

GEODETIC BM ELEV. = 115.617m
 ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM THE TOWN OF MISSISSAUGA BENCHMARKS: No. 1001, ELEVATION=123.221m No. 1059, ELEVATION=115.617

SITE BENCHMARK ELEV. = 115.14m
 CONCRETE PIN IN SIDEWALK LOCATED ON SOUTH SIDE OF AGNES STREET.

NOTE TO CONTRACTOR :
 DO NOT SCALE DRAWINGS.
 CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
 ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.
 THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT M.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY M.T.E. CONSULTANTS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

- NOTE:**
- PROPERTY-LINE IS APPROXIMATE ONLY.
 - EXISTING TOPOGRAPHICAL INFORMATION PROVIDED BY J.D.BARNES.
 - INVERTS DENOTED WITH "±" ARE TAKEN FROM AS-RECORDED PLAN AND PROFILE DRAWINGS COMPLETED BY CITY OF MISSISSAUGA AND ARE CONSIDERED APPROXIMATE ONLY. CONTRACTOR TO FIELD VERIFY AND REPORT ANY DISCREPANCIES TO ENGINEER.
 - THIS PLAN IS PART OF A SET OF PLANS WHICH COMPRISE OF THE FOLLOWING: C1.1, C2.1, C2.2, C2.3, AND THE SWM REPORT.

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1.	OPA/ZBLA	LXQ 2022-04-29
No.	REVISION	BY YYYY-MM-DD



