

**Stage 1 and 2 Archaeological Assessment of 65-71 Agnes Street
(Formerly Part of Lot 16, Concession 1 North of Dundas St.,
Geographic Township of Toronto, County of Peel)
Now in the City of Mississauga, RM of Peel, Ontario**

Prepared by:



Licensee: Helen R. Haines
Archaeological Consulting Licence: P124
Project Information Number: P124-0106-2022 & P124-0109-2022

ORIGINAL REPORT
Report Dated: April 24, 2022

EXECUTIVE SUMMARY

AS&G Archaeological Consulting was contracted to conduct a Stage 1 and 2 Archaeological Assessment of 65-71 Agnes Street (Formerly Part of Lot 16, Concession 1 North of Dundas Street, Geographic Township of Toronto, County of Peel), now in the City of Mississauga, Regional Municipality of Peel, Ontario. The development project was triggered by the *Planning Act* and the archaeological assessment was done in advance of a Site Plan approval.

The property consists of four small residential lots, two lots (located at the northeast end of the property) have existing structures, driveways, outbuildings, and manicured grassed lawn areas, while the two lots at the southwest end of the property are currently vacant and consist of grassed lawn areas. The property is bound on the east by Cook Street, Agnes Street to the south, and by existing residential properties to the north and west. The property is a rectangular-shaped lot measuring approximately 51 metres north-south by 71 metres east-west (~0.36 hectares in size) within an area of residential development.

A Stage 1 background study of the property was conducted to provide information about the property's geography, history, previous archaeological fieldwork and current land condition in order to evaluate and document in detail the property's archaeological potential and to recommend appropriate strategies for Stage 2 survey. A Stage 2 property assessment was conducted to document all archaeological resources on the property, to determine whether the property contains archaeological resources requiring further assessment, and to recommend next steps. The characteristics of the property dictated that the Stage 2 survey be conducted by a test pit survey strategy.

The Stage 1 background study found that the property exhibits potential for the recovery of archaeological resources of cultural heritage value and concluded that the property requires a Stage 2 assessment. The Stage 2 property assessment, which consisted of a judgmental test pit survey, did not result in the identification of archaeological resources.

The Stage 1 background study concluded that the property exhibits archaeological potential. The Stage 2 property assessment did not identify any archaeological resources within the property. **The report recommends that no further archaeological assessment of the property is required.**

TABLE OF CONTENTS

Executive Summary	i
Table of Contents	ii
Project Personnel	iii
1.0 Project Context	1
2.0 Field Methods	8
3.0 Record of Finds	10
4.0 Analysis and Conclusions	10
5.0 Recommendations	10
6.0 Advice on Compliance with Legislation	12
7.0 Bibliography and Sources	13
8.0 Maps	15
9.0 Images	29

PROJECT PERSONNEL

Project Manager:	Dr. Helen R. Haines (P124)
Project Director:	Mr. Norbert Stanchly (R149)
Field Director:	Mr. Norbert Stanchly
Field Archaeologists:	Mr. Norbert Stanchly Ms. Sierra Davis
Report Preparation:	Mr. Pete Demarte (R1073) Mr. Norbert Stanchly
Graphics:	Mr. Pete Demarte Mr. Norbert Stanchly

INTRODUCTION

The *Ontario Heritage Act*, R.S.O. 1990 c. O.18, requires anyone wishing to carry out archaeological fieldwork in Ontario to have a license from the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI). All licensees are to file a report with the MHSTCI containing details of the fieldwork that has been done for each project. Following standards and guidelines set out by the MHSTCI is a condition of a licence to conduct archaeological fieldwork in Ontario. **AS&G Archaeological Consulting** confirms that this report meets ministry report requirements as set out in the *2011 Standards and Guidelines for Consultant Archaeologists* and is filed in fulfillment of the terms and conditions an archaeological license.

1.0 PROJECT CONTEXT

This section of the report will provide the context for the archaeological fieldwork, including the development context, the historical context, and the archaeological context.

1.1 Development Context

AS&G Archaeological Consulting was contracted to conduct a Stage 1 and 2 Archaeological Assessment of 65-71 Agnes Street (Formerly Part of Lot 16, Concession 1 North of Dundas Street, Geographic Township of Toronto, County of Peel), now in the City of Mississauga, Regional Municipality of Peel, Ontario. The development project was triggered by the *Planning Act* and the archaeological assessment was done in advance of a Site Plan approval. The proponent intends to build a 35-storey dwelling including an underground parking area within the property.

The property is located at 65-71 Agnes St., City of Mississauga, Regional Municipality of Peel. The property consists of four small residential lots, two lots (located at the northeast end of the property) have existing structures, driveways, outbuildings, and manicured grassed lawn areas, while the two lots at the southwest end of the property are currently vacant and consist of grassed lawn areas. Legally the property is described as Part of Lot 16, Concession 1 North of Dundas Street, Geographic Township of Toronto, County of Peel, now in the Regional Municipality of Peel. The property is bound on the east by Cook Street, Agnes Street to the south, and by existing residential properties to the north and west. The property is a rectangular-shaped lot measuring approximately 51 metres north-south by 71 metres east-west (~0.36 hectares in size) within an area of residential development.

Permission to access the property to conduct all required archaeological fieldwork activities, including the recovery of artifacts was given by the landowner and their representative.

1.2 Historical Context

In advance of the Stage 2 assessment, a Stage 1 background study of the property was conducted in order to document the property's archaeological and land use history and present condition. Several sources were referenced to determine if features or characteristics indicating archaeological potential for pre-contact and post-contact resources exist within the property. These included contemporary and historical aerial maps and historic maps.

Characteristics indicating archaeological potential include the near-by presence of previously identified archaeological sites, primary and secondary water sources, features indicating past water sources, accessible or inaccessible shoreline, pockets of well-drained sandy soil, distinctive land formations that might have been special or spiritual places, such as waterfalls, rock outcrops, caverns, mounds, and promontories and their bases, resource areas, (including food or medicinal plants, scarce raw materials, early Euro-Canadian industry), areas of early Euro-Canadian settlement, early historical transportation routes, property listed on a municipal register or designated under the *Ontario Heritage Act* or that is a federal, provincial or municipal historic landmark or site, and property that local histories or informants have identified with possible archaeological sites, historical events, activities, or occupations.

Archaeological potential can be determined not to be present for either the entire property or a part of it when the area under consideration has been subject to extensive and deep land alterations that have severely damaged the integrity of any archaeological resources. This is commonly referred to as 'disturbed' or 'disturbance', and may include: quarrying, major landscaping involving grading below topsoil, building footprints, and sewage and infrastructure development. Archaeological potential is not removed where there is documented potential for deeply buried intact archaeological resources beneath land alterations, or where it cannot be clearly demonstrated through background research and property inspection that there has been complete and intensive disturbance of an area. Where complete disturbance cannot be demonstrated in Stage 1, it will be necessary to undertake Stage 2 assessment.

