

*Draft Zoning By-law Amendment – February 25, 2022*

**PROPOSED ZONING BY-LAW NO. xx-XXX**

**To amend Zoning By-law Number 0225-2007, as amended, of the City of Mississauga with respect to the lands municipally known in the year 2022 as 60 Dundas Street East.**

WHEREAS authority is given to the council of a municipality by Section 34 of the *Planning Act*, R.S.O 1990. c.P. 13, as amended, to pass Zoning-Bylaws; and

Whereas Council of the City of Mississauga has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. Map number 14 of “Schedule B” to By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by changing thereon from “C4” to “RA5-XX”, the zoning of 60 Dundas Street East, in the City of Mississauga, PROVIDED HOWEVER THAT the “RA5-XX” zoning shall only apply to the lands which are shown on the attached Schedule “A” outlined in the heaviest black line with the “RA5-XX” zoning indicated thereon;
2. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

4.15.6.XX	Exception RA5-XX	Map # XX	By-law: xx-XXX
In a RA5-XX zone the permitted uses and applicable regulations shall be as specified for a RA5 zone except that the following uses/regulations apply:			
<b>Additional Permitted Uses</b>			
4.15.6.XX.1	(1) <b>Office</b> (2) <b>Retail Store</b> (3) <b>Financial Institution</b> (4) <b>Personal Service Establishment</b> (5) <b>Restaurant</b> (6) <b>Take-out Restaurant</b> (7) <b>Townhouse</b> (8) <b>Live-work units</b> (9) <b>Daycare</b> (10) <b>Medical Office</b> (11) <b>Recreational Establishment</b>		
<b>Regulations</b>			
4.15.6.XX.2	The provisions of Lines 1.0 and 3.0 of Table 2.1.2.1, Subsection 2.1.14 and 2.1.30, Article 4.1.15.1 and Lines 13.2, 13.2, 13.4, 13.7, 15.1, and 15.5		

	contained in Table 4.15.1 of this By-law shall not apply	
4.15.6.XX.3	The uses contained in Sentence 4.15.6.XX.1 of this exception shall only be located within a <b>building, structure</b> or part thereof used for an <b>apartment, long term care building, retirement building,</b> or any combination thereof	
4.15.6.XX.4	Minimum width of a <b>parking space</b>	2.6m
4.15.6.XX.5	Maximum <b>floor space index</b> – <b>Apartment Zone</b>	6.32
4.15.6.XX.6	Maximum <b>Height</b>	Permit buildings up to 36 storeys (119 metres), exclusive of mechanical penthouse and mezzanine levels shall not be counted as a storey
4.15.6.XX.7	<p>Minimum <b>Front Yard</b></p> <ol style="list-style-type: none"> <li>1) For that portion of the dwelling with a height less than or equal to 13.0m 4.4m</li> <li>2) For that portion of the dwelling with a height greater than 13.0m and less than or equal to 20.0m 4.4m</li> <li>3) For that portion of the dwelling with a height greater than 20.0m and less than or equal to 26.0 m 7.5m</li> <li>4) For that portion of the dwelling with a height greater than 26.0m</li> </ol>	<p>Permit a minimum setback to Dundas Street East of:</p> <p>8.0 m for Floors 1 – 3 (Tower A); 12.0 m for Floors 4 – 36 (Tower A).</p>
4.15.6.XX.8	<p>Minimum <b>Exterior Side Yard</b></p> <ol style="list-style-type: none"> <li>1) For that portion of the dwelling with a height less than or equal to 13.0m 4.4m</li> <li>2) For that portion of the dwelling with a height greater than 13.0m and less than or equal to 20.0m 4.4m</li> <li>3) For that portion of the dwelling with a height greater than 20.0m and less than or equal to 26.0 m 7.5m</li> <li>4) For that portion of the dwelling with a height greater than 26.0m</li> </ol>	<p>Permit a minimum setback to Shepard Avenue of:</p> <p>3.3 metres for Floors 1 – 3 (Tower A); 5.8 metres for Floors 4 – 36 (Tower A); 3.3 metres for Floors 1 – 3 (Tower B); 6.0 metres for Floors 4 – 33 (Tower B).</p>
4.15.6.XX.9	<p>Minimum <b>Rear Yard</b></p> <ol style="list-style-type: none"> <li>1) For the portion of the dwelling with a height greater than 26.0m</li> </ol>	Permit a minimum rear yard setback of 14.0m for Floors 1-29 (Tower C)
4.15.6.XX.10	Maximum encroachment of a <b>balcony</b> located above the <b>first storey,</b> sunroom,	Permit maximum encroachment of a balcony