905-639-2552



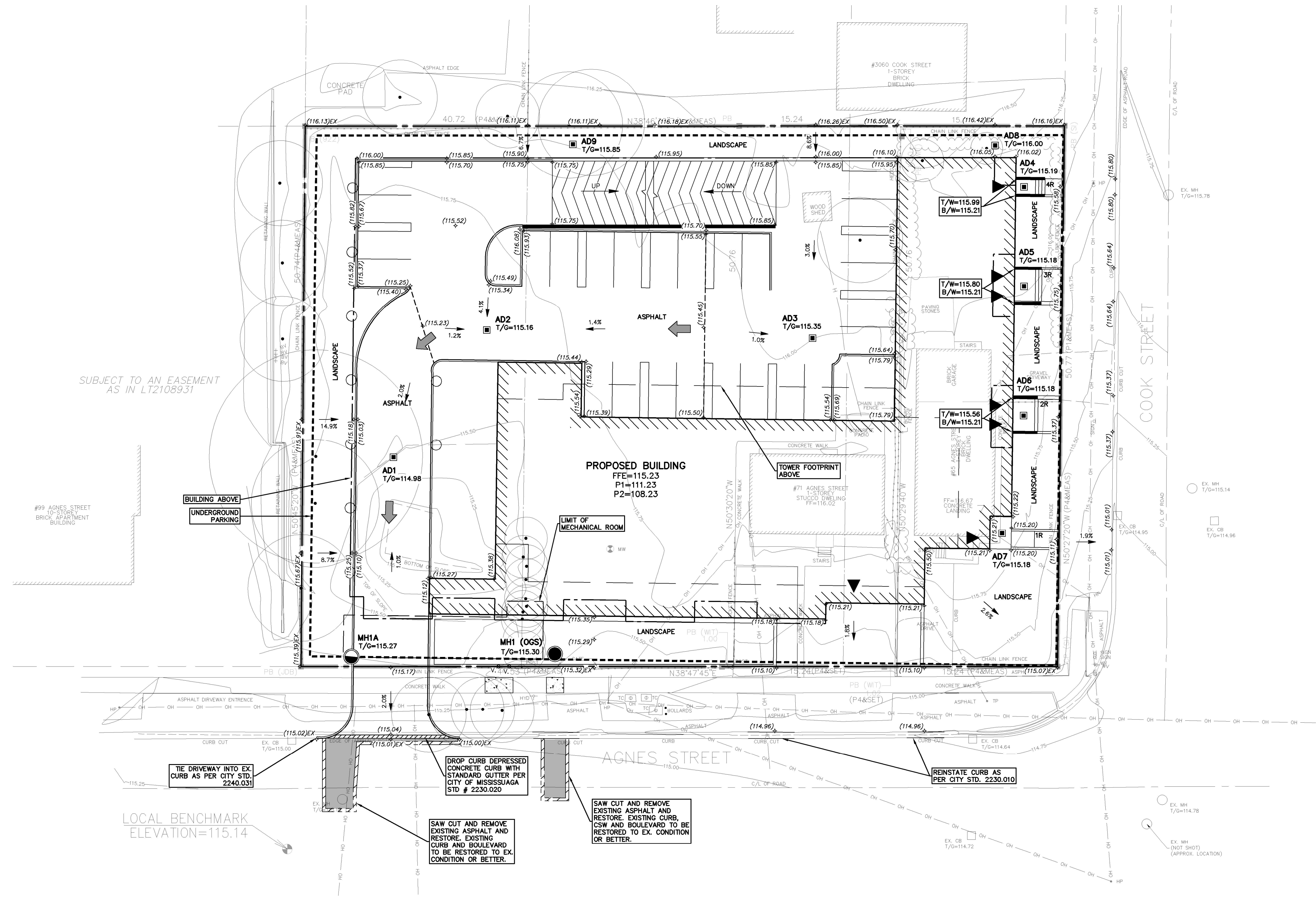
NOT FOR CONSTRUCTION

CLIENT
 INTENTIONAL CAPITAL
 147 LIBERTY STREET TORONTO, ON

PROJECT
 65-71 AGNES STREET
 29 STOREY CONDOMINIUM
 65-71 AGNES STREET MISSISSAUGA, ON

PRELIMINARY SITE GRADING AND ESC PLAN

Project Manager	K.RAMSEWAK	Project No.	51157-100
Design By	TXL	Checked By	KRR
Drawn By	LXQ	Checked By	TXL/KRR
Surveyed By	OTHERS	Drawing No.	
Date	Apr. 12/22	C2.1	
Scale	1:200	Sheet 1 of 2	

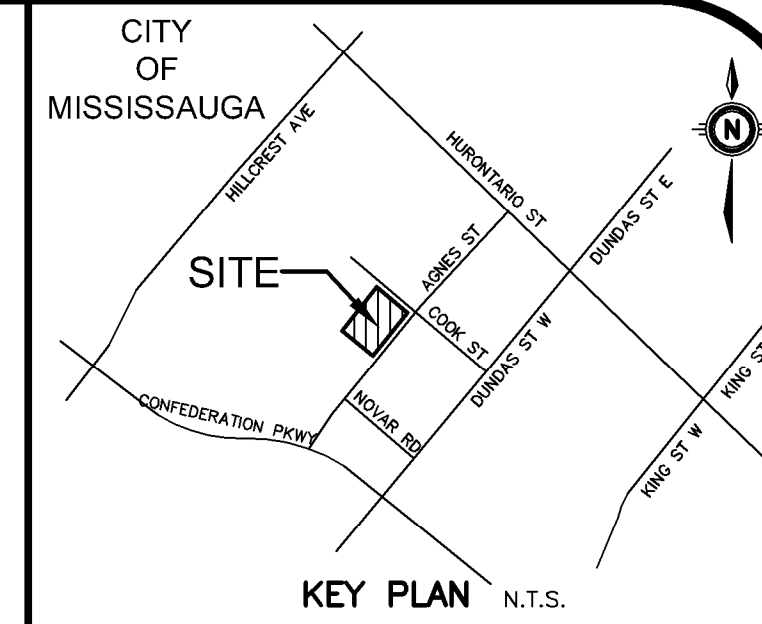
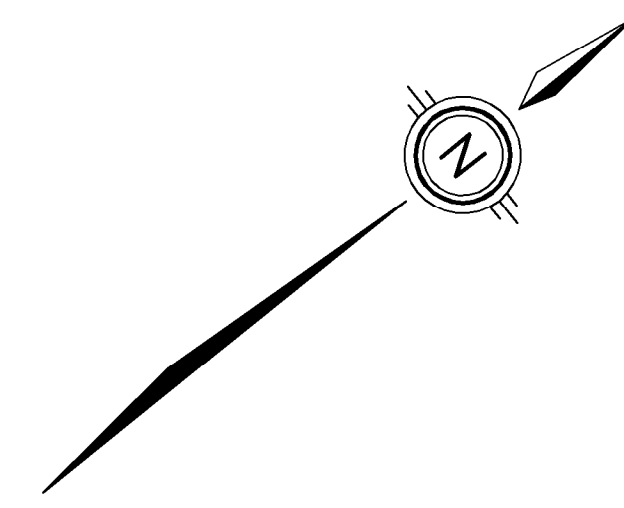


LEGEND OF EXISTING FEATURES

- SITE BOUNDARY
- EXISTING SPOT ELEVATIONS/CONTOURS
- EXISTING DIRECTION OF DRAINAGE
- EXISTING CURB
- EXISTING BUILDING
- EXISTING FENCE

LEGEND OF PROPOSED FEATURES

- PROPOSED SPOT ELEVATIONS
 EX = MAINTAIN EXISTING
 T/G = TOP OF CASTING/GRATE
 INV = INVERT ELEVATION
 FFE = FINISHED FLOOR ELEVATION
- DIRECTION OF DRAINAGE
- DRAINAGE SPLIT
- PROPOSED BUILDING
- OVERHEAD DOOR
- MAN DOOR
- CONCRETE CURB
- OVERLAND FLOW ROUTE (MAJOR STORM)
- SAW CUT c/w ASPHALT LAP JOINT (SEE DETAIL)
- LIMIT OF BUILDING ABOVE
- UNDERGROUND PARKING LIMIT
- TOWER FOOTPRINT
- RETAINING WALL
- ASPHALT AREA RESTORATION
- CONCRETE AREA RESTORATION



