



SMARTCENTRES®
REAL ESTATE INVESTMENT TRUST

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PROPOSED RESIDENTIAL MIXED-USE DEVELOPMENT

1225 Dundas Street E, Mississauga, ON

22.117P01



**TURNER
FLEISCHER**

67 Lesmill Rd
Toronto, ON, M3B 2T8
Contact : Raza Mehdi
raza.mehdi@turnerfleischer.com
416-425-2222 ext. 310

**OPA,ZBA & SPA Submission
JULY 08, 2022**



Survey Consultant
Young & Young Surveying Inc.
310 N Queen St, Etobicoke, ON,
M9C 5K4
Contact: Frank Mauro
E-mail: fmauro@maurogroup.ca
Telephone: 905-951-6000 x 223



Noise Consultant
Thornton Tomasetti
116 Spadina Ave
Suite 301, Toronto, ON, M5V 2K6
CanadaContact: Robert Fuller
E-mail: RFuller@ThorntonTomasetti.com
Telephone: 647-769-7161



**WIND ENGINEERING
CONSULTANTS**

Wind Consultant
CPP Wind Engineering
2655 North Sheridan Way, Suite 290
Mississauga, ON, L5K 2P8
Contact: Kevin Bauman
E-mail: kbauman@cppwind.com
Telephone: 970-221-3371



GeoHydro Consultant
GEI Consultants Ltd.
75 Tiverton Ct Unit 100, Markham, ON,
L3R 4M8
Contact: Fernando Contendo
E-mail: fcontento@geiconsultants.com
Telephone: 647-966-6894



Transportation Consultant
CGH Transportation Inc.
628 Haines Rd
Newmarket, ON, L3Y, CA
Contact: Mark Crockford
E-mail: mark.crockford@cghtransportation.com
Telephone: 905-251-4070



**PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE**

Landscape Consultant
MHBC
442 Brant Street, Suite 204
Burlington, ON, L7R 2G4
Contact: Greg Costa
E-mail: jim@mhbcplan.com
Telephone: 416-671-7602



Planning Consultant
Glen Schnarr & Associates Inc.
10 Kingsbridge Garden Cir Suite
700, Mississauga, ON, L5R 3K6
Contact: Jim Levas
E-mail: jim@gsai.ca
Telephone: 905-580-2854



Civil Consultant
Stantec

401 Wellington St W #100, Toronto,
ON, M5V 1E7
Contact: Angelo Ligotti
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Telephone: 416-884-0272

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PLAN OF SURVEY
SHOWING TOPOGRAPHIC FEATURES OF
PART OF LOT 7
CONCESSION 1
NORTH AND SOUTH OF DUNDAS STREET
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:500
10 0 10 20 Metres

MAURO GROUP INC.
ONTARIO LAND SURVEYORS

© 2022

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK (TOPNET) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010).

BEARING ROTATION NOTE

ADJUST FOR BEARING COMPARISONS, A ROTATION OF 1° 01'00" COUNTER-CLOCKWISE WAS APPLIED TO ASTRONOMIC BEARINGS ON PLAN 43R-2899 TO CONVERT TO UTM ZONE 17, NAD 83 (CSRS).

DISTANCE NOTE

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999746

LEGEND

- DENOTES FOUND BAR
- DENOTES PLANTED BAR
- SIB DENOTES STANDARD IRON BAR
- CC DENOTES CUT CROSS
- IB DENOTES IRON BAR
- PB DENOTES PLASTIC BAR
- REGD DENOTES REGISTERED PLAN
- Ms DENOTES MEASURED
- WIT DENOTES WITNESS
- OU DENOTES ORIGIN UNKNOWN
- P DENOTES 43R-2899
- P1 DENOTES 43R-21929
- P2 DATED 43R-23584
- P3 DENOTES 43R-1774
- P4 DATED PLAN OF SURVEY BY UNWIN, MURPHY AND ESTEN, LTD DATED AUGUST 14, 1975
- P5 DENOTES PLAN P-1801-88
- P6 DATED JULY 22, 1976
- NDS DENOTES NORTH OF DUNDAS STREET
- SDS DENOTES SOUTH OF DUNDAS STREET
- CB DENOTES CATCH BASIN
- HP DENOTES HYDRO POLE
- TL DENOTES TRAFFIC LIGHT
- B DENOTES BOLLARD
- LS DENOTES LIGHT STANDARD
- HD DENOTES TOP OF HYDRANT
- WM DENOTES MONITORING WELL
- H WELL DENOTES HAND WELL
- DOOR DENOTES DOOR SILL
- MH DENOTES MANHOLE
- GW DENOTES GUY WIRE
- WV DENOTES WATER VALVE
- B DENOTES BELL BOX
- GM DENOTES GAS METER
- C.W DENOTES OVERHEAD WIRE
- loc DENOTES TOP OF CURB
- EOA DENOTES EDGE OF ASPHALT
- TBM DENOTES TEMPORARY BENCHMARK
- BV DENOTES BELL VALT
- DENOTES HYDRO LINE
- DENOTES OVERHEAD WIRE
- DENOTES ELECTRIC LINE
- DENOTES WATER LINE
- DENOTES FIBER OPTIC
- DENOTES GAS LINE
- DENOTES CABLE TV
- DENOTES ROGERS BOX
- DENOTES ROGERS TV
- DENOTES TRAFFIC LIGHT
- DENOTES HYDRO AND STREET LIGHT

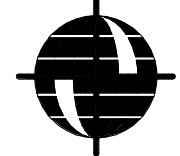
SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 10th DAY OF MAY, 2022

DATE JAMES A. AGYEMANG B.Eng.
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-25910

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
in accordance with
Regulation 1026, Section 29(3)



MAURO GROUP INC.
ONTARIO LAND SURVEYORS

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PHONE 905.951.6000 - FAX 905.857.4811

www.youngsurveying.ca - info@youngsurveying.ca

PARTY CHIEF: BP DRAWN BY: IG CHECKED BY: JA

CLIENT: SMART CENTRES

PATH:P:\PROJECTS\2022\878805\CAD\87880_P05_T.DWG

PROJECT No. 22-B7880

REVISION NOTE

THIS SURVEY WAS REVISED ON JUNE 21, 2022 TO SHOW TOPOGRAPHIC FEATURES AND SUBUTILITY LOCATES.

BENCHMARK NOTE

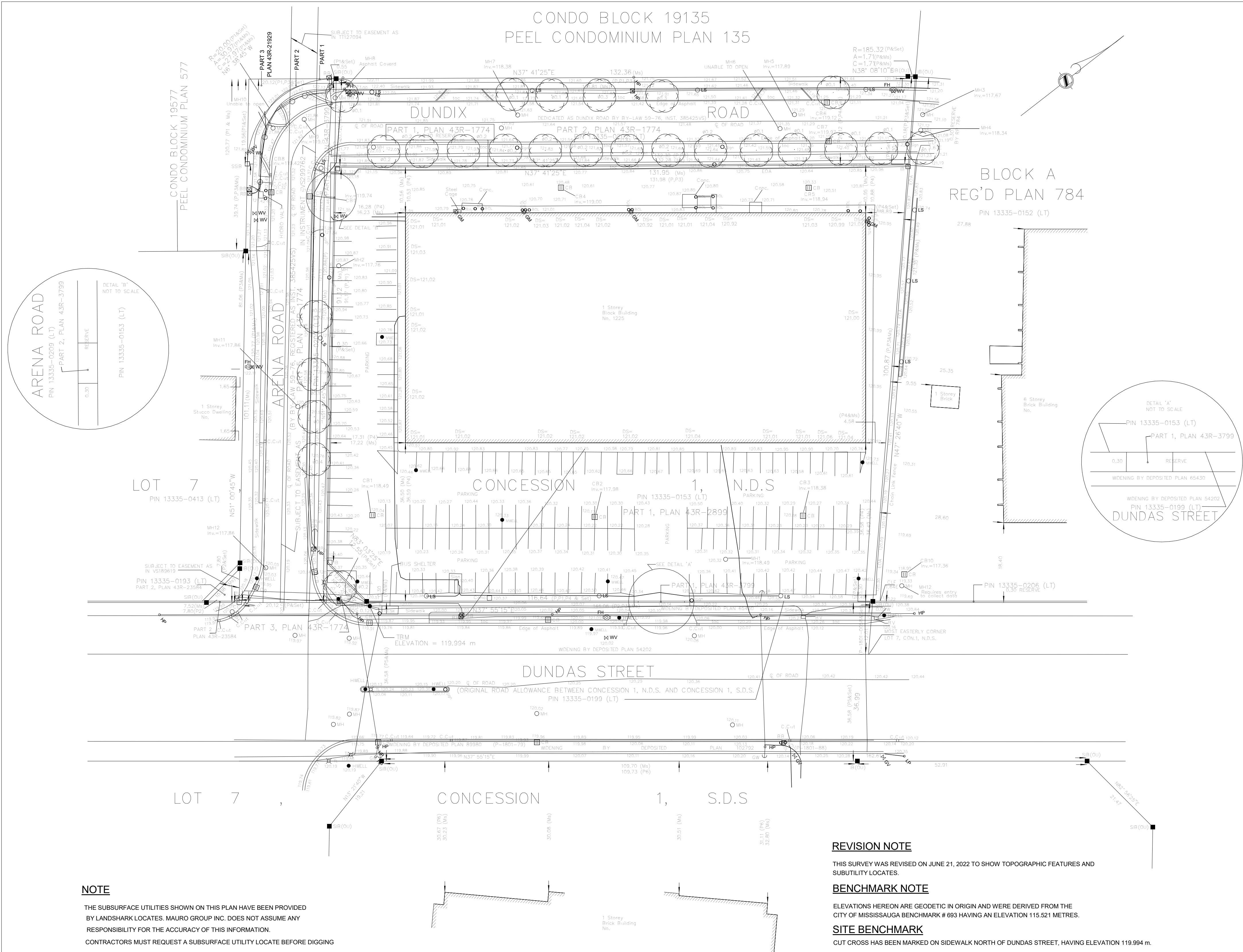
ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE CITY OF MISSISSAUGA BENCHMARK # 693 HAVING AN ELEVATION 115.521 METRES.

SITE BENCHMARK

CUT CROSS HAS BEEN MARKED ON SIDEWALK NORTH OF DUNDAS STREET, HAVING ELEVATION 119.994 m.

NOTE

THE SUBSURFACE UTILITIES SHOWN ON THIS PLAN HAVE BEEN PROVIDED BY LANDSHARK LOCATES. MAURO GROUP INC. DOES NOT ASSUME ANY RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION. CONTRACTORS MUST REQUEST A SUBSURFACE UTILITY LOCATE BEFORE DIGGING



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PROJECT SUMMARY

MISSISSAUGA, ONTARIO

| LAND USE | m² | ft² | % |
|----------------------------------|-----------------|----------------|-------------|
| LOT COVERAGE | 1,995.3 | 21,477 | 16.1% |
| BUILDING COVERAGE (GROUND FLOOR) | 5,580.1 | 60,064 | 44.9% |
| LANDSCAPING | 4,663.0 | 50,192 | 37.5% |
| DRIVEWAY (VEHICULAR HARDSCAPE) | 2,176.8 | 23,431 | 17.5% |
| TOTAL SITE AREA | 12,419.9 | 133,687 | 100% |
| AREA OF R.O.W (ROAD WIDENING) | 454.7 | 4,894 | 3.7% |

PROJECT INFORMATION

| | REQUIRED | PROVIDED |
|-------------------|----------|---------------------------------|
| BUILDING HEIGHT | | 47.00m (12 STOREYS) |
| BUILDING SETBACKS | | |
| NORTH SETBACK | | 8.3M (BUILDING) 2.7M (TOWNHOME) |
| SOUTH SETBACK | | 6.8M (BUILDING) 3.2M (TOWNHOME) |
| EAST SETBACK | | 4M (BUILDING) |
| WEST SETBACK | | 3.6M (TOWNHOME) |
| LOADING SPACE | 2 | 4 (2 townhouse loading space) |

GROSS FLOOR AREA SUMMARY

| PARCEL | GFA | | FSI |
|-------------------------------|-----------------|----------------|-------------|
| | m² | ft² | |
| RESIDENTIAL | 43,094.7 | 463,871 | 3.60 |
| INDOOR AMENITY (EXCLUDED) | 1,431.7 | 15,410 | 0.12 |
| RETAIL | 675.5 | 7,271 | 0.06 |
| TOTAL | 43,770.1 | 471,142 | 3.66 |
| TOTAL SITE AREA | 12,419.9 | 133,688 | |
| AREA OF R.O.W (ROAD WIDENING) | 454.7 | 4,894 | |
| NET SITE AREA | 11,965.2 | 128,793 | |

FSI CALCULATED BASED ON NET SITE AREA

GROSS FLOOR AREA DEFINITION

Mississauga Zoning By-Law NO. 0225-2007

(GFA) - APARTMENT DWELLING ZONE

MEANS THE SUM OF THE AREAS OF EACH **STOREY** OF A **BUILDING** ABOVE OR BELOW **ESTABLISHED GRADE**, MEASURED FROM THE EXTERIOR OF OUTSIDE WALLS OF THE **BUILDING** INCLUDING FLOOR AREA OCCUPIED BY INTERIOR WALLS BUT EXCLUDING ANY PART OF THE **BUILDING** USED FOR **MECHANICAL FLOOR AREA**, STAIRWELLS, ELEVATORS, **MOTOR VEHICLE** PARKING, BICYCLE PARKING, STORAGE LOCKERS, BELOW-GRADE STORAGE, ANY ENCLOSED AREA USED FOR THE COLLECTION OR STORAGE OF DISPOSABLE OR RECYCLABLE **WASTE** GENERATED WITHIN THE **BUILDING**, COMMON FACILITIES FOR THE USE OF THE RESIDENTS OF THE **BUILDING**, A DAY CARE AND **AMENITY AREA**.

