

Stage 1 Archaeological Assessment of 60 Dundas Street East, Part of Lots 1 and 2 and Part of Shepard Avenue, Registered Plan E-19, Part of Lot 15, Concession 1 South of Dundas Street, Former Township of Toronto, County of Peel, now in the City of Mississauga, Regional Municipality of Peel

Original Report

Prepared for:

Almega Asset Management

25 Watline Avenue, Suite 50

Mississauga, Ontario, L4Z 2Z1

Archaeological Licence: P449 (Bhardwaj)

Project Information Form: P449-0596-2022

Archaeological Services Inc. File: 22PL-003

25 March 2022



Executive Summary

Archaeological Services Inc. was contracted by Almega Asset Management to undertake a Stage 1 Archaeological Assessment of 60 Dundas Street East, Part of Lots 1 and 2 and Part of Shepard Avenue, Registered Plan E-19, Part of Lot 15, Concession 1 South of Dundas Street, former Township of Toronto, County of Peel, now in the City of Mississauga, Regional Municipality of Peel. The subject property is approximately 1.10 hectares.

The Stage 1 background research entailed consideration of the proximity of previously registered archaeological sites and the original environmental setting of the property, along with nineteenth- and twentieth-century settlement trends. This research indicated there would typically be potential for the presence of Indigenous and Euro-Canadian archaeological resources on the subject property.

A Stage 1 field review by means of a visual survey was conducted on March 6, 2022, in order to assess the geography, topography, and current conditions of the subject property, as well as to evaluate and map archaeological potential.

Despite possessing certain criteria indicative of Indigenous and historical archaeological potential, review of the aerial photography from the twentieth century in conjunction with the field review has determined that the subject property has undergone significant and widespread ground disturbance throughout the latter half of the twentieth century and the potential for recovering any *in situ* archaeological material is nil. In light of these results and in accordance with the Ministry of Heritage, Sport, Tourism, and Culture Industries' 2011 *Standards and Guidelines for Consultant Archaeologists*, it is recommended that no further archaeological assessment of this subject property be required.



Project Personnel

- **Senior Project Manager:** Jennifer Ley, Honours Bachelor of Arts, (R376), Lead Archaeologist, Manager, Planning Assessment Division
- **Project Manager:** Emily Fitzpatrick, Master of Arts (R1092), Associate Archaeologist, Project Manager, Planning Assessment Division
- **Project Director:** Robb Bhardwaj, Master of Arts, (P449), Associate Archaeologist, Project Manager, Planning Assessment Division
- **Project Administrator:** Lauren Vince, Honours Bachelor of Arts (R1235), Archaeologist, Project Administrator, Planning Assessment Division
- **Field Director:** Robb Bhardwaj
- **Report Preparation:** Sarah-Jane Leipert, Doctor of Philosophy, Archaeologist, Technical Writer, Planning Assessment Division
- **Graphics:** Andrew Clish, Bachelor of Environmental Studies, (P046), Senior Archaeologist, Senior Field Director, Laboratory and Fieldwork Services, Operations Division; Adam Burwell, Master of Science, Archaeologist, Geomatics Specialist, Operations Division, Carolyn Nettleton, Bachelor of Arts, Archaeologist, Geographical Information Systems Technician, Operations Division
- **Report Reviewers:** Emily Fitzpatrick; Jennifer Ley



Table of Contents

Executive Summary	2
Project Personnel	3
1.0 Project Context	6
1.1 Development Context	6
1.2 Historical Context	6
1.2.1 Pre-Contact Settlement	7
1.2.2 Post-Contact Settlement	9
1.2.3 Review of Map Sources	11
1.2.4 Review of Aerial Imagery	13
1.3 Archaeological Context	13
1.3.1 Registered Archaeological Sites	13
1.3.2 Previous Assessments	14
1.3.3 Physiography	14
1.3.4 Review of Indigenous Archaeological Potential	15
1.3.5 Review of Historical Archaeological Potential	16
1.3.6 Existing Conditions	17
2.0 Field Methods	18
2.1 Findings	18
3.0 Analysis and Conclusions	18
4.0 Recommendations	19
5.0 Advice on Compliance with Legislation	19
6.0 Bibliography and Sources	21
7.0 Images	23
8.0 Maps	26



List of Tables

Table 1: Pre-contact Indigenous Temporal Culture Periods in Southern Ontario	7
------------------------------------------------------------------------------	---

List of Images

Image 1: Strip mall and paved asphalt parking lot at 60 Dundas Street East, facing southeast.	23
Image 2: Side of strip mall at 60 Dundas Street East, paved asphalt parking, facing southeast.	23
Image 3: Side of strip mall at 60 Dundas Street East and a paved asphalt parking lot, facing north.	24
Image 4: Strip mall loading bay, bordered by a fence and trees, at 60 Dundas Street East, facing southwest.	24
Image 5: Paved asphalt parking lot at the strip mall, fronting Dundas Street East, facing northwest.	25
Image 6: Rear of strip mall at 60 Dundas Street East with a paved asphalt parking lot, facing northwest. The treeline bordering Cooksville Creek is visible to the left.	25

List of Maps

Figure 1: Location of the Subject Property	27
Figure 2: Subject Property Located on the 1859 <i>Tremaine Map of the County of Peel</i>	28
Figure 3: Subject Property Located on 1877 <i>Illustrated Historical Atlas of the County of Peel</i>	28
Figure 4: Subject Property Located on the 1909 Brampton Topographic Map	29
Figure 5: Subject Property Located on 1960, 1969 and 1970 Aerial Imagery	30
Figure 6: Existing Conditions of the Subject Property	31
Figure 7: Stage 1 Archaeological Assessment Results	32



1.0 Project Context

Archaeological Services Inc. was contracted by Almega Asset Management to undertake a Stage 1 Archaeological Assessment of 60 Dundas Street East, Part of Lots 1 and 2 and Part of Shepard Avenue, Registered Plan E-19, formerly Part of Lot 15, Concession 1 South of Dundas Street, Township of Toronto, County of Peel, now in the City of Mississauga, Regional Municipality of Peel (Figure 1). The subject property is approximately 1.10 hectares.