The background study determined that the following features or characteristics indicate archaeological potential for the property:

- There is one (1) known archaeological site within a one-kilometre radius of the property (i.e. The Cooksville (AjGv-92) Site [a multi-component site] is located approximately 100 metres to the southwest of the property).
- The property is located within 100 metres of an area of early Euro-Canadian settlement and transportation routes.
- The property is situated within the Iroquois Plain physiographic region of southern Ontario (Chapman and Putnam 1984:190-196). The Iroquois Plain

physiographic region covers a large area from the Niagara River to the Trent River and around the western end of Lake Ontario. Soils within the region vary greatly as they formed on a lakebed and range from a sandy base to a clay base, with poor drainage in some areas.

In summary there are areas of archaeological potential within the property. The Stage 1 background study identified that the property retains archaeological potential.

1.2.1 Pre-Contact Period

The Precontact period began with the arrival of nomadic peoples with the gradual retreat of the glaciers approximately 12,000 years ago (Karrow and Warner 1990). Between 12,000 and 10,000 years before present, the Paleoindian period was characterized by people that lived in small family groups, subsisting on large game and other fauna associated with the cooler environments of the period (Ellis and Deller 1990).

Archaic Period (10,000 - 2800 BP) - As the climate in southern Ontario warmed, Aboriginal populations adapted to these new environments. New technologies and subsistence strategies were introduced and developed. Woodworking implements such as groundstone axes, adzes and gouges began to appear, as did net-sinkers (for fishing), numerous types of spear points and items made from native copper, which was mined from the Lake Superior region. The presence of native copper on archaeological sites in southern Ontario and adjacent areas suggests that Archaic groups were involved in long range exchange and interaction. The trade networks established at this time were to persist between Aboriginal groups until European contact. Archaic peoples became seasonal hunters and gatherers to exploit seasonably available resources in differing geographic areas. As the seasons changed, these bands split into smaller groups and moved inland to exploit other resources that were available during the fall and winter such as deer, rabbit, squirrel and bear, which thrived in the forested margins of these areas (Ellis et al. 1990).

The Woodland Period (2800 BP to AD 750) saw the gradual establishment of technological and social changes, especially the appearance of clay pots (Spence et al. 1990). Population increases also led to the establishment of larger camps and villages with more permanent structures. Elaborate burial rituals and the interment of numerous exotic grave goods with the deceased began to take place. Increased trade and interaction between southern Ontario populations and groups as far away as the Atlantic coast and the Ohio Valley was also taking place. The Late Woodland period is marked by the introduction of maize to Southern Ontario, ca. AD 700. With the development of horticulture as the predominant subsistence base, the Late Woodland Period gave rise to a tremendous population increase and the establishment of permanent villages. Social changes were also taking place and distinct clustering of both longhouses within villages (clan development) and villages within a region (tribal development). The Late

Woodland groups that inhabited the Toronto area eventually moved their villages northward toward Georgian Bay. It was these and other groups in southwest Ontario that eventually evolved into the Aboriginal nations who interacted with and were described by French missionaries and explorers during the early seventeenth century (Williamson 2013).

1.2.2. Post-Contact History: Peel County, Toronto Township, Village of Cooksville

Although Europeans first settled Toronto Township in Peel County in 1805, the county was not officially formed until 1851. The County of Peel is named after Sir Robert Peel, a former Prime Minister of the United Kingdom. The county is comprised of several townships and villages and the most notable municipalities within Peel County are Brampton, Mississauga and Caledon (Wikipedia 2022). In 1973, the County of Peel was reorganized and renamed as the Regional Municipality of Peel.

Toronto Township in Peel County was founded on August 2, 1805, by the City of York which had purchased 84,000 acres (~33,994 hectares) of the Mississauga Tract from the Mississaugas. The survey of the township was completed in the spring of 1806 and was opened for settlement that same year resulting in the formation of several small communities, including: Cooksville, Clarkson, Erindale, Port Credit, and Summerville. The majority of the lands in Toronto Township were given by the Crown (in the form of land grants) to United Empire Loyalists who had fled the United States following the American Revolution. Additional lands were purchased by the City of York in 1820, which resulted in the relocation of the Mississauga peoples. Initially, the focus of the colonial settlement was along Dundas Street, the main east-west corridor through the province at that time, and later along Centre Road, known today as Hurontario Street or Highway 10 (Riendeau 2002:123-126). By 1847 the Mississaugas had been moved to an indigenous reserve in the Grand River Valley. With another expansion of the township in 1873, the Toronto Township Council was formed and took on the responsibility of managing the various affairs of the community.

The Village of Cooksville is located where Hurontario Street intersects with Dundas Street West. Originally named “Harrisville”, after Daniel Harris, later the village was renamed Cooksville when Harris sold part of his holdings to Jacob Cook in 1819 (Riendeau 2002:129). Cook was an entrepreneur who secured a government contract to carry mail along Dundas Street between Toronto and Ancaster. He also operated a stagecoach service between Toronto and Hamilton, with his home village being a major stop along the route. In 1830, land around the intersection began to be sold in small village building lots, and in 1836, Harrisville was renamed Cooksville to acknowledge the part Jacob Cook played in its growth (Riendeau 2002:130). By 1846, Cooksville had a population of 185 inhabitants and it contained two stores, two taverns, one tannery, and three sawmills; the trades and professions to be found in Cooksville according to Smith’s Canadian Gazetteer included one physician and surgeon, one watchmaker, one

blacksmith, one saddler, one tinsmith, two wagon makers, four shoemakers, two tailors, one baker, and one painter (Smith 1846:38).

1.2.3 Past Land Use of the Property

The property consists of four small residential lots, two lots (located at the northeast end of the property) have existing structures, driveways, outbuildings, and manicured grassed lawn areas, while the two lots at the southwest end of the property are currently vacant and consist of grassed lawn areas. The property is bound on the east by Cook Street, Agnes Street to the south, and by existing residential properties to the north and west. The property is a rectangular-shaped lot measuring approximately 51 metres north-south by 71 metres east-west (~0.36 hectares in size) within an area of residential development. Historically, the property lies in the southern portion of Lot 16, Concession 1 North of Dundas Street, Toronto Township, Peel County.

Historical Atlas Mapping

Tremaine's 1859 Historical Atlas Map of the County of Peel, Canada West, indicates that Lot 16, Concession 1 North of Dundas Street, Toronto Township, Peel County, including the current property limits, were located within the townplot of the Village of Cooksville, and does not depict any ownership information or structures within the limits of the property. According to the *Walker & Miles 1877 Illustrated Historical Atlas of the County of Peel, Ontario*, Lot 16, Concession 1 North of Dundas Street, Toronto Township, Peel County, including the current property limits, were located within the townplot of the Village of Cooksville, and also does not depict any ownership information or structures within the limits of the property.