HEIGHT DEFINITION

Mississauga Zoning By-Law NO. 0225-2007

- MEANS, WITH REFERENCE TO THE HEIGHT OF A BUILDING, STRUCTURE OR PART THEREOF, EXCEPT A DETACHED, SEMI-DETACHED, DUPLEX OR TRIPLEX, THE VERTICAL DISTANCE BETWEEN THE ESTABLISHED GRADE AND: (0174-2017)
- THE HIGHEST POINT OF THE ROOF SURFACE OF A FLAT ROOF; OR
- THE MEAN HEIGHT LEVEL BETWEEN THE EAVES AND RIDGE OF A SLOPED ROOF.
- THE MEAN HEIGHT LEVEL BETWEEN THE EAVES AND HIGHEST POINT OF THE FLAT ROOF WHERE THERE IS A FLAT ROOF ON TOP OF A SLOPED ROOF; OR (0325-2008)
- THE HIGHEST POINT OF A STRUCTURE WITHOUT A ROOF.

TOTAL FLOOR AREA SUMMARY

| FLOORS | TFA | |
|---------------------|-----------------|----------------|
| | m² | ft² |
| U/G | 11,636.8 | 125,259 |
| FLOOR 1 to FLOOR 12 | 46,932.8 | 505,185 |
| TOTAL | 58,569.7 | 630,444 |

GROSS FLOOR AREA (GFA) BREAKDOWN

| | GROSS FLOOR AREA BREAKDOWN | | | | | | | | | | | | TOTAL GROSS FLOOR AREA [GFA] (TFA - EXCLUSIONS) | |
|--------------------------------|----------------------------|------------|--------|-------|--------------|-----|-------------|---------|--------------|--------|-------------------|---------|---|---------|
| | FLOOR | # OF UNITS | RETAIL | | | | RESIDENTIAL | | | | TOTAL RESIDENTIAL | | | |
| | | # | RETAIL | | NON-SALEABLE | | SALEABLE | | NON-SALEABLE | | | | | |
| | | | m² | ft² | m² | ft² | m² | ft² | m² | ft² | m² | ft² | m² | ft² |
| | U/G 1 | | | | | | | | | | | | | |
| 12 STOREY RESIDENTIAL BUILDING | 1 | 6 | 675.5 | 7,271 | | | 387.1 | 4,167 | 61.4 | 661 | 1,126.5 | 12,126 | 1,802.0 | 19,396 |
| | MEZZANINE | | | | | | 357.7 | 3,850 | 84.0 | 904 | 441.6 | 4,754 | 441.6 | 4,754 |
| | 2 | 49 | | | | | 3,295.2 | 35,470 | 479.9 | 5,165 | 3,775.1 | 40,635 | 3,775.1 | 40,635 |
| | 3 | 49 | | | | | 3,475.9 | 37,415 | 461.9 | 4,971 | 3,937.8 | 42,386 | 3,937.8 | 42,386 |
| | 4 | 49 | | | | | 3,475.9 | 37,415 | 461.9 | 4,971 | 3,937.8 | 42,386 | 3,937.8 | 42,386 |
| | 5 | 48 | | | | | 3,326.5 | 35,806 | 461.3 | 4,966 | 3,787.8 | 40,772 | 3,787.8 | 40,772 |
| | 6 | 48 | | | | | 3,326.5 | 35,806 | 461.3 | 4,966 | 3,787.8 | 40,772 | 3,787.8 | 40,772 |
| | 7 | 45 | | | | | 2,583.7 | 27,811 | 405.7 | 4,367 | 2,989.4 | 32,177 | 2,989.4 | 32,177 |
| | 8 | 45 | | | | | 2,583.7 | 27,811 | 405.7 | 4,367 | 2,989.4 | 32,177 | 2,989.4 | 32,177 |
| | 9 | 45 | | | | | 2,583.7 | 27,811 | 405.7 | 4,367 | 2,989.4 | 32,177 | 2,989.4 | 32,177 |
| | 10 | 26 | | | | | 1,623.7 | 17,411 | 131.3 | 1,413 | 1,755.0 | 18,824 | 1,755.0 | 18,824 |
| | 11 | 26 | | | | | 1,623.7 | 17,411 | 131.3 | 1,413 | 1,755.0 | 18,824 | 1,755.0 | 18,824 |
| | 12 | 26 | | | | | 1,623.7 | 17,411 | 131.3 | 1,413 | 1,755.0 | 18,824 | 1,755.0 | 18,824 |
| | MPH | | | | | | | | | | | | | |
| | TOTAL | 462 | 675.5 | 7,271 | | | 30,266.9 | 325,792 | 4,821.7 | 51,901 | 38,791.9 | 417,556 | 39,467.4 | 424,827 |

| | GROSS FLOOR AREA BREAKDOWN | | | | | | | | | | | | TOTAL GROSS FLOOR AREA [GFA] (TFA - EXCLUSIONS) | |
|--------------------------------|----------------------------|------------|--------|-----|--------------|-----|-------------|--------|--------------|-----|-------------------|--------|---|--------|
| | TYPE | # OF UNITS | RETAIL | | | | RESIDENTIAL | | | | TOTAL RESIDENTIAL | | | |
| | | # | RETAIL | | NON-SALEABLE | | SALEABLE | | NON-SALEABLE | | | | | |
| | | | m² | ft² | m² | ft² | m² | ft² | m² | ft² | m² | ft² | m² | ft² |
| | 3B+D | 34 | | | | | 4,302.8 | 46,315 | | | 4,302.8 | 46,315 | 4,302.8 | 46,315 |
| 3 STOREY RESIDENTIAL TOWNHOMES | TOTAL | 34 | | | | | 4,302.8 | 46,315 | | | 4,302.8 | 46,315 | 4,302.8 | 46,315 |

UNIT BREAKDOWN

| | FLOOR | STUDIO | 1B | 1B+D | 2B | 2B+D | 3B | 3B + D | TOWNHOME 3B + D | TOTAL |
|---------|-------|--------|-------|-------|-------|------|-------|--------|-----------------|-------|
| | # | # | # | # | # | # | # | # | # | # |
| 1 | | | | | | | 6 | | 34 | 40 |
| 2 | | | 3 | 21 | 20 | 2 | 3 | | | 49 |
| 3 | | | | 22 | 21 | 2 | 5 | | | 49 |
| 4 | | | | 22 | 21 | 2 | 5 | | | 49 |
| 5 | | | | 18 | 23 | 4 | 3 | | | 48 |
| 6 | | | | 18 | 23 | 4 | 3 | | | 48 |
| 7 | | 4 | 32 | 5 | 2 | 2 | 2 | | | 45 |
| 8 | | 4 | 32 | 5 | 2 | 2 | 2 | | | 45 |
| 9 | | 4 | 32 | 5 | 2 | 2 | 2 | | | 45 |
| 10 | | 4 | 11 | 5 | 2 | 4 | | | | 26 |
| 11 | | 4 | 11 | 5 | 2 | 4 | | | | 26 |
| 12 | | 4 | 11 | 5 | 2 | 4 | | | | 26 |
| TOTAL | | 27 | 230 | 138 | 26 | 43 | | 34 | | 496 |
| TOTAL % | | 5.4% | 46.4% | 27.8% | 5.2% | 8.7% | | 6.9% | | 100% |
| | | 51.8% | | | 33.1% | | 15.5% | | | |

AVERAGE UNIT SIZE

| | UNITS | TOTAL AREA | | AVERAGE SIZE | | RANGE | |
|----------|-------|------------|---------|--------------|------|-------|-------|
| | | m² | ft² | m² | ft² | m² | ft² |
| STUDIO | | | | | | | |
| 1B | 27 | 1,259.2 | 13,554 | 46.6 | 502 | 45.0 | 504 |
| 1B+D | 230 | 12,858.7 | 138,411 | 55.9 | 602 | 45.1 | 72.7 |
| 2B | 138 | 9,904.8 | 106,615 | 71.8 | 773 | 70.8 | 88.9 |
| 2B+D | 26 | 2,197.1 | 23,650 | 84.5 | 910 | 81.0 | 98.6 |
| 3B | 43 | 4,047.0 | 43,561 | 94.1 | 1013 | 91.6 | 87.3 |
| 3B + D | 34 | 4,302.8 | 46,315 | 126.6 | 1362 | 153.5 | 153.5 |
| ALL UNIT | 496 | 34569.6 | 372,107 | 69.7 | 750 | 45.0 | 154 |
| | | | | | | | 484.7 |
| | | | | | | | 1652 |

AMENITY BREAKDOWN

| OUTDOOR AMENITY | | INDOOR AMENITY | |
|-----------------|--------|----------------|--------|
| m² | ft² | m² | ft² |
| 1,356.3 | 14,599 | 1,431.7 | 15,410 |
| 1,356.3 | 14,599 | 1,431.7 | 15,410 |

| OUTDOOR AMENITY | | INDOOR AMENITY | |
|-----------------|--------|----------------|--------|
| m² | ft² | m² | ft² |
| 1,356.3 | 14,599 | 1,431.7 | 15,410 |

| EFFICIENCY |
|------------|
| % |
| 21% |
| 81% |
| 85% |
| 86% |
| 86% |
| 86% |
| 86% |
| 84% |
| 84% |
| 84% |
| 53% |
| 53% |
| 53% |
| 56% |

| EFFICIENCY |
|------------|
| % |
| 100% |

VEHICULAR PARKING - REQUIRED

**Vehicular parking required as per City of Mississauga Zoning By-Law NO. 0225-2007

| USE | RATIO (MIN.) | UNITS | SPACES (MIN.) |
|----------------------------|---------------------|-------|---------------|
| VISITOR | 0.20 / UNIT | 462 | 92 |
| STUDIO | 1.25 / UNIT | | |
| 1B & 1B+D UNITS | 1.25 / UNIT | 257 | 321 |
| 2B & 2B+D UNITS | 1.40 / UNIT | 164 | 229 |
| 3B & 3B+D UNITS | 1.75 / UNIT | 77 | 134 |
| TOTAL RESIDENTIAL REQUIRED | | | 776 |
| RETAIL | 1.0 SPACES / 100 M2 | 675.5 | 6 |

**Vehicular parking required as per CGH Transportation Inc.reports

| USE | RATIO (MIN.) | UNITS | SPACES (MIN.) |
|----------------------------|--------------|-------|---------------|
| VISITOR - TOWNHOME | 0.18 / UNIT | 34 | 7 |
| RESIDENT - TOWNHOME | 0.90 / UNIT | 34 | 30 |
| VISITOR - 12 STOREY | 0.10 / UNIT | 496 | 49 |
| RESIDENT - BUILDING | 0.51 / UNIT | 496 | 252 |
| TOTAL RESIDENTIAL REQUIRED | | | 338 |
| RETAIL | 3.93/1000 sf | | 29 |

VEHICULAR PARKING - PROVIDED

| FLOOR | USE | | | | TOTAL |
|----------------|-------------|---------|-----------|--------|-------|
| | RESIDENTIAL | VISITOR | CAR SHARE | RETAIL | |
| FLOOR 1 | | | | 14 | 14 |
| U/G LEVEL 1 | 306 | 56 | | | 362 |
| TOTAL PROVIDED | 306 | 56 | | 14 | 376 |

BIKE PARKING - PROVIDED

| FLOOR | RESIDENTIAL | | | RETAIL | | | TOTAL |
|------------------|-------------|------------|----------|-----------|------------|----------|-------|
| | LONG TERM | SHORT TERM | SUBTOTAL | LONG TERM | SHORT TERM | SUBTOTAL | |
| U/G LEVEL 1 | | | | | | | |
| FLOOR 1 INTERIOR | 112 | | 112 | | | | 112 |
| FLOOR 1 EXTERIOR | | 134 | 134 | | | | 134 |
| TOTAL PROVIDED | 112 | 134 | 246 | | | | 246 |

AMENITY AREAS - REQUIRED

* AS PER CITY OF MISSISSAUGA BY-LAW NUMBER 0225-2007 THE MINIMUM REQUIRED AMENITY IS EQUAL TO THE GREATER OF 5.6M2 PER DWELLING UNIT OR 10% OF THE NET SITE AREA. OF THIS, A MINIMUM OF 50% IS REQUIRED TO BE CONTIGUOUS

| | TYPE | REQUIRED | | | MINIMUM 50% CONTIGUOUS AREA | |
|----------------------|--------------------------------------|-----------------|--------|--------|-----------------------------|--------|
| | | RATIO | m2 | ft2 | m2 | ft2 |
| | AMENITY AREA (INDOOR AND OUTDOOR) | @ 5.6 m2 / UNIT | 2,778 | 29,898 | 1,389 | 14,949 |
| 10% OF NET SITE AREA | | 1,242 | 13,369 | 621 | 6,684 | |

AMENITY AREAS - PROVIDED

| TYPE | PROVIDED | | |
|-----------------|--------------|---------|--------|
| | RATIO | m2 | ft2 |
| INDOOR | 2.89 m²/UNIT | 1,431.7 | 15,410 |
| OUTDOOR | 2.73 m²/UNIT | 1,356.3 | 14,599 |
| CONTIGUOUS AREA | 5.62 m²/UNIT | 2,788.0 | 30,009 |
| | 59% | 1,653.7 | 17,800 |

