

WESTMINSTER UNITED MISSISSAUGA

August 11, 2023

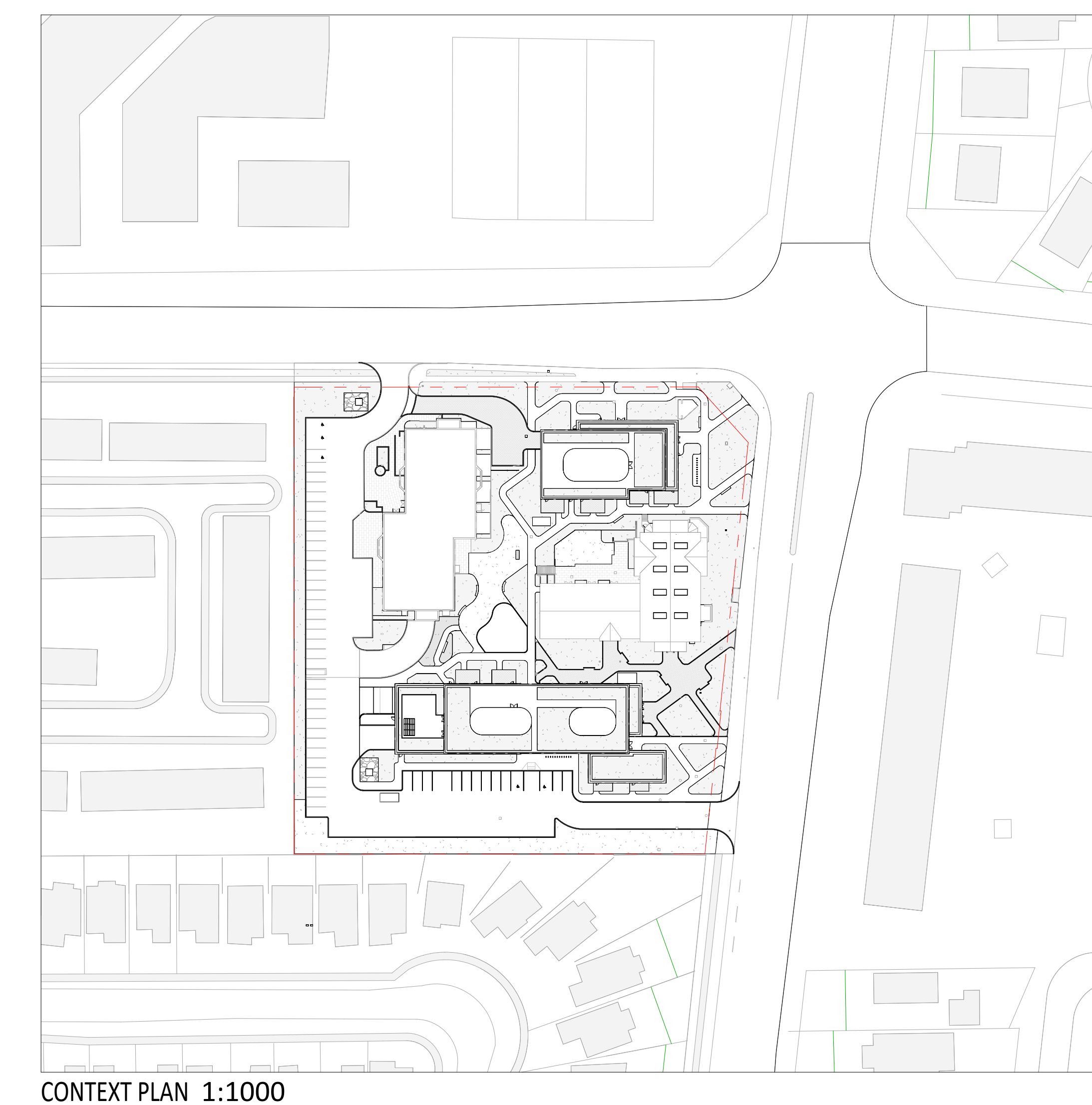


OFFICIAL PLAN AMENDMENT & ZONING BYLAW APPROVAL RESUBMISSION

PROJECT TEAM

APPLICANT Kindred Works 8 King St. East Toronto, ON M5C 1B5 T: 416-618-2097	ARCHITECT KPMB Architects Inc. 351 King St E, Suite 1200 Toronto, ON M5A 0L6 T: 416-977-5104	STRUCTURAL ENGINEERS Aspect Structural Engineers 53 Jarvis St, Suite 200 Toronto, ON M5C 2H2 T: 647-954-4004	ELECTRICAL ENGINEERS Mulvey & Banani International Inc. 90 Sheppard Ave E, Suite 500 Toronto, ON M2N 3A1 T: 416-751-2520	MECHANICAL ENGINEERS Hammerschlag & Joffe Inc. 43 Lesmill Road Toronto, ON M3B 2T8 T: 416-444-9263	CIVIL ENGINEERS WSP Global Inc. 500 -119 Spadina Ave Toronto, ON M5V 2L1 T: 416-260-1560	TRANSPORTATION, PARKING & WASTE MANAGEMENT BA Consulting Group Ltd 45 St Clair Ave W, Suite 300 Toronto, ON M4V 1K9 T: 416-961-7110
LANDSCAPE ARCHITECT Janet Rosenberg & Studio14 148 Kenwood Ave Toronto, ON M6C 2S3 T: 416-656-6665	ENVIRONMENTAL RWDI 901 King St W, Suite 400 Toronto, ON M5V 3H5 T: 647-475-1048	SUSTAINABILITY JMV Consulting Toronto, ON T: 819-230-0369	GEOTECH Grounded Engineering 1 Banigan Drive Toronto, ON M4H 1G3 T: 647-254-7909	PLANNING MHBC 442 Brant St, Suite 204 Burlington, ON L7R 2G4 T: 905-639-8686	ENVELOPE Entuitive 200 University Ave, 7th Floor Toronto, ON M5H 3C6 T: 416-477-5832	

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GENERAL NOTES:

1. Drawing set to be used by the client. Contractors will verify all existing conditions and dimensions prior to performing any work. All work shall conform to the applicable Ontario Building Code and all other applicable laws and regulations.
2. The architect shall be responsible for the design and construction of the building. The architect shall be responsible for the design and construction of the building. The architect shall be responsible for the design and construction of the building.
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6. These documents are not to be used for construction unless specifically noted by the architect.

REVISIONS:

No.	Date	Issued
1	2023-08-11	JAM/ELI/AM/STC
2	2023-08-11	JAM/ELI/AM/STC

KPMB Architects
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Application Number:
CG-CPA-23-218-WP

UPRC
WESTMINSTER UNITED MISSISSAUGA

4094 Tormken Rd, Mississauga, ON L4W 1J5

Project North True North

Project No. 2112
Scale: 1:1000
Plot Date: 08/11/2023

COVER PAGE

4094 Tomken Rd & 924 Rathburn Rd, Mississauga, ON L4W 1J5	
1 Legal Address	4094 Tomken Rd & 924 Rathburn Rd, Mississauga, ON L4W 1J5
2 Municipal Address	4094 Tomken Rd & 924 Rathburn Rd, Mississauga, ON L4W 1J5
3 Applicable Zoning By-Laws	Zoning By-law (NO. 0225-2007)
4 Zoning Designation	Residential Zone – Apartments (RA2-11)
5 Lot Area (m ²)	14,141m ²
6 New Build Lot Coverage (Area at Grade, m ²)	1,987m ²
7 Total Lot Coverage (Area at Grade, m ²)	3,877m ²
8 New Build GFA (m ²)	18,604m ²
9 Total GFA (m ²)	26,646m ²
10 Sustainability Target	TBD
11 Established Grade (Building 1)	Geodetic el. 138.010m
12 Established Grade (Building 2)	Geodetic el. 138.260m
13 Total Area of Renovated Space	0
14 Landscape Area (40% min. required)	46%
Proposed Building Height (Building 1 & 2)	43.800m

1 City of Mississauga ZBL 0225-2017 "Established grade" means, with reference to a building, structure or part thereof, the average elevation of the finished grade of the ground immediately surrounding such building or structure

1 Building Height is measured from Established Grade as defined above

2 Floor heights are measured from Established Grade at Geodetic el. Described above

3 Landscape Area as defined by By-Law 0225-2007

ZBA_Project Area Breakdown (m ²)							
Level	Gross Constructed Area (GCA) New	Gross Floor Area (GFA) Site Total					Total
		Existing Church	New Community	Existing Residential	New Residential		
LowerLevel 3	3111 m ²	0 m ²	0 m ²	0 m ²	41 m ²	41 m ²	
LowerLevel 2	4431 m ²	0 m ²	0 m ²	0 m ²	42 m ²	42 m ²	
LowerLevel 1	4825 m ²	0 m ²	0 m ²	0 m ²	39 m ²	39 m ²	
GroundLevel	1587 m ²	890 m ²	0 m ²	999 m ²	1222 m ²	3111 m ²	
Level 2	2083 m ²	157 m ²	0 m ²	999 m ²	1878 m ²	3034 m ²	
Level 3	2091 m ²	0 m ²	0 m ²	999 m ²	1890 m ²	2889 m ²	
Level 4	2094 m ²	0 m ²	0 m ²	999 m ²	1957 m ²	2957 m ²	
Level 5	1928 m ²	0 m ²	0 m ²	999 m ²	1793 m ²	2792 m ²	
Level 6	1629 m ²	0 m ²	0 m ²	999 m ²	1491 m ²	2492 m ²	
Level 7	1513 m ²	0 m ²	0 m ²	999 m ²	1375 m ²	2374 m ²	
Level 8	1513 m ²	0 m ²	0 m ²	0 m ²	1375 m ²	1375 m ²	
Level 9	1513 m ²	0 m ²	0 m ²	0 m ²	1377 m ²	1377 m ²	
Level 10	1513 m ²	0 m ²	0 m ²	0 m ²	1375 m ²	1375 m ²	
Level 11	1512 m ²	0 m ²	0 m ²	0 m ²	1375 m ²	1375 m ²	
Level 12	1512 m ²	0 m ²	0 m ²	0 m ²	1375 m ²	1375 m ²	
Roof	333 m ²	0 m ²	0 m ²	0 m ²	0 m ²	0 m ²	FS
Total	33569 m ²	1047 m ²	0 m ²	6995 m ²	18004 m ²	26646 m ²	
	33569 m ²		1047 m ²		25999 m ²	26646 m ²	1.88

ZBA_Residential Suite Mix_Overall					
Level	Studio	1 Bed	2 Bed	3 Bed	Total Count
GroundLevel	0	5	2	1	8
Level 2	0	14	6	5	25
Level 3	0	13	7	5	25
Level 4	0	13	9	4	26
Level 5	0	16	9	1	26
Level 6	0	13	5	2	20
Level 7	0	14	4	2	20
Level 8	0	14	4	2	20
Level 9	0	14	4	2	20
Level 10	0	14	4	2	20
Level 11	0	14	4	2	20
Level 12	0	14	4	2	20
Grand total	0	158	62	30	250
% of Total	0%	63%	25%	12%	100%

Barrier Free Units - Required (20%) OBC 3.8.2.1.(5)					
	% of total units required	# of Units Required	% of total units provided	# of units provided	Comments
Building 1	30%	30	30%	30	
Building 2	30%	46	30.7%	46	

Residential Amenity Area						
	Req. Total Amenity Area	Req. Outdoor Amenity	Provided Indoor Amenity	Provided Outdoor Amenity	Overall Rate Required	Overall Rate Provided
Building 1						
Total Area	543m ²	55m ²	78m ²	545m ²		
Area per Residential Suite	5.6m ²	N/A	8m ²	5.6m ²	5.6m²	6.4m²
Building 2						
Total Area	857m ²	55m ²	359m ²	1,317m ²		
Area per Residential Suite	5.6m ²	N/A	2.3m ²	8.6m ²	5.6m²	11.0m²

Residential Indoor Amenity Space Provided			Residential Outdoor Amenity Space Provided		
	Area	Description	Level	Area	Description
Building 1					
Ground Level	78m ²		Ground Level	545m ²	
Total	78m²		Total	545m²	
Building 2					
Ground Level	275m ²		Ground Level	1,199m ²	
Level 6	84m ²		Level 6	118m ²	
Total	359m²		Total	1,317m²	

Calculation of Required Green Roof Area (m ²)			
	Required	Provided	Notes
Gross Floor Area 1		33,569m ²	
Total Roof Area(s)		1,427m ²	
Areas Designated for renewable energy devices		m ²	
Residential Private Terraces		m ²	
Rooftop Outdoor Amenity Space2		118m ²	
Tower floor plate above podium <750m2			
Available roof area (Total - Deductions)		1,309m ²	
Area of green roof	40%	62%	
	524m ²	817m ²	
Coverage provided:			
1 As defined in Green Roof By-Law.			
2 Rooftop Outdoor Amenity Space is the req'd amenity space, not exceeding the minimum area req'd under applicable zoning By-Law.			

Car Parking as per City of Mississauga Zoning By-Law 0225-2017						
Residential						
	Visitor (spaces per unit)	Standard (spaces per unit)	EVSE (spaces req'd)	Total Parking Required Visitor & Standard	Total Parking Provided Visitor & Standard	Spaces Provided/Notes
Building 1	0.2	1	21	116.4	98	Provided Parking spaces per unit as below: Standard Spaces 0.8 spaces per unit, Visitor Spaces 0.2 spaces per unit EVSE spaces 20% of total requirement and 10% of visitor parking
Building 2	0.2	1	34	184	154	
Sub-Total			55	300	252	
Effective Resident Ratio (Spaces per unit)				1.20	1.00	
Non-Residential						
	Existing Area (m ²)	Standard (spaces per 100m2)	EVSE (spaces req'd)	Total Parking Required	Total Parking Provided	Spaces Provided/Notes
Place of Worship	345	27.1		93		
Daycare	385	2.5		10	77	EVSE's provided for new program only.
Sub-Total				103	77	
Existing						
					Existing	Spaces Provided/Notes
Existing Building Below Grade					54	
Existing Building Visitor Parking					14	Existing Spaces to Remain
Sub-Total					68	
Total					397	

Bicycle Parking as per City of Mississauga Zoning By-Law 0225-2017					
	Units/GFA	Spaces (per unit)	Spaces Required	Spaces Provided	Spaces Provided/Notes
Building 1					
Residential Long-term	97	0.6	59	36	Bicycle parking calculations resulting in a fraction are rounded up to the nearest whole number in accordance with Zoning By-law 0225-2017
Residential Short-term	97	0.05	5	24	
Total			64	60	
Building 2					
Total Long-term	153	0.6	92	118	
Total Short-term	153	0.05	8	24	
Total			99	142	
Total Long-term			151	154	
Total Short-term			13	48	

Loading		
	Number of Units/Size	Area
Building 1	97	LOADING SPACE 9.0m (L) x 3.5m (W) x 4.5m (H)
Building 2	153	LOADING SPACE 9.0m (L) x 3.5m (W) x 7.5m (H)
Total		
1 Rate requirements calculated as per the City of Mississauga Zoning By-Law 0225-2017		
2 One loading space to accommodate both new buildings, and to be located within Building 2		
3 New loading space also to accommodate Existing Church		

Waste Management as per Waste Collection Design Standards Manual 2020			
	Units/People	Req'd Garbage & Recycling Facilities	Proposed Garbage and Recycling Facilities (Number of 3 yd3 bins)
Residential Garbage	250	(1) 3 yd3 bin per 54 units for compacted garbage	5
Residential Recycling	250	(1) 3 yd3 bin per 45 units for recyclable materials	6
Place of Worship Garbage	129	(1) 3 yd3 bin per 90 persons for compacted garbage	2
Place of Worship Recycling	129	(1) 3 yd3 bin per 450 persons for recyclable materials	1
Total			14
1 Requirements calculated as per WCDSM Appendix 6 Front-end Garbage and Recycling Bins and Appendix 7 Waste Bin Calculations.			