In discussing 19th century mapping, it must be remembered that historical county atlases were produced primarily to identify factories, offices, residences and landholdings of subscribers and were funded by subscription fees. Landowners who did not subscribe were not always listed on the maps. As such, all structures were not necessarily depicted or placed accurately. Regardless of these limitations, the property as depicted on these maps was in close proximity to both historic settlement and transportation features.

Historical Aerial Photographs

Currently, the property consists of four small residential lots, two lots (on the northeast end of the property) have existing structures, driveways, outbuildings, and manicured grassed lawn areas, while the two lots at the southwest end of the property are currently vacant and consist of grassed lawn areas. The property is bound on the east by Cook Street, Agnes Street to the south, and by existing residential properties to the north and west.

Historical aerial photography through the City of Toronto Archives website (2022) is available for Toronto from 1947 to 1992 and extends west beyond Etobicoke into Mississauga for selected years between 1960 and 1975.

The available historic photographs for the property indicate that all four lots that comprise the greater property limits were residential lots with existing structures as of the year 1960 (Map 6). These same structures are also depicted within aerial photographs for the years 1966 – 1975 (Maps 7-9). At some point between 1975 and 2004 the structures on the two lots at the southwest end of the property were removed, while those on the two lots to the northeast remain to the present-day (Maps 10 and 2).

In summary, the Stage 1 background study indicates that there is potential for the recovery of pre-contact and post-contact Euro-Canadian archaeological resources within the property. As it cannot be clearly demonstrated through the background study that there has been complete and intensive disturbance of the area, archaeological potential is not removed.

1.3 Archaeological Context

In Ontario, information concerning archaeological sites is stored in the Ontario Archaeological Sites Database (O.A.S.D.), an inventory of the documented archaeological record in Ontario.

Summary information on the known archaeological sites in the vicinity of the property was obtained from the MHSTCI site database. There are no known archaeological sites within the property, however, there is one (1) registered site within a one-kilometre radius of the property (Table 1).

Table 1: Known Archaeological Sites within 1-Km of Property					
<u>Borden Number</u>	Site Name	Time Period	Affinity	Site Type	Current Development Review Status
AjGv-92	Cooksville	Post-Contact, Pre-Contact		Other – 50% of artifacts are demolition debris, findspot	No further CHVI

The Cooksville (AjGv-92) Site is located approximately 100 metres to the southwest of the property. The site was identified by AMICK Consultants Limited in 2019 during a Stage 1-2 archaeological assessment of 89 Dundas Street West and 98 Agnes Street, Mississauga (AMICK 2019). As a result of the property assessment, a multi-component

site, the Cooksville (AjGv-92) Site was identified. The Stage 2 test pitting survey resulted in the discovery of 657 artifacts from 91 positive test pits, most of which dated to the mid-19th century, however one artifact, a lithic point tip of an unknown age or cultural origin was also recovered, with the remainder of the assemblage being post-contact historic artifacts. Based on the characteristics of the site and the analysis of artifacts, a Stage 3 Site-Specific Assessment was recommended.

Following the original Stage 1-2 archaeological assessment of the Cooksville (AjGv-92) Site performed by AMICK (2019), Archaeological Services Inc. (ASI) was contracted to conduct an additional Stage 2 assessment of the site in April 2020 (ASI 2020). The results of that study indicate that the datable attributes of the 656 artifacts analyzed by AMICK indicate that the Cooksville site deposit is not characteristic of a timespan where 80 percent or more predates 1870, thus the site does not possess CHVI using the provincial criteria of date. A qualitative analysis of the relative frequency of functional artifact classes indicated that demolition debris in the Architectural Class dominated the assemblage at 49.2 percent, and Indeterminate Class metal containers and modern commercial glass containers made up 19.7 percent of the assemblage. These artifact classes are not representative of the occupation of the property and will not make a significant contribution to telling the Harris family story or the economic development of Cooksville. The Kitchen and Food-related Class, which is the signature of a midden that has formed in situ through daily activities, is under-represented at 21.5 percent. Therefore, it was concluded that the Cooksville Site (AjGv-92) has been sufficiently documented and does not possess CHVI, and no further assessment of the site was recommended.

AS&G Archaeological Consulting is not aware of any previous archaeological assessments that have been conducted on or within 50 metres of the property.

The property is located at municipal address 65-71 Agnes Street, Mississauga. The property consists of four small residential lots, two lots (on the northeast end of the property) have existing structures, driveways, outbuildings, and manicured grassed lawn areas, while the two lots at the southwest end of the property are currently vacant and consist of grassed lawn areas. The property is bound on the east by Cook Street, Agnes Street to the south, and by existing residential properties to the north and west. The property is a rectangular-shaped lot measuring approximately 51 metres north-south by 71 metres east-west (~0.36 hectares in size) within an area of residential development.

The property is situated within the Iroquois Plain physiographic region of southern Ontario (Chapman and Putnam 1984:190-196). The Iroquois Plain physiographic region covers a large area from the Niagara River to the Trent River and around the western end of Lake Ontario. This region was formed under glacial Lake Iroquois and the former shorelines in the area possess unique geomorphological features including cliffs, beaches,

bars and boulder pavements. Soils within the region vary greatly as they formed on a lakebed and range from a sandy base to a clay base, with poor drainage in some areas.

The archaeological fieldwork of the property was undertaken on March 23 and April 10, 2022, under partly cloudy to sunny skies and warm temperatures. No rain occurred during the fieldwork.

There are no unusual physical features that may have affected fieldwork strategy decisions or the identification of artifacts or cultural features.

There is no additional archaeological information that may be relevant to understanding the choice of fieldwork techniques or the recommendations of this report.

2.0 FIELD METHODS

A Stage 1 property inspection was conducted on March 23, 2022 and consisted of a visit to the property to gain first-hand knowledge of its geography, topography, and current condition, and to evaluate and map archaeological potential. The property was inspected when weather conditions permitted good visibility of land features. The weather was overcast and cool.

It is a visual inspection only and does not include excavation or collection of archaeological resources. The property inspection was conducted to supplement the recommendation of archaeological potential based on aerial photography, available mapping and the background study. The entire property and its periphery were inspected. The inspection consisted of random spot-checking and coverage was sufficient to identify the presence or absence of any features of archaeological potential.

The property is located at municipal address 65-71 Agnes Street, Mississauga. The property consists of four small residential lots, two lots (on the northeast end of the property) have existing structures, driveways, outbuildings, and manicured grassed lawn areas, while the two lots at the southwest end of the property are currently vacant and consist of grassed lawn areas. The property is bound on the east by Cook Street, Agnes Street to the south, and by existing residential properties to the north and west. The property is a rectangular-shaped lot measuring approximately 51 metres north-south by 71 metres east-west (~0.36 hectares in size) within an area of residential development.

The inspection identified that portions of the property retain archaeological potential although the majority of the property has no archaeological potential due to previous disturbances associated with both infrastructure and the construction of the existing buildings located at 65 Agnes Street, Mississauga. The characteristics of the property detailed that the Stage 2 survey be conducted by a test pit survey strategy. The entire

property was surveyed with the exception of areas identified as including features of extensive and deep land alterations, including the existing residential structures and driveways.