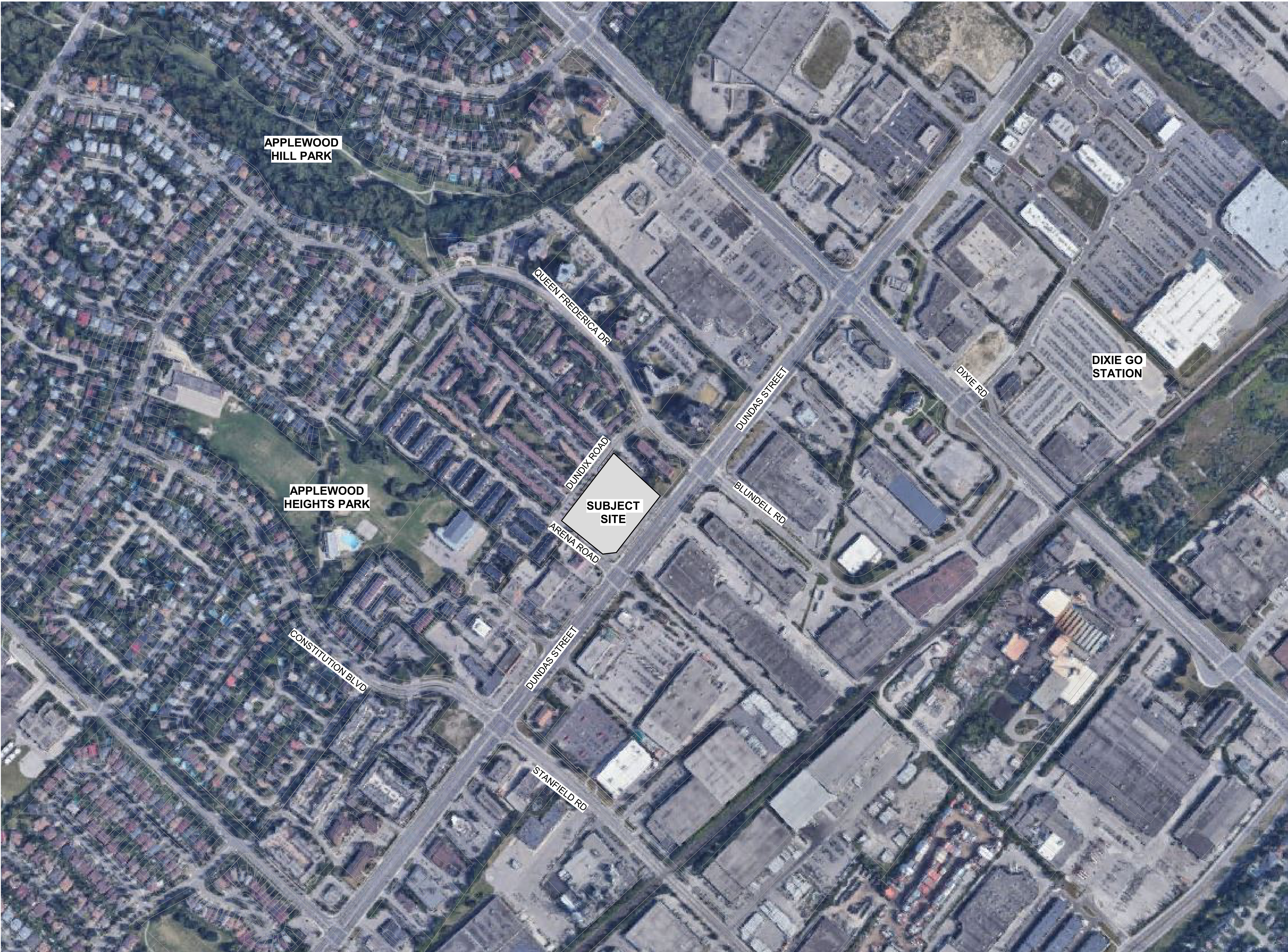
BARRIER FREE PARKING REQUIRED

* Vehicular parking required as per City of Mississauga Zoning By-Law NO. 0225-2007

| USE | RATIO (MIN.) | VISITOR PARKING REQ'D | SPACES (MIN.) |
|----------------------------|------------------------------------|-----------------------|---------------|
| VISITOR PARKING # : 13-100 | 4% OF THE TOTAL # OF REQ'D VISITOR | 56 | 2 |

BARRIER FREE PARKING PROVIDED

| USE | RATIO (MIN.) | VISITOR PARKING REQ'D | SPACES |
|----------------------------|------------------------------------|-----------------------|--------|
| VISITOR PARKING # : 13-100 | 4% OF THE TOTAL # OF REQ'D VISITOR | 56 | 3 |



TURNER
FLEISCHER

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| | | | |
|---|---------------|---------------------------|----|
| 1 | July 08, 2022 | OPA, ZBA & SPA Submission | |
| # | DATE | DESCRIPTION | BY |

PROJECT

PROPOSED RESIDENTIAL MIXED-USE DEVELOPMENT

1225 Dundas Street E, Mississauga, ON

DRAWINGS

CONTEXT PLAN

PROJECT NO.
22.117P01

PROJECT DATE

DRAWN BY
WJB

CHECKED BY
Checker

SCALE
1" = 2500

ONTARIO ASSOCIATION
OF
ARCHITECTS

RUSSELL L. FLEISCHER
LICENCE
5004

N

DRAWING NO.
SPA005

REV.
1

2022-07-07 3:58:47 PM

TURNER
FLEISCHER

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T 416 425 2222
turnerfleischer.com

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LEGEND

- PRIMARY RESIDENTIAL ENTRANCE
- SECONDARY RESIDENTIAL ENTRANCE
- RETAIL ENTRANCE
- EXIT
- FIRE HYDRANT
- SIAMESE CONNECTION
- CONVEX MIRROR
- TRANSFORMER WITH CLEARANCES
- FIRE ROUTE SIGN
- 000.00 SPOT ELEVATION
- GAS/HYDRO METER
- ROAD WIDENING

| # | DATE | DESCRIPTION | BY |
|---|---------------|--------------------------|----|
| 1 | July 08, 2022 | OPA,ZBA & SPA Submission | |

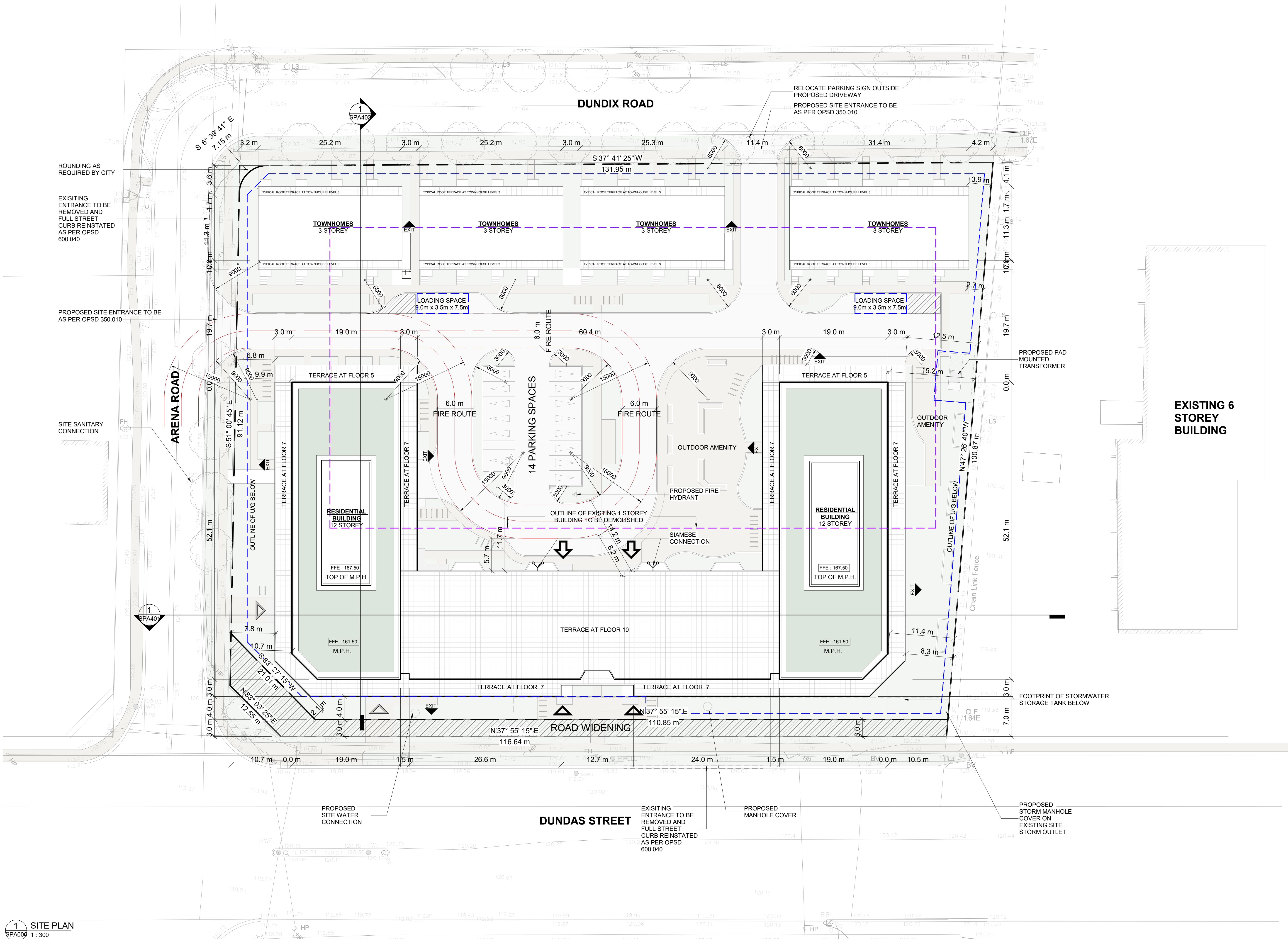
PROPOSED RESIDENTIAL MIXED-USE DEVELOPMENT

1225 Dundas Street E, Mississauga, ON

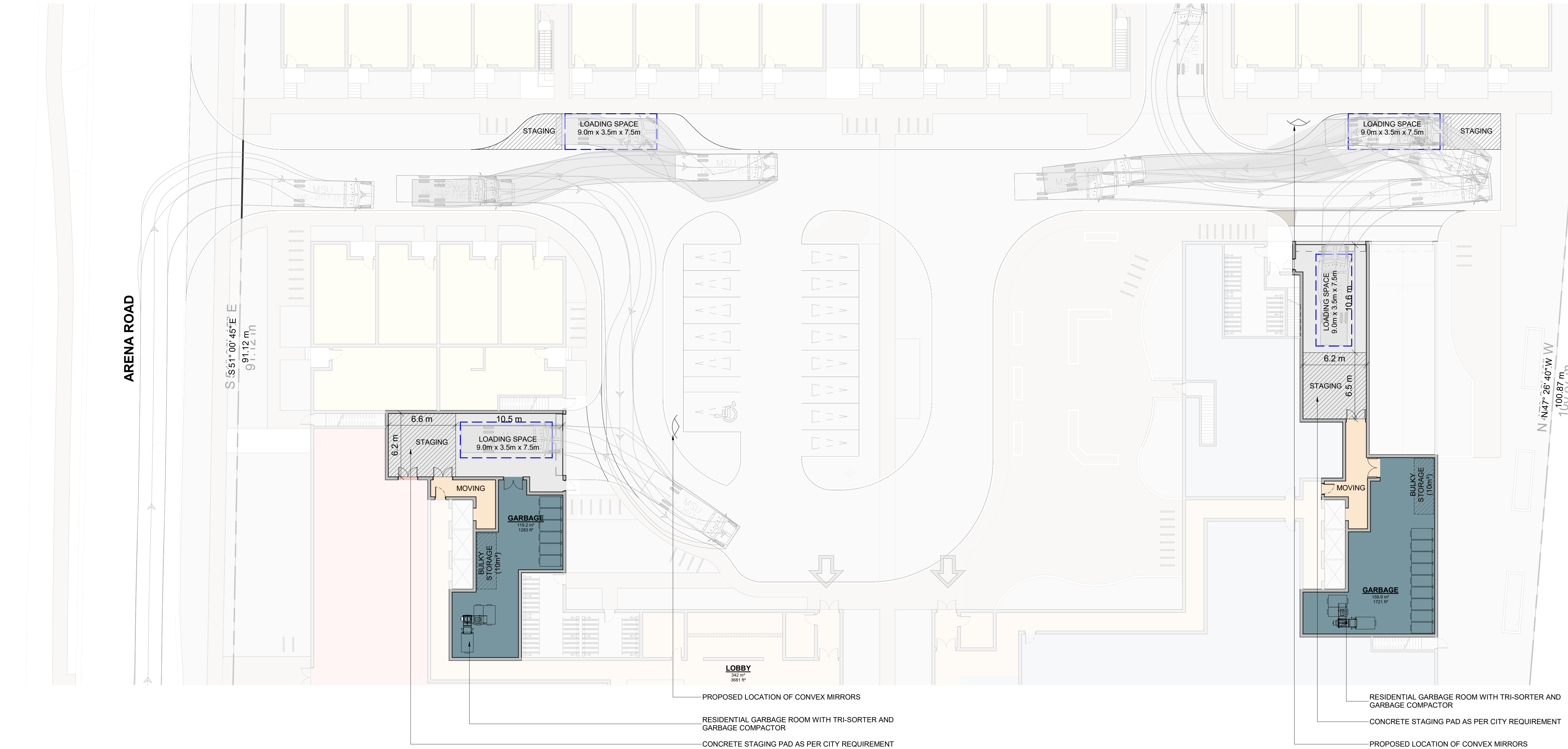
SITE PLAN / ROOF PLAN

| | |
|--------------------------|--|
| PROJECT NO. 22.117P01 | |
| DRAWN BY WJB | |
| CHECKED BY Checker | |
| SCALE As indicated | |