1.1 Development Context

This assessment was conducted under the senior project management of Jennifer Ley (R376), the project management of Emily Fitzpatrick (R1092), and the project direction of Robb Bhardwaj (P449) under Ministry of Heritage, Sport, Tourism and Culture Industries (hereafter “the Ministry”) Project Information Form P449-0596-2022. All activities carried out during this assessment were completed as part of a Zoning Bylaw Amendment and Site Plan Application, as required by the City of Mississauga and the *Planning Act* (Ministry of Municipal Affairs and Housing, 1990). All work was completed in accordance with the *Ontario Heritage Act* (Ministry of Culture (now the Ministry), 1990) and the Standards and Guidelines for Consultant Archaeologists (hereafter “the Standards”) (Ministry of Tourism and Culture (now the Ministry), 2011).

Permission to access the subject property and to carry out all activities necessary for the completion of the assessment was granted by the proponent on January 11, 2022.

1.2 Historical Context

The purpose of this section is to describe the past and present land use and settlement history, and any other relevant historical information gathered through the Stage 1 background research. First, a summary is presented of the current understanding of the Indigenous land use of the subject property. This is followed by a review of historical Euro-Canadian settlement trends.



Historically, the subject property was located in Part of Lot 15, Concession 1, South of Dundas Street, in the Geographic Township of Toronto, County of Peel. The property currently is comprised of a commercial premises and a parking lot fronting Dundas Street East in the City of Mississauga

1.2.1 Pre-Contact Settlement

Southern Ontario has a cultural history that began approximately 13,000 years ago and continues to the present. Table 1 provides a general summary of the pre-contact Indigenous settlement of the subject property and surrounding area.

Table 1: Pre-contact Indigenous Temporal Culture Periods in Southern Ontario

Period	Description
Paleo 13,000 Before Present- 9,000 Before Present	<ul style="list-style-type: none"> • First human occupation of Ontario • Astronomers/ Artists/ Hunters/ Gatherers/ Foragers • Language Unknown • Small occupations • Non-stratified populations
Archaic 9,000 Before Present – 3,000 Before Present	<ul style="list-style-type: none"> • Astronomers/ Artists/ Hunters/ Gatherers/ Foragers • Small occupations • Non-stratified populations • Mortuary ceremonialism • Extensive trade networks for raw materials and finished objects



Period	Description
Early Woodland 3,000 Before Present – 2,400 Before Present	<ul style="list-style-type: none"> • Astronomers/ Artists/ Hunters/ Gatherers/ Foragers • General trend in spring/summer congregation and fall/winter dispersal • Small and large occupations • First evidence of community identity • Mortuary ceremonialism • Extensive trade networks for raw materials and finished objects
Middle Woodland 2,400 BP – 1,300 Before Present Transitional Woodland 1,300 Before Present – 1,000 Before Present	<ul style="list-style-type: none"> • Astronomers/ Artists/ Hunters/ Gatherers/ Foragers • A general trend in spring/summer congregation and fall/winter dispersal into large and small settlements • Kin-based political system • Increasingly elaborate mortuary ceremonialism • Incipient agriculture in some regions • Longer term settlement occupation and reuse
Late Woodland (Early) <i>Anno Domini</i> 900 – <i>Anno Domini</i> 1300	<ul style="list-style-type: none"> • Foraging with locally defined dependence on agriculture • Villages, specific and special purpose sites • Socio-political system strongly kinship based
Late Woodland (Middle) <i>Anno Domini</i> 1300 – <i>Anno Domini</i> 1400	<ul style="list-style-type: none"> • Major shift to agricultural dependency • Villages, specific and special purpose sites • Development of socio-political complexity
Late Woodland (Late) <i>Anno Domini</i> 1400 – <i>Anno Domini</i> 1650	<ul style="list-style-type: none"> • Complex agricultural society • Villages, specific and special purpose sites • Politically allied regional populations

1.2.2 Post-Contact Settlement

Head of the Lake Purchase

The subject property is within Treaty 13a, signed on August 2, 1805, by the Mississaugas and the British Crown in Port Credit at the Government Inn. A provisional agreement was reached with the Crown on August 2, 1805, in which the Mississaugas ceded 70,784 acres of land bounded by the Toronto Purchase of 1787 in the east, the Brant Tract in the west, and a northern boundary that ran six miles back from the shoreline of Lake Ontario. The Mississaugas also reserved the sole right of fishing at the Credit River and were to retain a one-mile strip of land on each of its banks, which became the Credit Indian Reserve. On September 5, 1806, the signing of Treaty 14 confirmed the Head of the Lake Purchase between the Mississaugas of the Credit and the Crown (Mississauga of the New Credit First Nation, 2001; Mississaugas of the Credit First Nation, 2017).

Former Township of Toronto

The Township of Toronto was originally surveyed in 1806 by Mr. Wilmot, Deputy Surveyor, and the first settler in this Township, indeed the first settler of Peel County itself, was Colonel Thomas Ingersoll. The population of the Township in 1808 consisted of just seven families scattered along Dundas Street. Although the number of inhabitants increased gradually over the next few years, the rate of settlement was checked considerably by the outbreak of war in 1812. When the war was over, however, growth of the Township revived, and the “New Survey” was conducted on the lands in the rear part of the Township. The greater part of the New Survey lands was granted to a colony of Irish settlers from New York City who had suffered persecution during the war.