As relevant, we provide detailed and explicit descriptions addressing Standards 2a and b.

The general standards for property survey under Section 2.1 of the 2011 Standards and Guidelines for Consultant Archaeologists were addressed as follows:

- Section 2.1, S1 – All of the property was surveyed.
- Section 2.1, S2a (land of no or low potential due to physical features such as permanently wet areas, exposed bedrock, and steep slopes) – n/a
- Section 2.1, S2b (no or low potential due to extensive and deep land alterations) – The property contains several features of extensive and deep land alterations, including previous razing of structures and the presence of existing residential structures, outbuildings, and driveways.
- Section 2.1, S2c (lands recommended not to require Stage 2 assessment by a previous Stage 1 report where the Ministry has accepted that Stage 1 into the register) - n/a
- Section 2.1, S2d (lands designated for forest management activity w/o potential for impacts to archaeological sites, as determined through Stage 1 forest management plans process) - n/a
- Section 2.1, S2e (lands formally prohibited from alterations) - n/a
- Section 2.1, S2f (lands confirmed to be transferred to a public land holding body, etc.) - n/a
- Section 2.1, S3 - The Stage 2 survey was conducted when weather and lighting conditions permitted excellent visibility of features.
- Section 2.1, S4 - No GPS recordings were taken as no artifacts were found during the Stage 2 assessment.
- Section 2.1, S5 - All field activities were mapped in reference to either fixed landmarks, survey stakes and development markers as appropriate. See report section 8.0 *Maps*.
- Section 2.1, S6 - See report section 9.0 *Images* for photo documentation of examples of field conditions encountered.

The property was subject to a judgmental test pit survey appropriate to the characteristics of the property. The test pit survey was initially planned to be systematic with test pits placed at five metre intervals. However, it became apparent with the first test pit, that the entirety of the property had been subject to deep disturbances and land alteration due to previous construction activities. The test pit survey of the property followed the standards within Section 2.1.2 of the *2011 Standards and Guidelines for Consultant Archaeologists*. Test pit survey was only conducted where ploughing was not possible or

viable, as per Standard 1. Test pits were judgmentally spaced throughout the property. All test pits were at least 30 cm in diameter. Each test pit was excavated by hand, into at least the first 5 cm of subsoil and examined for stratigraphy, cultural features, or evidence of fill where possible. Soils were screened through 6 mm mesh. No original topsoils were noted within the test pits. Each test pit consisted of disturbed and mottled gravel fills associated with previous disturbances. All test pits were backfilled. No stratigraphy or cultural features were noted. No artifacts were encountered.

3.0 RECORD OF FINDS

This section documents all finds discovered as a result of the Stage 1 and 2 archaeological assessment of the property.

No cultural resources, features or sites were identified during the Stage 2 test pitting survey.

An inventory of the documentary record generated in the field is provided in Table 2.

Table 2: Inventory of Documentary Record	
Document Type	Description
Field Notes	<ul style="list-style-type: none">• This report constitutes the field notes for this project
Photographs	<ul style="list-style-type: none">• 18 digital photographs
Maps	<ul style="list-style-type: none">• The report figures represent all of the maps generated in the field.

Information detailing exact site locations on the property is not submitted because no sites or archaeological resources were identified in the Stage 2 assessment.

4.0 ANALYSIS AND CONCLUSIONS

No archaeological resources, features or sites were identified within the property. Standard 2 is not addressed because no sites were identified.

5.0 RECOMMENDATIONS

The report makes recommendations only regarding archaeological matters.

The Stage 2 assessment did not identify any archaeological resources or sites requiring further assessment or mitigation of impacts and **it is recommended that no further archaeological assessment of the property be required.**

6.0 ADVICE ON COMPLIANCE WITH LEGISLATION

Section 7.5.9, Standard 1a

This report is submitted to the Minister of Tourism and Culture as a condition of licensing in accordance with Part VI of the *Ontario Heritage Act*, R.S.O. 1990, c 0.18. The report is reviewed to ensure that it complies with the standards and guidelines that are issued by the Minister, and that the archaeological fieldwork and report recommendations ensure the conservation, protection and preservation of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the Ministry of Tourism and Culture, a letter will be issued by the ministry stating that there are no further concerns with regard to alterations to archaeological sites by the proposed development.

Section 7.5.9, Standard 1b

It is an offence under Sections 48 and 69 of the *Ontario Heritage Act* for any party other than a licensed archaeologist to make any alteration to a known archaeological site or to remove any artifact or other physical evidence of past human use or activity from the site, until such time as a licensed archaeologist has completed archaeological fieldwork on the site, submitted a report to the Minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeological Reports referred to in Section 65.1 of the *Ontario Heritage Act*.

Section 7.5.9, Standard 1c

Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and therefore subject to Section 48 (1) of the *Ontario Heritage Act*. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed consultant archaeologist to carry out archaeological fieldwork, in compliance with Section 48 (1) of the *Ontario Heritage Act*.

Section 7.5.9, Standard 1d

The *Cemeteries Act*, R.S.O. 1990 c. C.4 and the *Funeral, Burial and Cremation Services Act*, 2002, S.O. 2002, c.33 (when proclaimed in force) require that any person discovering human remains must notify the police or coroner and the Registrar of Cemeteries at the Ministry of Consumer Services.

Section 7.5.9, Standard 2

Not applicable

7.0 BIBLIOGRAPHY AND SOURCES

AMICK Consultants Limited (AMICK)

- 2019 Stage 1-2 Archaeological Property Assessment of 89 Dundas Street West and 98 Agnes Street, Lots 14, 15, 31, 32 and Part of Lot 13 West of Hurontario Street, Registered Plan TOR-12, Part of Lot 16, Concession 1 North of Dundas Street, Geographic Township of Toronto, County of Peel, City of Mississauga, Regional Municipality of Peel. MHSTCI PIF#: P058-1786-2019. Revised Report on file with the Ministry of Heritage, Sport, Tourism and Culture Industries, Toronto.

Archaeological Services Inc. (ASI)

- 2020 Stage 2 Archaeological Assessment of the Cooksville Site (AjGv-92), 89 Dundas Street West and 98 Agnes Street Redevelopment, Lots 14, 15, 31, 32 and Part of Lot 13 West of Hurontario Street, Registered Plan TOR-12, Part of Lot 16, Concession 1 NDS, Geographic Township of Toronto, City of Mississauga. MHSTCI PIF#: P125-0302-2020. Original Report on file with the Ministry of Heritage, Sport, Tourism and Culture Industries, Toronto.

Chapman, L.J. and F. Putnam

- 1984 The Physiography of Southern Ontario, Ontario Geological Survey Special Volume 2. Toronto: Government of Ontario, Ministry of Natural Resources.