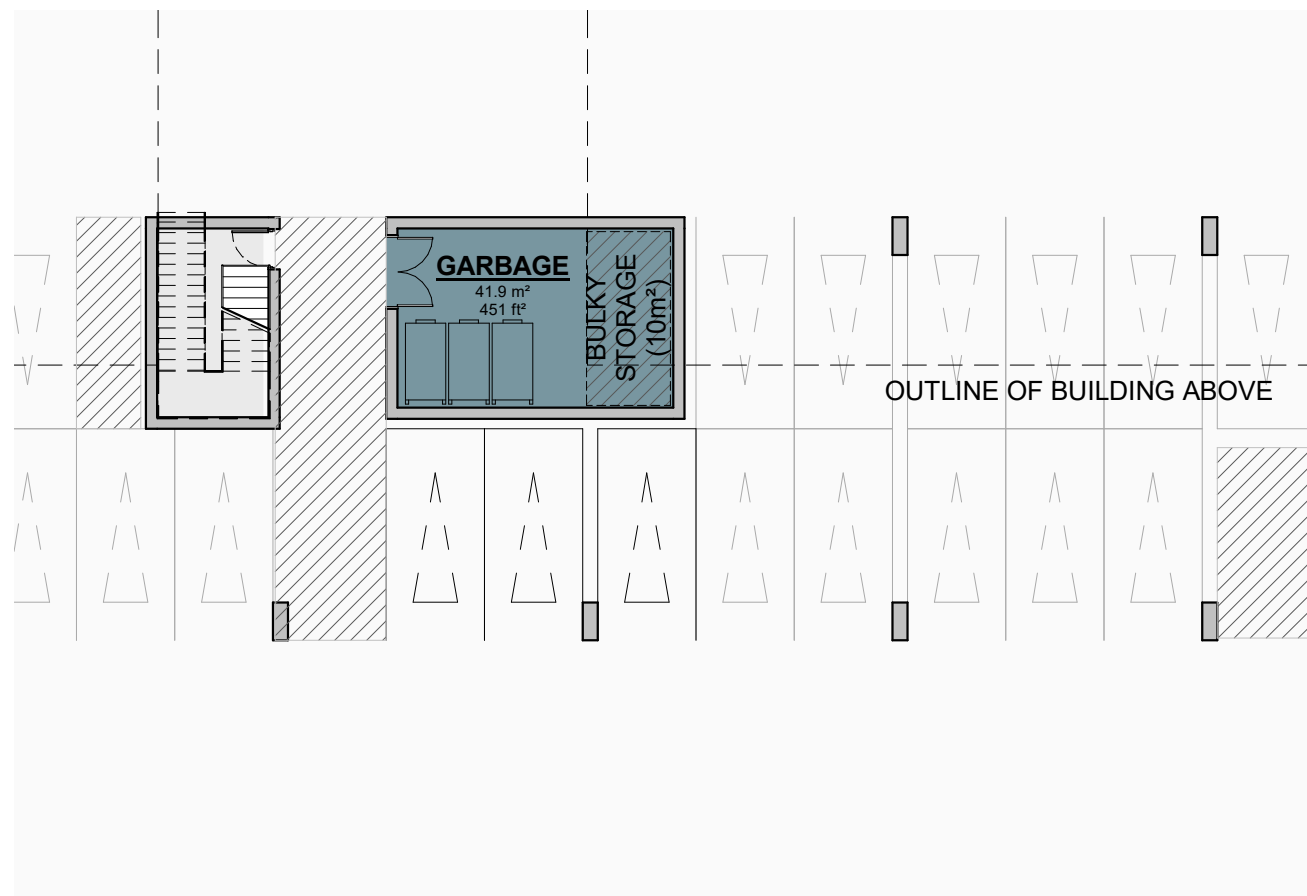
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| DRAWING NO. SPA006 | REV 1 |
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1 WASTE MANAGEMENT
SPA007 1 : 200



2 U/G 1 WASTE MANAGEMENT
SPA007 1 : 200

RESIDENTIAL SOLID WASTE MANAGEMENT NOTES:

SOLID WASTE MANAGEMENT REQUIREMENTS AS PER THE PEEL WASTE COLLECTION DESIGN STANDARDS MANUAL:

PEEL WASTE MANAGEMENT REQUIRES INTERNAL STORAGE AREAS TO BE LARGE ENOUGH TO CONTAIN ALL THE REQUIRED NUMBER OF FRONT-END GARBAGE BINS, IN ADDITION TO A SPACE (A MINIMUM OF 10 m²) FOR THE STORAGE OF BULKY ITEMS.

THE AREA OF GARBAGE BINS IS CALCULATED AT 10 m² FOR THE FIRST BIN AND 6m² FOR EACH BIN THEREAFTER. EACH 4 CUBIC YARD BIN CONTAINING COMPACTED WASTE CAN ACCOMMODATE 72 UNITS. FOR RECYCLABLE MATERIALS, EACH 10 UNITS REQUIRES 0.5 CUBIC YARDS OF SPACE WHICH ARE NOT TO BE COMPACTED.

THE TURNING RADIUS FROM THE CENTRE LINE HAS TO BE A MINIMUM OF 13 METRES ON ALL TURNS FOR THE WASTE COLLECTION VEHICLE WITH THE MAXIMUM GRADE CHANGE PERMITTED ALONG THE ACCESS ROUTE BEING 8%. THE COLLECTION AREA IS TO BE DESIGNED SUCH THAT IT WILL CONSIST OF A LEVEL (+/-2%) CONCRETE SURFACE.

TRAINED ON-SITE PERSONELL MUST MANEUVER COLLECTION BINS IN FRONT OF COLLECTION VEHICLE DURING COLLECTION DAY.

TRAINED ON-SITE PERSONNEL MUST ASSIST THE COLLECTION VEHICLE IN REVERSING OUT OF THE LOADING SPACE ON COLLECTION DAY.

THE FOLLOWING MINIMUM CLEARANCES ARE TO BE PROVIDED FOR THE WASTE COLLECTION VEHICLE:

- IN THE COLLECTION AREA AN OVERHEAD CLEARANCE OF 7.5 METRES FROM OBSTRUCTIONS SUCH AS BALCONIES, WIRES AND TREES MUST BE PROVIDED.
- OUTSIDE OF THE COLLECTION AREA AN OVERHEAD CLEARANCE OF 4.4 METRES FROM OBSTRUCTIONS SUCH AS BALCONIES, WIRES AND TREES MUST BE PROVIDED.

RESIDENTIAL WASTE MANAGEMENT CALCULATIONS:

**RESIDENTIAL MIXED-USE BUILDING
WASTE STORAGE ROOM SIZE AND NUMBER OF BINS REQUIRED:**

NUMBER OF UNITS = 465

7 SOLID WASTE BINS (4 CU YD) REQUIRED FOR 465 UNITS
10 m² FOR FIRST BIN AND 36 m² FOR 6 BINS @ 6 m² /BIN

10 m² FOR BULKY ITEMS

8 RECYCLABLE MATERIALS BIN (4 CU YD) REQUIRED FOR 465 UNITS
48 m² FOR 6 BINS @ 6 m² /BIN

TOTAL SOLID WASTE STORAGE ROOM REQUIRED:
104 m²

SOLID WASTE MANAGEMENT AREA PROVIDED :
279.1 m²

**TOWNHOMES
WASTE STORAGE ROOM SIZE AND NUMBER OF BINS REQUIRED:**

NUMBER OF UNITS = 34

1 SOLID WASTE BINS (4 CU YD) REQUIRED FOR 34 UNITS
10 m² FOR FIRST BIN AND 6 m² FOR 1 BINS @ 6 m² /BIN

1 RECYCLABLE MATERIALS BIN REQUIRED FOR 34 UNITS
6 m² FOR 1 BIN @ 6 m² /BIN

TOTAL SOLID WASTE STORAGE ROOM REQUIRED:
22 m²

SOLID WASTE MANAGEMENT AREA PROVIDED :
88 m²

| | | | |
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| 1 | July 08, 2022 | OPA,ZBA & SPA Submission | |
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PROJECT
**PROPOSED RESIDENTIAL MIXED-USE
DEVELOPMENT**

1225 Dundas Street E, Mississauga, ON

DRAWINGS
**RESIDENTIAL SOLID WASTE
MANAGEMENT**

PROJECT NO.

22.117P01

PROJECT DATE

DRAWN BY

WJB

CHECKED BY

Checker

SCALE

1 : 200

DRAWING NO.

SPA007

REV.

1



TURNER FLEISCHER

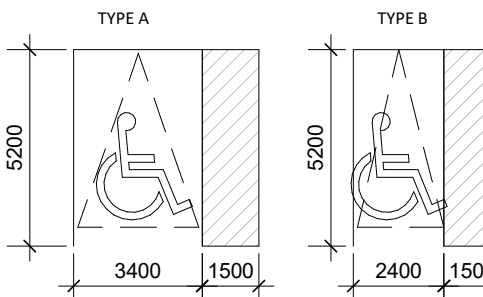
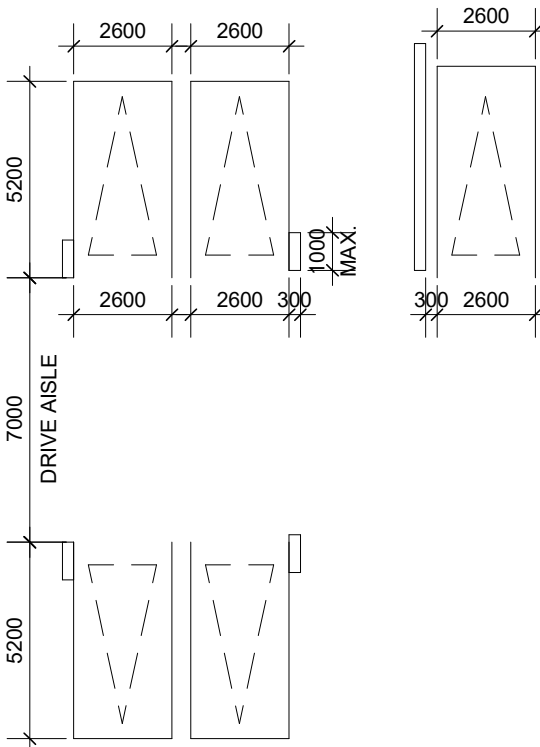
Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON, M5B 2T8
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TYPICAL PARKING DIMENSIONS:

aisle width: min 7m

typical parking space:
min 2.6 x 5.2 x 2.0m high



LEGEND

WALL/COLUMN-MOUNTED CONVEX MIRRORS

V VISITOR PARKING

The minimum width of a parking space, other than an accessible parking space or parallel parking space, shall be increased to 2.6 m where the length of one side of the parking space abuts a building, structure or part thereof, except for a building, structure or part thereof, that extends 1.0 m or less into the front and/or rear of the parking space.

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PROPOSED RESIDENTIAL MIXED-USE DEVELOPMENT

1225 Dundas Street E, Mississauga, ON

DRAWING

UNDERGROUND LEVEL 1

PROJECT NO.

22.117P01

PROJECT DATE

DRAWN BY

WJB

CHECKED BY

Checker

SCALE

As indicated

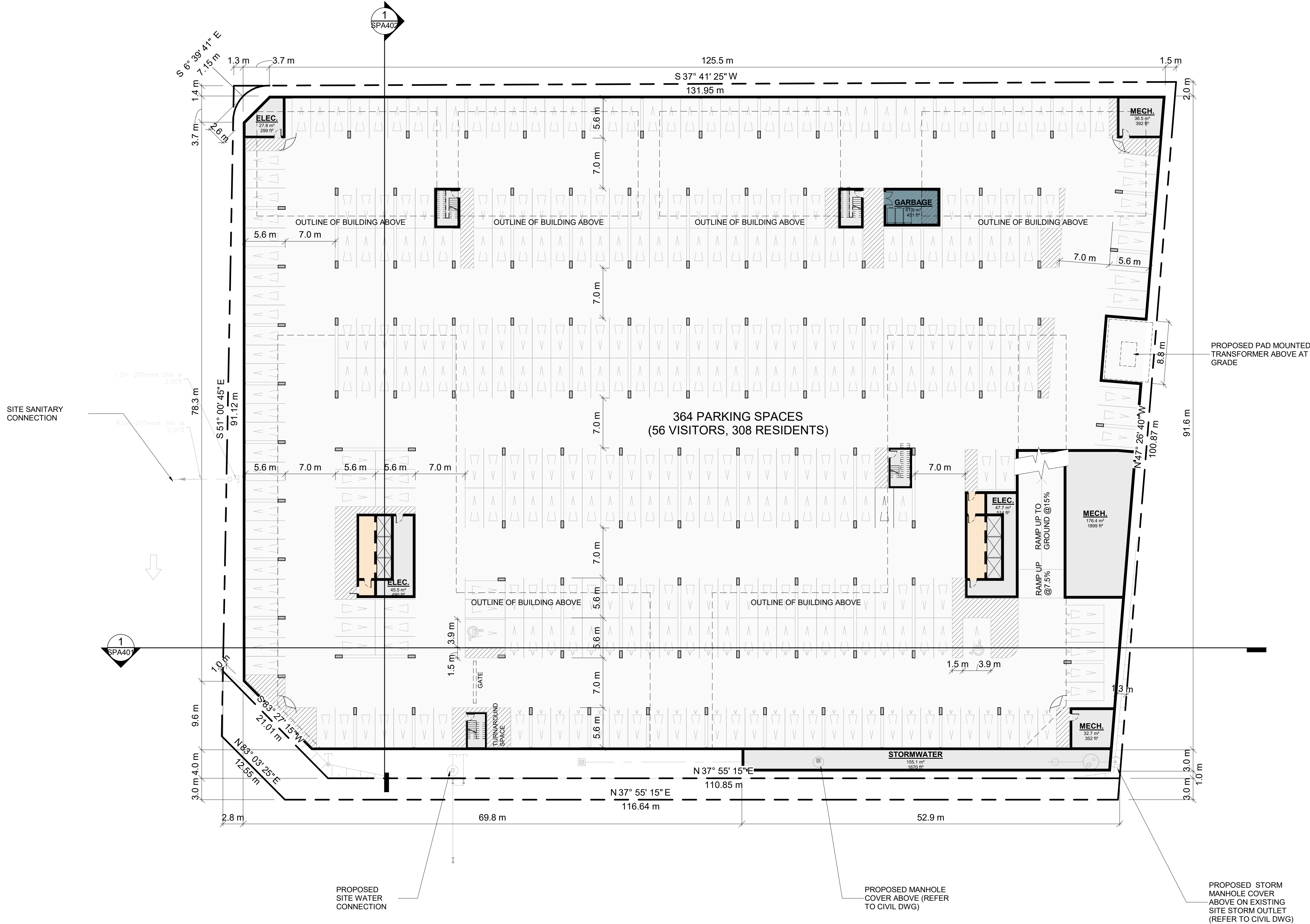


DRAWING NO.