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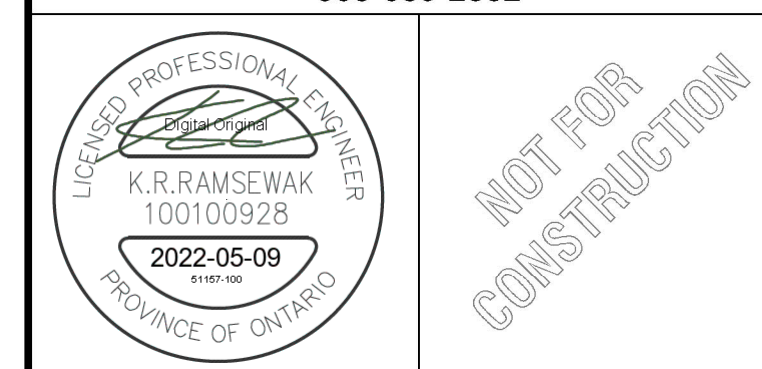
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PROJECT
 65-71 AGNES STREET
 29 STOREY CONDOMINIUM
 65-71 AGNES STREET MISSISSAUGA, ON

PRELIMINARY SITE SERVICING PLAN

Project Manager	K.RAMSEWAK	Project No.	51157-100
Design By	TXL	Checked By	KRR
Drawn By	LXQ	Checked By	TXL/KRR
Surveyed By	OTHERS	Drawing No.	
Date	Apr.12/22	C2.2	
Scale	1:200	Sheet 2 of 2	

LEGEND OF EXISTING FEATURES

- SITE BOUNDARY
- Ex. 300mm SAN --- EXISTING SANITARY SEWER
- Ex. 200mm WTM --- EXISTING WATERMAIN
- Ex. 375mm STM --- EXISTING STORM SEWER
- EXISTING CURB
- EXISTING BUILDING
- EXISTING FENCE