City of Toronto

- 2022 City of Toronto Aerial Photographs. Accessed online at:
<https://www.toronto.ca/city-government/accountability-operations-customer-service/access-city-information-or-records/city-of-toronto-archives/whats-online/maps/aerial-photographs/>

Ellis, C.J. and Deller, D.B.

- 1990 Paleo-Indians. In C.J. Ellis, and N. Ferris, (Eds.). The Archaeology of Southern Ontario to A.D. 1650. London, Ontario: Occasional Publication of the London Chapter, OAS, pp. 37-64.

Ellis, C.J., Kenyon, I.T., and Spence, M.W.

- 1990 The Archaic. In C.J. Ellis, and N. Ferris, (Eds.). The Archaeology of Southern Ontario to A.D. 1650. London, Ontario: Occasional Publication of the London Chapter, OAS, pp. 65-124.

GoogleEarth

- 2022 2004 Historic Aerial Mapping of 65-71 Agnes Street, Mississauga, Ontario.

Karrow, P.F. and Warner, B.G.

1990 The Geological and Biological Environment for Human Occupation in Southern Ontario. In C.J. Ellis, and N. Ferris (Eds.). The Archaeology of Southern Ontario to A.D. 1650. London, Ontario: Occasional Publication of the London Chapter, OAS, pp. 5-35.

Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI)

2011 Standards and Guidelines for Consultant Archaeologists.

Ministry of Natural Resources and Forestry (MNRF)

2022 Make a Topographic Map. Accessed online at:

https://www.lioapplications.lrc.gov.on.ca/MakeATopographicMap/index.html?viewer=Make_A_Topographic_Map.MATM&locale=en-US

Riendeau, R.

2002 Settlement and Lost Villages: A History of Toronto Township. In, Mississauga The First 10,000 Years, edited by F. Dieterman, pp. 123-141.

Smith, W.H.

1846 Smith's Canadian Gazetteer. H & W Rowsell, Toronto.

Spence, M.W., Pihl, R.H., and Murphy, C.R.

1990 Cultural Complexes of the Early and Middle Woodland Periods. In Ellis, C.J. and N. Ferris (Eds.) The Archaeology of Southern Ontario to A.D. 1650. London, Ontario: Occasional Publication of the London Chapter, OAS, pp. 125-169.

Tremaine, G.R.

1859 Tremaine's Map of the County of Peel, Canada West. Toronto.

Walker & Miles

1877 Illustrated Historical Atlas of the County of Peel, Ontario. Toronto.

Wikipedia

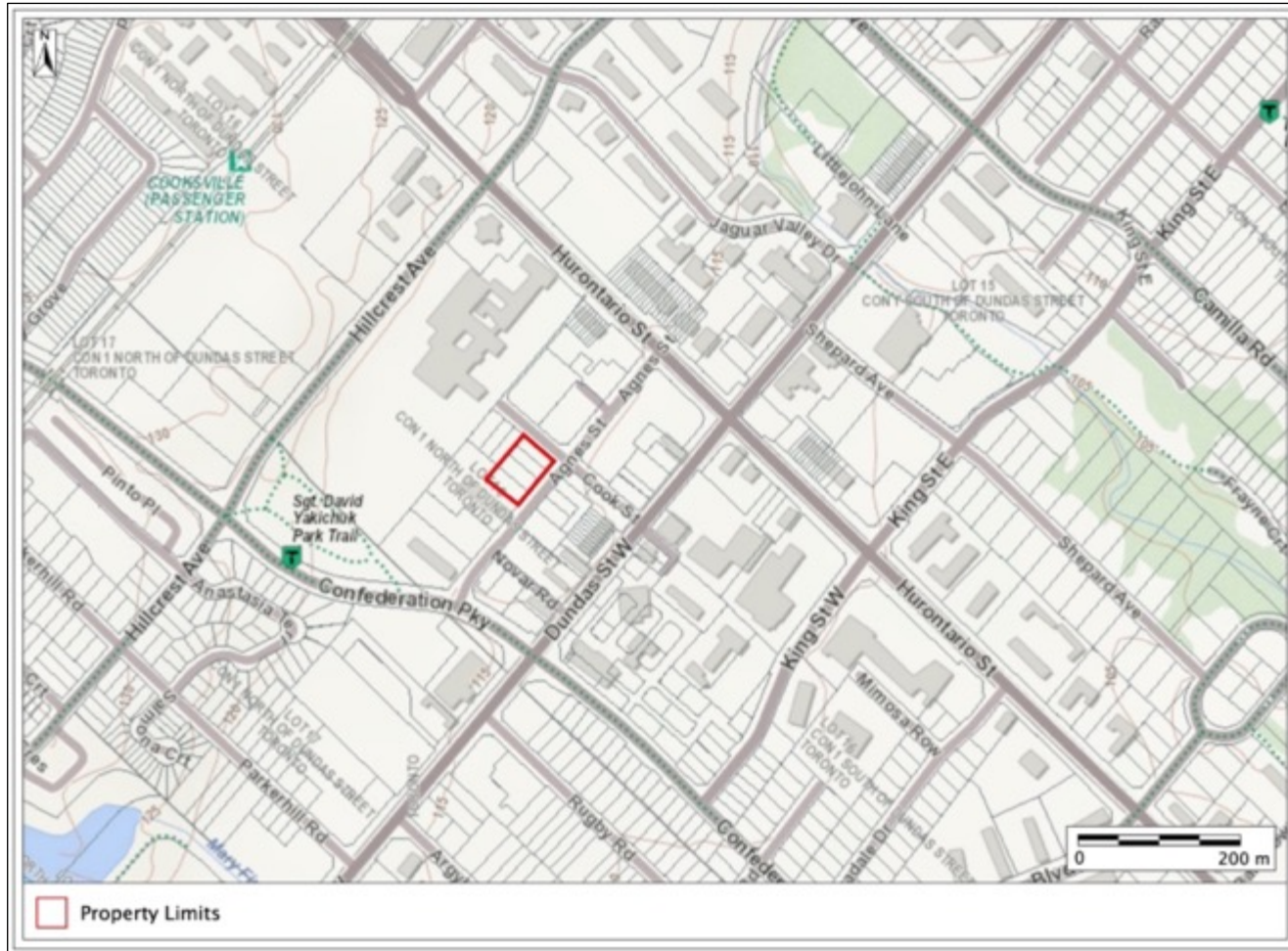
2022 Peel County, Ontario. Accessed online at:

http://en.wikipedia.org/wiki/Peel_County,_Ontario

Williamson, R.F.

2013 The Woodland Period, 900 BCE to 1700 CE. In Munson, M.K. and Jamieson, S.M (Eds.) Before Archaeology: The Archaeology of a Province. Montreal & Kingston, Ontario: McGill Queen's University Press.