SPA102

REV.

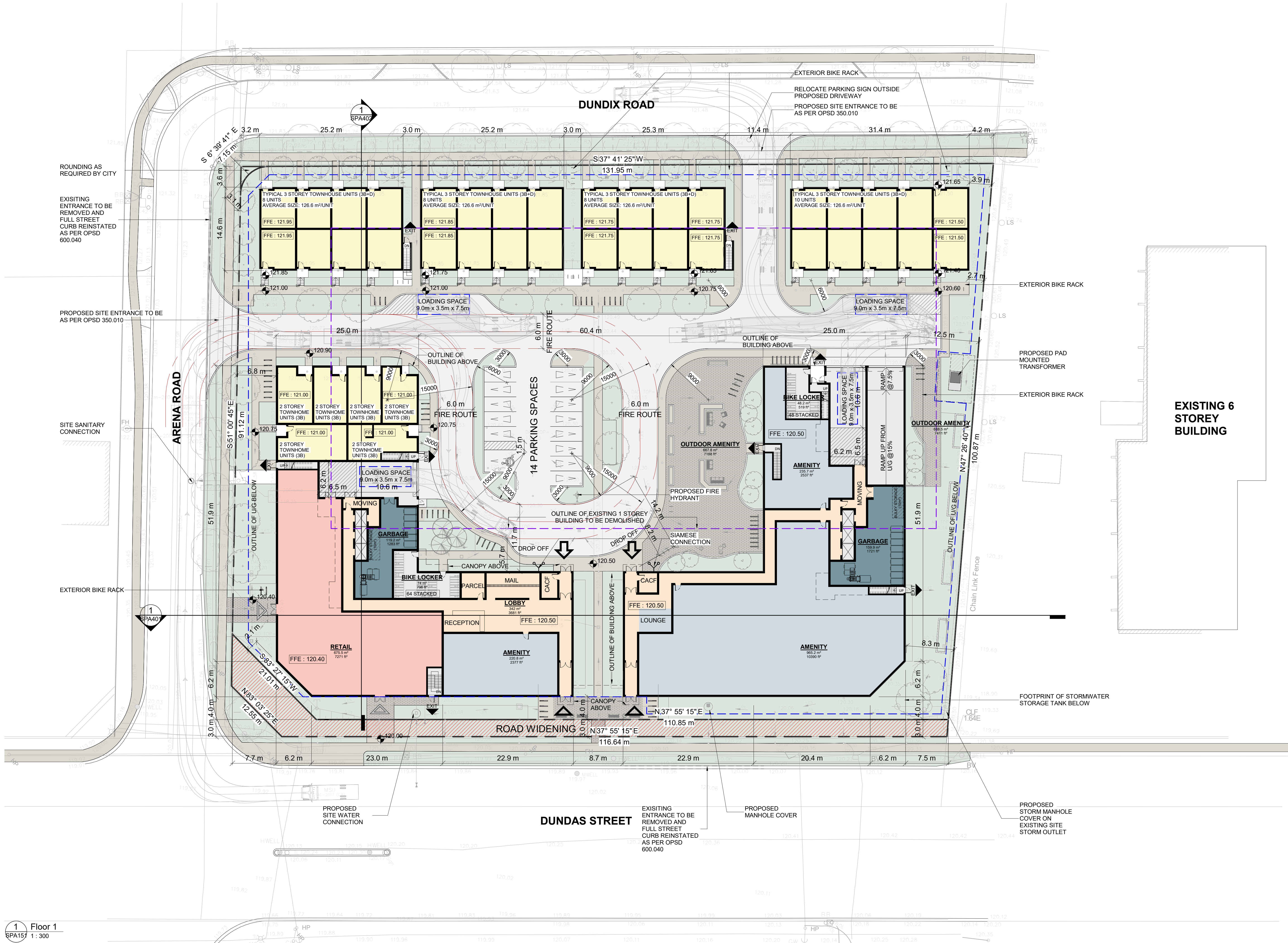
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LEGEND

- PRIMARY RESIDENTIAL ENTRANCE
- SECONDARY RESIDENTIAL ENTRANCE
- RETAIL ENTRANCE
- EXIT
- FIRE HYDRANT
- SIAMESE CONNECTION
- CONVEX MIRROR
- TRANSFORMER WITH CLEARANCES
- FIRE ROUTE SIGN
- SPOT ELEVATION
- GAS/HYDRO METER
- ROAD WIDENING



| # | DATE | DESCRIPTION | BY |
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| 1 | July 08, 2022 | OPA, ZBA & SPA Submission | |

PROJECT
PROPOSED RESIDENTIAL MIXED-USE DEVELOPMENT

1225 Dundas Street E, Mississauga, ON

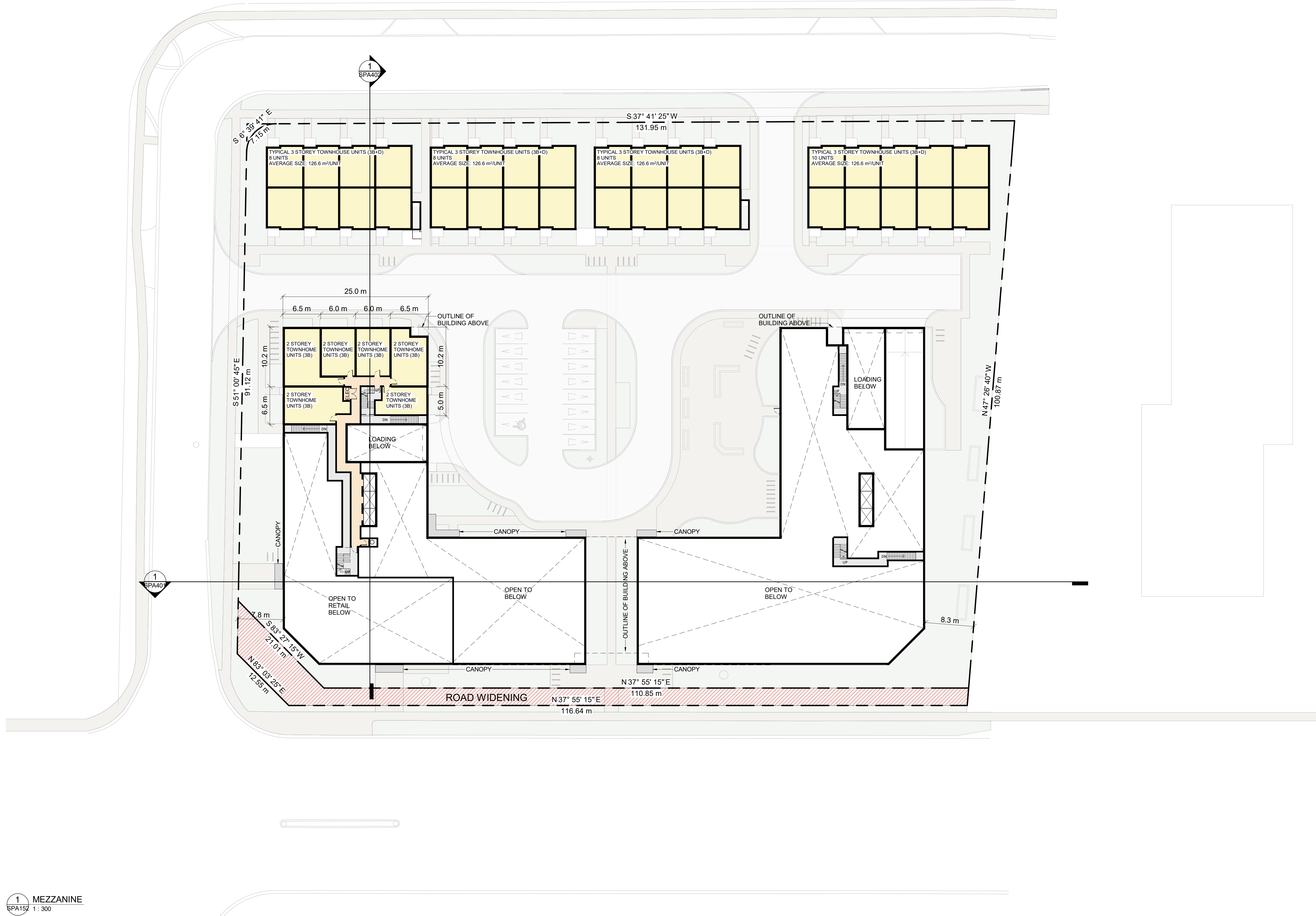
DRAWING

FLOOR 1

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| PROJECT NO. 22.117P01 | |
| PROJECT DATE | |
| DRAWN BY WJB | |
| CHECKED BY Checker | |
| SCALE As indicated | |

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| DRAWING NO. SPA151 | REV 1 |
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| July 08, 2022 | OPA,ZBA & SPA Submission | |
| DATE | DESCRIPTION | BY |

PROJECT
**PROPOSED RESIDENTIAL MIXED-USE
DEVELOPMENT**

1225 Dundas Street E, Mississauga, ON

DRAWING

MEZZANINE

PROJECT NO. _____

2.117P01

DRAWN BY

CHECKED BY

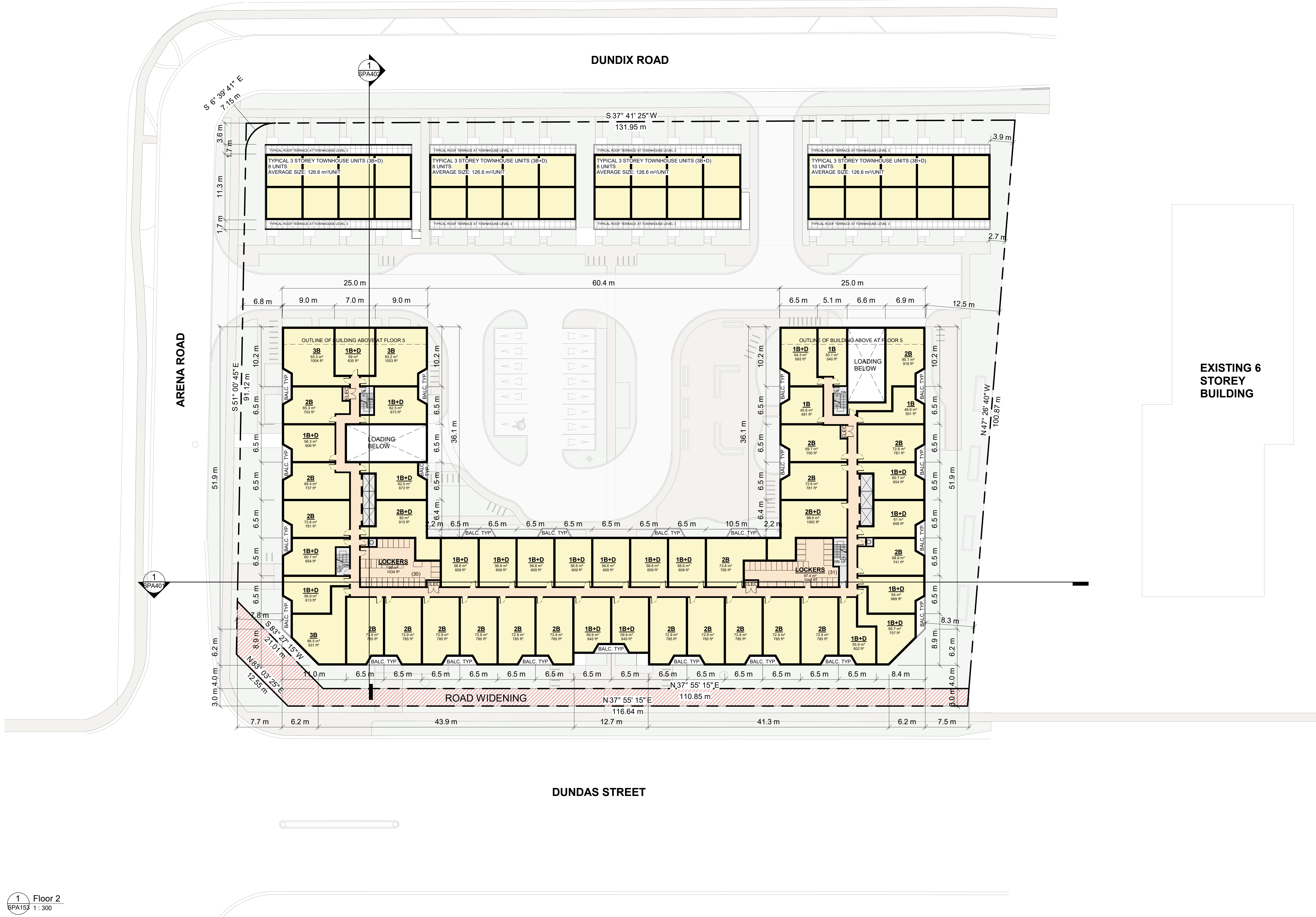
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DRAWING NO.

REV.