The Credit River, which runs through the western portion of the Township, proved to be a great source of wealth to its inhabitants. Not only was it a good watering stream, there were also endless mill privileges along the entire length of the river. Several villages of varying sizes had developed by the end of the nineteenth century, including Streetsville, Meadowvale, Churchville, and Malton. A number of crossroad communities also began to grow by the end of the nineteenth



century. These included Britannia, Derry, Frasers Corners, Palestine, Mt. Charles, and Grahamsville.

Dundas Street and Historic Community of Cooksville

The historical settlement of Cooksville was located at the intersection of Hurontario Street and Dundas Street East in what is now the City of Mississauga. Dundas Street was one of two military roads constructed in the late eighteenth century by order of Governor John Graves Simcoe. Dundas Street was named after Henry Dundas, the British Home Secretary at the time, and was originally intended as a thoroughfare to London, the then-intended capital of Upper Canada. However, upon the decision to make York the new capital, Dundas Street was extended east to York. In contrast to the Dundas-London route which saw a gradual settlement, the route from Dundas to York saw a quick development of settlements. Early communities included Brockton, Lambton Mills, Islington, and Cooksville (Marshall, 2011).

The first settler of Cooksville was Daniel Harris, who arrived from the United States of America in 1800 and the settlement was originally named Harrisville (Heritage Mississauga, 2009). The name was changed in 1836 to Cooksville after local entrepreneur Jacob Cook purchased the land upon which the village was located in 1814. Cooksville was a mail hub in the region and an important waypoint on the journey between York and Niagara. Early on, the village of Cooksville was thriving and known as one of the liveliest villages west of Toronto.

By the mid-nineteenth century, the village had a number of thriving businesses, and continued to prosper until 1852, when a fire destroyed a large area, leaving only a few of the homes still standing (Heritage Mississauga, 2009; Mika and Mika, 1977: 479). The community soon recovered, and by the 1870s, was once again thriving, including the expansion of winemaking, oil refining, and brick-making industries. The wine factory is believed to be one of the first in Ontario, established by J.M DeCourtnay in 1866. Some thirty acres of grapes were grown which produced yearly 50,000 gallons of wine (Mika and Mika, 1977:479). The oil refinery was located on the outskirts of the village, and operated by Parker and Gordon in the 1870s. At this time the village also had a sawmill, a carriage works, a bakery, a blacksmith, two hotels and a rail station. The rail station was located



on the Credit Valley Railway Line, opened in 1871, which ran from Port Credit to Orangeville. In 1873, Cooksville was chosen as the seat for Toronto Township (Heritage Mississauga, 2009).

By 1950, the original historic character of Cooksville was changing, due in part to the community's status as a suburban satellite to the City of Toronto. By 1968, Cooksville had amalgamated with other villages in the Township of Toronto and formed the Town of Mississauga, and in 1974 municipal restructuring of the former Counties of Halton and Peel resulted in the formation of the City of Mississauga (Marshall, 2011).

1.2.3 Review of Map Sources

A review of nineteenth- and early twentieth-century mapping was completed to determine if these sources depict any nineteenth-century Euro-Canadian settlement features that may represent potential historical archaeological sites within or adjacent to the subject property. Historical map sources are used to reconstruct/predict the location of former features within the modern landscape by cross-referencing points between the various sources and then georeferencing them in order to provide the most accurate determination of the location of any property from historical mapping sources. The results can be imprecise (or even contradictory) because sources of error, such as the vagaries of map production, differences in scale or resolution, and distortions caused by the reproduction of the sources, introduce error into the process. The impacts of this error are dependent on the size of the feature in question, the constancy of reference points on mapping, the distances between them, and the consistency with which both are depicted on historical mapping.

In addition, not all settlement features were depicted systematically in the compilation of these historical map sources, given that they were financed by subscription, and subscribers were given preference with regards to the level of detail provided. Thus, not every feature of interest from the perspective of archaeological resource management would have been within the scope of these sources.



On both the 1859 *Tremaine Map of the County of Peel* and the 1877 *Illustrated Historical Atlas of the County of Peel*, the subject property is within the northern part of Lot 15, under the ownership of the Cook family: Jacob Cook in 1859 and Miles. W. Cook in 1877 (Tremaine, 1859; Walker and Miles, 1877) (Figures 2-3). On both nineteenth-century maps, the subject property is depicted within the historic community of Cooksville, fronting a concession road (Dundas Street East), and located approximately 60-75 metres northeast of a crossroad (the intersection of Dundas Street East and Hurontario Street). Cooksville Creek is depicted as bounding the subject property to the northeast and passing through the inside east corner.

The 1859 map does not indicate any settlement features or houses within the subject property; however, the property is depicted as adjacent to the growing village of Cooksville, represented by blacked shading.

By 1877, a homestead with an orchard is depicted within the centre of subject property, and the Cooksville Post Office is depicted approximately 50 metres to the north.

Early topographic mapping was also reviewed for the presence of potential historical features. Land features such as waterways, wetlands, woodlots, and elevation are clearly illustrated on this series of mapping, along with roads and structure locations. The 1909 *Brampton Topographic Map* depicts the subject property within similar surroundings to earlier mapping (Department of Militia and Defence, 1909) (Figure 4). The stone house depicted on the 1877 map remains in the centre of the subject property. A wooden building, also fronting Dundas Street East, is depicted approximately 40 metres to the southwest of the subject property. The crossroads of Dundas and Hurontario Streets is more accurately depicted approximately 140 metres southwest of the subject property. Cooksville Creek is no longer depicted as bounding or abutting the subject property and is illustrated approximately 30 metres to the east. Contour lines within the subject property indicate an elevation of 350 feet (107 metres) above sea level.