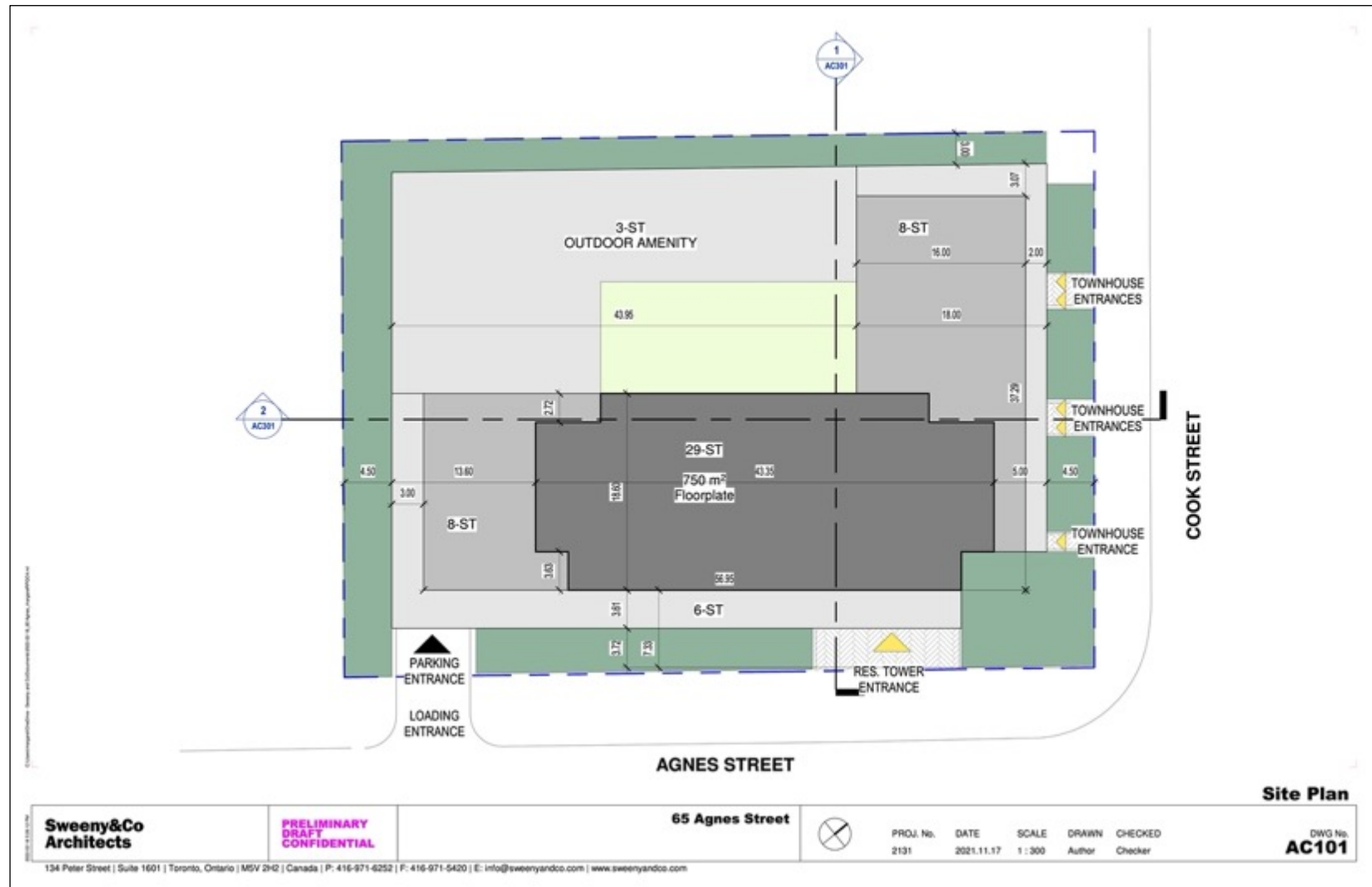
8.0 MAPS



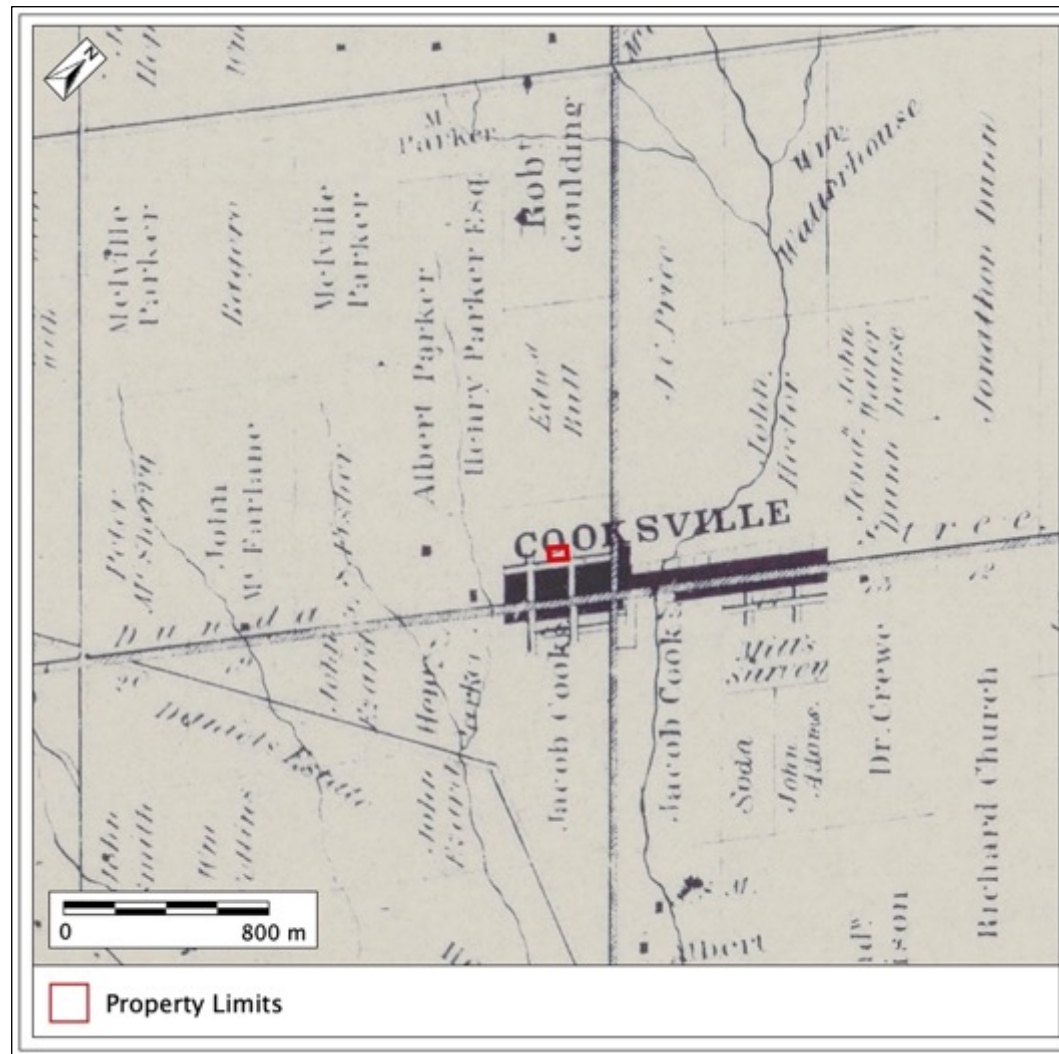
Map 1: General Location of Property Limits (MNR 2022).