	<p>window, chimney, pilaster, cornice, balustrade, or roof eaves into a <b>required yard</b></p>	<p>above the first storey into a required yard of 1.7m</p>
4.15.6.XX.11	<p>Maximum projection of a <b>balcony</b> located above the <b>first storey</b> measured from the outermost face or faces of the <b>building</b> from which the <b>balcony</b> projects</p>	<p>Permit maximum projection of a balcony above the first storey of 1.7m</p>
4.15.6.XX.12	<p>Minimum <b>Parking Spaces</b></p>	<p><b>979 total spaces</b>  856 resident spaces  123 visitor/retail spaces</p> <p>Resident parking rate 0.7 spaces per unit  Visitor parking rate 0.10 spaces per unit</p>
4.15.6.XX.13	<p>Minimum setback from a <b>parking structure</b> completely below finished grade, inclusive of external access stairwells, to any <b>lot line</b></p>	<p>Permit minimum setback from a parking structure completely below finished grade as follows:</p> <p>0.5m from Dundas Street East lot line;  0.43 m from Shepard Avenue lot line;  0.48m from the south lot line;  9.4m from the east lot line.</p>
4.15.6.XX.14	<p>1) Minimum depth of a <b>landscaped buffer</b> abutting a <b>lot line</b> that is a <b>street line</b> and/or abutting lands with Open Space, Greenlands and/or a Residential Zone with the exception of an <b>Apartment Zone</b></p> <p>2) Minimum depth of a landscape buffer along any other lot line</p>	<p>3.0 metres</p>
4.15.6.XX.15	<p>For the purposes of this exception, mezzanine levels shall not be considered as storey</p>	

ENACTED AND PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 202X

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Clerk

APPENDIX “A” TO BY-LAW NO. \_\_\_\_\_

Explanation of the Purpose and Effect of the By-law

The purpose of this amendment is to permit the development of three apartment buildings with retail uses on the ground floor.