1.2.4 Review of Aerial Imagery

In order to further understand the previous land use on the subject property, twentieth-century aerial imagery was reviewed (City of Toronto Archives, no date) (Figure 5).

Imagery from 1960 shows the property within a mixed residential and commercial area. The subject property remains fronting Dundas Street East to the north and is now bound by a side road (Shepard Avenue) to the west, and a laneway and house to the south. Cooksville Creek remains bounding the subject property to the northeast. Two buildings are shown within the west side of the property and the property has undergone widespread grading in the north, west, southwest, and east. By 1969, the area surrounding the subject property remains much the same as in 1960 imagery, however the subject property has been entirely cleared and graded, with both buildings demolished in preparation of construction.

Imagery from the following year, 1970, shows the completed strip mall in the southeast portion of the subject property completely surrounded by a paved parking lot.

1.3 Archaeological Context

This section provides background research pertaining to previous archaeological fieldwork conducted within and in the vicinity of the subject property, its environment characteristics (including drainage, soils, surficial geology, topography, etc.), and current land use and field conditions.

1.3.1 Registered Archaeological Sites

In order that an inventory of archaeological resources could be compiled for the subject property, three sources of information were consulted: the site record forms for registered sites housed at the Ministry, published and unpublished documentary sources, and the files of Archaeological Services Inc.

In Ontario, information concerning archaeological sites is stored in the Ontario Archaeological Sites Database, which is maintained by the Ministry. This database contains archaeological sites registered within the Borden system. The Borden



system was first proposed by Doctor Charles E. Borden and is based on a block of latitude and longitude. Each Borden block measures approximately 13 kilometres east-west by 18.5 kilometres north-south and is referenced by a four-letter designator. Sites within a block are numbered sequentially as they are found. The subject property is in the southeast corner of the AjGv Borden block.

According to the Ontario Archaeological Sites Database, a single archaeological site has been registered within a one-kilometre radius of the subject property (the Ministry, 2022, accessed 20 January 2022). The Cooksville (AjGv-92) site is a multi-component Indigenous findspot and Euro-Canadian site approximately 432 metres southwest of the subject property (AMICK Consultants Limited, 2019: Project Information Form: P058-19843-2019).

1.3.2 Previous Assessments

During the course of the background research, one archaeological assessment was identified within 50 metres of the subject property.

In 2012, AMICK Consultants Limited conducted a Stage 1 and 2 Archaeological Assessment of 86 and 90 Dundas Street East (AMICK Consultants Limited, 2013; Project Information File: P058-9078-2012). The study area is located approximately 13 metres to the northeast of the subject property, on the opposite side of Cooksville Creek. The assessment was conducted by means of test pit survey and no archaeological resources were encountered. It was recommended that no further archaeological assessment of the property was required.

1.3.3 Physiography

The subject property is situated within the sand plains of the Iroquois Plain physiographic region of Southern Ontario, a lowland region bordering Lake Ontario. This region is characteristically flat and was formed by lacustrine deposits laid down by the inundation of Lake Iroquois, a body of water that existed during the late Pleistocene. This region extends from the Trent River, around the western part of Lake Ontario, to the Niagara River, spanning a distance of 300 kilometres (Chapman and Putnam, 1984:190). The former shorelines of Lake Iroquois include



cliffs, bars, beaches and boulder pavements. The former sandbars in this region are good aquifers that supply water to farms and villages. The gravel bars are quarried for road and building material, while the clays of the old lake bed have been used for the manufacture of bricks (Chapman and Putnam, 1984:196).

Soil deposits within the subject property are predominantly both coarse-textured glaciolacustrine deposits, consisting of sand, gravel, minor silt and clay and foreshore and basal deposits, and clay to silt-textured till, derived from glaciolacustrine deposits or shale. Modern alluvial deposits, consisting of clay, silt, sand, gravel, potentially contain organic remains, are also within the subject property (Ontario Geological Survey, 2000).

The subject property is within the Lake Ontario Watershed, and the Cooksville Creek subwatershed. Cooksville Creek drains an area of approximately 33.9 square kilometres, originating in the City of Mississauga near Hurontario Street and Britannia Road and flows south to its confluence with Lake Ontario west of Cawthra Road (Aquafor Beech Limited, 2012). Cooksville Creek bounds the subject property on the northeast side.

1.3.4 Review of Indigenous Archaeological Potential

The Standards, Section 1.3.1 stipulates that lands within 300 metres of primary water sources (lakes, rivers, streams, creeks, etc.), secondary water sources (intermittent streams and creeks, springs, marshes, swamps, etc.), as well as ancient water sources (glacial lake shorelines indicated by the presence of raised sand or gravel beach ridges, relic river or stream channels indicated by clear dip or swale in the topography, shorelines of drained lakes or marshes, cobble beaches, etc.) are characteristics that indicate archaeological potential. Geographic characteristics also indicate archaeological potential and include distinct topographic features and soils.

Potable water is the single most important resource necessary for any extended human occupation or settlement. Since water sources have remained relatively stable in south central Ontario after the Pleistocene era, proximity to water can be regarded as a useful index for the evaluation of archaeological site potential.



Indeed, distance from water has been one of the most commonly used variables for predictive modelling of site location.