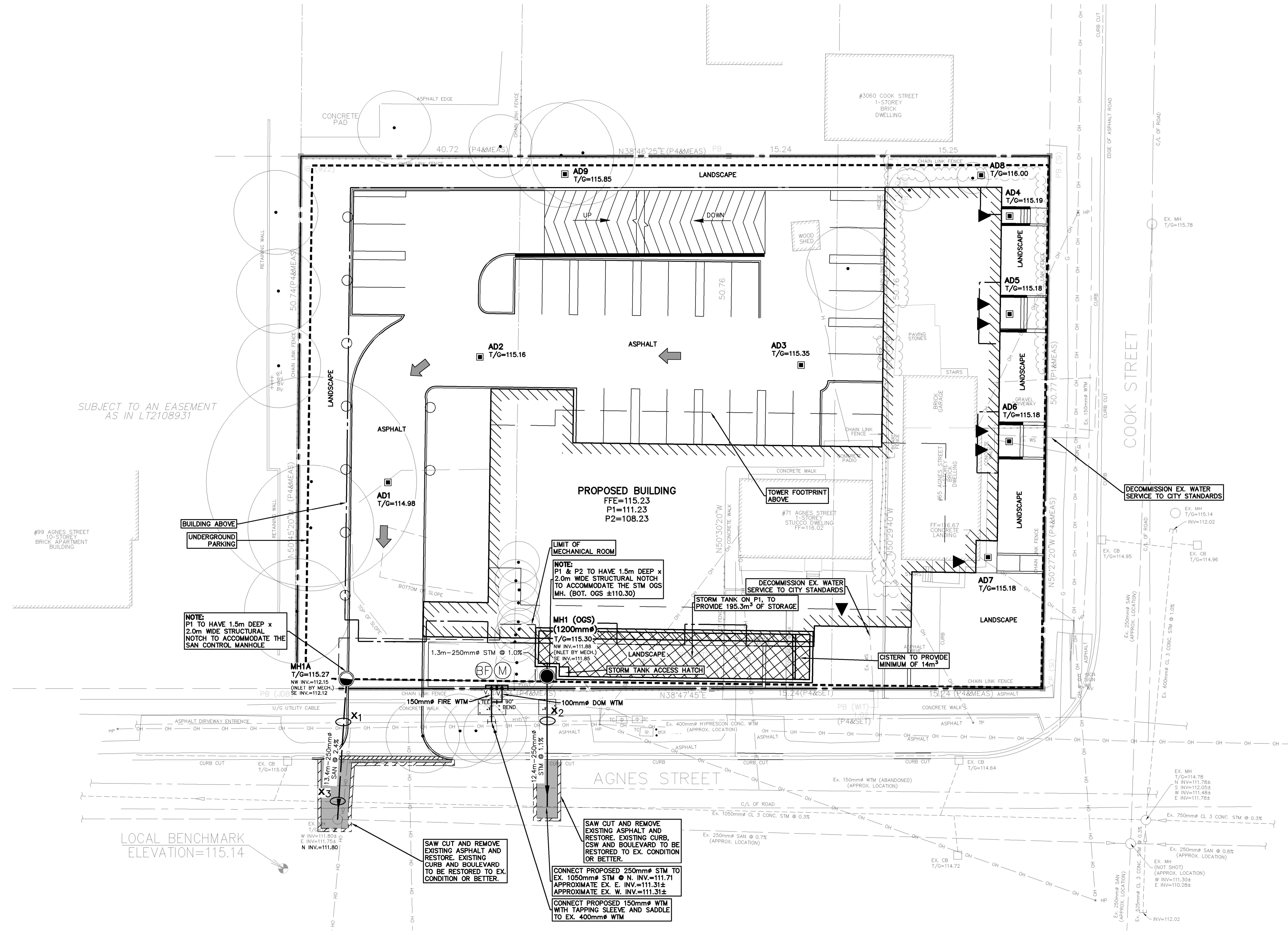
LEGEND OF PROPOSED FEATURES

- PROPOSED BUILDING
- △ OVERHEAD DOOR
- ▲ MAN DOOR
- CONCRETE CURB
- MH 14.6m-200mm SAN @ 1.5% --- SANITARY SEWER
- MH 21.3m-300mm STM @ 1.3% --- STORM SEWER
- 200mm WTM --- WATERMAIN
- SEWER CROSSING (REFER TO CROSSING CHART)
- SAW CUT c/w ASPHALT LAP JOINT (SEE DETAIL)
- LIMIT OF BUILDING ABOVE
- UNDERGROUND PARKING LIMIT
- TOWER FOOTPRINT
- RETAINING WALL
- ASPHALT AREA RESTORATION
- CONCRETE AREA RESTORATION
- (M) WATER METER
- (BF) BACK FLOW PREVENTOR

SEWER CROSSING CHART

NOTE:
 1) Maintain minimum 0.5m vertical clearance between all watermains and sewers. Where watermain is deflected, ensure 2.0m cover is achieved or watermain is insulated.
 2) Maintain vertical clearance at all other crossings.
 3) Existing and proposed watermain depths are approximate only. Notify Design Engineer of any discrepancies.
 4) Contractor to verify all existing inverts prior to product ordering. Notify Design Engineer of any discrepancies.

CROSSING #	SEWER TYPE	SEWER SIZE (mm)	CROSSING ELEVATION	NOTES
X1	EX. WTM	400	INV=112.80±	WATERMAIN MUST MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 300mm WHEN CROSSING ABOVE SEWER
	SAN	250	OBV=112.23	
X2	EX. WTM	400	INV=112.80±	WATERMAIN MUST MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 300mm WHEN CROSSING ABOVE SEWER
	STM	250	OBV=111.97	
X3	EX. STM	1050	INV=112.35±	A MINIMUM CLEARANCE OF 150mm BETWEEN OBVERT OF STORM SEWER AND INVERT OF SANITARY SEWER MUST BE PROVIDED
	SAN	250	OBV=112.08	



NOTE: P1 TO HAVE 1.5m DEEP x 2.0m WIDE STRUCTURAL NOTCH TO ACCOMMODATE THE SAN CONTROL MANHOLE

NOTE: P1 & P2 TO HAVE 1.5m DEEP x 2.0m WIDE STRUCTURAL NOTCH TO ACCOMMODATE THE STM OGS MH. (BOT. OGS ±110.30)

CONNECT PROPOSED 250mm STM TO EX. 105mm STM @ N. INV.=111.71 APPROXIMATE EX. E. INV.=111.31± APPROXIMATE EX. W. INV.=111.31±

CONNECT PROPOSED 150mm WTM WITH TAPPING SLEEVE AND SADDLE TO EX. 400mm WTM

SAW CUT AND REMOVE EXISTING ASPHALT AND RESTORE EXISTING CURB AND BOULEVARD TO BE RESTORED TO EX. CONDITION OR BETTER.

SAW CUT AND REMOVE EXISTING ASPHALT AND RESTORE EXISTING CURB, CSW AND BOULEVARD TO BE RESTORED TO EX. CONDITION OR BETTER.

SUBJECT TO AN EASEMENT AS IN LT2108931

LOCAL BENCHMARK ELEVATION=115.14