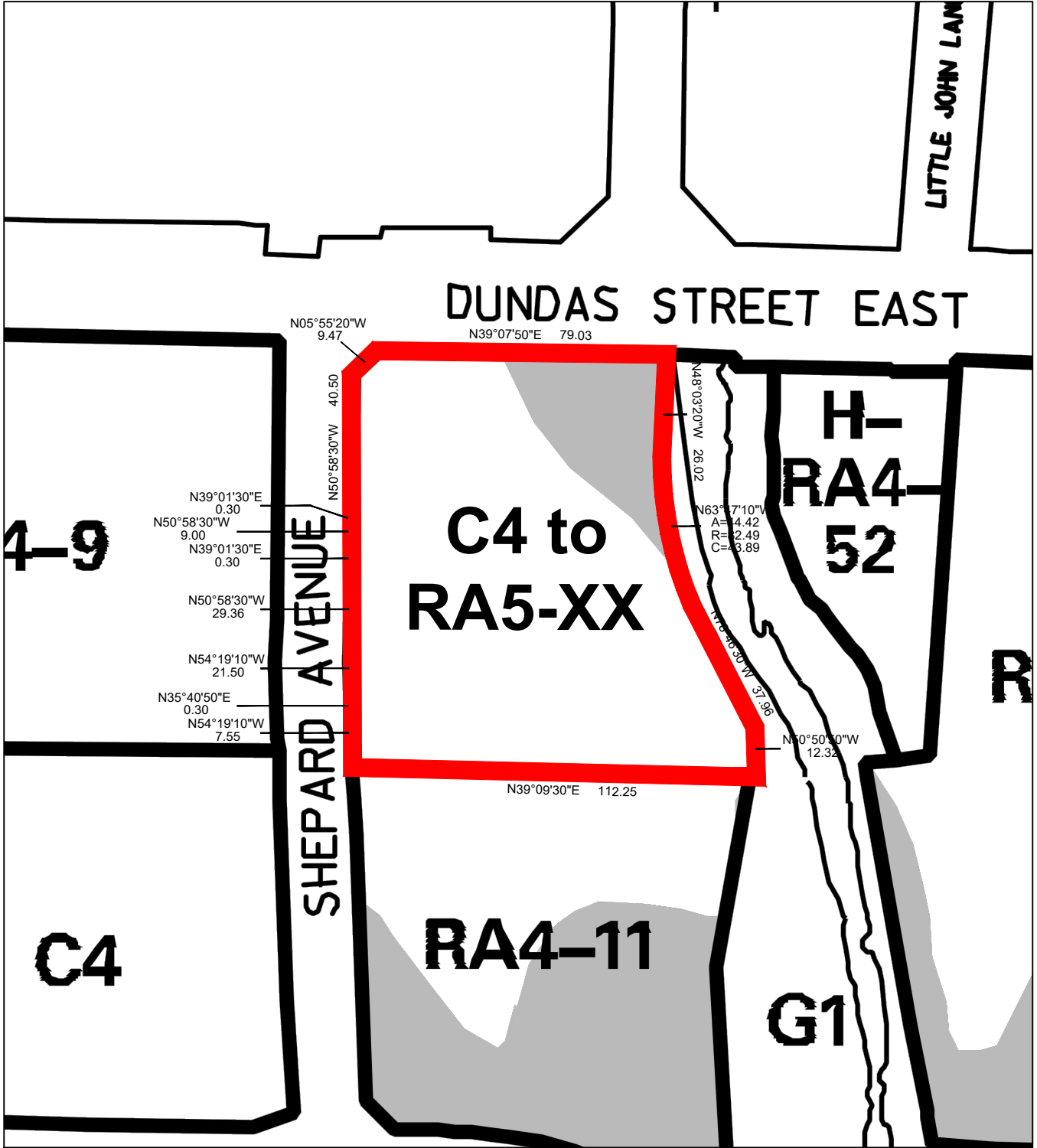
This By-law amends the zoning of the property outlined on the attached Schedule “A” from “C4” to “RA5-XX”.

“RA5-XX” permits an apartment development with a 36 storey tower with a 3 storey podium, and a 33 storey tower and 29 storey tower connected by a 5 storey podium, in compliance with Schedule RA5-XX

Location of Lands Affected

Located on lands municipally addressed as 60 Dundas Street East at the southeast corner of Dundas Street East and Shepard Avenue as shown on the attached map designated as Schedule “A”.

Further information regarding this By-law may be obtained from XXXXXX of the City Planning and Building Staff at (905) 615-3200 x XXXX.