Map 2: 2019 Aerial Imagery of Property Limits (MNR 2022).



Map 3: Site Plan of Property (Provided by Project Proponent).



Map 4: Property Limits Overlaid on 1859 Historic Atlas Map (Tremaine 1859).



Map 6: Property Limits Overlaid on 1960 Aerial Photograph (City of Toronto 2022).



Map 7: Property Limits Overlaid on 1966 Aerial Photograph (City of Toronto 2022).



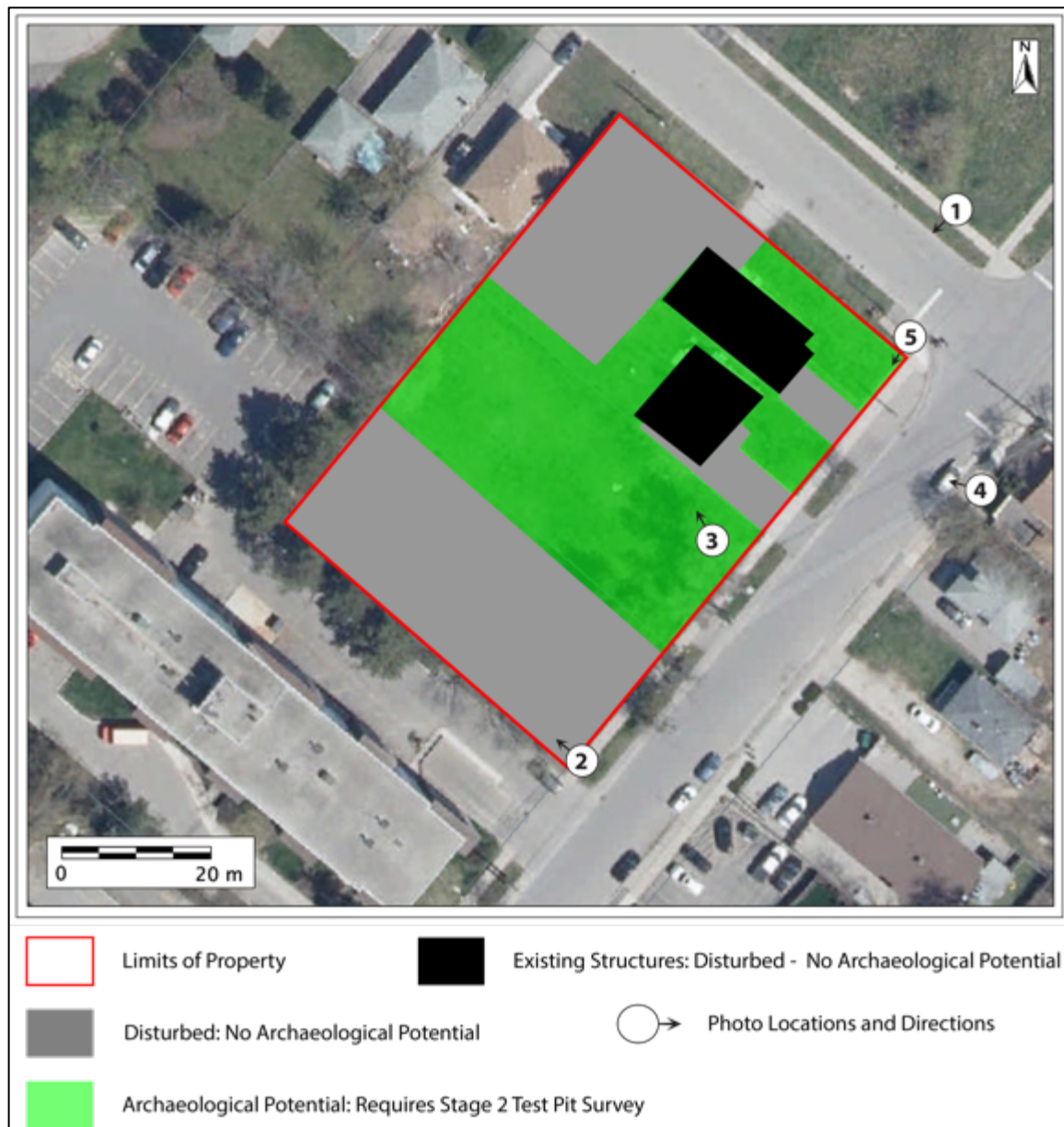
Map 8: Property Limits Overlaid on 1970 Aerial Photograph (City of Toronto 2022).



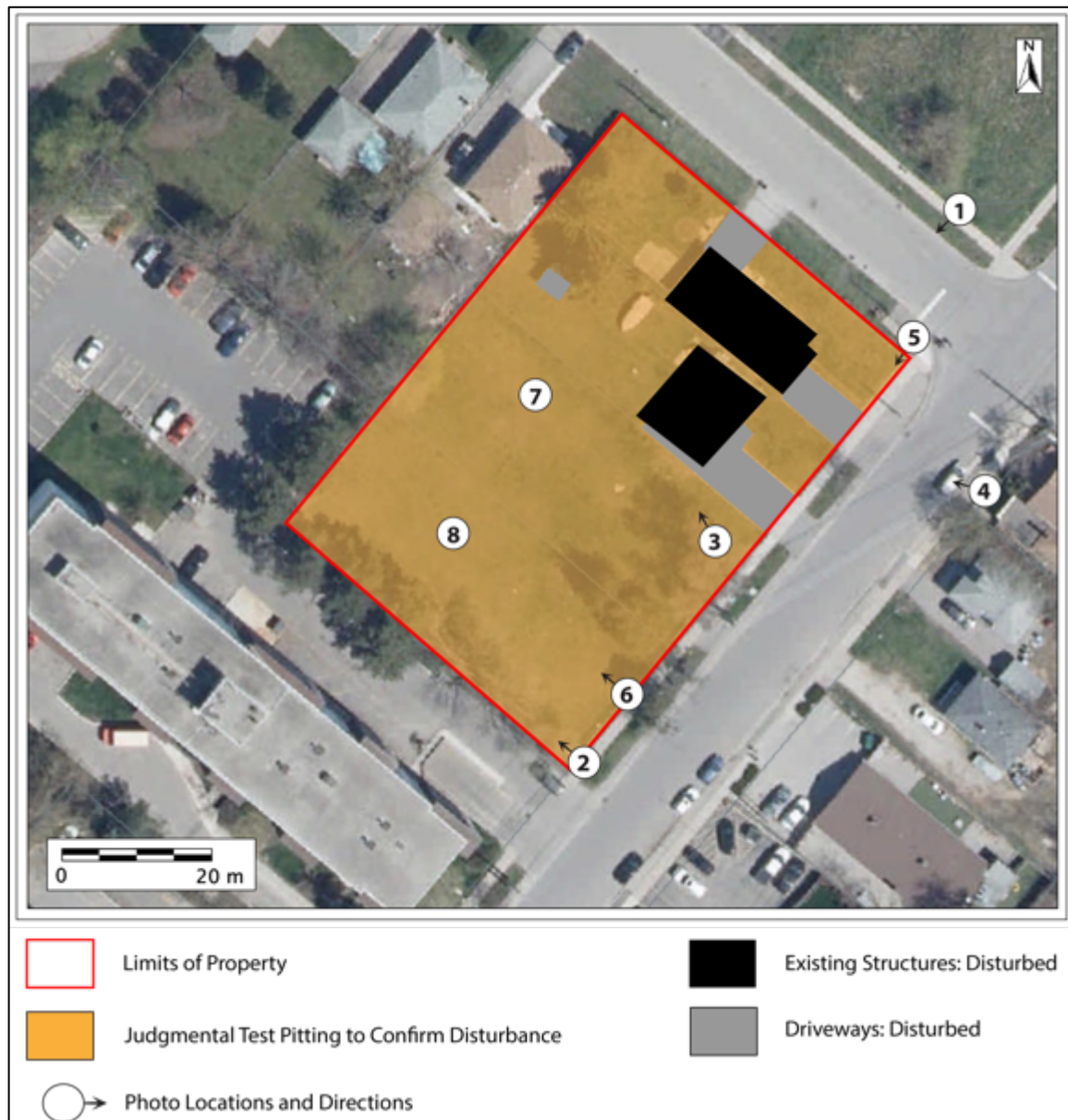
Map 9: Property Limits Overlaid on 1975 Aerial Photograph (City of Toronto 2022).