EXISTING 6
STOREY
BUILDING


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| 1 | July 08, 2022 | OPA, ZBA & SPA Submission | | |
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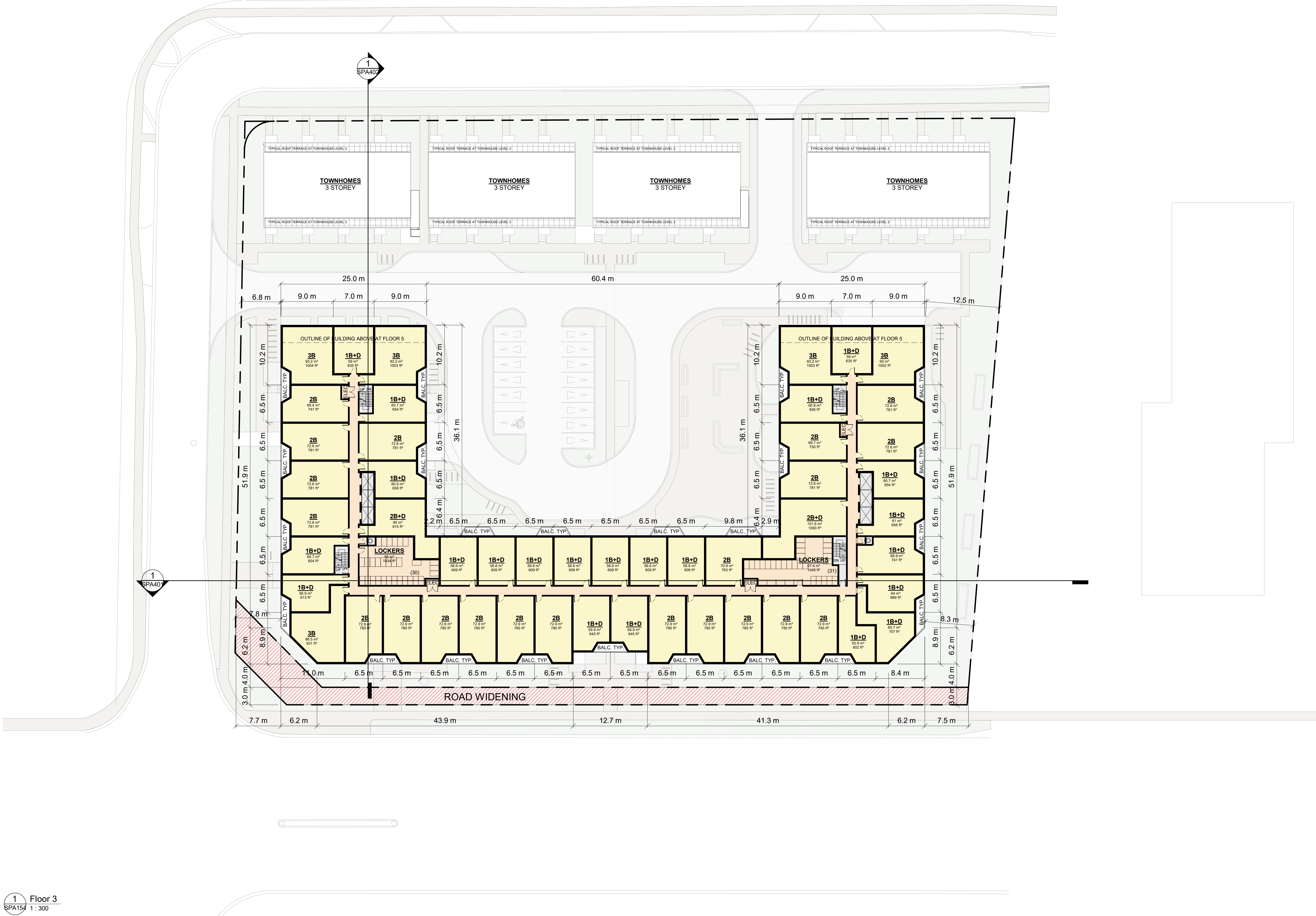
PROJECT
**PROPOSED RESIDENTIAL MIXED-USE
DEVELOPMENT**

1225 Dundas Street E, Mississauga, ON

DRAWING

FLOOR 2

| | |
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| PROJECT NO. 22.117P01 |  |
| PROJECT DATE | |
| DRAWN BY WJB | |
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| 1 | July 08, 2022 | OPA, ZBA & SPA Submission | |
| # | DATE | DESCRIPTION | BY |

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PROPOSED RESIDENTIAL MIXED-USE DEVELOPMENT

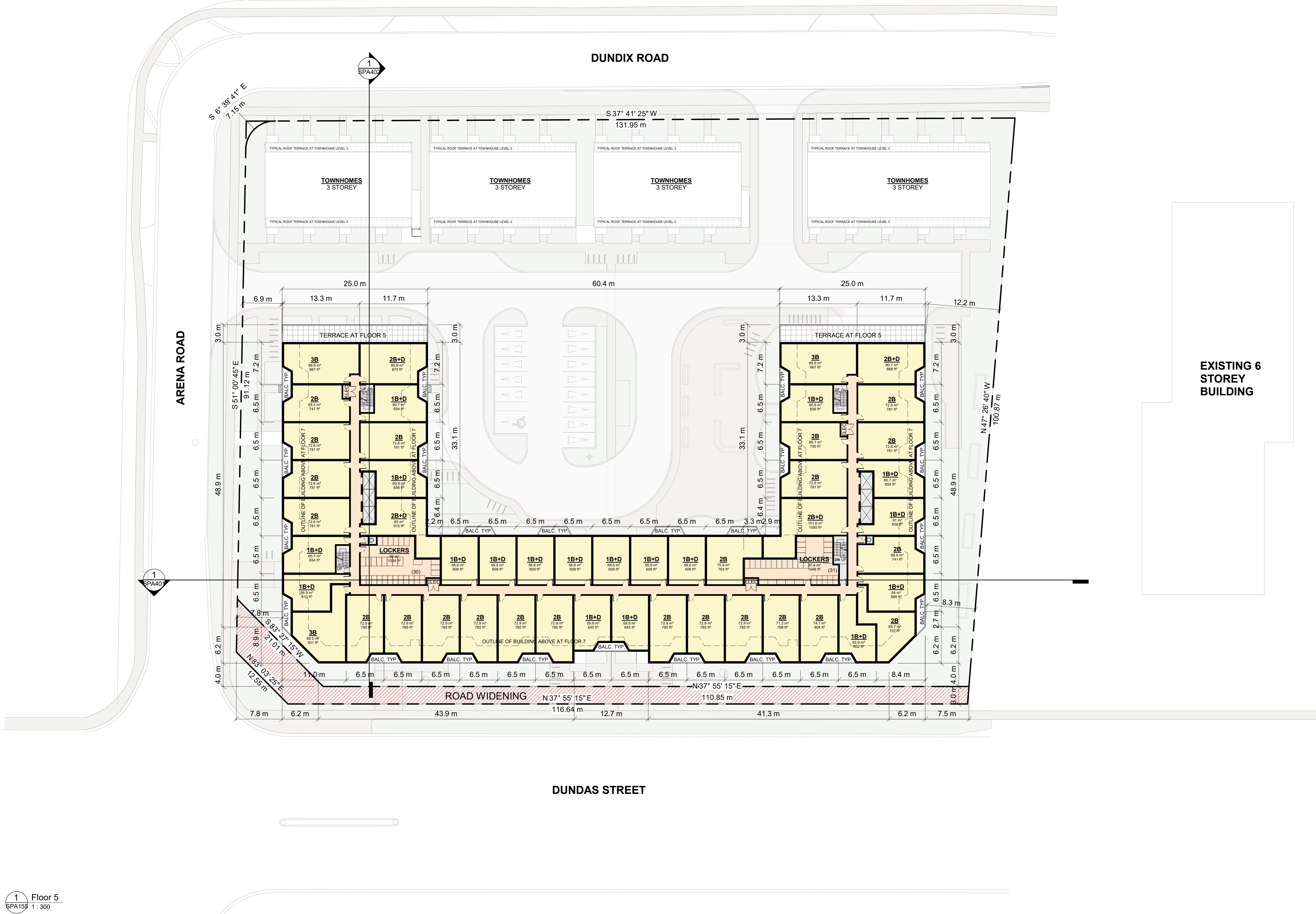
1225 Dundas Street E, Mississauga, ON

DRAWING

FLOOR 3

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| PROJECT NO. 22.117P01 | |
| PROJECT DATE | |
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| DRAWING NO. SPA154 | REV. 1 |
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| 1 | July 08, 2022 | OPA, ZBA & SPA Submission | |
| # | DATE | DESCRIPTION | BY |

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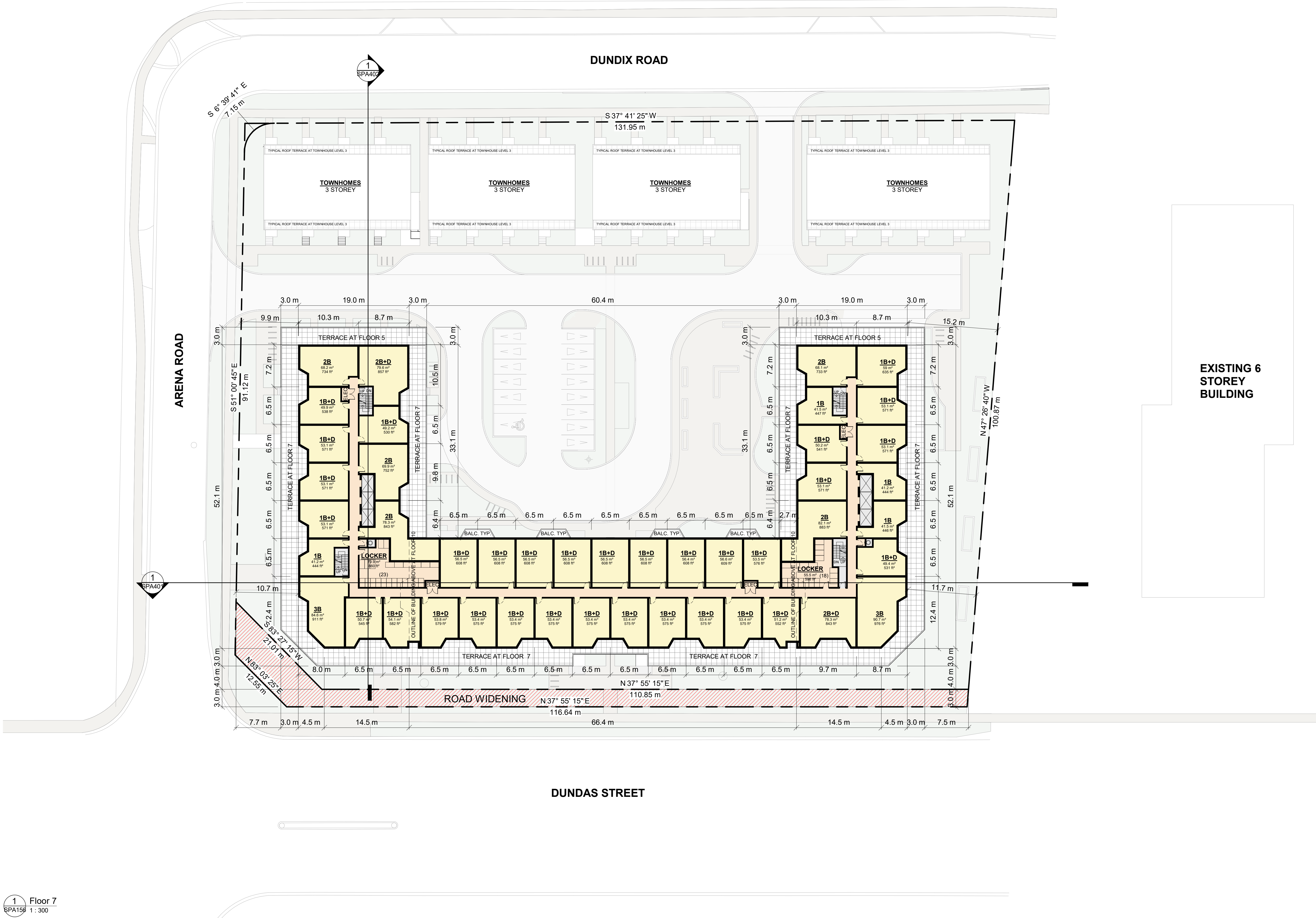
1225 Dundas Street E, Mississauga, ON

DRAWING

FLOOR 5

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| PROJECT NO. 22.117P01 | |
| PROJECT DATE | |
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| CHECKED BY Checker | |
| SCALE 1 : 300 | |