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GENERAL NOTES:
1. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities and for ensuring that the project complies with all applicable laws and regulations.
2. The contractor shall be responsible for ensuring that the project complies with all applicable laws and regulations, including but not limited to the Ontario Building Code, the Ontario Fire Code, and the Ontario Electrical Code.
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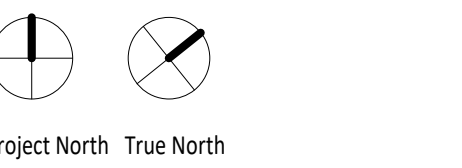
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2	2023-08-11	2023-08-11	2023-08-11

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416.977.5104

Application Number:
CG-CPA-22-018-WQ

UPRC
WESTMINSTER UNITED
MISSISSAUGA

4094 Tomken Rd, Mississauga, ON
L4W 1J5



Project No. 2112
Scale: 1:1
Plot Date: 08/11/2023

STATISTICS



IMAGE 4 - SOUTH TOMKEN ROAD



IMAGE 2 - BUILDING 2 FROM COURTYARD



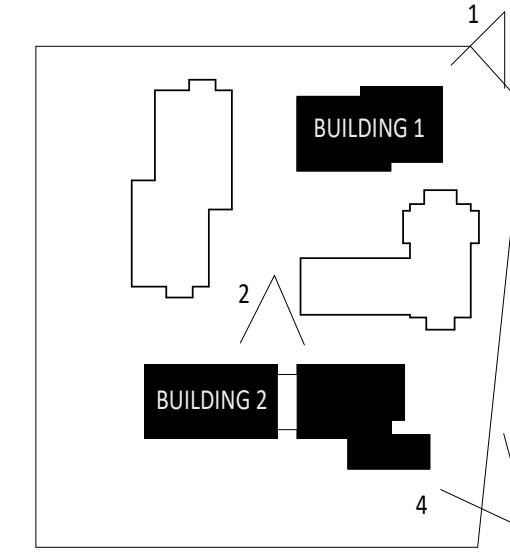
IMAGE 3 - AXO FACING SOUTH WEST



IMAGE 1 - NORTH ENTRY BUILDING 1

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 The architect is not liable for any loss or damage of information resulting from a computer reproduction of the original drawing.

- GENERAL NOTES:**
1. Drawings are to be used by the project contractor and not for any other purpose. Location and dimensions shown on the drawings are to be used for construction purposes only.
 2. The architect is not responsible for any errors or omissions in the drawings. The contractor shall be responsible for the accuracy of the information provided in the drawings.
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KEY PLAN

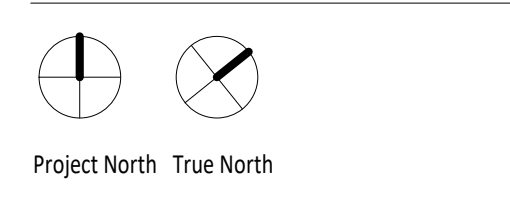
No.	Date	Issued
1	2023-08-11	Final Presentation
2	2023-08-18	Final Presentation

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Application Number:
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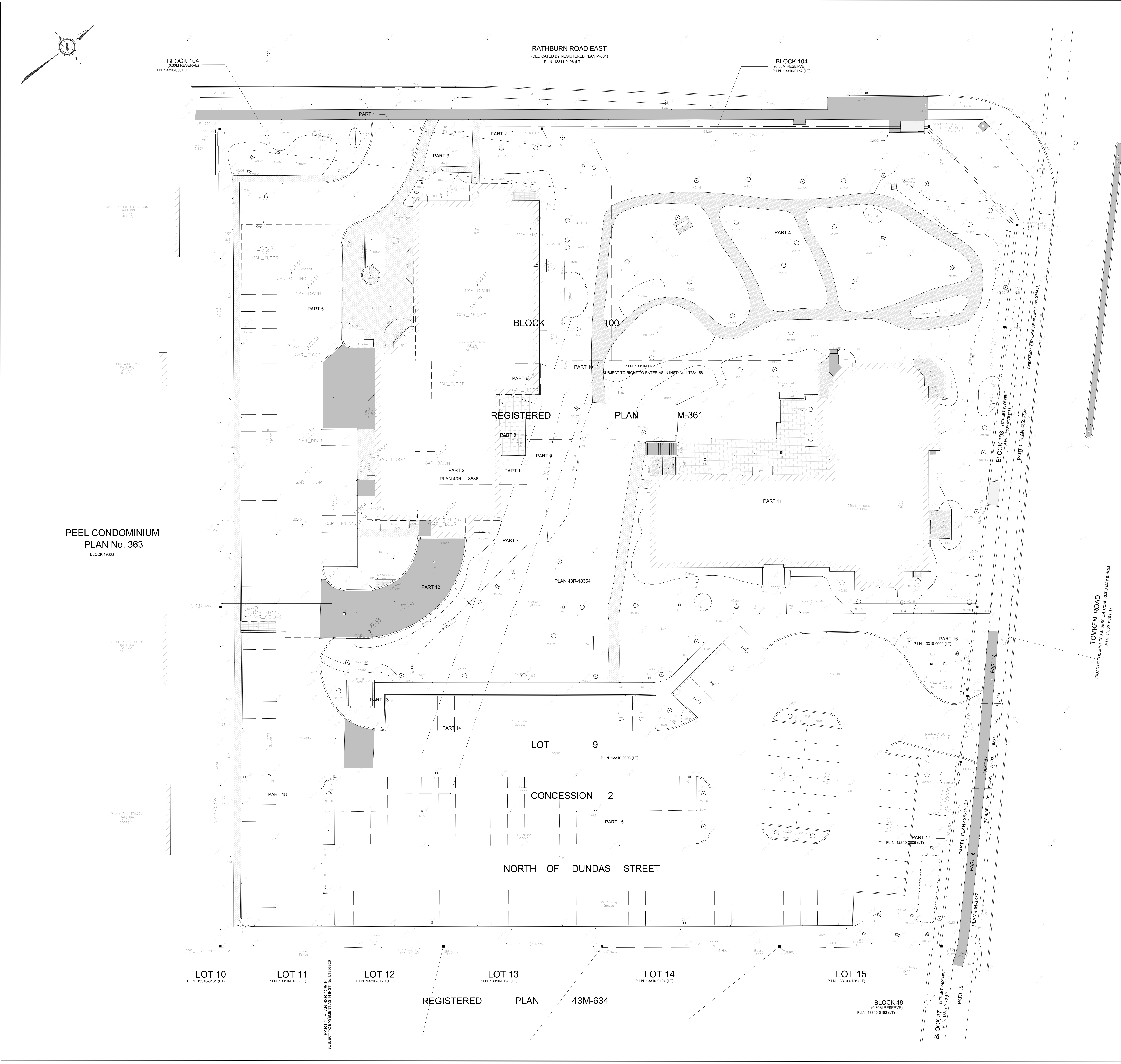
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 MISSISSAUGA**

4094 Tomken Rd, Mississauga, ON
 L4W 1J5



Project No. 2112
 Scale:
 Plot Date 08/11/2023

RENDERINGS



PEEL CONDOMINIUM
PLAN No. 363
BLOCK 18363

PLAN OF SURVEY WITH TOPOGRAPHY
OF
BLOCK 100
REGISTERED PLAN M-361
AND
PART OF LOT 9, CONCESSION 2,
NORTH OF DUNDAS STREET
MISSISSAUGA
REGIONAL MUNICIPALITY OF
SCALE 1:200

LIMITED
ONTARIO LAND SURVEYORS
2021

METRIC
DIMENSIONS SHOWN ON THIS PLAN ARE IN METRIC UNITS. DIMENSIONS IN FEET ARE SHOWN BY DASHES.

BEARING
NOTE
BEARINGS SHOWN HEREIN ARE ASTRONOMICAL AND ARE REFERRED TO NORTH LINE OF BLOCK 100, REGISTERED PLAN M-361 AS SHOWN ON REG. PLAN 18354, HAVING A BEARING OF 105°41'45\"/>

ELEVATION
NOTE
ELEVATIONS ARE GEODETIC DATUM 1928 AND ARE DERIVED FROM THE CITY OF MISSISSAUGA BENCHMARK, N.O. 885.

LOCATION
WEST FACE AT THE SOUTH END OF CONCRETE RETAINING WALL OF A CURVE AT THE INTERSECTION OF ROAD EAST, 152M EAST OF TOMKEN ROAD, AT EAST OF PLAZA PARKING LOT.

HORIZONTAL ELEVATION = 135.096 METERS.

LEGEND

SYMBOL	DESCRIPTION
■	SURVEY MONUMENT
◆	CONCRETE
□	BRICK
▨	GRAVEL
▩	FLAOSTONE
▧	CONCRETE STONE
▦	METAL
▤	METAL
▥	METAL
▣	METAL
▢	METAL
□	METAL
■	METAL
▤	METAL
▥	METAL
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SURVEYOR'S CERTIFICATE
I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE REGULATIONS MADE UNDER THEREIN.
2. THIS SURVEY WAS COMPLETED ON NOVEMBER 22, 2021.

DATE	DECEMBER 3, 2021	ISSUED BY	JAMES GIBSON
DRAWN BY	L.S.J.	PROJECT NO.	42010277.000
APPROVED BY	L.S.J.	DATE	11/02/2021
PROJ. NO.	201-0277	ISSUED BY	THE SURVEYOR
DATE	11/02/2021	DATE	11/02/2021

GENERAL NOTES:
1. The owner of the land shown on this plan is registered owner of the land shown on this plan.
2. The owner of the land shown on this plan is registered owner of the land shown on this plan.
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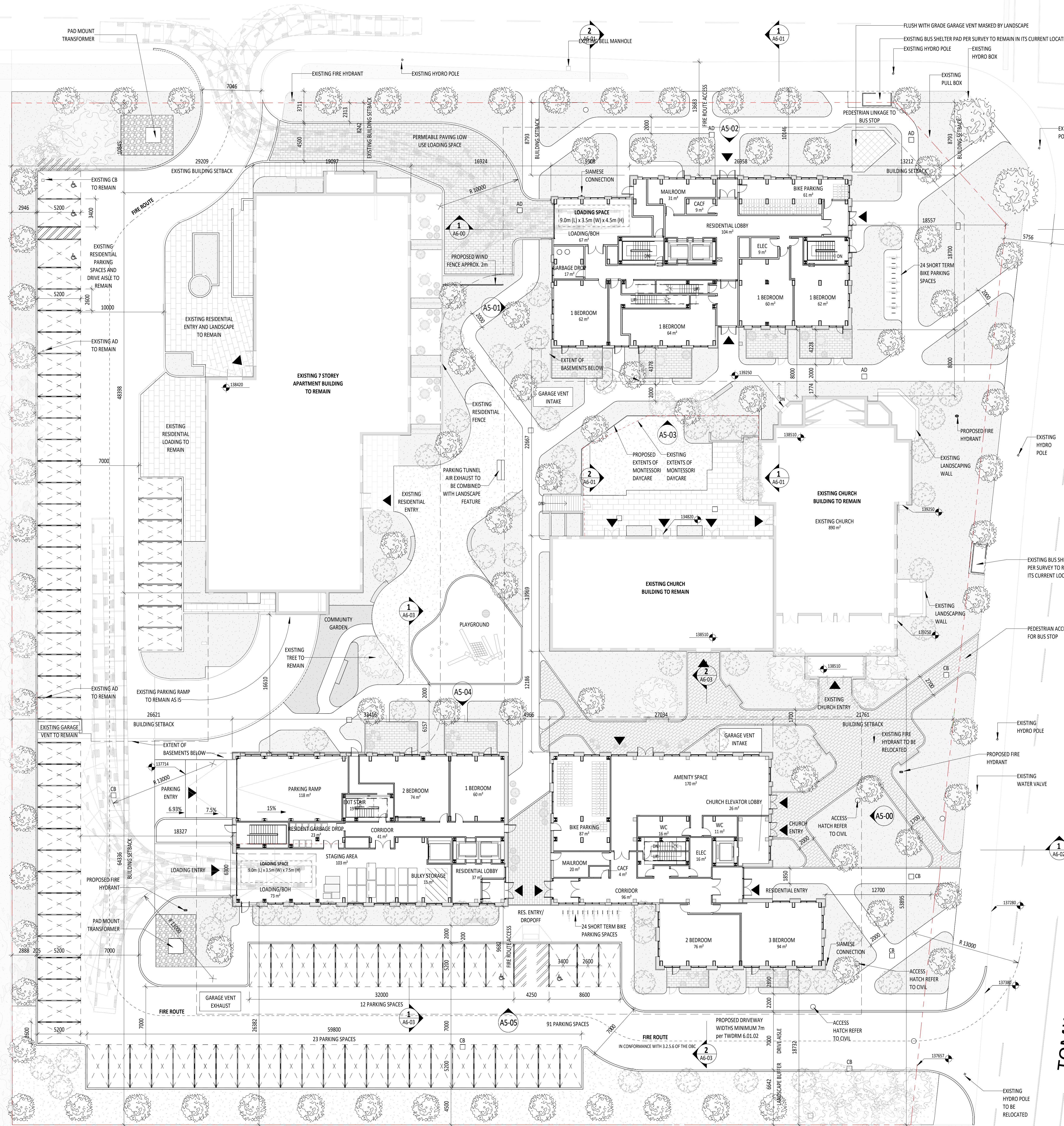
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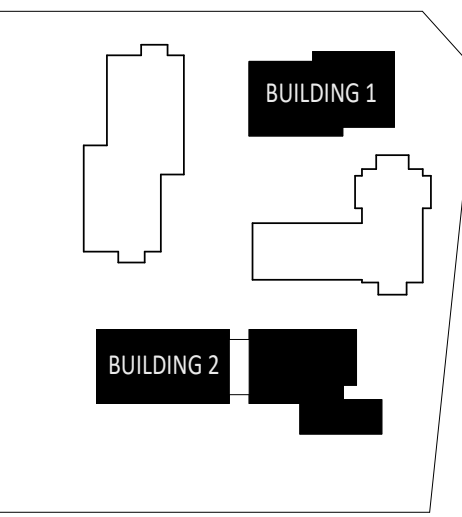
ASSOCIATION OF ONTARIO LAND SURVEYORS
Project No. 2112
Scale 1:200
Plot Date 08/11/2023
SITE SURVEY

RATHBURN ROAD EAST



OWNER: [Redacted]
 ARCHITECT: [Redacted]
 DATE: [Redacted]

- GENERAL NOTES:**
1. The owner is responsible for all utility work and for obtaining all necessary permits and approvals from the relevant authorities.
 2. The contractor is responsible for the construction of the proposed buildings and for ensuring that the construction complies with all applicable codes and standards.
 3. The contractor is responsible for the construction of the proposed parking spaces and for ensuring that the construction complies with all applicable codes and standards.
 4. The contractor is responsible for the construction of the proposed playground and community garden and for ensuring that the construction complies with all applicable codes and standards.
 5. The contractor is responsible for the construction of the proposed utility infrastructure and for ensuring that the construction complies with all applicable codes and standards.
 6. The contractor is responsible for the construction of the proposed landscaping and for ensuring that the construction complies with all applicable codes and standards.



