZONING PROVISION

PARKING (Refer to traffic study for details)	REQUIRED	PROPOSED
Self-Storage 0.25 per 100 m ² :	41	41 (Including 7 Interior Parking)
Office 2.39 per 1000 ft ² :	94	95
Accessible Parking Space: 5 (1+3% of required parking):	7	(Including 1 Interior Parking)
Bicycle Parking Space:	N/A	8
Loading Space:	N/A	2 (Including 1 Interior Loading)
Drive Aisle Width	7m	7m
LANDSCAPE AREA	6,439 m ² (69,309 ft ²)	31 %
PAVED AREA:	7,365 m ² (79,280 ft ²)	35.4 %
(Landscape & paved areas from lot after 20m easement and 3.6m ROW along 9th Line)		

GROSS FLOOR AREA (GFA)

BUILDING 1	REQUIRED	PROPOSED
-BUILDING FOOTPRINT	3,471 m ² (37,305 ft ²)	19 %
-MECHANICAL & ELECTRICAL MEZZANINE	108 m ² (1,168 ft ²)	0.6 %
-ELEVATORS LOBBY	196 m ² (2,116 ft ²)	1 %
-INTERIOR LOADING & PARKING AND LOADING DOCK	1,037 m ² (11,170 ft ²)	6 %
-DYMOM RECEPTION	630 m ² (6,837 ft ²)	5 %
-SELF-STORAGE GROUND TO FIFTH	15,928 m ² (171,451 ft ²)	88 %
TOTAL*	17,426 m² (187,574 ft²)	100%
TOTAL GFA (5-STOREY BUILDING)**	16,388 m² (176,405 ft²)	
* EXCLUDES MEZZANINE, STAIRWAYS, ELEVATOR SHAFTS		
** GFA EXCLUDES INTERIOR LOADING AND PARKING AND LOADING DOCK		
NOTE: SELF-STORAGE: 2ND TO 5TH FLOOR 39,076 ft ² (3,630m ²) PER FLOOR		
BUILDING 2 (2-STOREY BUILDING)	2,262 m² (24,352 ft²)	
BUILDING 3 (1-STOREY + MEZZANINE BUILDING)	1,376 m² (14,811 ft²)	
TOTAL GFA (1-STOREY + MEZZANINE BUILDING)	1,376 m² (14,811 ft²)	
(Building 2&3 GFA excludes washrooms and Mechanical and electrical rooms)		
FSI BUILDING 1, 2 AND 3	0.96	