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| DRAWING NO. SPA155 | REV. 1 |
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| 1 | July 08, 2022 | OPA, ZBA & SPA Submission | |
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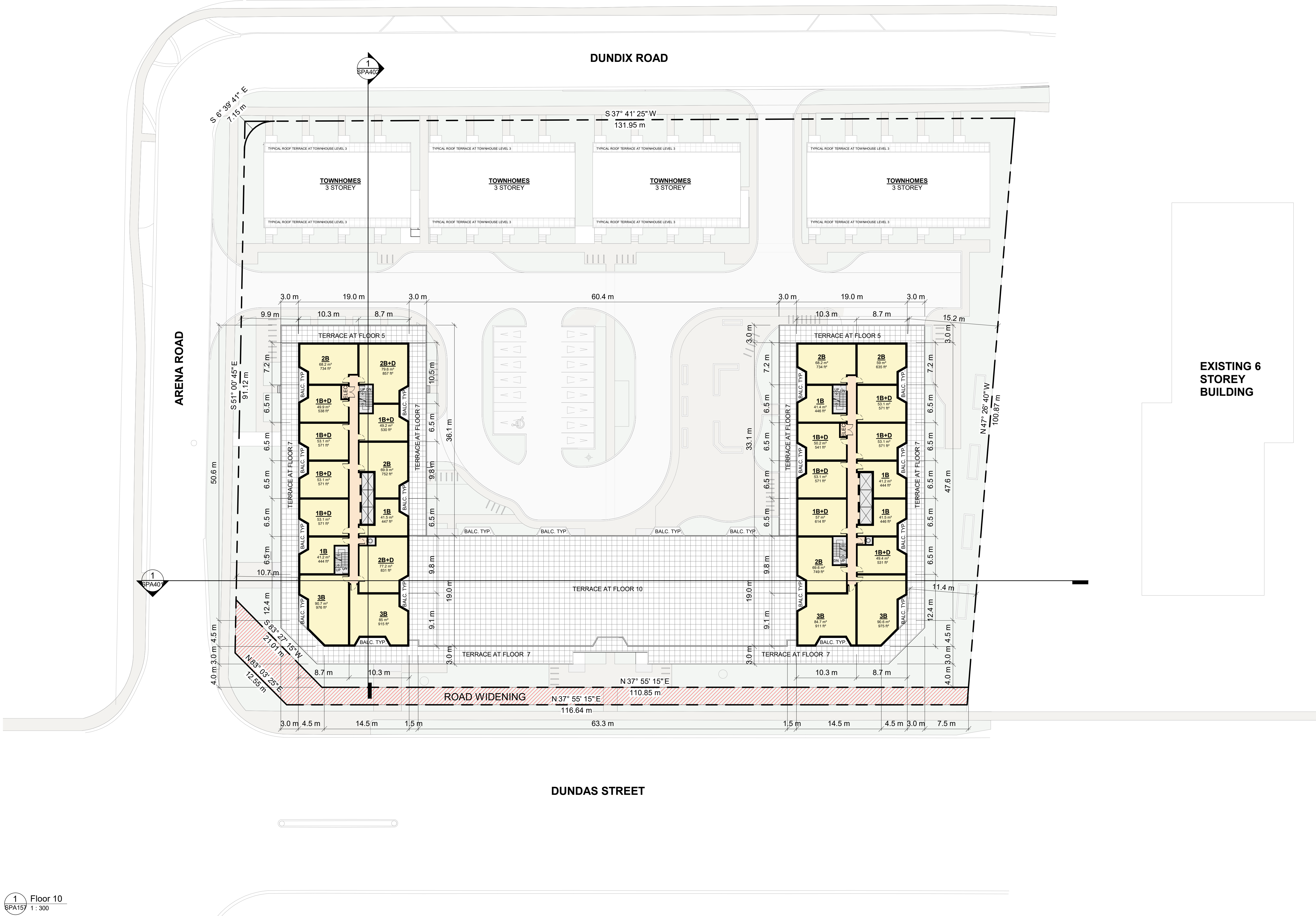
1225 Dundas Street E, Mississauga, ON

DRAWING

FLOOR 7

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| PROJECT NO. 22.117P01 | |
| PROJECT DATE | |
| DRAWN BY WJB | |
| CHECKED BY Checker | |
| SCALE 1 : 300 | |

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| DRAWING NO. SPA156 | REV. 1 |
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| 1 | July 08, 2022 | OPA,ZBA & SPA Submission | |
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PROJECT
PROPOSED RESIDENTIAL MIXED-USE DEVELOPMENT

1225 Dundas Street E, Mississauga, ON

DRAWING

FLOOR 10

| | |
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| PROJECT NO. 22.117P01 | |
| PROJECT DATE | |
| DRAWN BY WJB | |
| CHECKED BY Checker | |
| SCALE 1 : 300 | |

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| DRAWING NO. SPA157 | REV. 1 |
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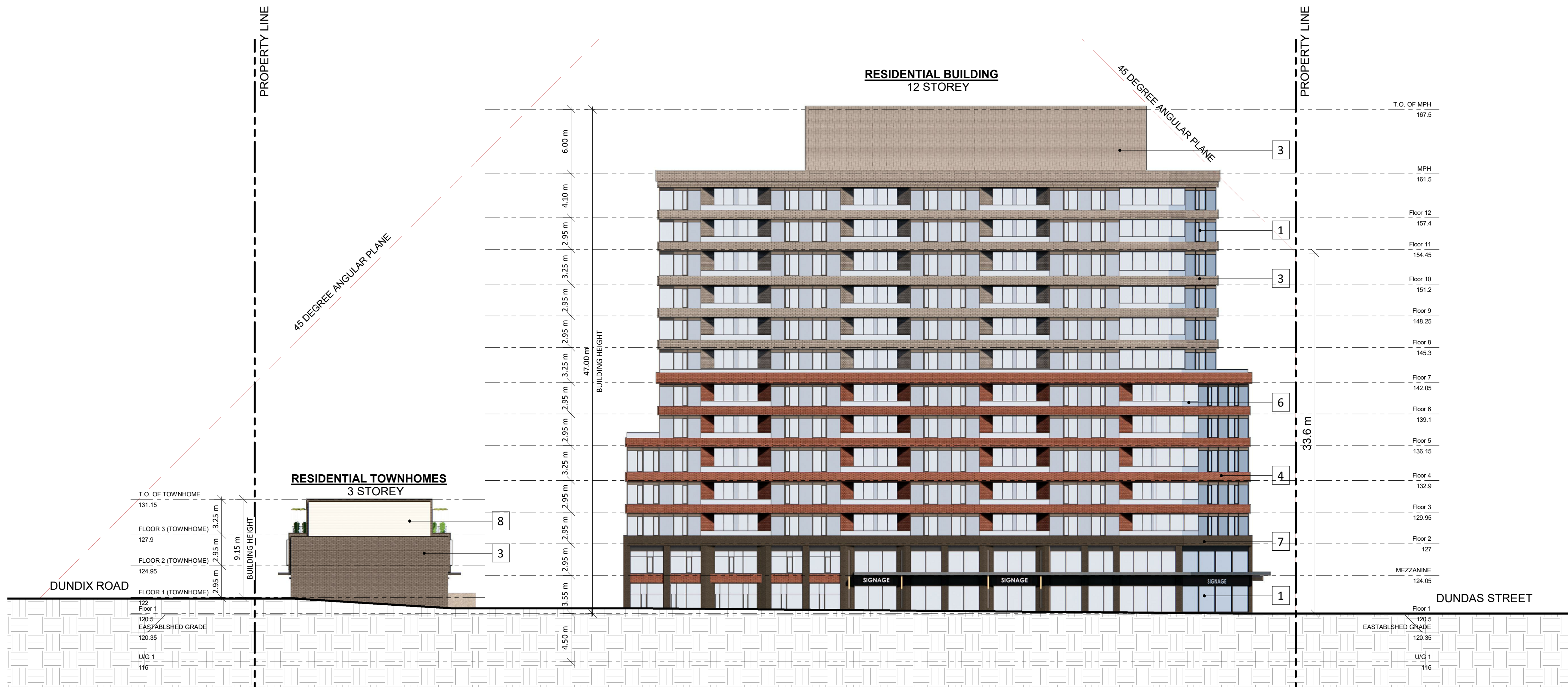
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LEGEND

- 1 CLEAR VISION GLASS
- 2 SPANDREL GLASS
- 3 PRECAST OR BRICK OR METAL PANEL - DARK GREY
- 4 PRECAST OR BRICK OR METAL PANEL - RED
- 5 PRECAST OR BRICK OR METAL PANEL - LIGHT GREY
- 6 GLASS RAILING - CLEAR
- 7 METAL PANEL OR PRECAST - DARK
- 8 METAL PANEL OR PRECAST - LIGHT



1 Elevation - East
SPA307 1 : 250



2 Elevation - South
SPA307 1 : 250

| | | | | |
|---|---------------|--------------------------|--|----|
| 1 | July 08, 2022 | OPA,ZBA & SPA Submission | | |
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PROJECT
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1225 Dundas Street E, Mississauga, ON

DRAWING
ELEVATIONS

| | |
|--------------------------|--|
| PROJECT NO. 22.117P01 | |
| PROJECT DATE | |
| DRAWN BY WJB | |
| CHECKED BY Checker | |
| SCALE 1 : 250 | |

DRAWING NO. SPA307 REV. 1

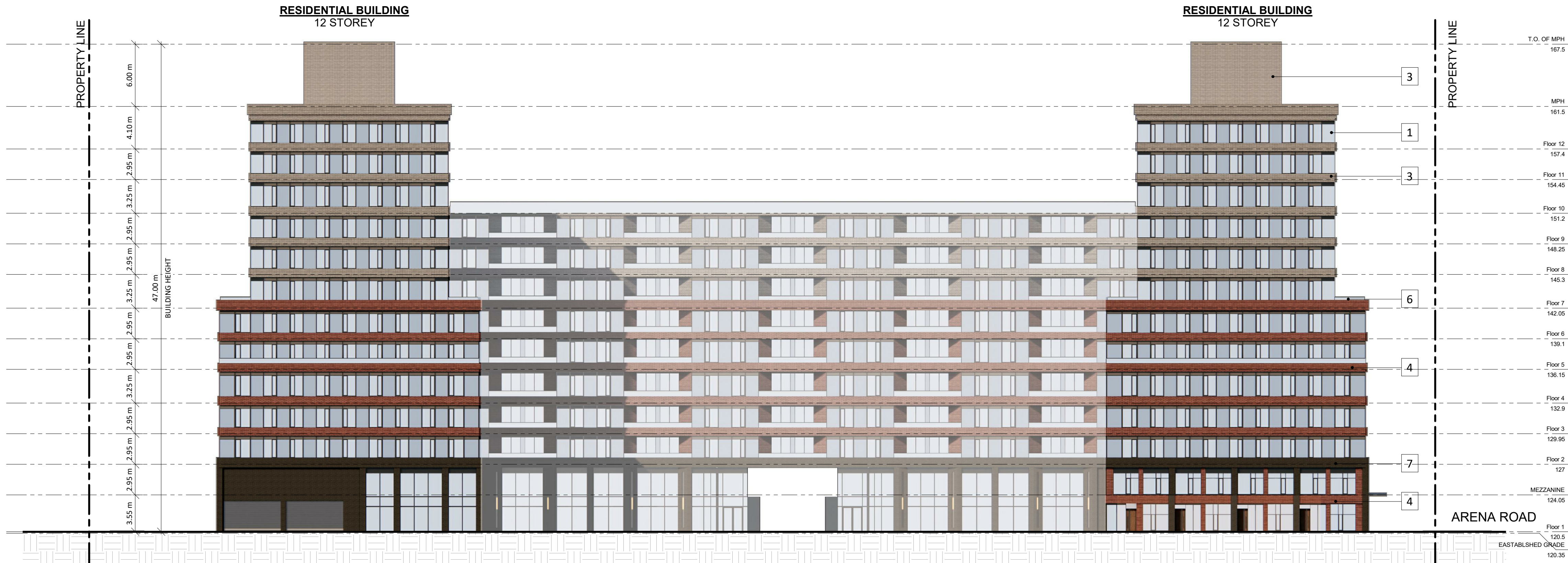
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LEGEND

- 1 CLEAR VISION GLASS
- 2 SPANDREL GLASS
- 3 PRECAST OR BRICK OR METAL PANEL - DARK GREY
- 4 PRECAST OR BRICK OR METAL PANEL - RED
- 5 PRECAST OR BRICK OR METAL PANEL - LIGHT GREY
- 6 GLASS RAILING - CLEAR
- 7 METAL PANEL OR PRECAST - DARK
- 8 METAL PANEL OR PRECAST - LIGHT



3 Elevation - West - Townhomes
SPA302 1 : 250



2 Elevation - West
SPA302 1 : 250



1 Elevation - North
SPA302 1 : 250

1 July 08, 2022 OPA,ZBA & SPA Submission

DATE DESCRIPTION BY

PROJECT
PROPOSED RESIDENTIAL MIXED-USE
DEVELOPMENT

1225 Dundas Street E, Mississauga, ON

DRAWING

ELEVATIONS

PROJECT NO.
22.117P01
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SCALE
1 : 250



DRAWING NO.
SPA302
REV.
1

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LEGEND

- 1

CLEAR VISION GLASS
- 2

SPANDREL GLASS
- 3

PRECAST OR BRICK OR METAL
PANEL - DARK GREY
- 4

PRECAST OR BRICK OR METAL
PANEL - RED
- 5

PRECAST OR BRICK OR METAL
PANEL - LIGHT GREY
- 6

GLASS RAILING - CLEAR
- 7

METAL PANEL OR PRECAST - DARK
- 8

METAL PANEL OR PRECAST - LIGHT



1 Elevation - Callout - Townhomes
SPA311 1 : 50

| 1 | July 08, 2022 | OPA, ZBA & SPA Submission | | |
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| # | DATE | DESCRIPTION | BY | |