- LEGEND**
- PROPERTY LINE
 - EXISTING BUILDING TO BE DEMOLISHED
 - PROPOSED TREE
 - EXISTING TREE
 - EXISTING CONIFEROUS TREE
 - DEMOLISHED TREE
 - PROPOSED STREET LIGHT
 - LANDSCAPE LIGHTING
 - BOLLARD LIGHTING

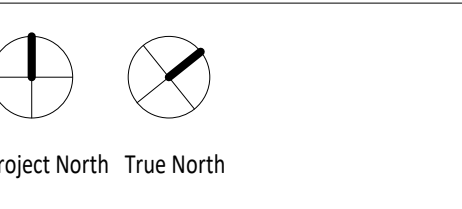
1	2023-08-13	[Redacted]
2	2023-08-13	[Redacted]
No.	Date	Issued

KPMB Architects
 251 King St. E. Suite 1200
 Toronto, ON, Canada M5A 0L6
 416-977-5104

Application Number:
 CG-CPA-23-018-193

UPRC
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 MISSISSAUGA

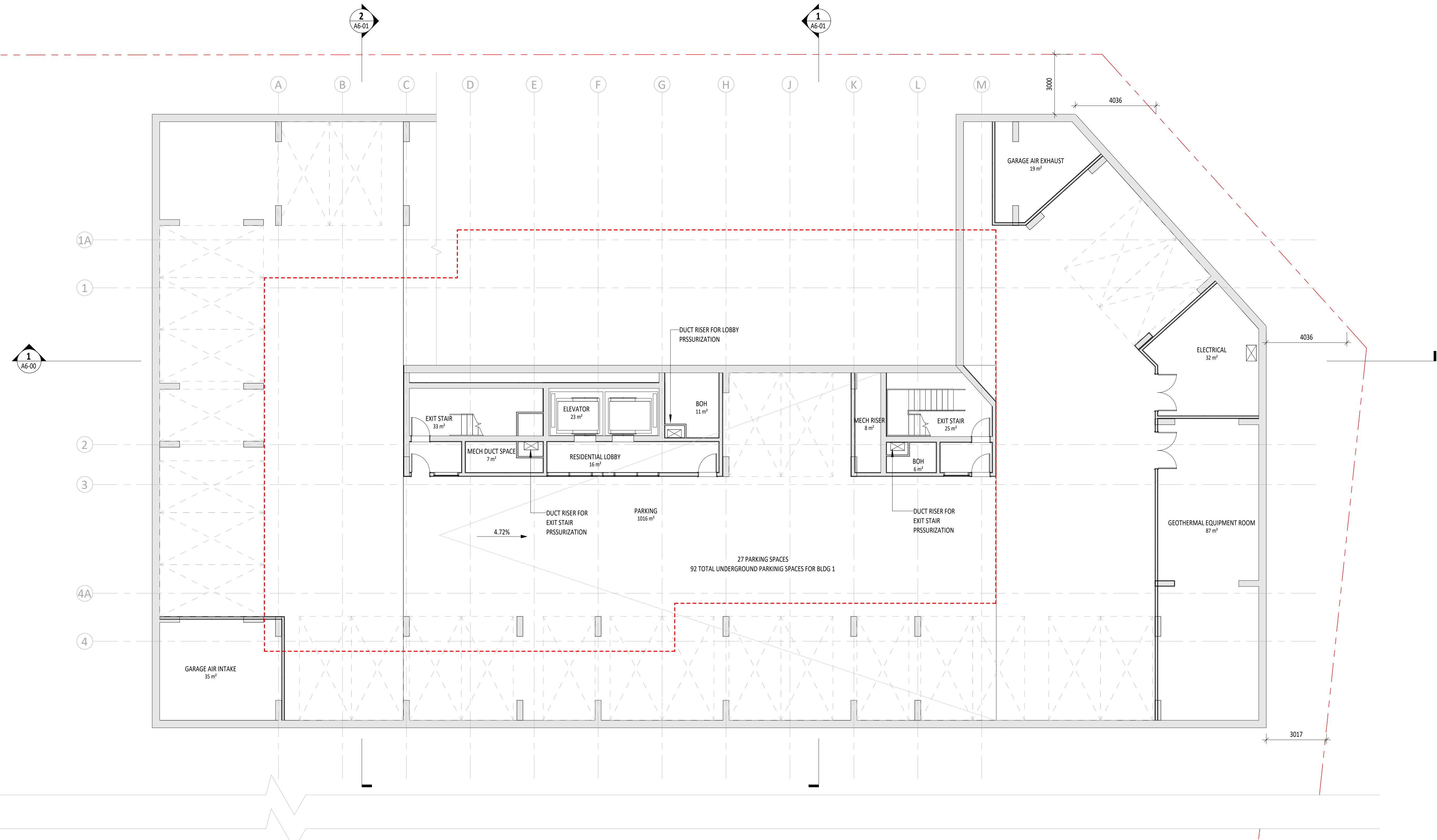
4094 Tomken Rd, Mississauga, ON
 L4W 1J5



Project No. 2112
 Scale 1:200
 Plot Date 08/11/2023

SITE PLAN

A1-03



1. The contractor shall be responsible for all existing conditions and dimensions reported to perform the work and shall report any discrepancies with the drawings to the architect before commencing work.

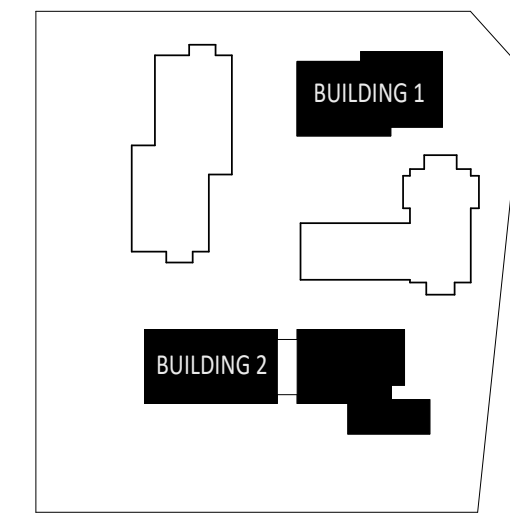
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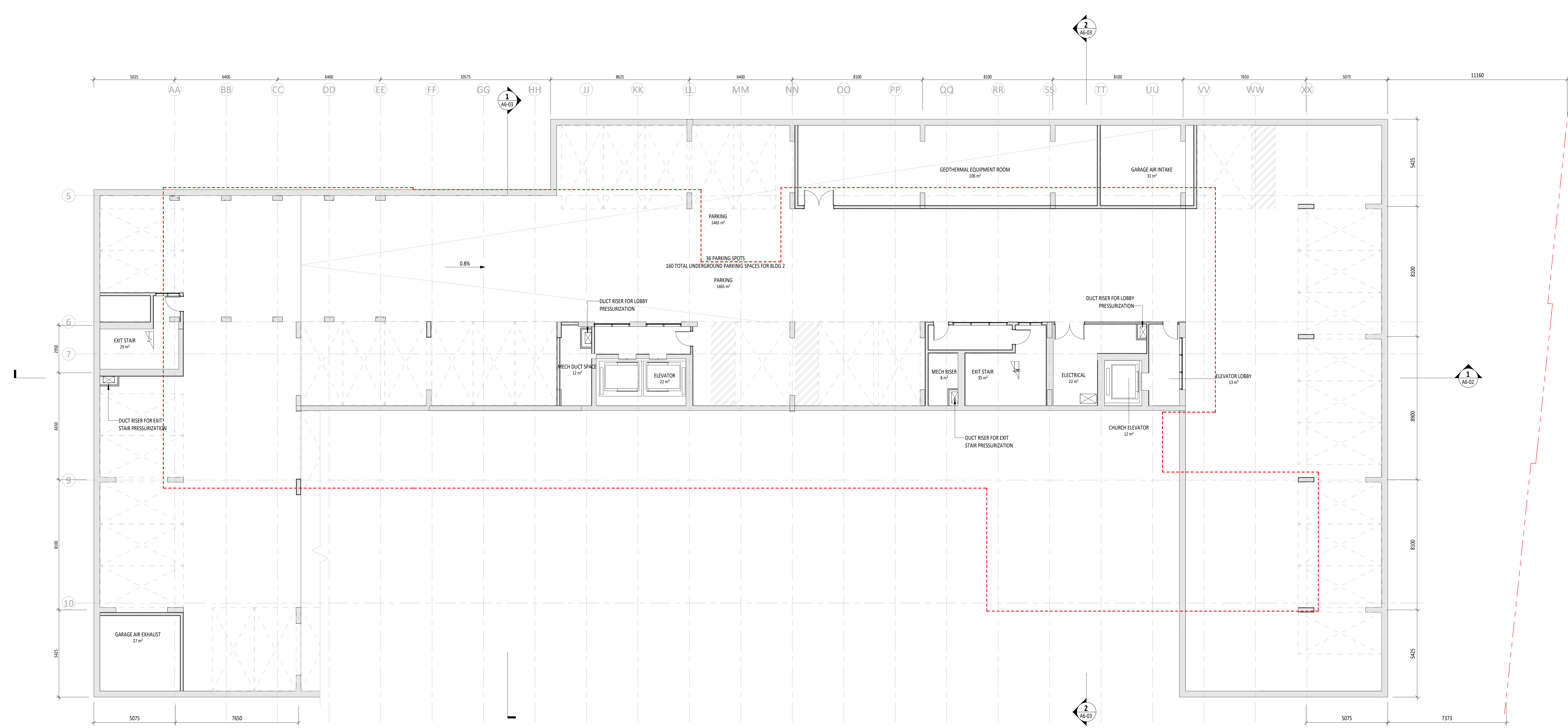
4. The contractor shall be responsible for all existing conditions and dimensions reported to perform the work and shall report any discrepancies with the drawings to the architect before commencing work.

5. The contractor shall be responsible for all existing conditions and dimensions reported to perform the work and shall report any discrepancies with the drawings to the architect before commencing work.

6. These drawings are not to be used for construction unless specifically noted on the drawings.



KEY PLAN



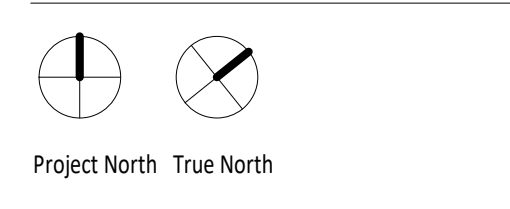
No.	Date	Issued
1	2012-08-13	ISSUE FOR PERMIT
2	2012-08-13	ISSUE FOR PERMIT

KPMB Architects
 251 King St. E. Suite 1200
 Toronto, ON, Canada M5A 0L6
 416.977.5104

Application Number:
 CG-CPA-20-128-192

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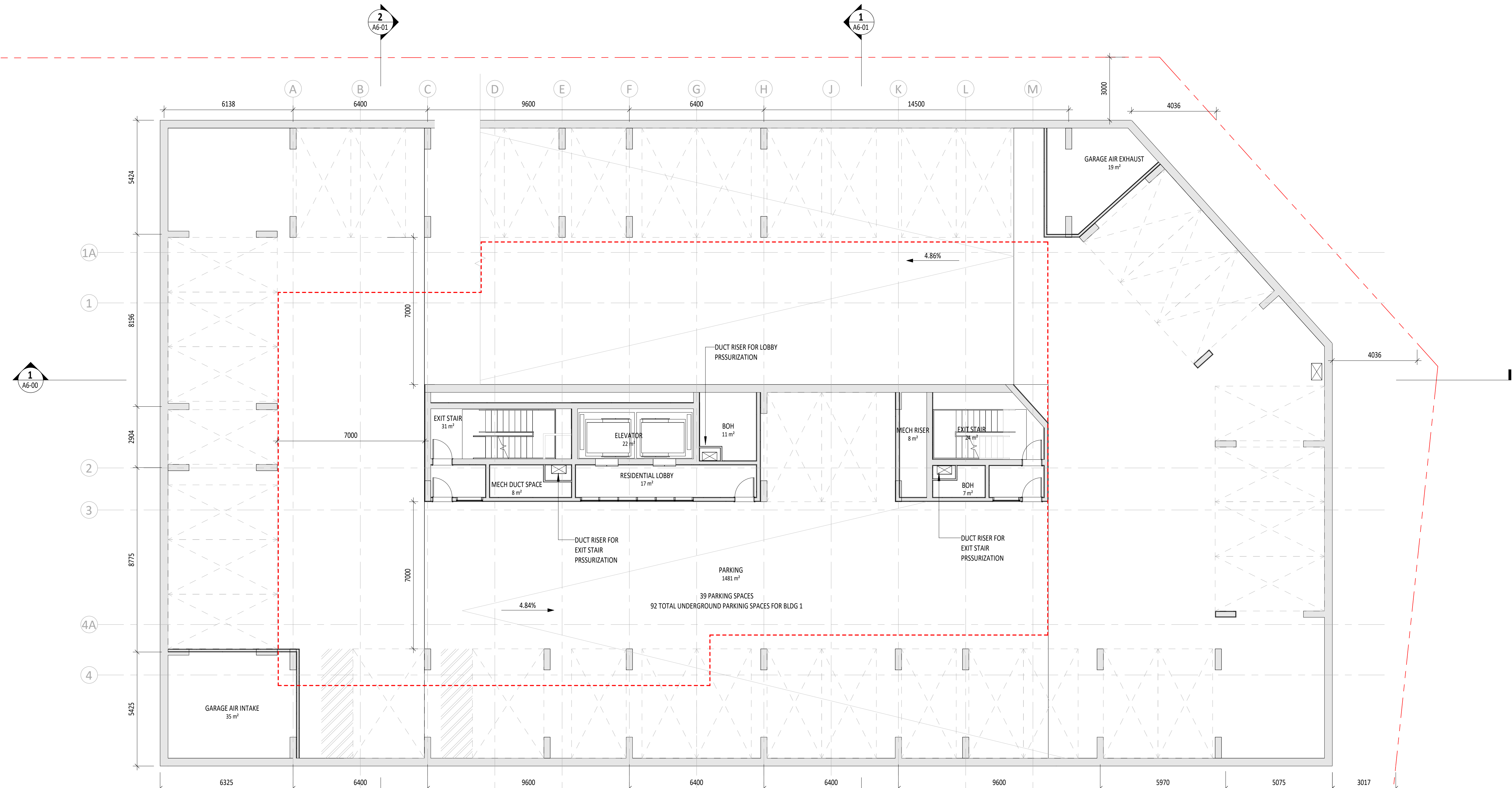
4094 Tormken Rd, Mississauga, ON
 L4W 1J5



