

Draft Zoning By-law Amendment – May, 2022

PROPOSED ZONING BY-LAW NO. xx-XXX

To amend Zoning By-law Number 0225-2007, as amended, of the City of Mississauga with respect to the lands municipally known in the year 2022 as 65-71 Agnes Street.

WHEREAS authority is given to the council of a municipality by Section 34 of the *Planning Act*, R.S.O 1990. c.P. 13, as amended, to pass Zoning-Bylaws; and

Whereas Council of the City of Mississauga has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. Map number 22 of “Schedule B” to By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by changing thereon from “D-1” to “RA4-XX”, the zoning of 65-71 Agnes Street, in the City of Mississauga, PROVIDED HOWEVER THAT the “RA4-XX” zoning shall only apply to the lands which are shown on the attached Schedule “A” outlined in the heaviest black line with the “RA4-XX” zoning indicated thereon;
2. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

4.15.5.XX	Exception RA4-XX	Map #XX	By-law: xx-XXX
In a RA4-XX zone the permitted uses and applicable regulations shall be as specified for a RA4 zone except that the following uses/regulations shall apply:			
Zone Regulations		R4 Base Zone Regulations	R4-XX Proposed Zone Regulations
4.15.5.XX.1	The regulations of Line 15.1 contained in Table 4.15.1 of this By-law shall not apply		
4.15.5.XX.2	Minimum width of a parking space		2.6 metres
4.15.5.XX.3	Maximum Floor Space Index	1.8	6.47
4.15.5.XX.4	Maximum Height	56.0 metres and 18 storeys	Permit buildings up to 29 storeys (93.80 metres), exclusive of mechanical penthouse and mezzanine levels shall not be counted as a storey
4.15.5.XX.5	Minimum Front Yard	1) 4.4 metres 2) 4.4 metres 3) 7.5 metres	Permit a minimum setback to Agnes Street of: 3.8 metres for Floors 1 – 6

	<ol style="list-style-type: none"> 1) For that portion of the dwelling with a height less than or equal to 13.0m 2) For that portion of the dwelling with a height greater than 13.0m and less than or equal to 20.0m 3) For that portion of the dwelling with a height greater than 20.0m and less than or equal to 26.0 m 4) For that portion of the dwelling with a height greater than 26.0m 	4) 10.5 metres	7.0 metres for Floors 7 – 29
4.15.5.XX.6	<p>Minimum Exterior Yard</p> <ol style="list-style-type: none"> 1) For that portion of the dwelling with a height less than or equal to 13.0m 2) For that portion of the dwelling with a height greater than 13.0m and less than or equal to 20.0m 3) For that portion of the dwelling with a height greater than 20.0m and less than or equal to 26.0 m 4) For that portion of the dwelling with a height greater than 26.0m 	<ol style="list-style-type: none"> 1) 4.4 metres 2) 4.4 metres 3) 7.5 metres 4) 10.5 metres 	<p>Permit a minimum setback to Cooke Street of:</p> <p>4.3 metres for Floors 1 – 6</p> <p>6.3 metres for Floors 7 – 8</p> <p>9.3 metres for Floors 9 – 29</p>
4.15.5.XX.7	<p>Minimum Interior Side Yard</p> <ol style="list-style-type: none"> 1) For that portion of the dwelling with a height less than or equal to 13.0m 2) For that portion of the dwelling with a height greater than 13.0m and less than or equal to 20.0m 3) For that portion of the dwelling with a height greater than 20.0m and less than or equal to 26.0m 4) For that portion of the dwelling with a height greater than 26.0m 5) Where an interior side lot line, or any portion thereof, 	<ol style="list-style-type: none"> 1) 4.5 metres 2) 6.0 metres 3) 7.5 metres 4) 9.5 metres 5) 4.5 metres 6) 7.5m plus 1.0m for each additional 1.0m of dwelling height, or portion thereof, exceeding 10.0m to a maximum setback 	<p>Permit a minimum interior side yard setback of:</p> <p>4.3 metres for Floors 1 – 6</p> <p>7.3 metres for Floors 7 – 8</p> <p>17.8 metres for Floors 9 – 29</p>

	<p>abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination of zones thereof</p> <p>6) Where an interior lot line, or any portion thereof, abuts a zone permitting detached dwelling and/or semi-detached</p>	<p>requirement of 25.5m</p>	
4.15.5.XX.8	<p>Minimum Rear Yard</p> <p>1) For that portion of the dwelling with a height less than or equal to 13.0m</p> <p>2) For that portion of the dwelling with a height greater than 13.0m and less than or equal to 20.0m</p> <p>3) For that portion of the dwelling with a height greater than 20.0m and less than or equal to 26.0 m</p> <p>4) For that portion of the dwelling with a height greater than 26.0m</p> <p>5) Where a rear lot line, or any portion thereof, abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination of zones thereof</p> <p>6) Where a rear lot line, or any portion thereof, abuts a zone permitting detached dwelling and/or semi-detached</p>	<p>1) 7.5 metres</p> <p>2) 10.0 metres</p> <p>3) 12.5 metres</p> <p>4) 15.0 metres</p> <p>5) 4.5 metres</p> <p>6) 7.5m plus 1.0m for each additional 1.0m of dwelling height, or portion thereof, exceeding 10.0m to a maximum setback requirement of 25.5m</p>	<p>Permit a minimum rear yard setback of:</p> <p>2.8 metres for Floors 1 – 6</p> <p>5.8 metres for Floors 7 – 8</p> <p>23.5 metres for Floors 9 – 29</p>
4.15.5.XX.9	<p>Maximum projection of a balcony located above the first storey measured from the outermost face or faces of the building from which the balcony projects</p>	<p>1.0 metres</p>	<p>Permit maximum projection of a balcony above the first storey of 1.8 metres</p>
4.15.5.XX.10	<p>Minimum Parking Spaces</p>		<p>412 total spaces</p> <p>355 resident spaces</p>