PROJECT
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DEVELOPMENT**
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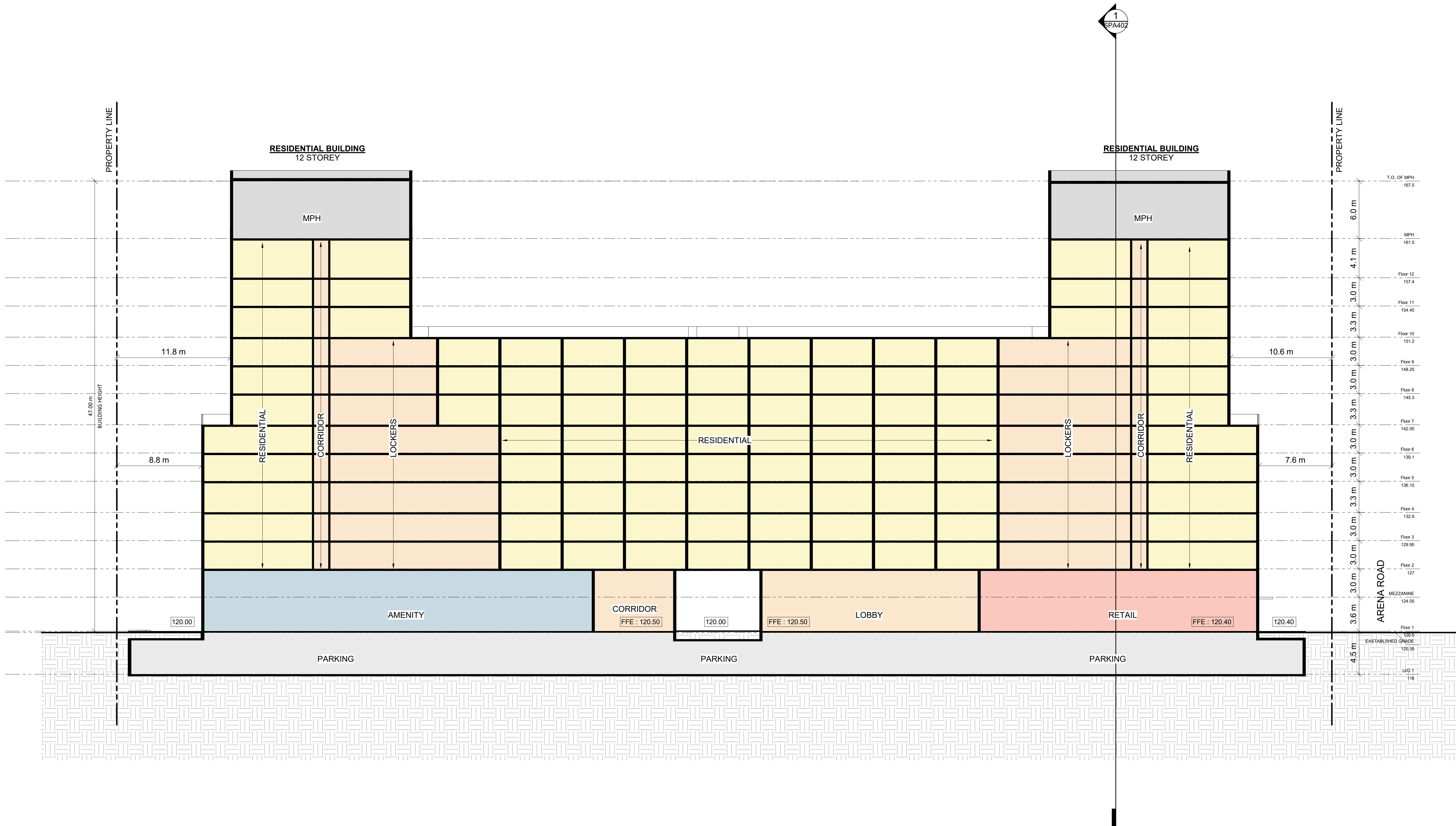
DRAWING
1 TO 50 ELEVATIONS

PROJECT NO.
22.117P01
PROJECT DATE
DRAWN BY
WJB
CHECKED BY
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SCALE
As indicated



DRAWING NO. SPA311
REV. 1

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1225 Dundas Street E, Mississauga, ON

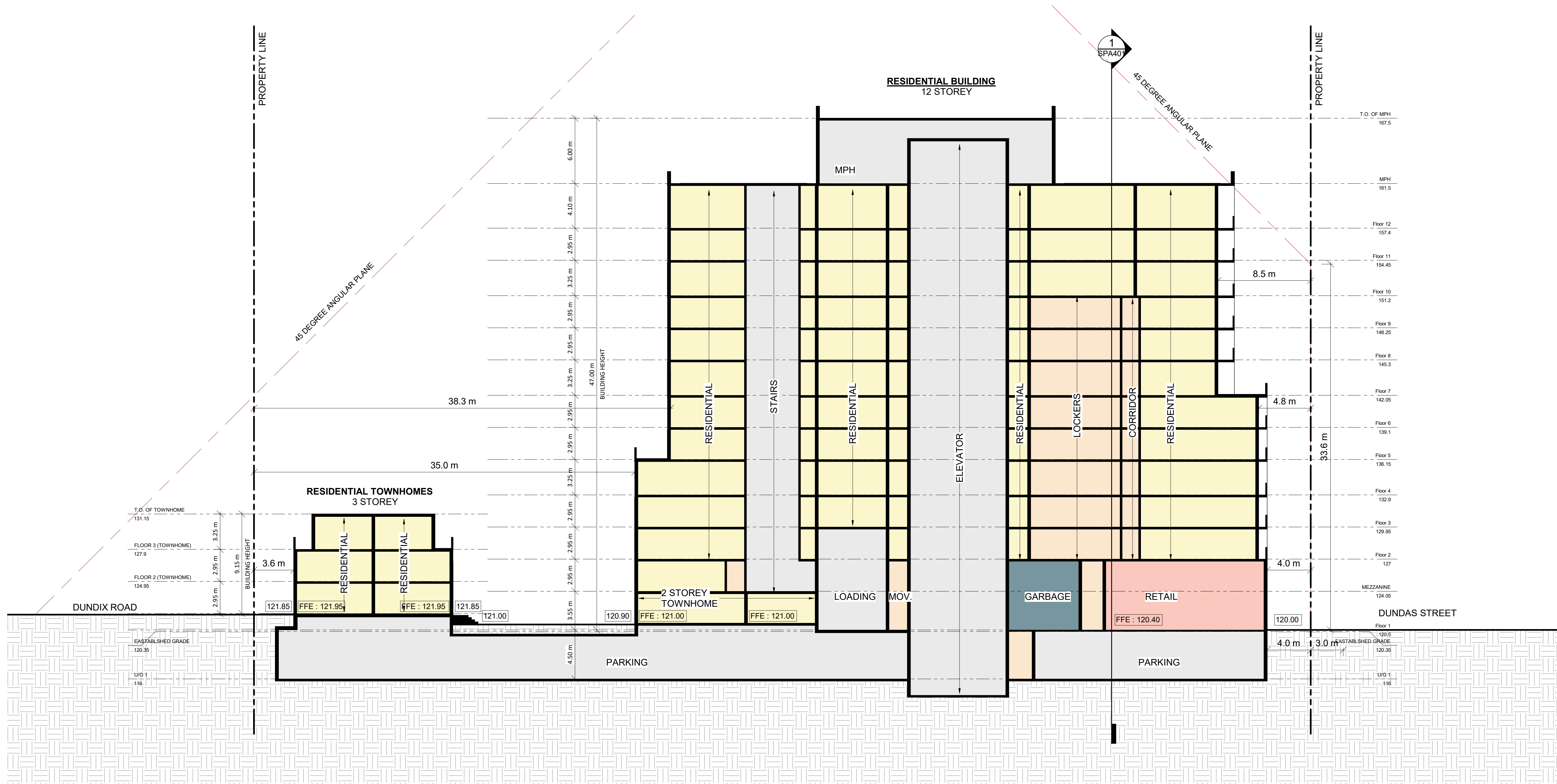
DRAWING
BUILDING SECTIONS

PROJECT NO.
22.117P01
PROJECT DATE
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DRAWING NO.
SPA401
REV.
1

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| N | DATE | DESCRIPTION | BY |

PROJECT

**PROPOSED RESIDENTIAL MIXED-USE
DEVELOPMENT**

1225 Dundas Street E, Mississauga, ON

DRAWING

BUILDING SECTIONS

| | |
|--------------------------|--|
| PROJECT NO. 22.117P01 | |
| PROJECT DATE | |
| DRAWN BY WJB | |
| CHECKED BY Checker | |
| SCALE 1 : 200 | |



ONTARIO ASSOCIATION
OF
ARCHITECTS
F. RUSSELL L. FLEISCHER
LICENCE
5004

| | |
|-------------|------|
| DRAWING NO. | REV. |
| SPA402 | 1 |



PEDASTRIAN VIEW LOOKING NORTH TO THE WALKWAY



PEDASTRIAN VIEW LOOKING NORTH



PEDASTRIAN VIEW LOOKING NORTH AT THE TOWNHOUSE



PEDASTRIAN VIEW LOOKING NORTH EAST TO THE TOWNHOUSES

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON M5B 2T8
T 416 425 2222
turnerfleischer.com

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PROJECT
PROPOSED RESIDENTIAL MIXED-USE DEVELOPMENT

1225 Dundas Street E, Mississauga, ON

DRAWING

3D PERSPECTIVES

| | |
|--------------------------|--|
| PROJECT NO. 22.117P01 | |
| PROJECT DATE | |
| DRAWN BY WJB | |
| CHECKED BY Checker | |
| SCALE | |

DRAWING NO. **SPA801** REV. **1**

STACK RACK



The customizable Stack Rack combines industrial design and strength with two-tier spacing for added capacity and maximum density. And, the lift assist mechanism eases any bike lifting required by the user, making it easier to load and unload. Flexibility in bike spacing, rack configuration and the modular design make this product unique to each installation.

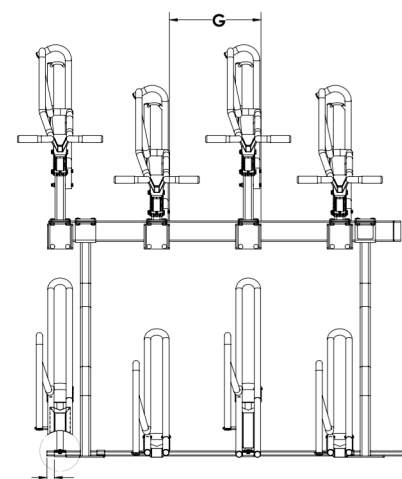
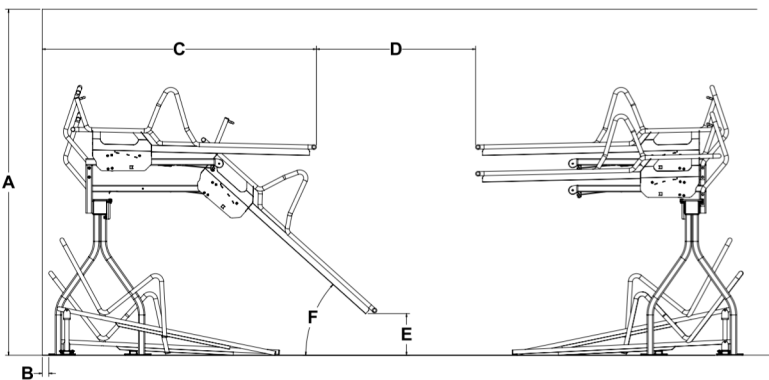
Product Specifications

- Can be built as single-sided or double-sided unit.
- Multiple bike spacing options offers flexibility to meet municipal bike parking regulations
- Few moving parts to minimize maintenance
- 1.25" security locking bar standard at each bike spot
- 104" ceiling clearance (lower ceiling height model can be provided if needed for ceiling height of 96" – 24" bike spacing only).
- Upper trays pull down to 12" from floor to minimize bicycle lift height when loading.

Stack Rack

Spacing and Dimensions

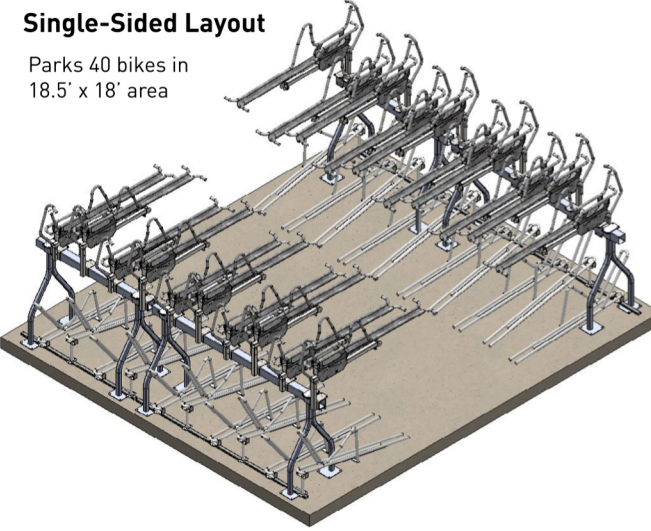
For a full list of dimensions and spacing requirements and recommendations, please see our technical specification document or installation manual.



| A | B | C | D | E | F | G |
|---------------------------------------|----|-------|---------|----------------------|-----|-----------------|
| 104" (or 96" Ø 24" bike spacing (6")) | 2" | 80.5" | 48" min | 12" lower, 20" upper | 42" | 17", 18" or 24" |

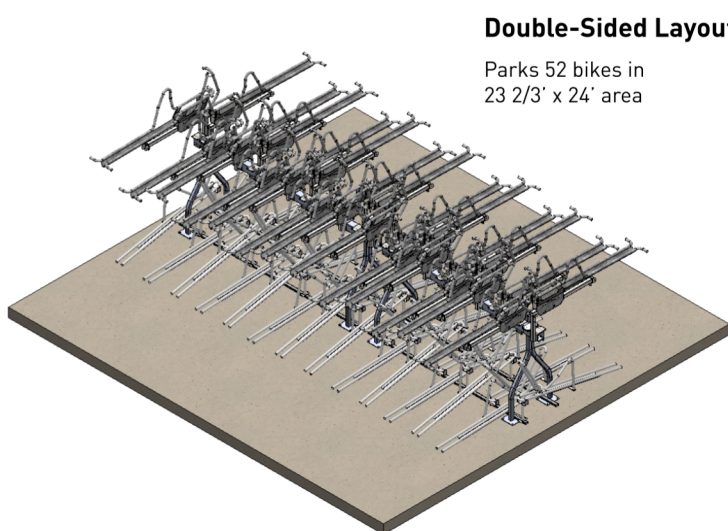
Single-Sided Layout

Parks 40 bikes in 18.5' x 18' area



Double-Sided Layout

Parks 52 bikes in 23 2/3' x 24' area



Downloadable product resources available online:



Our Saris Infrastructure representatives can assist with custom layout and spacing to meet your room dimensions and desired bike capacity.

Saris Infrastructure 800.783.7257 www.sarisinfrastructure.com

TURNER FLEISCHER

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| 1 | July 08, 2022 | OPA,ZBA & SPA Submission | |
|---|---------------|--------------------------|----|
| # | DATE | DESCRIPTION | BY |

PROJECT
PROPOSED RESIDENTIAL MIXED-USE DEVELOPMENT

1225 Dundas Street E, Mississauga, ON

DRAWING
STACKED BICYCLE RACK DATA SHEET

PROJECT NO.

22.117P01

PROJECT DATE

DRAWN BY

WJB

CHECKED BY

Checker

SCALE



DRAWING NO. **SPA901** REV. **1**