**PART OF LOTS 1 & 2 AND  
 PART OF SHEPARD AVENUE  
 REGISTERED PLAN E-19  
 CITY OF MISSISSAUGA**

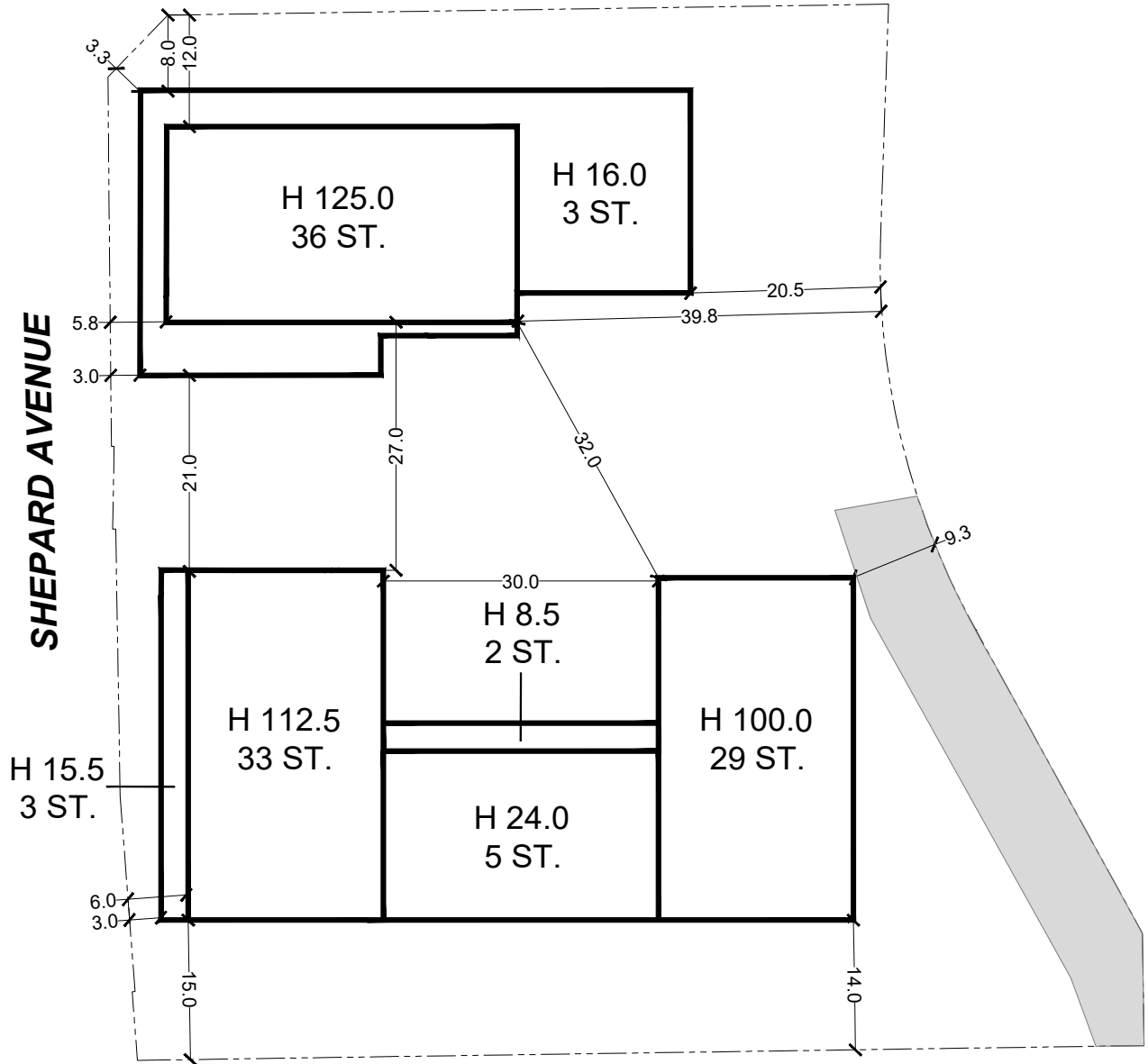
**THIS IS SCHEDULE "A" TO ZONING BY-LAW  
 AMENDMENT NO. XXX**



Not to Scale

**DUNDAS STREET EAST**

**SHEPARD AVENUE**



 Parkland Dedication

**PART OF LOTS 1 & 2 AND  
PART OF SHEPARD AVENUE  
REGISTERED PLAN E-19  
CITY OF MISSISSAUGA**



Not to Scale

**THIS IS SCHEDULE "B" TO ZONING BY-LAW  
AMENDMENT NO. XXX**