Project No. 2112
 Scale 1:100
 Plot Date 08/11/2013

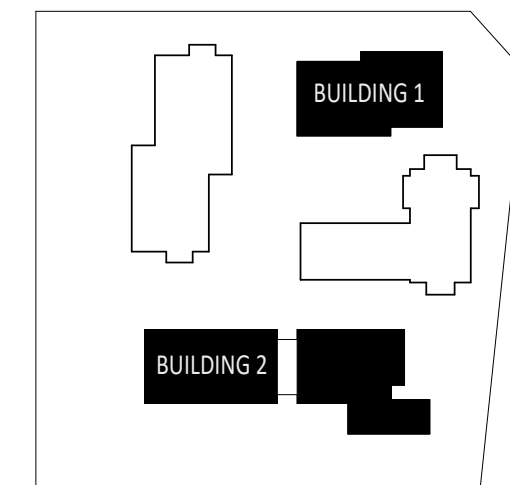
**FLOOR PLAN -
 LOWERLEVEL 3**

A2-00

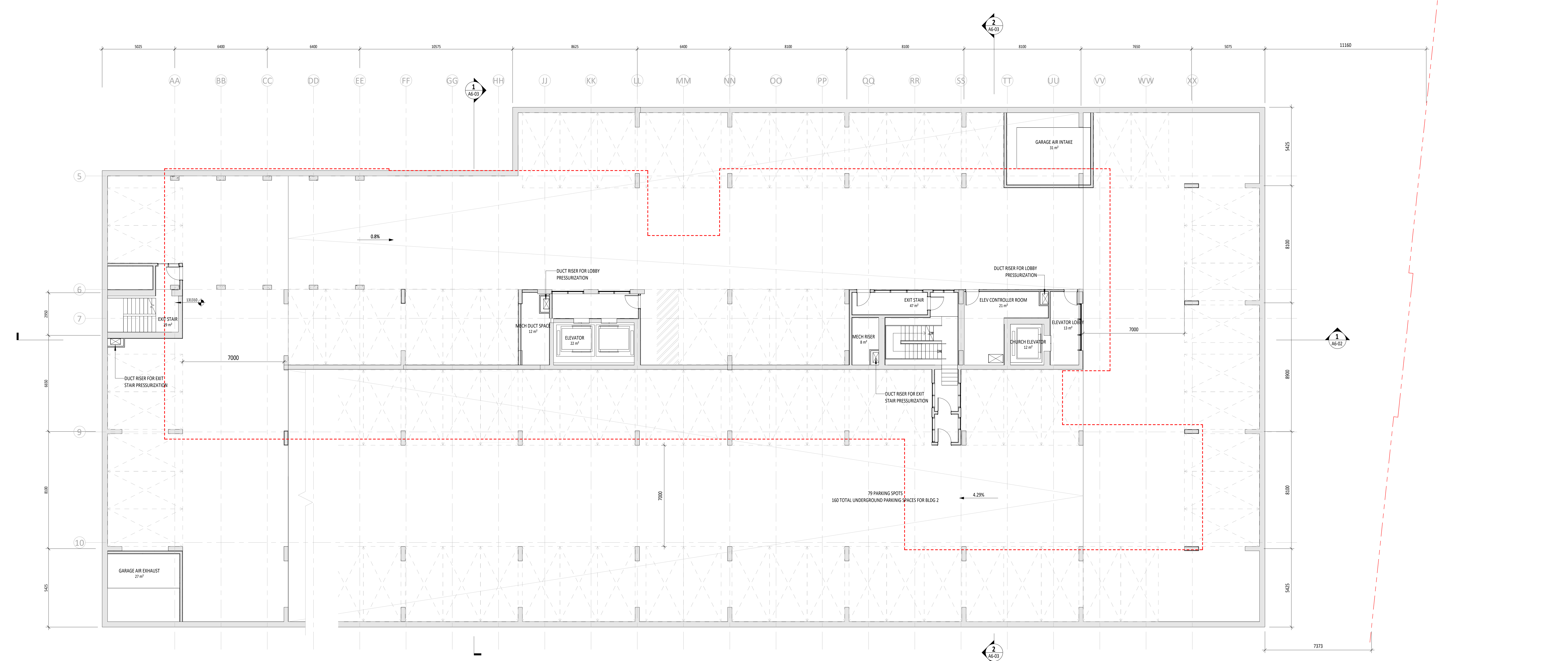


Owner: [Redacted]
 Architect: [Redacted]
 Date: [Redacted]

- GENERAL NOTES:**
1. The contractor shall verify all existing conditions and dimensions prior to construction. All dimensions shall be taken from the drawings unless otherwise specified.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
 3. The contractor shall be responsible for coordinating with all other trades and subcontractors to ensure a smooth construction process.
 4. The contractor shall be responsible for maintaining safety and security of the site throughout the construction period.
 5. The contractor shall be responsible for the removal and disposal of all construction waste in accordance with applicable regulations.
 6. These drawings are not to be used for construction unless specifically noted otherwise.



KEY PLAN



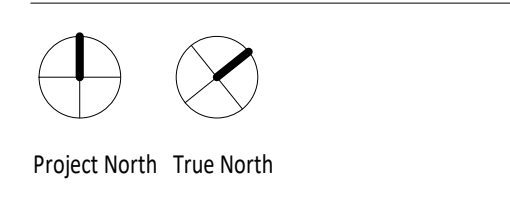
Rev.	Description	Date
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2	ISSUED FOR CONSTRUCTION	08/11/2023

KPMB Architects
 251 King St. E., Suite 1200
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 416.977.5104

Application Number:
 CG-CPA-22-128-WG

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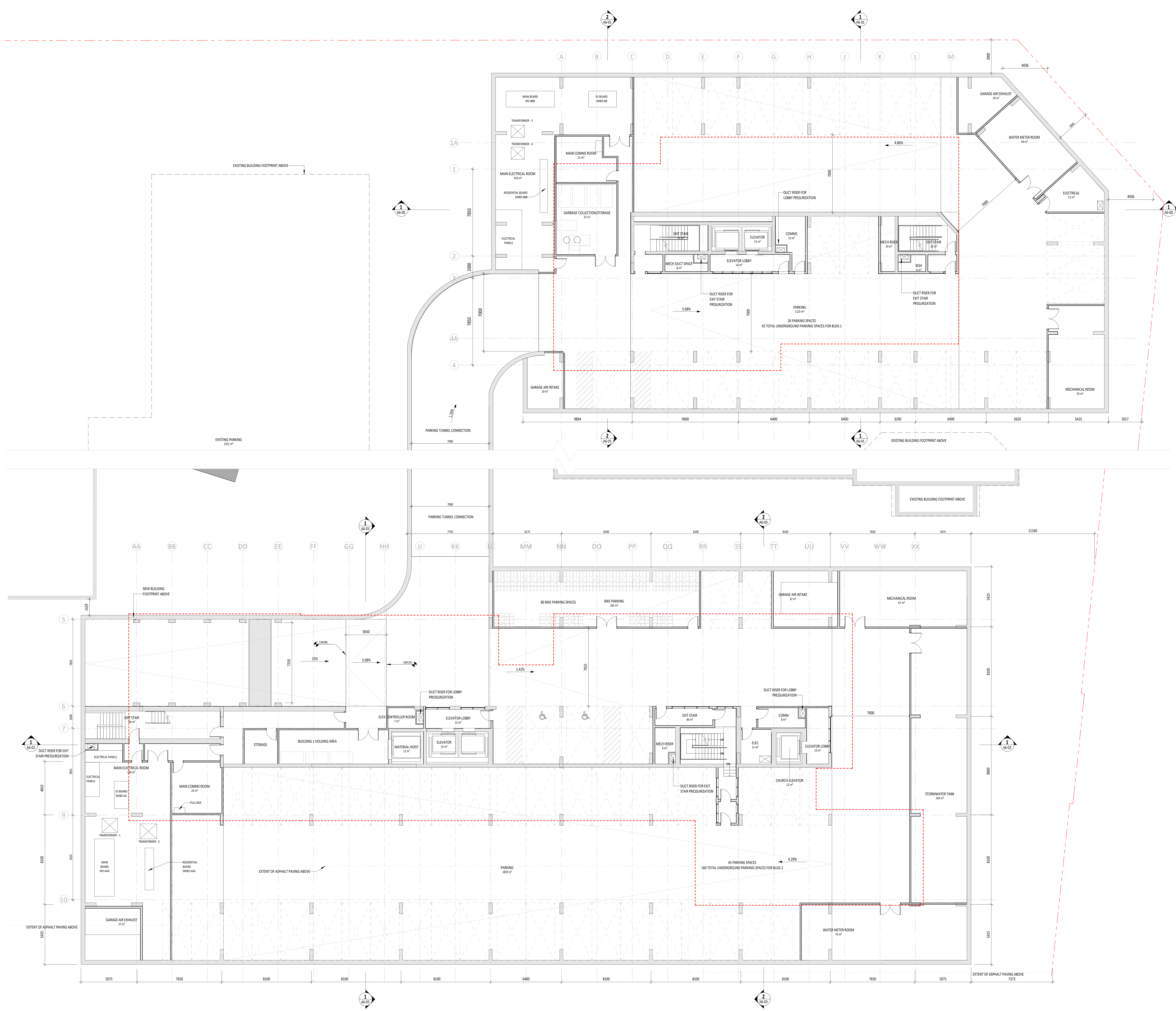
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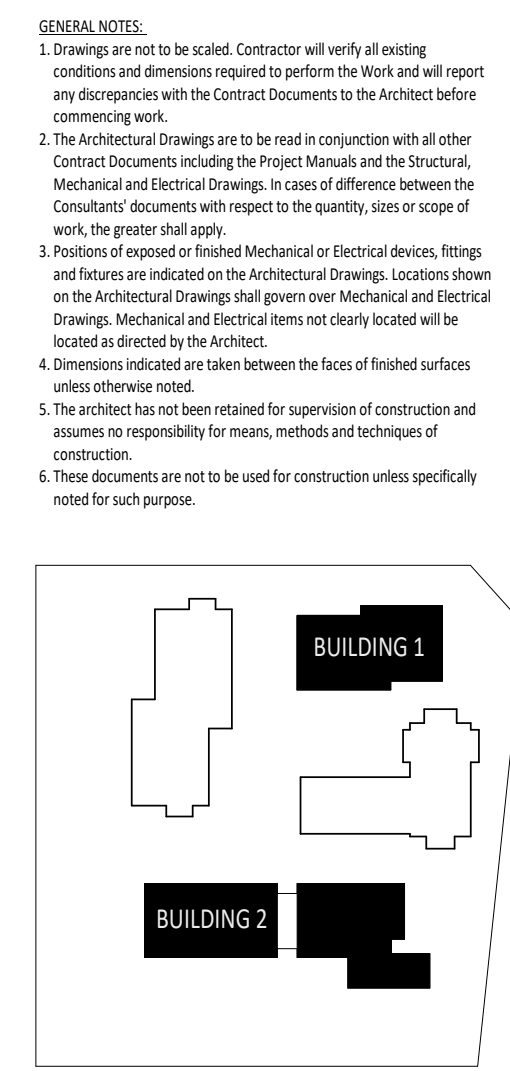
Project No. 2112
 Scale: 1:100
 Plot Date: 08/11/2023

**FLOOR PLAN -
 LOWER LEVEL 2**

A2-01



GENERAL NOTES:
 1. The contractor shall verify the location and dimensions of all existing conditions and report to the architect in writing before construction begins.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The contractor shall be responsible for the safety of all workers and the public during construction.
 4. The contractor shall be responsible for the protection of all existing conditions and utilities.
 5. The contractor shall be responsible for the removal and disposal of all construction waste.
 6. The contractor shall be responsible for the maintenance of all access points and egress routes.