			<p>57 visitor spaces</p> <p>Resident parking rate (spaces per unit): Bachelor – 0.8 1-bedroom – 0.9 2-bedroom – 1.00 3-bedroom – 1.30 Visitor parking rate 0.15 spaces per unit</p>
4.15.5.XX.11	Minimum setback from a parking structure completely below finished grade, inclusive of external access stairwells, to any lot line	3.0 metres	<p>Permit minimum setback from a parking structure completely below finished grade as follows: 0 metres from Cooke Street line; 0 metres from Agnes Street lot line; 1.02 metres from the interior side yard (west); 0.8 metres from the rear lot line</p>
4.15.5.XX.12	Minimum Amenity Area	The greater of 5.6 m ² per dwelling unit or 10% of the site area	1,200.00 square metres

ENACTED AND PASSED this _____ day of _____, 202X

Mayor

Clerk

DRAFT

APPENDIX “A” TO BY-LAW NO. _____

Explanation of the Purpose and Effect of the By-law

The purpose of this amendment is to permit the development of a 29-storey residential apartment building.

This By-law amends the zoning of the property outlined on the attached Schedule “A” from “D-1” to “RA4-XX”.

“RA4-XX” permits 29-storey tower with an 8-storey podium, in compliance with Schedule RA4-XX.