Other geographic characteristics that can indicate pre-contact archaeological potential include elevated topography (eskers, drumlins, large knolls, plateaux), pockets of well-drained sandy soil, especially near areas of heavy soil or rocky ground, and distinctive land formations that might have been special or spiritual places for indigenous populations, such as waterfalls, rock outcrops, caverns, mounds, and promontories and their bases. There may be physical indicators of their use by indigenous peoples, such as burials, structures, offerings, rock paintings or carvings. Resource areas, including food or medicinal plants (migratory routes, spawning areas, prairie), and scarce raw materials (quartz, copper, ochre, or outcrops of chert) are also considered characteristics that indicate pre-contact archaeological potential. The Standards also defines buffers of 300 metres around registered archaeological sites. There are no registered Indigenous sites within 300 metres of the subject property.

Given its proximity to Cooksville Creek, the subject property would typically be considered to fall within an area of potential for the presence of precontact or early contact period Indigenous archaeological resources according to the generic provincial distance-to-water criterion. These considerations aside, the potential for the survival of any Indigenous archaeological remains in primary contexts within the subject property is essentially nil. Such sites would not have survived the development activities that have altered the original topography of the subject property.

1.3.5 Review of Historical Archaeological Potential

The Standards, Section 1.3.1 stipulate that areas of early Euro-Canadian settlement, including places of early military pioneer settlement (pioneer homesteads, isolated cabins, farmstead complexes), early wharf or dock complexes, pioneer churches, and early cemeteries, are considered to have archaeological potential. There may be commemorative markers of their history, such as local, provincial, or federal monuments or heritage parks. Early historical transportation routes (trails, passes, roads, railways, portage routes), properties listed on a municipal register or designated under the *Ontario Heritage Act* or a



federal, provincial, or municipal historical landmark or site, and properties that local histories or informants have identified with possible archaeological sites, historical events, activities, or occupations are also considered to have archaeological potential.

For the Euro-Canadian period, most early nineteenth-century farmsteads (i.e., those which are arguably the most potentially significant resources and whose locations are rarely recorded on nineteenth century maps) are likely to be captured by the basic proximity to the water model, since these occupations were subject to similar environmental constraints. An added factor, however, is the development of the network of concession roads and railroads through the course of the nineteenth century. These transportation routes frequently influenced the siting of farmsteads and businesses. Accordingly, undisturbed lands within 100 metres of an early historical transportation route are also considered to have potential for the presence of Euro-Canadian archaeological sites. Historically, the subject property fronts the concession road of Dundas Street.

The subject property fronts the historically important transportation corridor of Dundas Street East and is within the nineteenth-century community of Cooksville. Historical mapping also indicates several structures within the immediate vicinity of the property limits (Figures 2-4). Nevertheless, the redevelopment of the property which took place in the latter half of the twentieth century has altered the original topography to such an extent that any remains of earlier occupations that may have been present would have been removed.

1.3.6 Existing Conditions

The subject property is approximately 1.10 hectares and is located within a mixed residential and commercial area within the City of Mississauga (Figure 6). It is bounded by Dundas Street East to the northwest, Shepard Avenue to the southwest, a high-rise retirement complex to the southeast, and Cooksville Creek to the northeast. The subject property consists of a commercial strip mall surrounded by a paved asphalt parking lot.



2.0 Field Methods

A Stage 1 field review was completed on March 6, 2022, in order to assess the geography, topography, and current conditions of the subject property, as well as to evaluate and map archaeological potential of the subject property prior to development. The field review was conducted by Robb Bhardwaj (P449). The weather conditions and lighting were appropriate for the completion of the fieldwork and permitted good visibility of the land features.

In accordance with the Standards, Section 1.2, the Stage 1 field review was conducted by means of visual inspection across all accessible portions of the subject property. Select photo locations and field observations have been compiled on project mapping (Images 1-7; Figure 7).

2.1 Findings

Visual inspection of the property confirmed there is no potential for the presence of archaeological resources due to extensive and deep land alteration (Figure 7). This disturbance consists of the structural footprint of the strip mall, related utilities, and the large, paved asphalt parking area (Images 1-7). In accordance with the Standards, Section 1.3.2, this degree of extensive and deep land alteration has removed all potential for the survival of archaeological resources within the subject property.

3.0 Analysis and Conclusions

Archaeological Services Inc. was contracted by Almega Asset Management to undertake a Stage 1 Archaeological Assessment of 60 Dundas Street East, Part of Lots 1 and 2 and Part of Shepard Avenue, Registered Plan E-19, Part of Lot 15, Concession 1 South of Dundas Street, former Township of Toronto, County of Peel, now in the City of Mississauga, Regional Municipality of Peel. The subject property is approximately 1.10 hectares.

The Stage 1 background research entailed consideration of the proximity of previously registered archaeological sites and the original environmental setting of the property, along with nineteenth- and twentieth-century settlement trends.



This research indicated there would typically be potential for both Indigenous and Euro-Canadian archaeological resources on the subject property. However, given the modern development of the property the likelihood of encountering *in situ* archaeological resources was determined to be nil.

The property inspection conducted on March 6, 2022, has confirmed that the entire subject property is disturbed due to its extensive development throughout the latter half of the twentieth century.

4.0 Recommendations

In light of these results, the following recommendation is made:

1. No further archaeological assessment of the property be required.

NOTWITHSTANDING the results and recommendations presented in this study, Archaeological Services Inc. notes that no archaeological assessment, no matter how thorough or carefully completed, can necessarily predict, account for, or identify every form of isolated or deeply buried archaeological deposit. In the event that archaeological remains are found during subsequent construction activities, the consultant archaeologist, approval authority, and the Cultural Programs Unit of the Ministry of Heritage, Sport, Tourism and Culture Industries must be immediately notified.