KEY PLAN

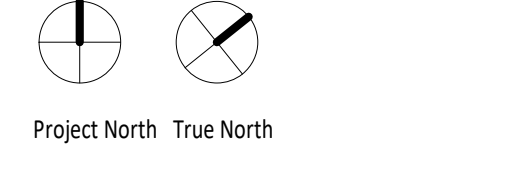
NO.	DATE	DESCRIPTION
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2	08/11/2023	ISSUED FOR PERMIT

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 416.977.5104

Application Number:
 CG-CPA-23-018-WG

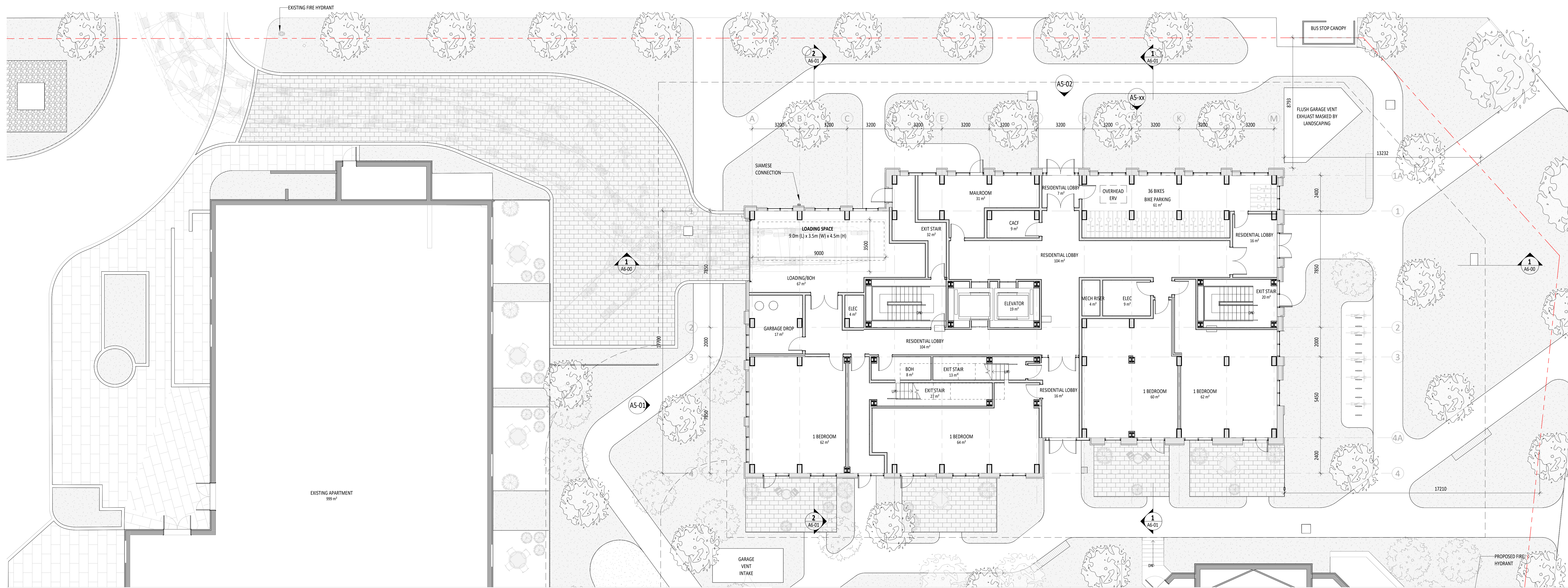
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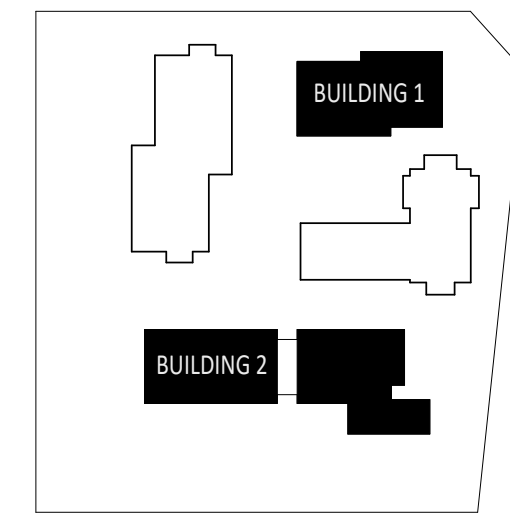
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 Plot Date 08/11/2023

**FLOOR PLAN -
 LOWER LEVEL 1**

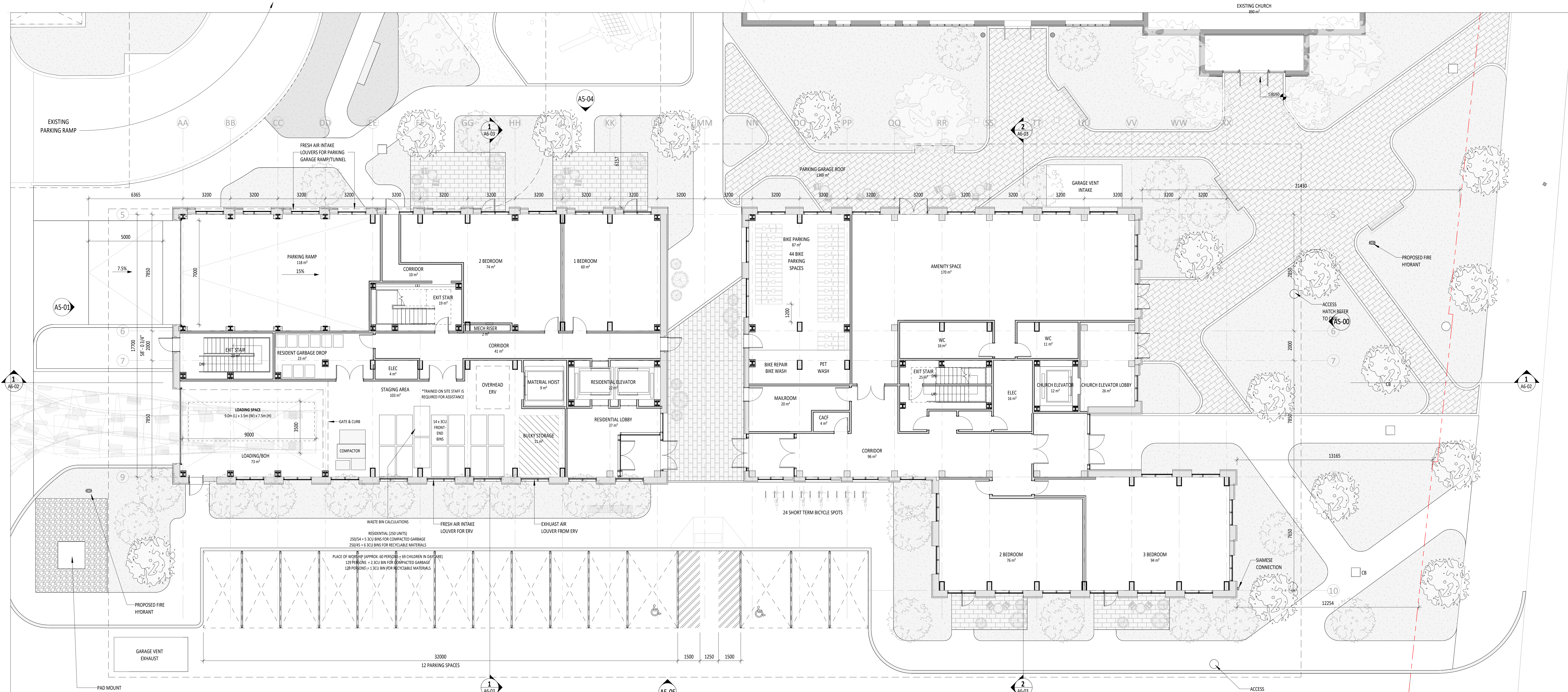


FOR ALL OF THE WORK, THE OWNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK.

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KEY PLAN



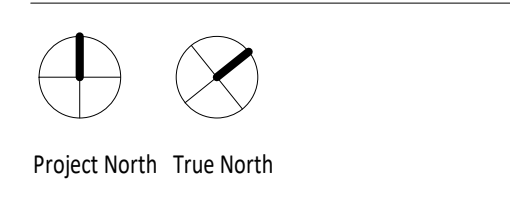
No.	Date	Issued
1	2023-04	Site Submission

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 Toronto, ON, Canada M5A 0L6
 416.977.5104

Application Number:
 CG-CPA-23-028-WP

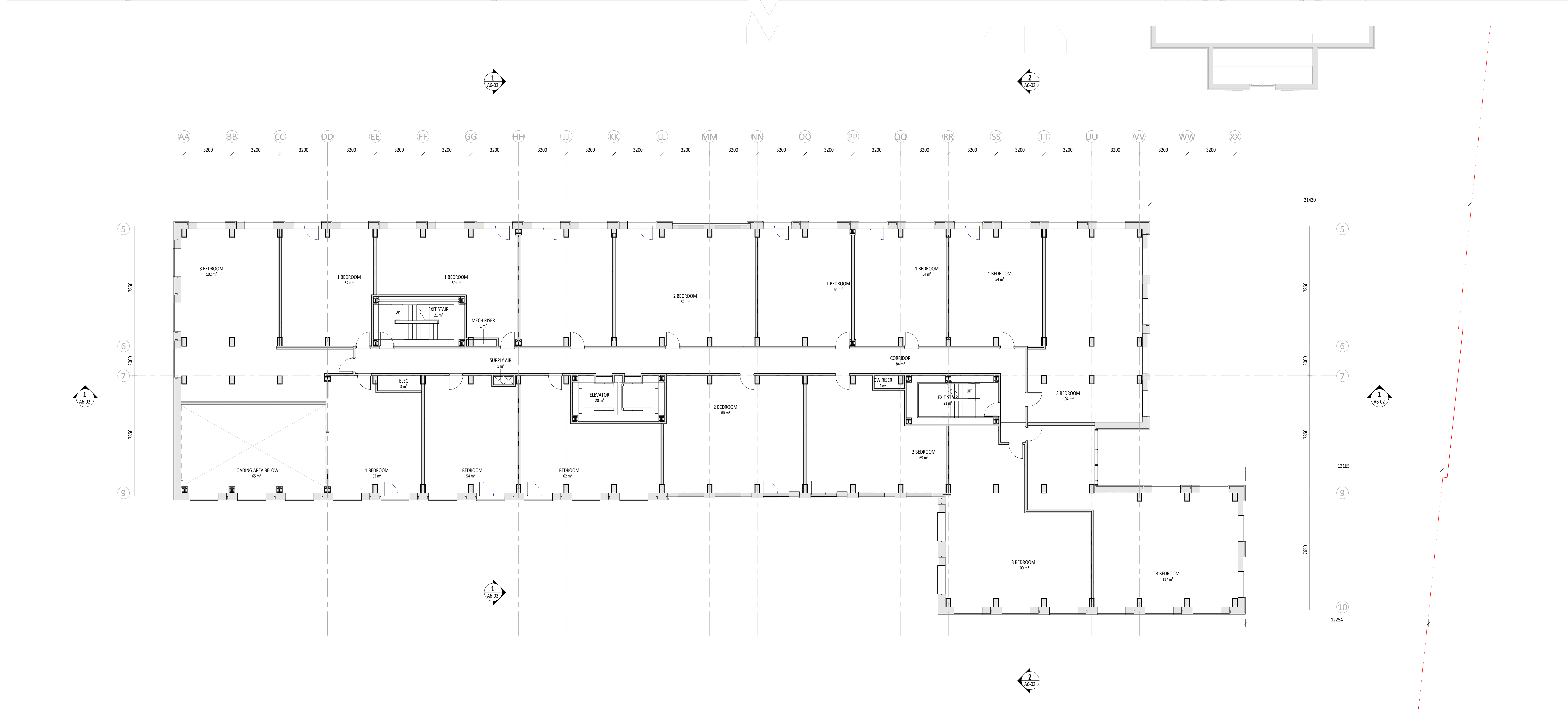
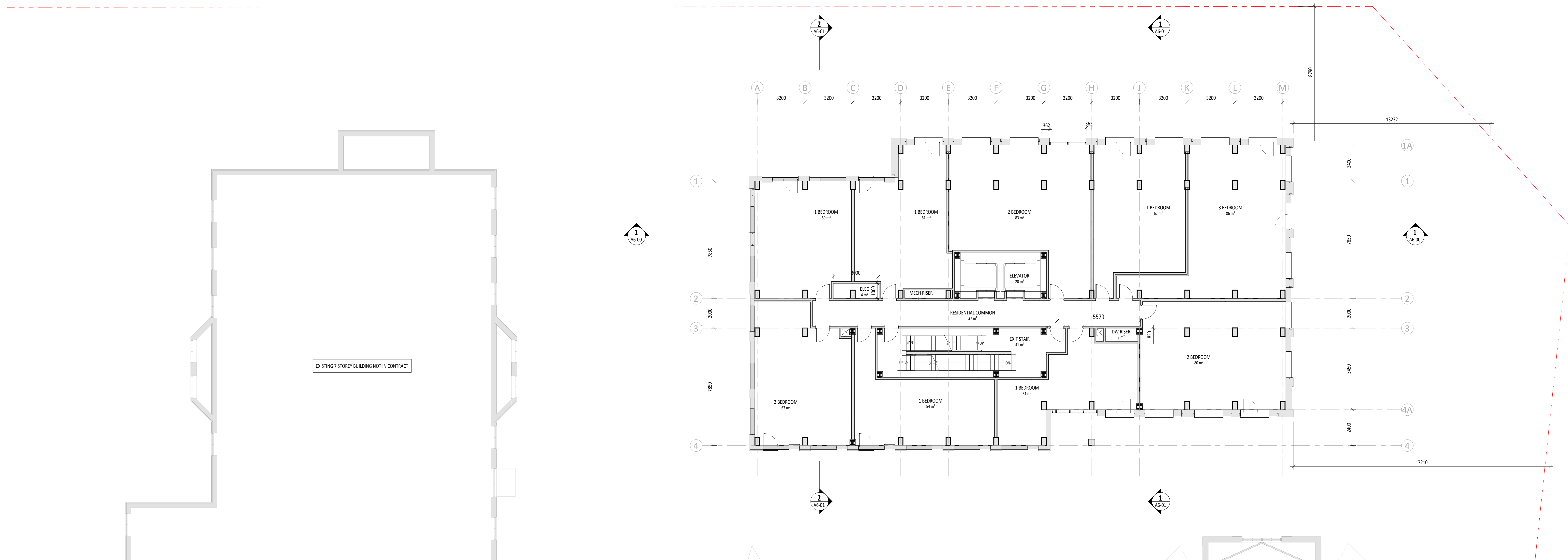
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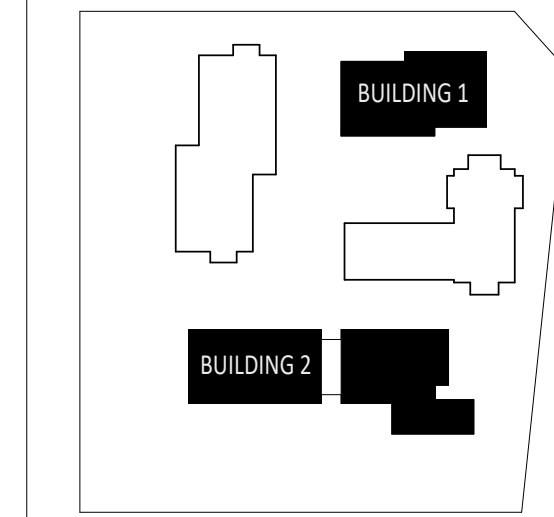
Project No. 2112
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FLOOR PLAN - GROUND LEVEL



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- GENERAL NOTES:**
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 2. The Contractor shall be responsible for any errors or omissions in this drawing.
 3. The Contractor shall be responsible for any errors or omissions in this drawing.
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 6. These drawings are not to be used for construction unless specifically noted otherwise.