Map 10: Property Limits Overlaid on 2004 Satellite Imagery (GoogleEarth 2022).



Map 11: Results of the Stage 1 archaeological assessment overlaid on aerial imagery.



Map 12: Results of the Stage 2 archaeological assessment overlaid on recent aerial imagery.



Map 13: Results of the Stage 1 archaeological assessment overlaid on development mapping provided by proponent.

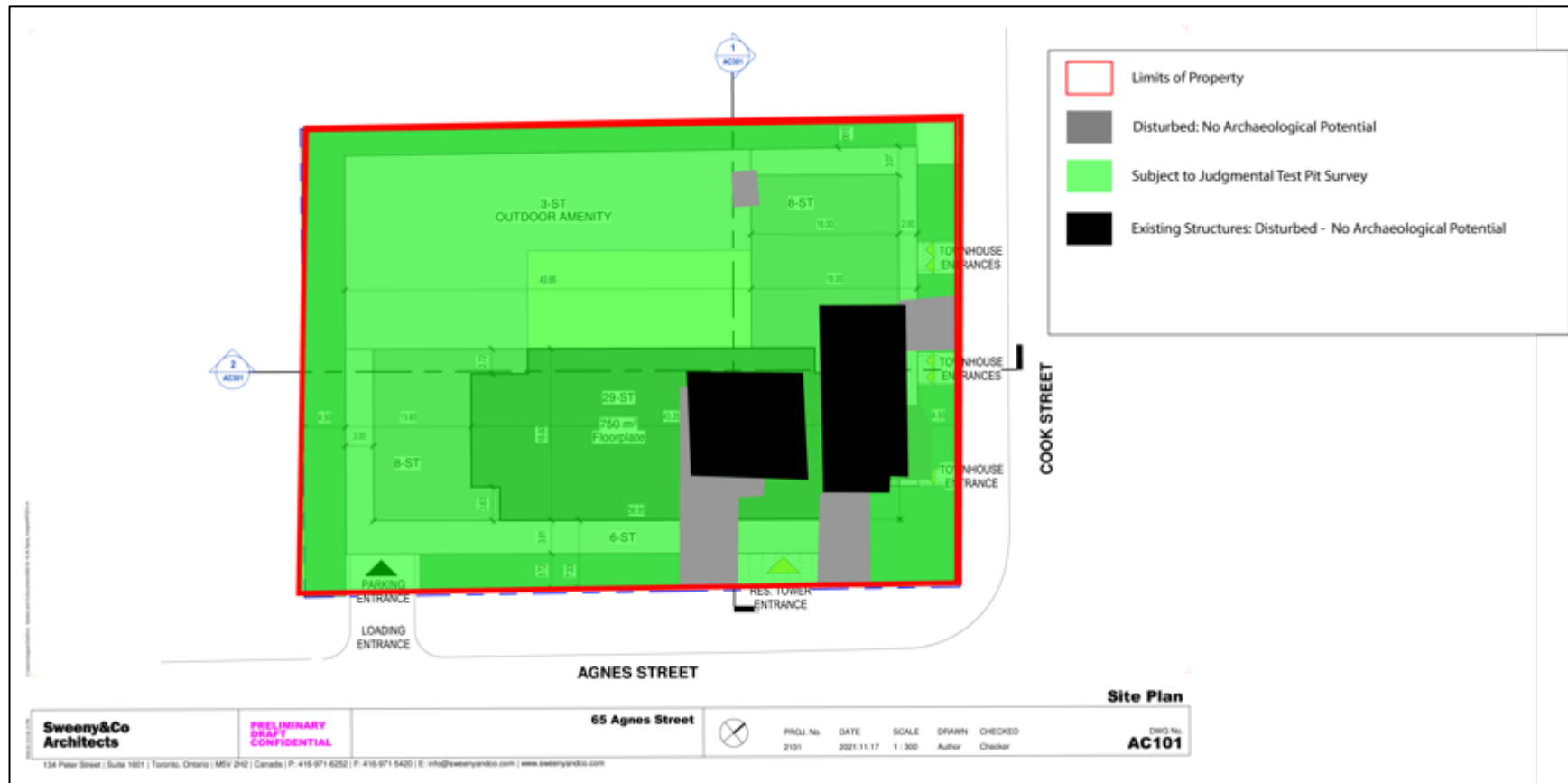


Image 14: Results of the Stage 2 archaeological assessment overlaid on development mapping.

9.0 IMAGES



Image 1: Shows existing structures, grassed lawn and periphery of property.



Image 2: Shows grassed lawn requiring Stage 2 test pit survey to determine previous disturbance.



Image 3: Shows grassed lawn requiring Stage 2 test pit survey to determine previous disturbance.



Image 4: Shows existing structures, driveways and grassed lawns.



Image 5: Shows periphery of property, existing structures and grassed lawn requiring Stage 2 test pit survey.



Image 6: Conditions for Stage 2 test pit survey.



Image 7: Shows mottled and disturbed soil representative of test pits.



Image 8: Representative photo showing gravel fills noted in test pits.