The above recommendations are subject to Ministry approval, and it is an offence to alter any archaeological site without Ministry of Heritage, Sport, Tourism and Culture Industries concurrence. No grading or other activities that may result in the destruction or disturbance of any archaeological sites are permitted until notice of Ministry of Heritage, Sport, Tourism, and Culture Industries approval has been received.

5.0 Advice on Compliance with Legislation

Archaeological Services Inc. advises compliance with the following legislation:

- This report is submitted to the Ministry of Heritage, Sport, Tourism and Culture Industries as a condition of licensing in accordance with Part VI of



the Ontario Heritage Act, RSO 2005, c 0.18. The report is reviewed to ensure that it complies with the standards and guidelines that are issued by the Minister, and that the archaeological field work and report recommendations ensure the conservation, preservation, and protection of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the Ministry of Heritage, Sport, Tourism and Culture Industries, a letter will be issued by the Ministry stating that there are no further concerns with regards to alterations to archaeological sites by the proposed development.

- It is an offence under Sections 48 and 69 of the Ontario Heritage Act for any party other than a licensed archaeologist to make any alteration to a known archaeological site or to remove any artifact or other physical evidence of past human use or activity from the site, until such time as a licensed archaeologist has completed archaeological field work on the site, submitted a report to the Minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeology Reports referred to in Section 65.1 of the Ontario Heritage Act.
- Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and therefore subject to Section 48 (1) of the Ontario Heritage Act. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed consultant archaeologist to carry out archaeological fieldwork, in compliance with Section 48 (1) of the Ontario Heritage Act.
- The Funeral, Burial and Cremation Services Act, 2002, S.O. 2002, c.33, requires that any person discovering or having knowledge of a burial site shall immediately notify the police or coroner. It is recommended that the Registrar of Cemeteries at the Ministry of Consumer Services is also immediately notified.
- Archaeological sites recommended for further archaeological field work or protection remain subject to Section 48(1) of the Ontario Heritage Act and may not be altered, nor may artifacts be removed from them, except by a person holding an archaeological license.



6.0 Bibliography and Sources

AMICK Consultants Limited. (2013). Stage 1-2 Archaeological Assessment of 86 and 90 Dundas Street East, Part of Lot 20 Registered Plan E-19 and Part Lots 21 and 22 Registered Plan TOR-12 and Part of Lot 15 Concession 1 South of Dundas Street, Geographic Township of Toronto, City of Mississauga, Regional Municipality of Peel.

AMICK Consultants Limited. (2019). Stage 1-2 Archaeological Assessment of 89 Dundas Street West and 98 Agnes Street, Lots 14, 15, 31, 32 and Part of Lot 13 West of Hurontario Street, Registered Plan TOR-12, Part of Lot 16, Concession 1 North of Dundas Street, (Geographic Township of Toronto, County of Peel) City of Mississauga, Regional Municipality of Peel [Revised Report].

Aquafor Beech Limited. (2012). Cooksville Creek Flood Evaluation Master Plan EA.

Chapman, L. J., and Putnam, F. (1984). The Physiography of Southern Ontario (Vol. 2). Ontario Ministry of Natural Resources.

City of Toronto Archives. (no date). Aerial Photographs, 1947-1992. City of Toronto. <https://www.toronto.ca/city-government/accountability-operations-customer-service/access-city-information-or-records/city-of-toronto-archives/whats-online/maps/aerial-photographs/>

Department of Militia and Defence. (1909). Brampton Sheet No. 35 [Map].

Heritage Mississauga. (2009). Mississauga: A City of Many Villages. <http://www.heritagemississauga.com/section/?section=7>

Marshall, S. (2011). GTA Lost Villages: Cooksville. Spacing Toronto. <http://spacing.ca/toronto/2011/07/05/lost-villages-cooksville/>

Mika, N., and Mika, H. (1977). Places In Ontario: Their Name Origins and History, Part I, A-E: Vol. I. Mika Publishing Company.

Ministry of Culture (now the Ministry). (1990). Ontario Heritage Act, Registered Statute of Ontario. Chapter O.18, 1990 [as amended in 2021].



Ministry of Heritage, Sport, Tourism and Culture Industries. (2022). Ontario's Past Portal. PastPortal. <https://www.pastport.mtc.gov.on.ca>

Ministry of Municipal Affairs and Housing. (1990). Planning Act, Registered Statute of Ontario. 1990, Chapter P.13, (1990).

Ministry of Tourism and Culture (now the Ministry). (2011). Standards and Guidelines for Consultant Archaeologists. Cultural Programs Branch, Ontario Ministry of Tourism and Culture.

Mississauga of the New Credit First Nation. (2001). Toronto Purchase Specific Claim: Arriving at an Agreement.

Mississaugas of the Credit First Nation. (2017). Treaty Lands and Territory. <http://mncfn.ca/category/treaty-lands-and-territory/>

Ontario Geological Survey. (2000). Quaternary Geology of Ontario [Map]. <https://www.mndm.gov.on.ca/en/mines-and-minerals/applications/ogsearth/quaternary-geology>

Tremaine, G. C. (1859). Tremaine's Map of the County of Peel [Map]. George C. Tremaine.

Walker and Miles. (1877). Illustrated Historical Atlas of the County of Peel, Ont. [Map]. Walker and Miles.



7.0 Images



Image 1: Strip mall and paved asphalt parking lot at 60 Dundas Street East, facing southeast.



Image 2: Side of strip mall at 60 Dundas Street East, paved asphalt parking, facing southeast.



Image 3: Side of strip mall at 60 Dundas Street East and a paved asphalt parking lot, facing north.



Image 4: Strip mall loading bay, bordered by a fence and trees, at 60 Dundas Street East, facing southwest.