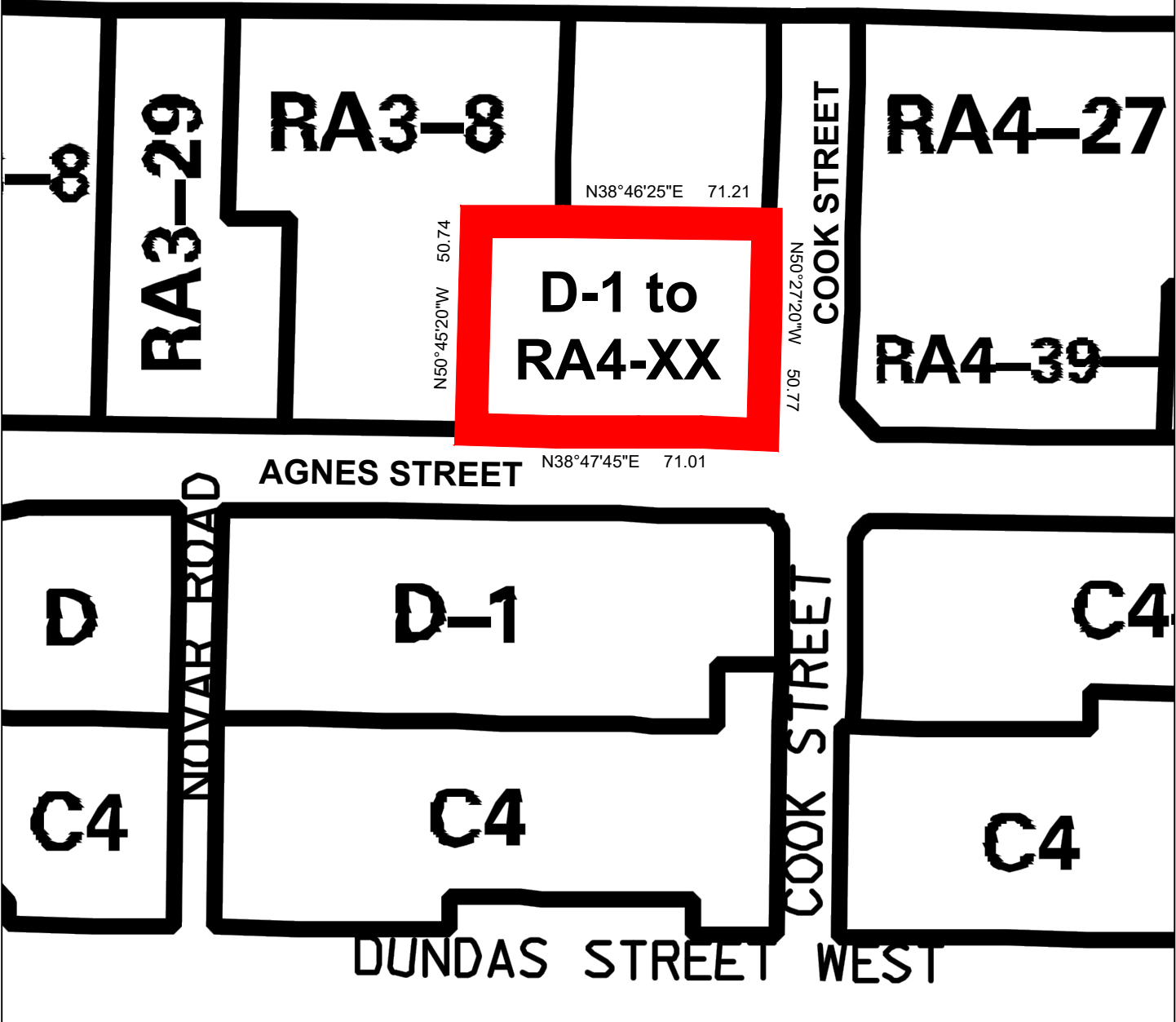
Location of Lands Affected

Located on lands municipally addressed as 65-71 Agnes Street at the northwest corner of Agnes Street and Cook Street as shown on the attached map designated as Schedule “A”.

Further information regarding this By-law may be obtained from XXXXXX of the City Planning and Building Staff at (905) 615-3200 x XXXX.

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RA1-27

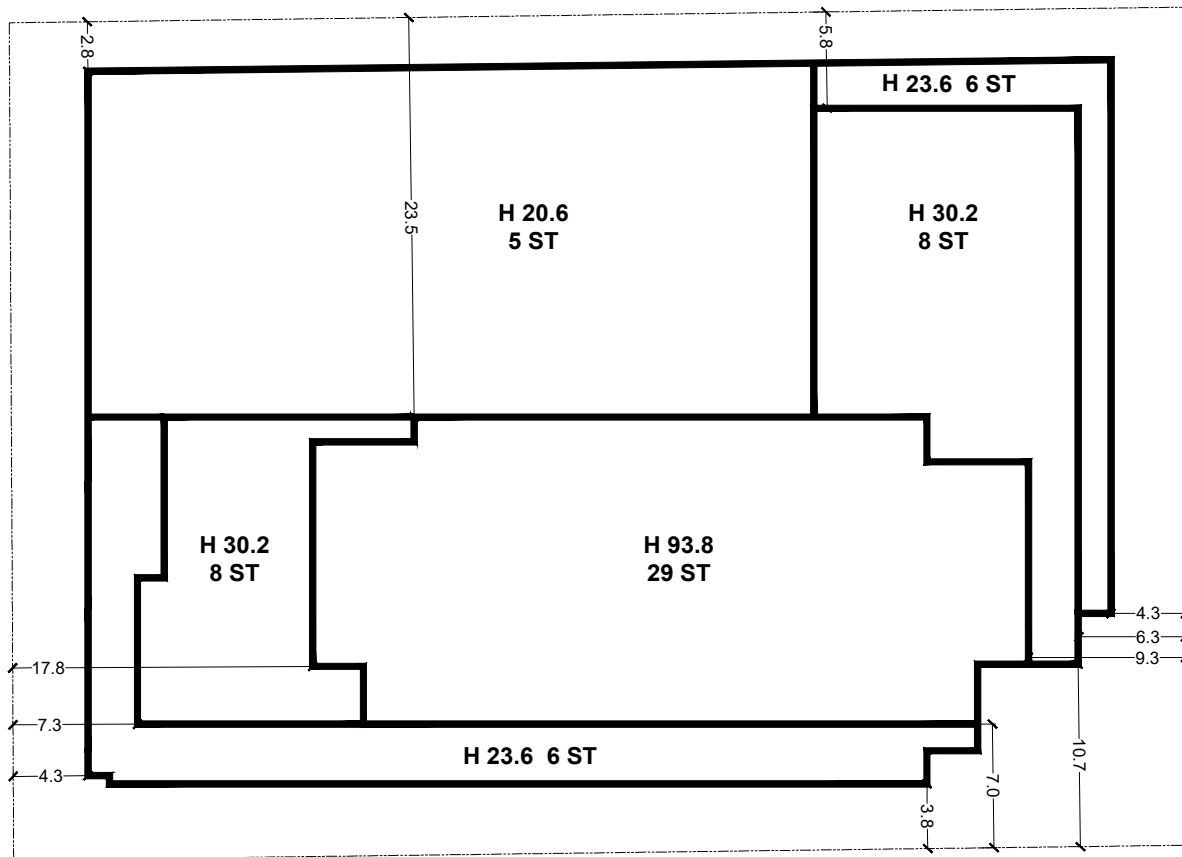


LOTS 45, 46 AND 47
REGISTERED PLAN TOR-12
CITY OF MISSISSAUGA

THIS IS SCHEDULE "A" TO
ZONING BY-LAW AMENDMENT
NO. XXX



Not to Scale



COOK STREET

AGNES STREET

**LOTS 45, 46 AND 47
REGISTERED PLAN TOR-12
CITY OF MISSISSAUGA**

**THIS IS SCHEDULE "B" TO
ZONING BY-LAW AMENDMENT
NO. XXX**



Not to Scale