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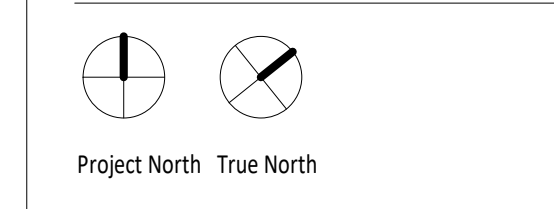
1	2023-10-14	Site Submission
No.	Date	Issued

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 416-977-5104

Application Number:
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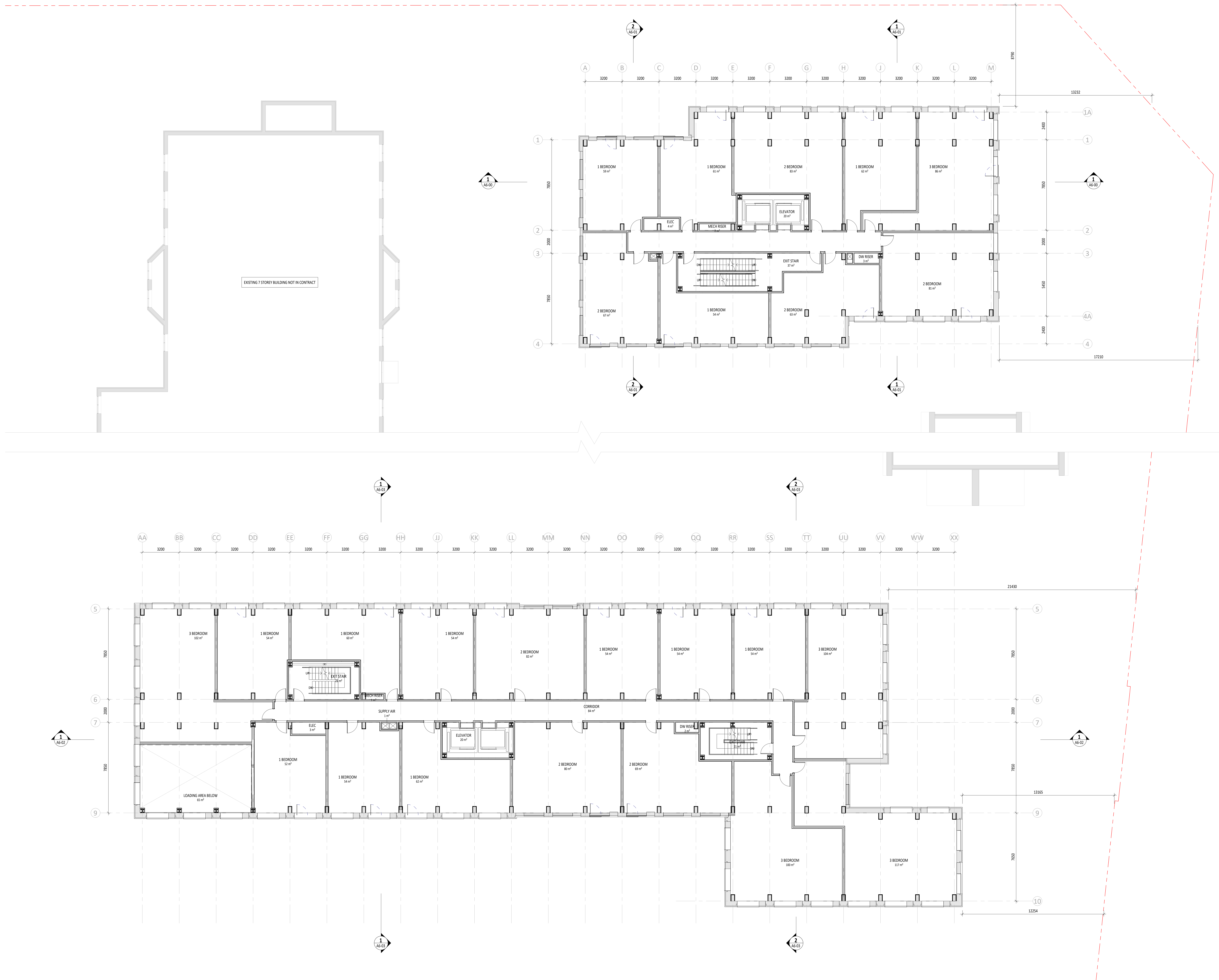
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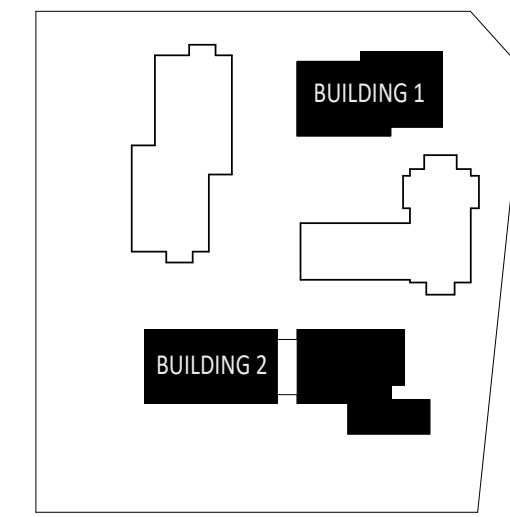
Project No. 2112
 Scale 1:100
 Plot Date 10/14/2022

FLOOR PLAN - LEVEL 2



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- GENERAL NOTES:**
1. Drawings are to be used by the contractor and not for any other purpose. The contractor is responsible for all construction details and for the accuracy of the drawings. The contractor is responsible for all construction details and for the accuracy of the drawings.
 2. The contractor is responsible for all construction details and for the accuracy of the drawings. The contractor is responsible for all construction details and for the accuracy of the drawings.
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 6. These drawings are not to be used for construction unless specifically noted otherwise.



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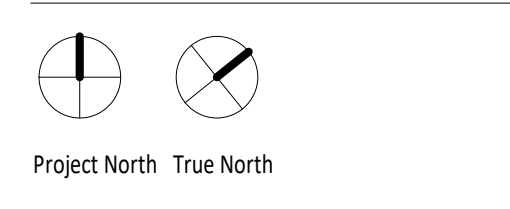
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No.	Date	Issued

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Application Number:
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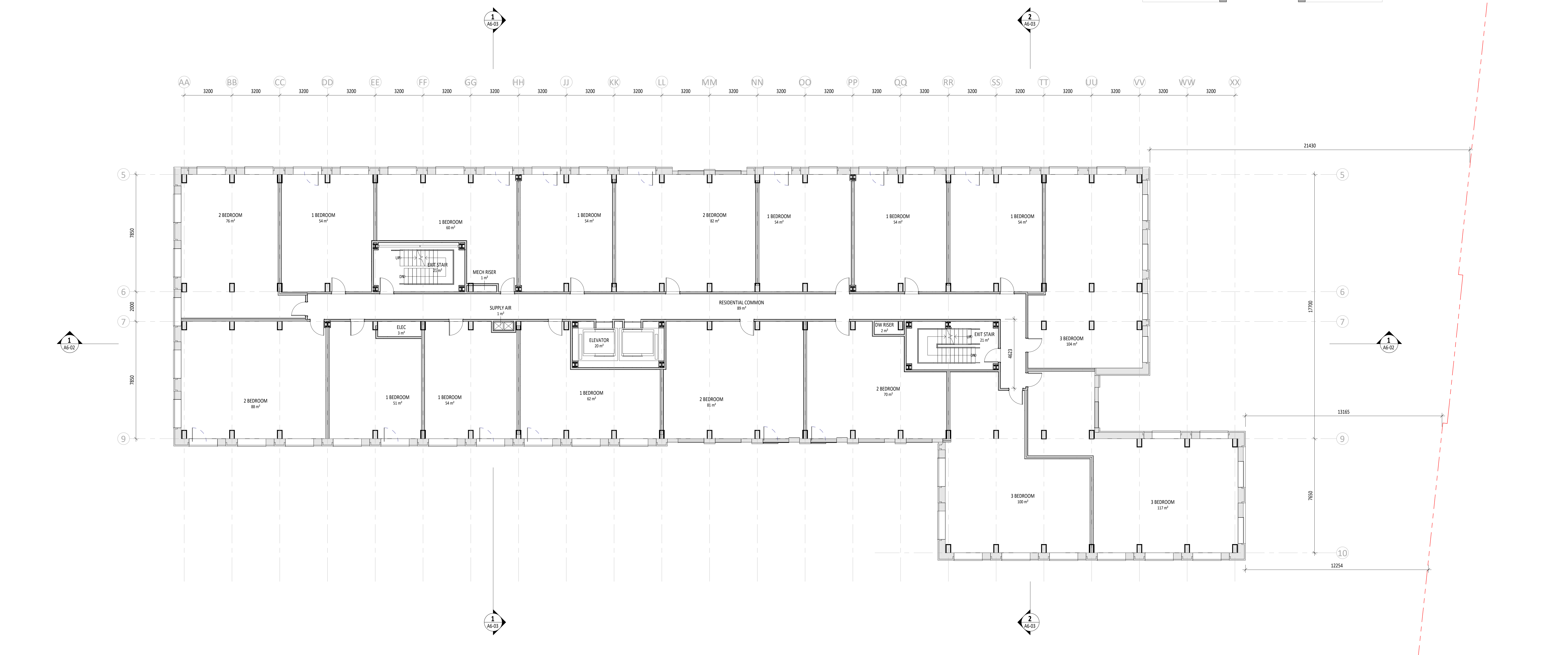
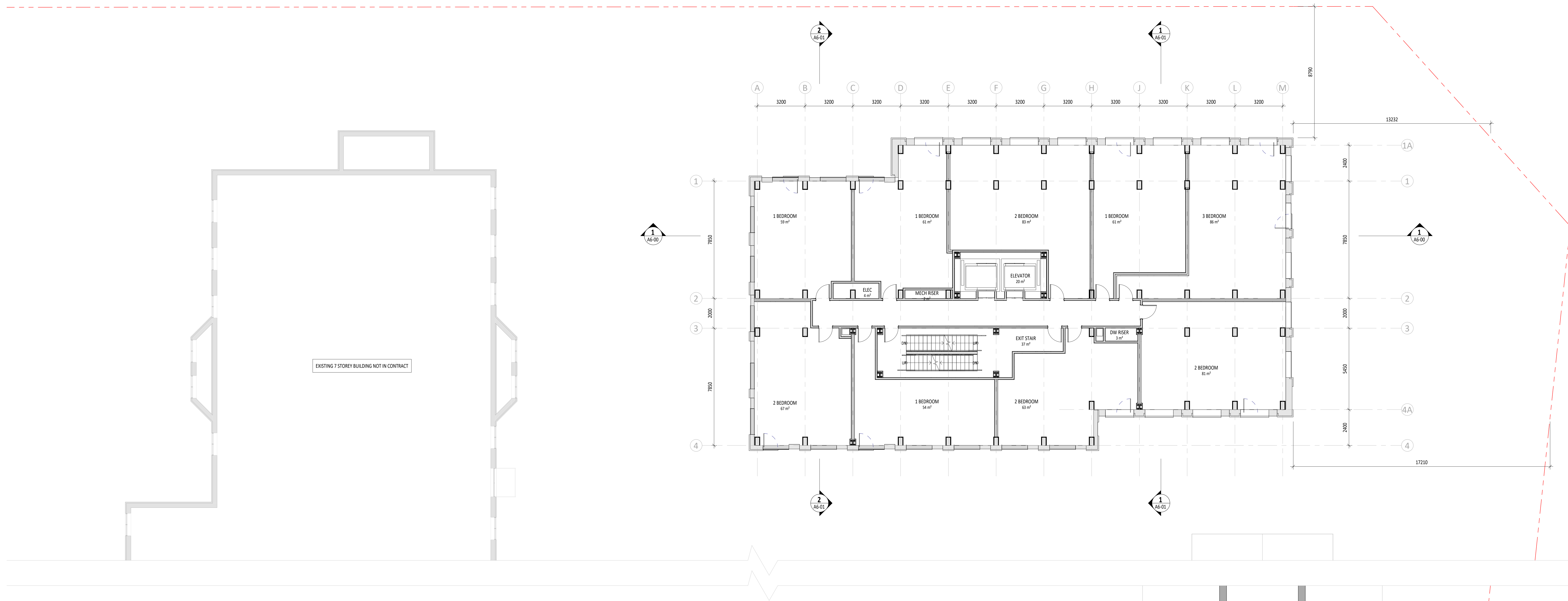
4094 Tormken Rd, Mississauga, ON
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Project No. 2112
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 Plot Date 10/14/2022

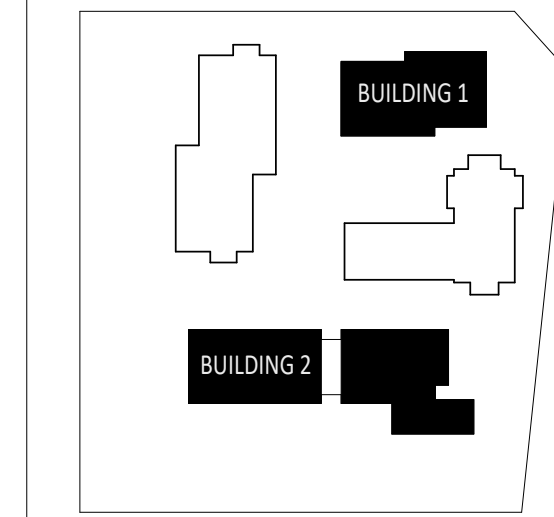
FLOOR PLAN - LEVEL 3

A2-05



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 The architect is not responsible for any errors or omissions in this drawing.

- GENERAL NOTES:**
1. The contractor shall verify all existing conditions and dimensions prior to construction. The contractor shall report any discrepancies to the architect immediately.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
 3. The contractor shall be responsible for coordinating with all other trades and subcontractors to ensure a smooth construction process.
 4. The contractor shall be responsible for maintaining the site and ensuring the safety of all workers and the public.
 5. The contractor shall be responsible for the quality and quantity of work, materials, and labor.
 6. The contractor shall be responsible for the completion of the project within the agreed-upon schedule.
 7. The contractor shall be responsible for the removal and disposal of all waste and debris.
 8. The contractor shall be responsible for the protection of all existing structures and utilities.
 9. The contractor shall be responsible for the installation of all fixtures and finishes.
 10. The contractor shall be responsible for the final inspection and handover of the project.