Image 5: Paved asphalt parking lot at the strip mall, fronting Dundas Street East, facing northwest.

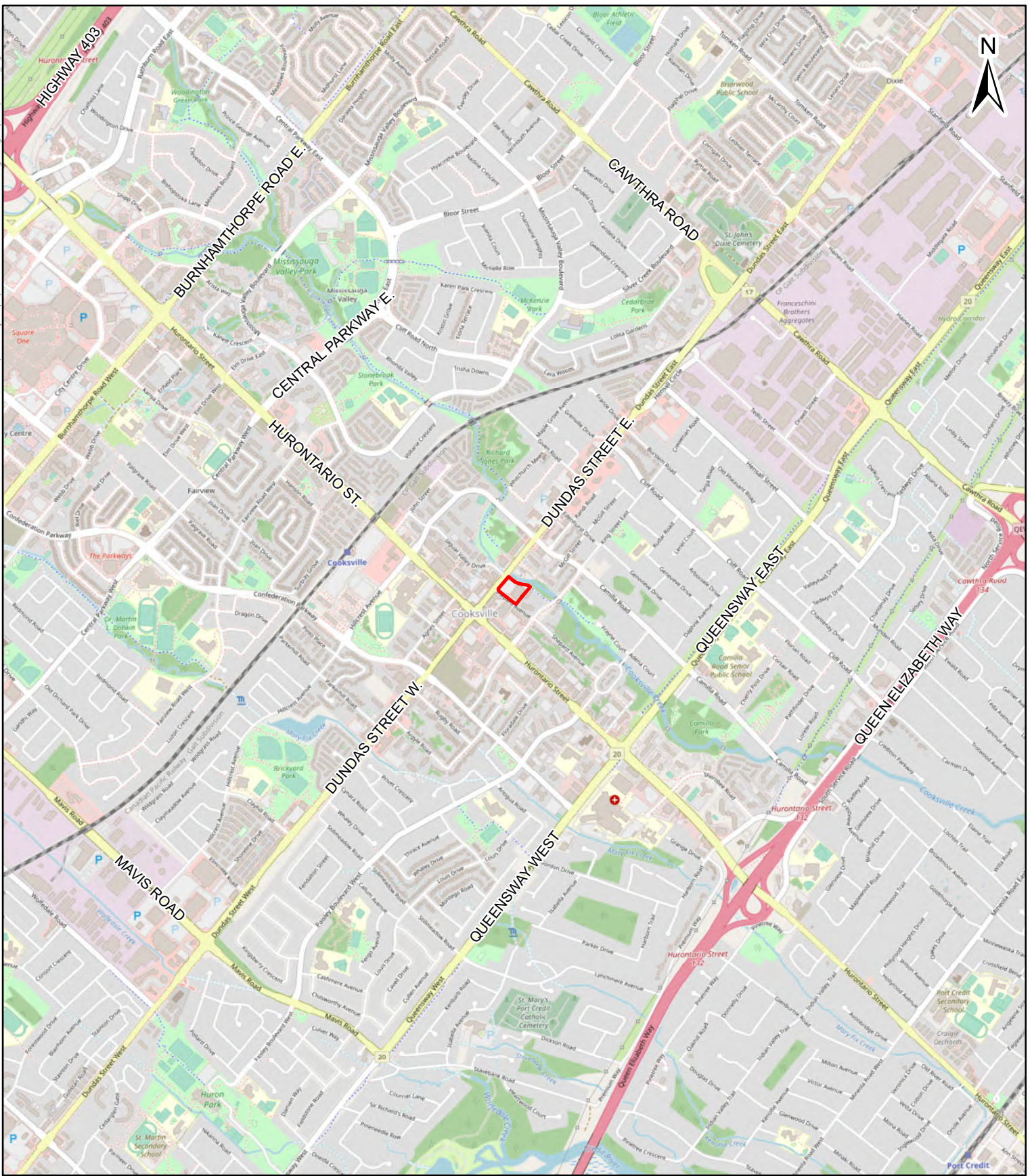


Image 6: Rear of strip mall at 60 Dundas Street East with a paved asphalt parking lot, facing northwest. The treeline bordering Cooksville Creek is visible to the left.

8.0 Maps

See following pages for detailed assessment mapping and figures.







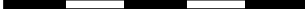
	 SUBJECT PROPERTY	Sources: Open Street Map	<div><div>01</div><div>Kilometres</div></div>
		Projection: NAD 1983 UTM Zone 17N Scale: 1:25,000 Page Size: 8.5 x 11	ASI PROJECT NO.: 22PL-003 DATE: 2022-01-18 DRAWN BY: A.C. FILE: 22PL003_Fig1

Figure 1: Location of the Subject Property



Figure 2: Subject Property Located on the 1859 Tremaine Map of the County of Peel



Figure 3: Subject property Located on the 1877 Illustrated Historical Atlas of the County of Peel