KEY PLAN

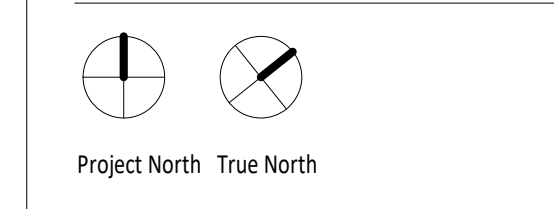
No.	Date	Issued
1	2022-10-14	Site Submission

KPMB Architects
 251 King St. E., Suite 1200
 Toronto, ON, Canada M5A 0L6
 416.977.5104

Application Number:
 CG-09A-22-018-WQ

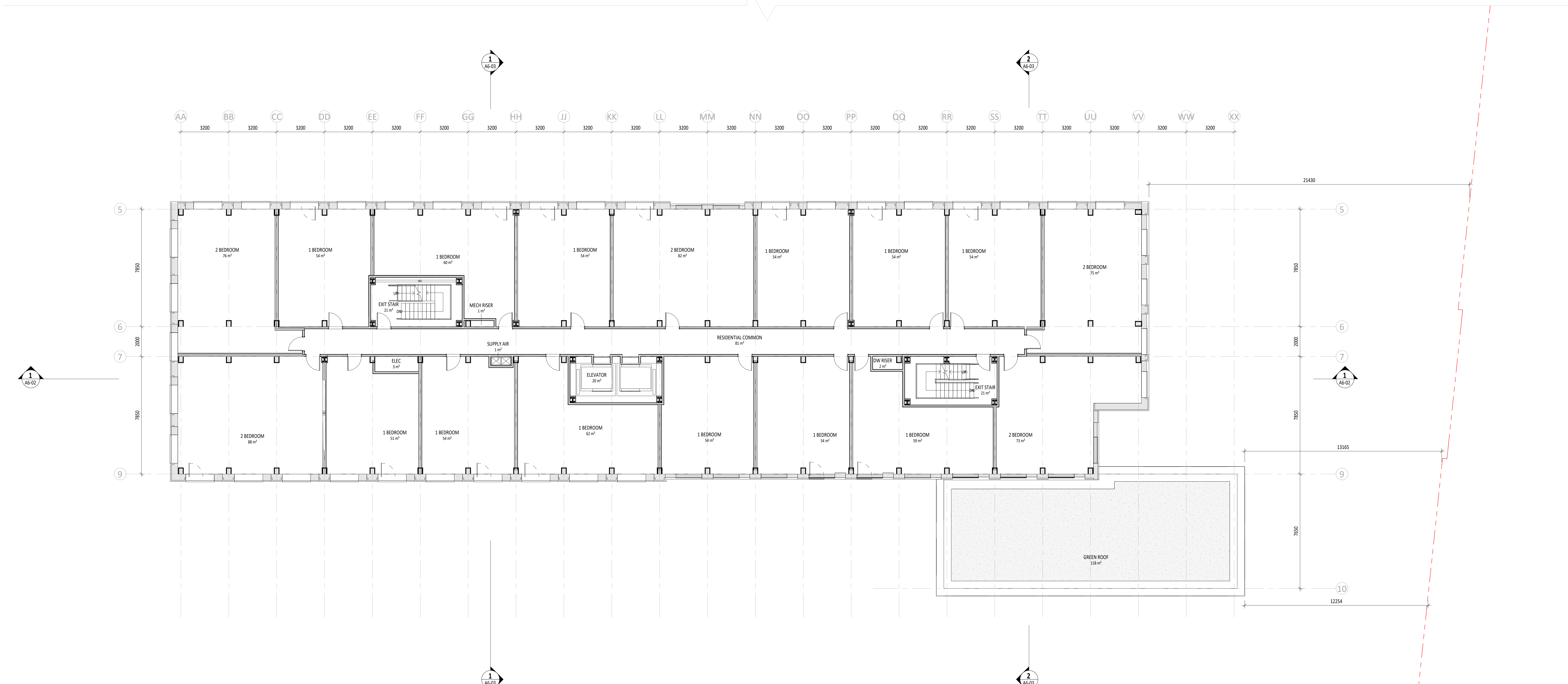
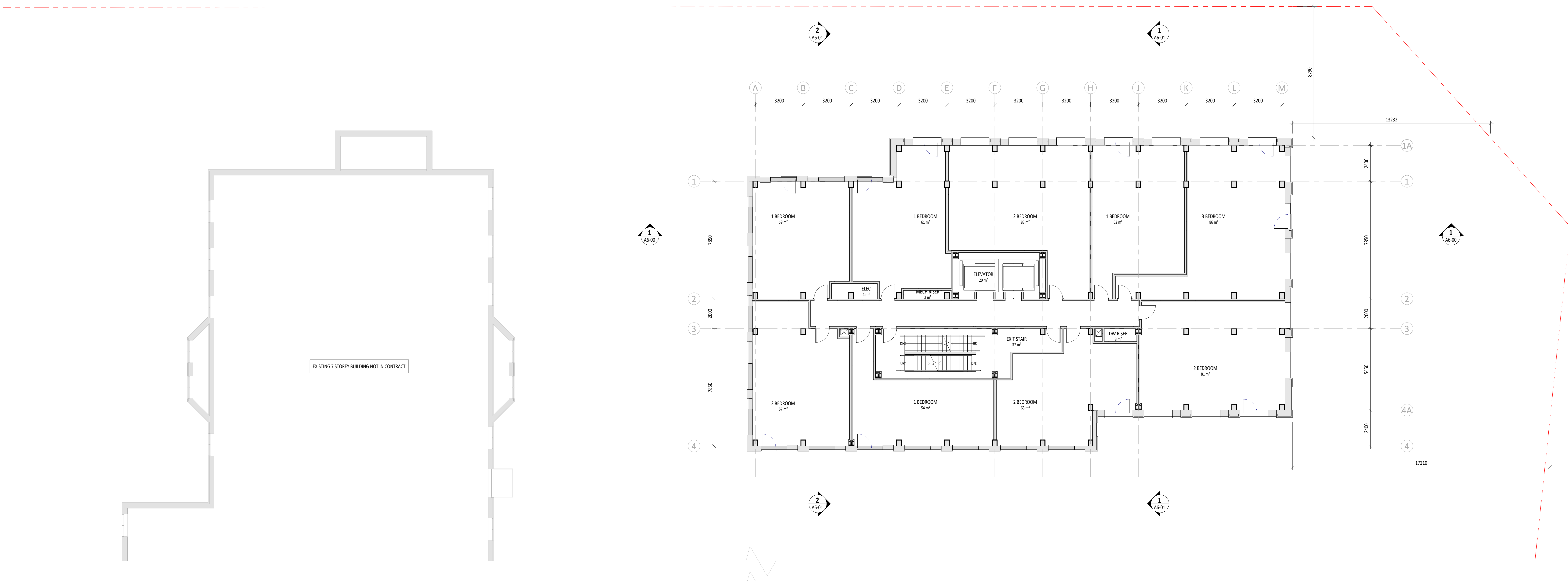
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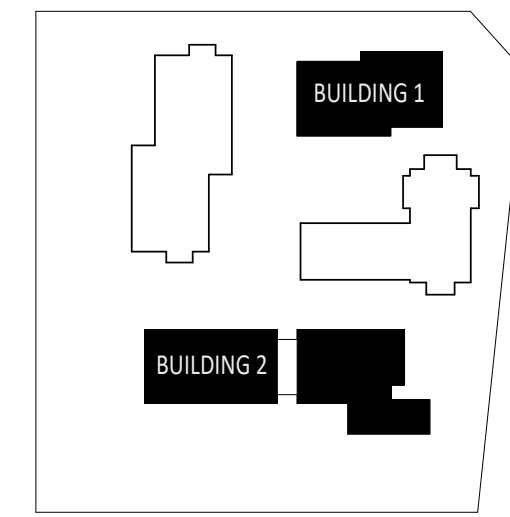
Project No. 2112
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FLOOR PLAN - LEVEL 4



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- GENERAL NOTES:**
1. Drawings are to be used by the Client. Contractors will verify existing conditions and dimensions prior to construction. The Client will be responsible for any errors or omissions in the drawings.
 2. The Client is responsible for providing all necessary information and approvals for the drawings. The Client will be responsible for any errors or omissions in the drawings.
 3. The Client is responsible for providing all necessary information and approvals for the drawings. The Client will be responsible for any errors or omissions in the drawings.
 4. The Client is responsible for providing all necessary information and approvals for the drawings. The Client will be responsible for any errors or omissions in the drawings.
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 6. These drawings are not to be used for construction unless specifically noted on the drawings.



KEY PLAN

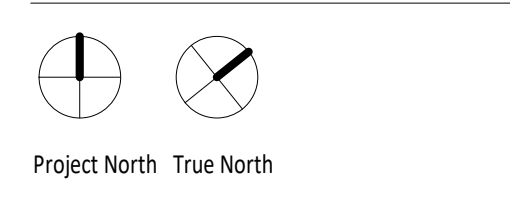
No.	Date	Issued
1	2023-04-14	Site Submission

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 Toronto, ON, Canada M5A 0L6
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Application Number:
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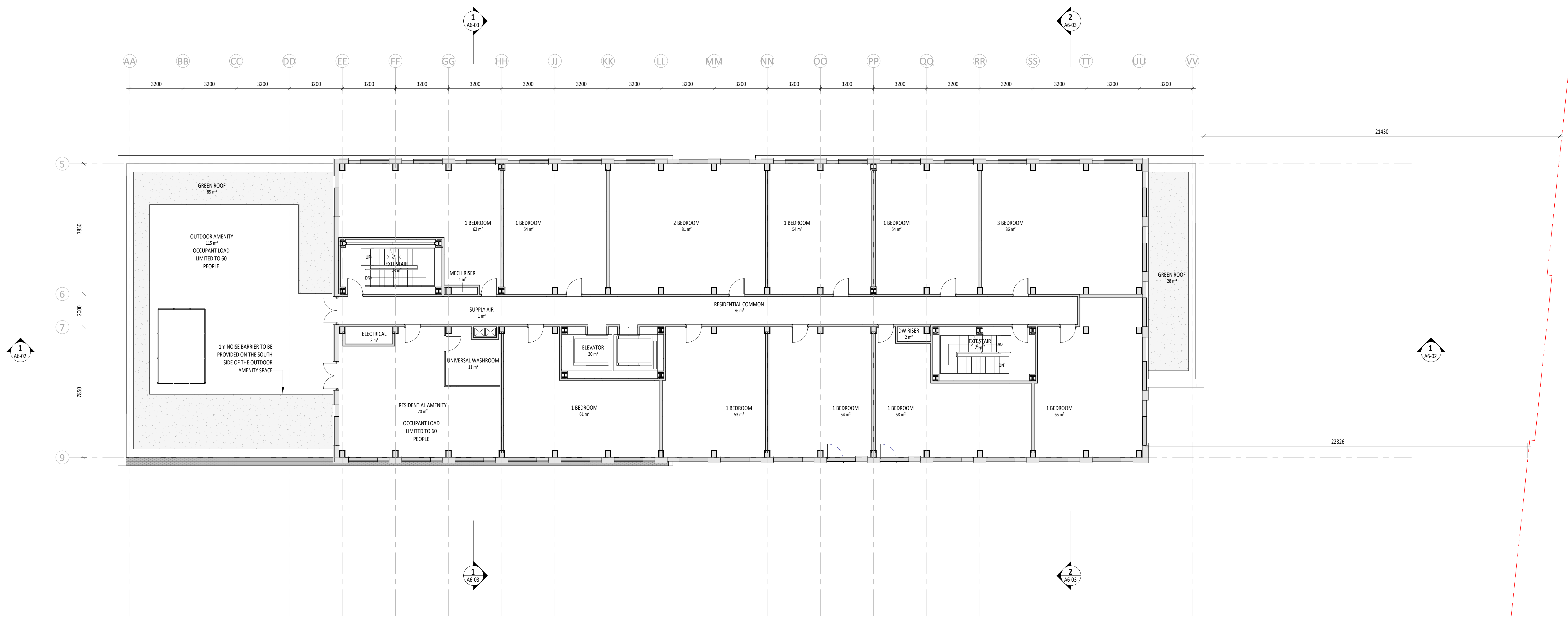
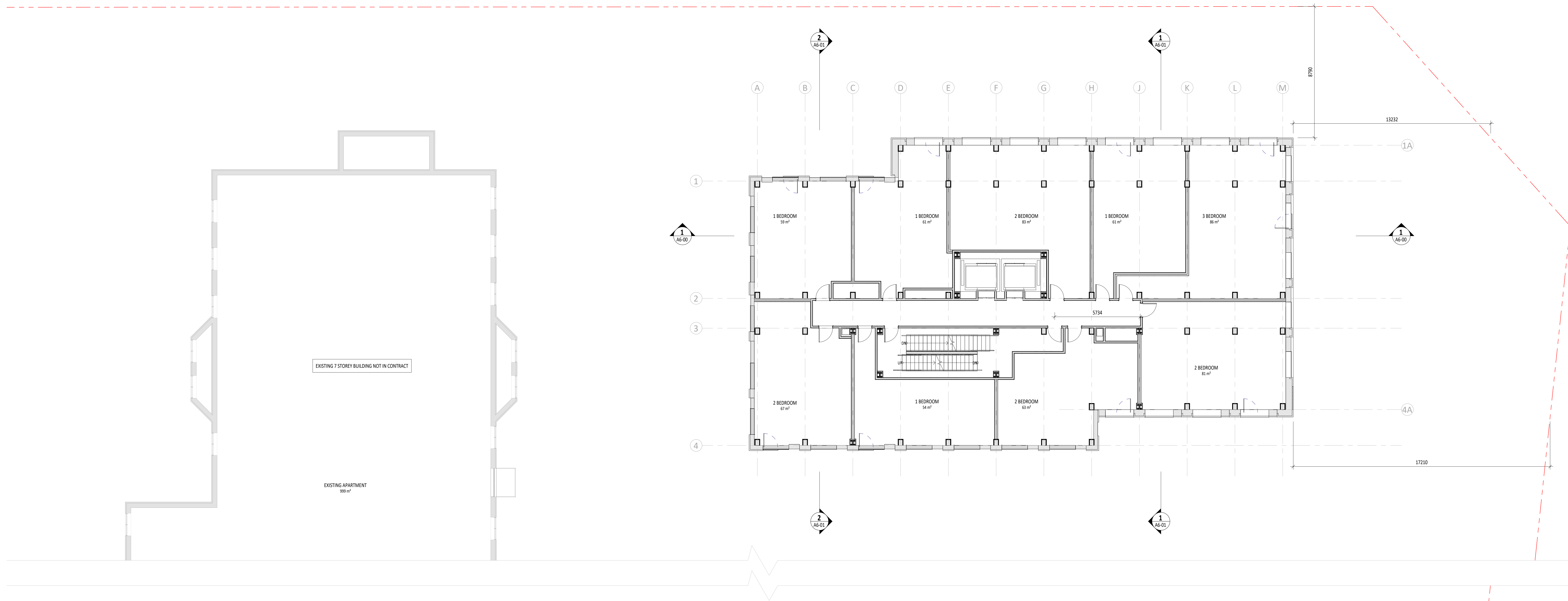
4094 Tormken Rd, Mississauga, ON
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Project No. 2112
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 Plot Date 10/14/2022

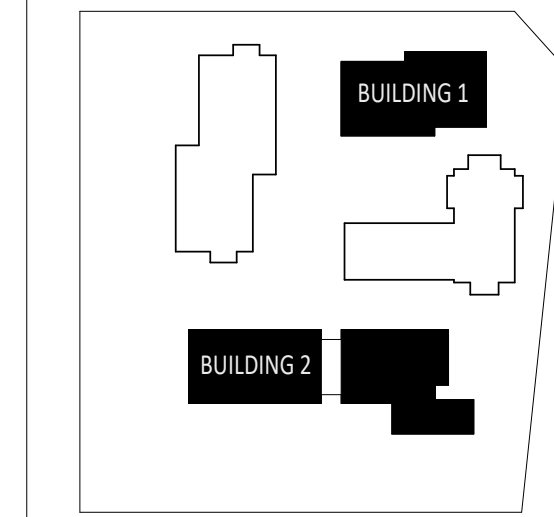
FLOOR PLAN - LEVEL 5

A2-07



GENERAL NOTES:
 1. Drawings are to be used by the Contractor and not for construction. Location and dimensions are to be taken from the drawings and not from the field. All dimensions are to be taken from the centerline of the building unless otherwise indicated.
 2. The Contractor shall be responsible for the accuracy of the information resulting from a subsequent reproduction of the original drawing.