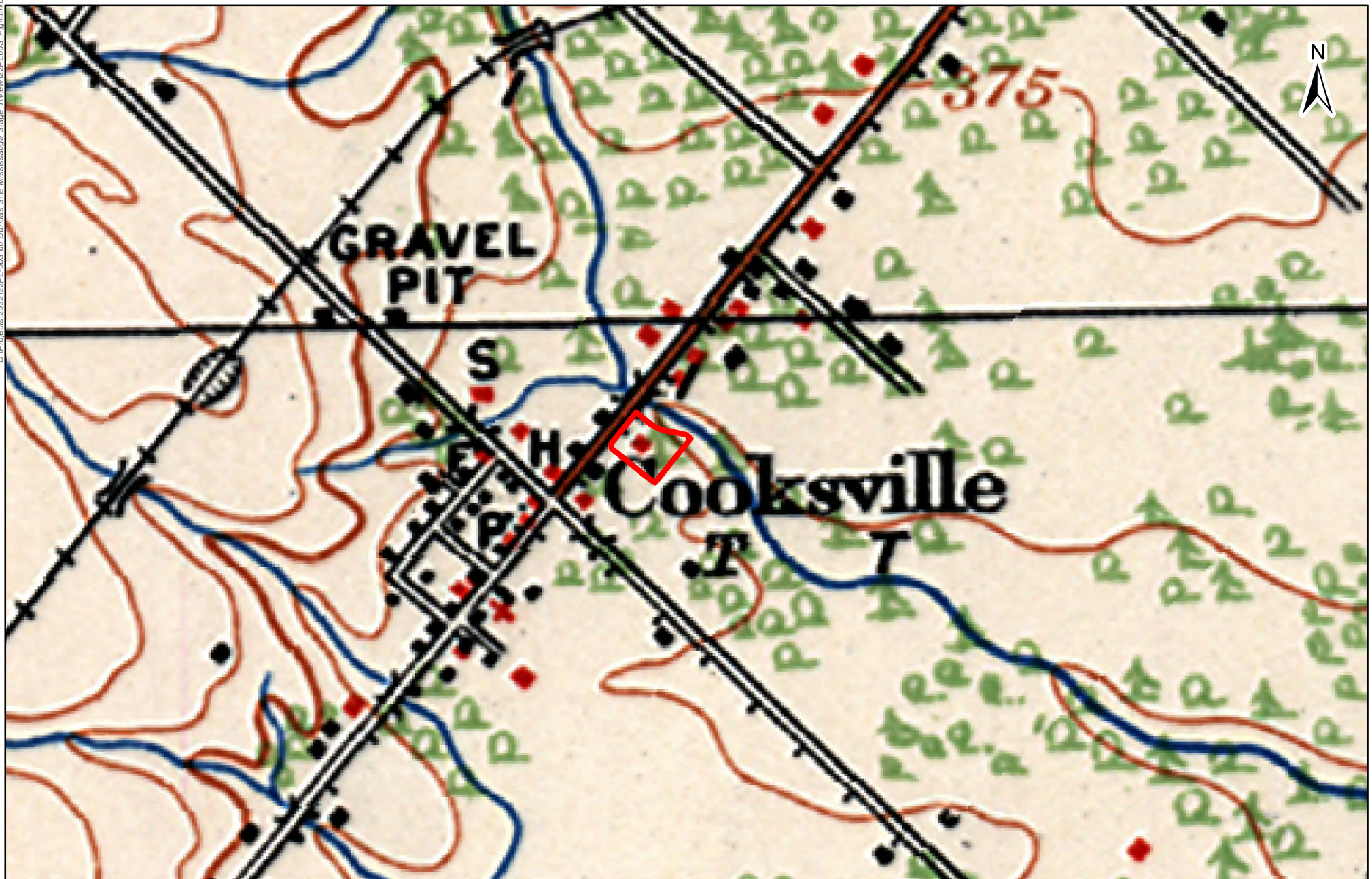
SUBJECT PROPERTY

Sources:

Projection: NAD 1983 UTM Zone 17N
Scale: 1:15,000
Page Size: 8.5 x 11

0 500
Metres

ASI PROJECT NO.: 22PL-003 DRAWN BY: A.C.
DATE: 2022-01-18 FILE: 22PL003_Fig2-3



SUBJECT PROPERTY

Source: Department of Militia and
Defence, 1909 (Brampton Sheet)

Projection: NAD 1983 UTM Zone 17N
Scale: 1:10,000
Page Size: 8.5 x 11

0 400
Metres

ASI PROJECT NO.: 22PL-003 DRAWN BY: C.N.
DATE: 2022-02-08 FILE: 22PL003_Fig4

Figure 4: Subject Property Located on the 1909 Brampton Topographic map



1960



1969



1970

	 SUBJECT PROPERTY	Sources: 1960, 1969 & 1970 Aerial Photography	0 50  Metres	
		Projection: NAD 1983 UTM Zone 17N Scale: 1:1,750 Page Size: 11 x 17	ASI PROJECT NO.: 22PL-003 DATE: 2022-01-27	DRAWN BY: AB FILE: 22PL003_Fig5

Figure 5: Subject Property located on 1960, 1969 and 1970 Aerial Imagery



SUBJECT PROPERTY

Sources: ESRI and GIS
USER COMMUNITY

Projection: NAD 1983 UTM Zone 17N
Scale: 1:1,500
Page Size: 8.5 x 11

0 50
Metres

ASI PROJECT NO.: 22PL-003 DRAWN BY: A.C.
DATE: 2022-01-18 FILE: 22PL003_Fig6

Figure 6: Existing Conditions of the Subject Property



	<div> <div>  SUBJECT PROPERTY </div> <div>  PREVIOUSLY DISTURBED - NO POTENTIAL </div> <div>  PHOTO LOCATION AND DIRECTION </div> </div>	<p>Sources: Google Earth Imagery</p> <p>Projection: NAD 1983 UTM Zone 17N Scale: 1:1,000 Page Size: 8.5 x 11</p>	<div> <div> 0 25 </div> <div>Metres</div> </div> <div> <div>ASI PROJECT NO.: 22PL-003</div> <div>DATE: 2022-03-10</div> </div> <div> <div>DRAWN BY: A.C.</div> <div>FILE: 22PL003_Fig7</div> </div>
------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Figure 7: Stage 1 Archaeological Assessment Results