GENERAL NOTES:
 1. Drawings are to be used by the Contractor and not for construction. Location and dimensions are to be taken from the drawings and not from the field. All dimensions are to be taken from the centerline of the building unless otherwise indicated.
 2. The Contractor shall be responsible for the accuracy of the information resulting from a subsequent reproduction of the original drawing.
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 4. The Contractor shall be responsible for the accuracy of the information resulting from a subsequent reproduction of the original drawing.
 5. The Contractor shall be responsible for the accuracy of the information resulting from a subsequent reproduction of the original drawing.
 6. These drawings are not to be used for construction unless specifically noted otherwise.



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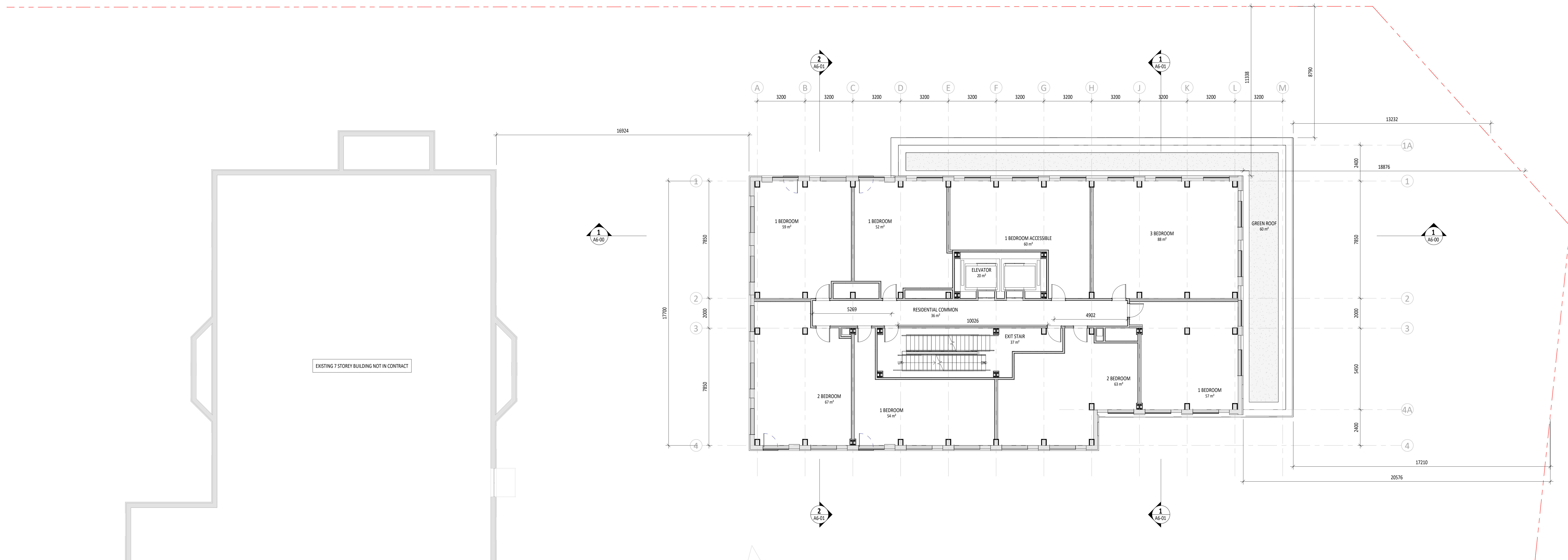
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Project North True North

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 Scale 1:100
 Plot Date 10/14/2022

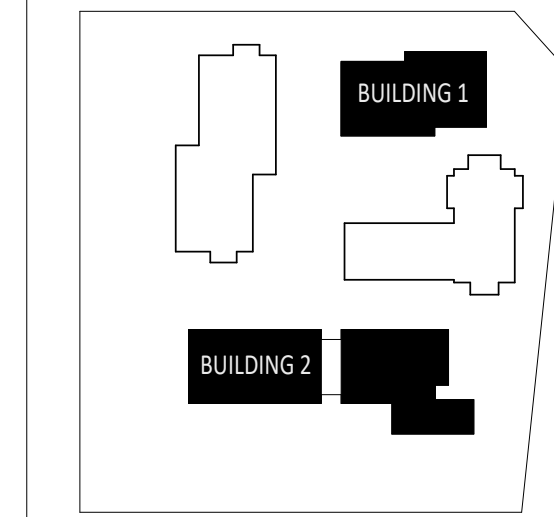
FLOOR PLAN - LEVEL 6

A2-08



GENERAL NOTES:
 1. Drawings are to be used for construction and shall not be used for any other purpose without the written consent of the architect.
 2. The architect is not responsible for any errors or omissions in the drawings or for any damage or loss of property resulting from any use of the drawings.
 3. The architect is not responsible for any errors or omissions in the drawings or for any damage or loss of property resulting from any use of the drawings.

GENERAL NOTES:
 1. Drawings are to be used for construction and shall not be used for any other purpose without the written consent of the architect.
 2. The architect is not responsible for any errors or omissions in the drawings or for any damage or loss of property resulting from any use of the drawings.
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KEY PLAN

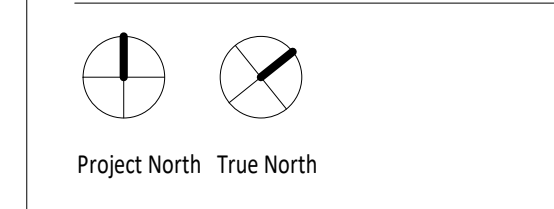
No.	Date	Issued
1	2023-04-14	Site Submission

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Application Number:
 CG-COPA-22-018-WQ

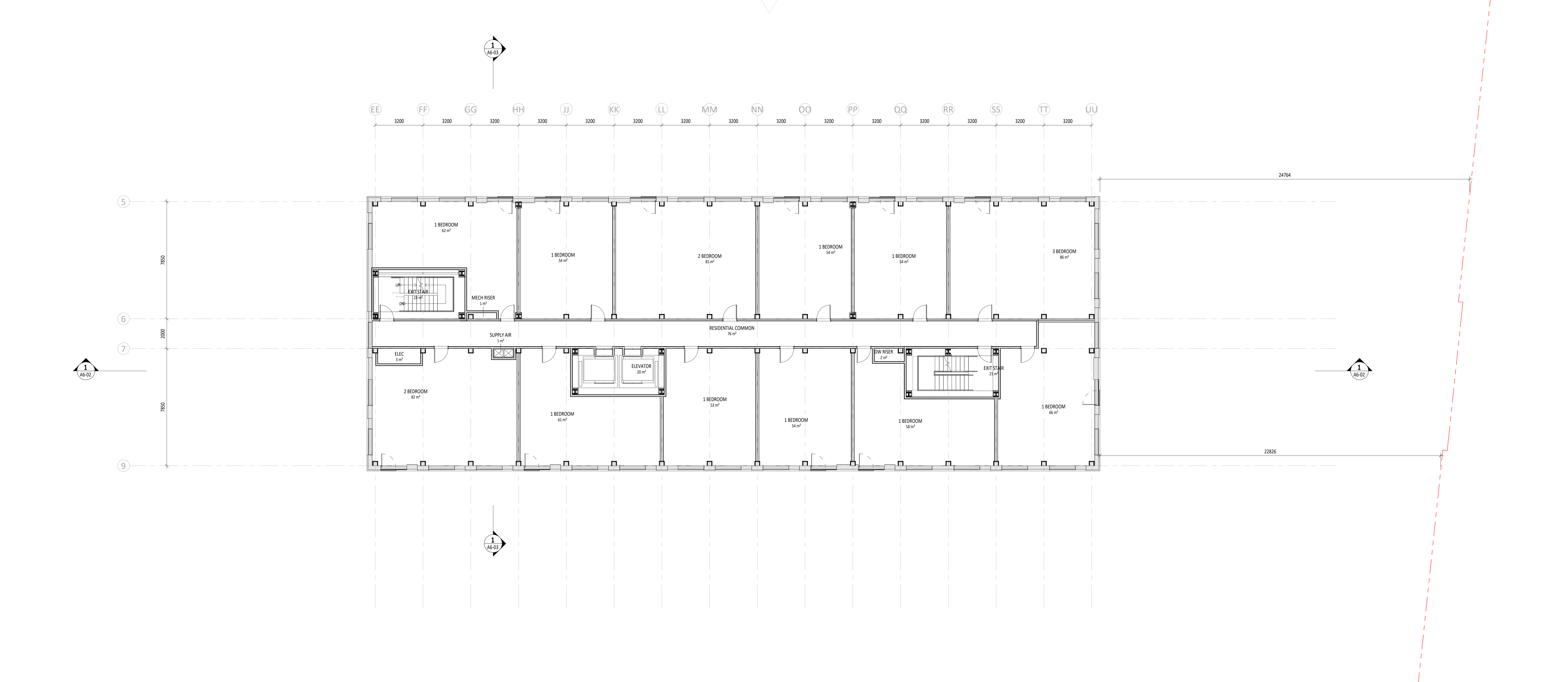
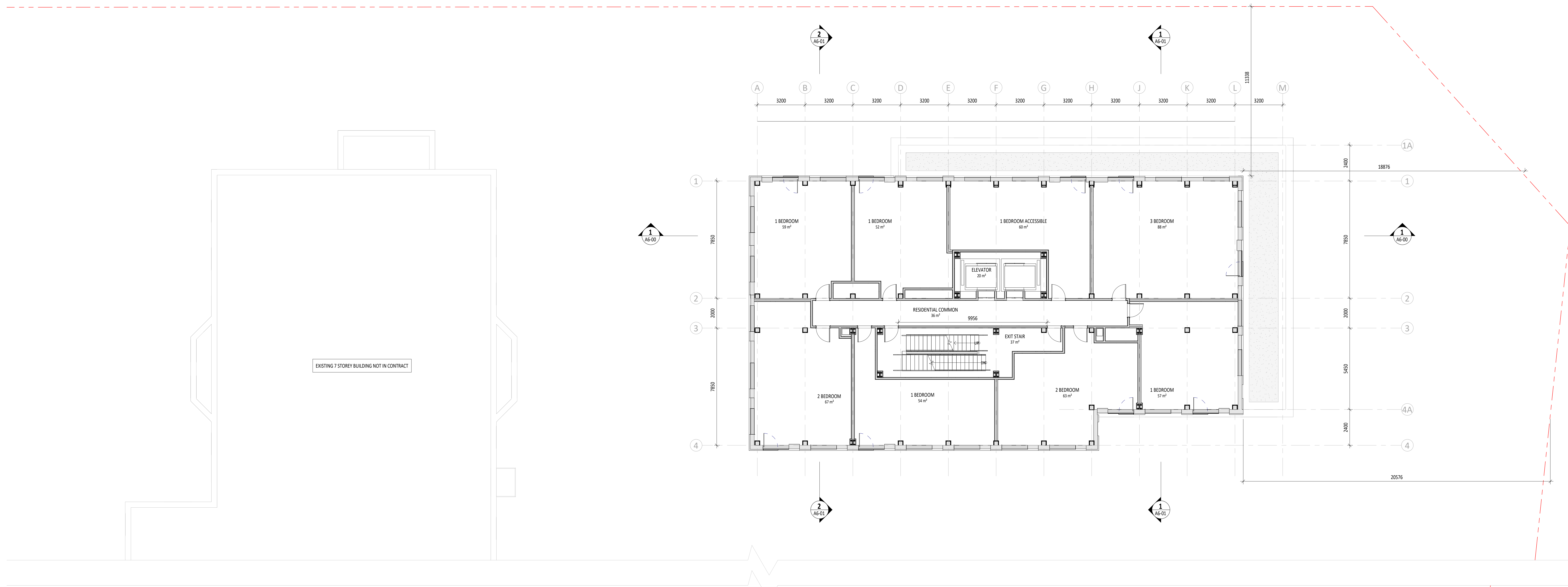
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 Scale 1:100
 Plot Date 10/14/2022

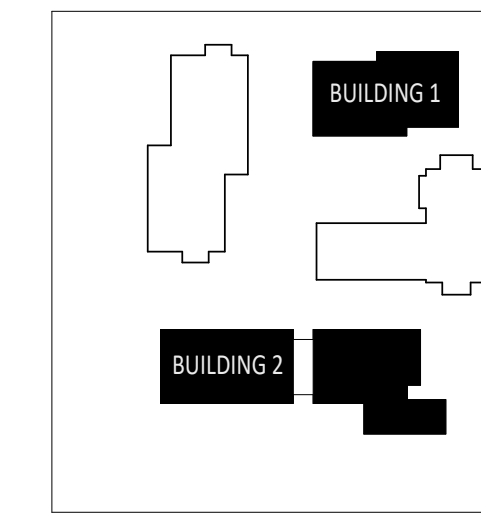
FLOOR PLAN - LEVEL 7



EXISTING 7 STOREY BUILDING NOT IN CONTRACT

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- GENERAL NOTES:**
1. Drawings are to be used by the contractor and not for any other purpose. The contractor is responsible for any errors or omissions in the drawings and for any loss or damage of information resulting from a duplicate reproduction of the original drawing.
 2. The contractor is responsible for any errors or omissions in the drawings and for any loss or damage of information resulting from a duplicate reproduction of the original drawing.
 3. The contractor is responsible for any errors or omissions in the drawings and for any loss or damage of information resulting from a duplicate reproduction of the original drawing.
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 6. These drawings are not to be used for construction unless specifically noted otherwise.



KEY PLAN

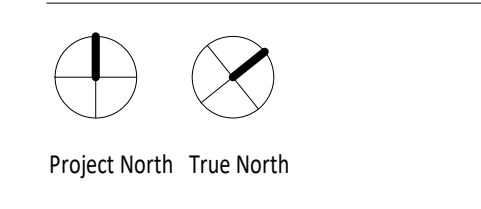
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No.	Date	Issue	By	Check

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 Toronto, ON, Canada M5A 0L6
 416-977-5104

Application Number:
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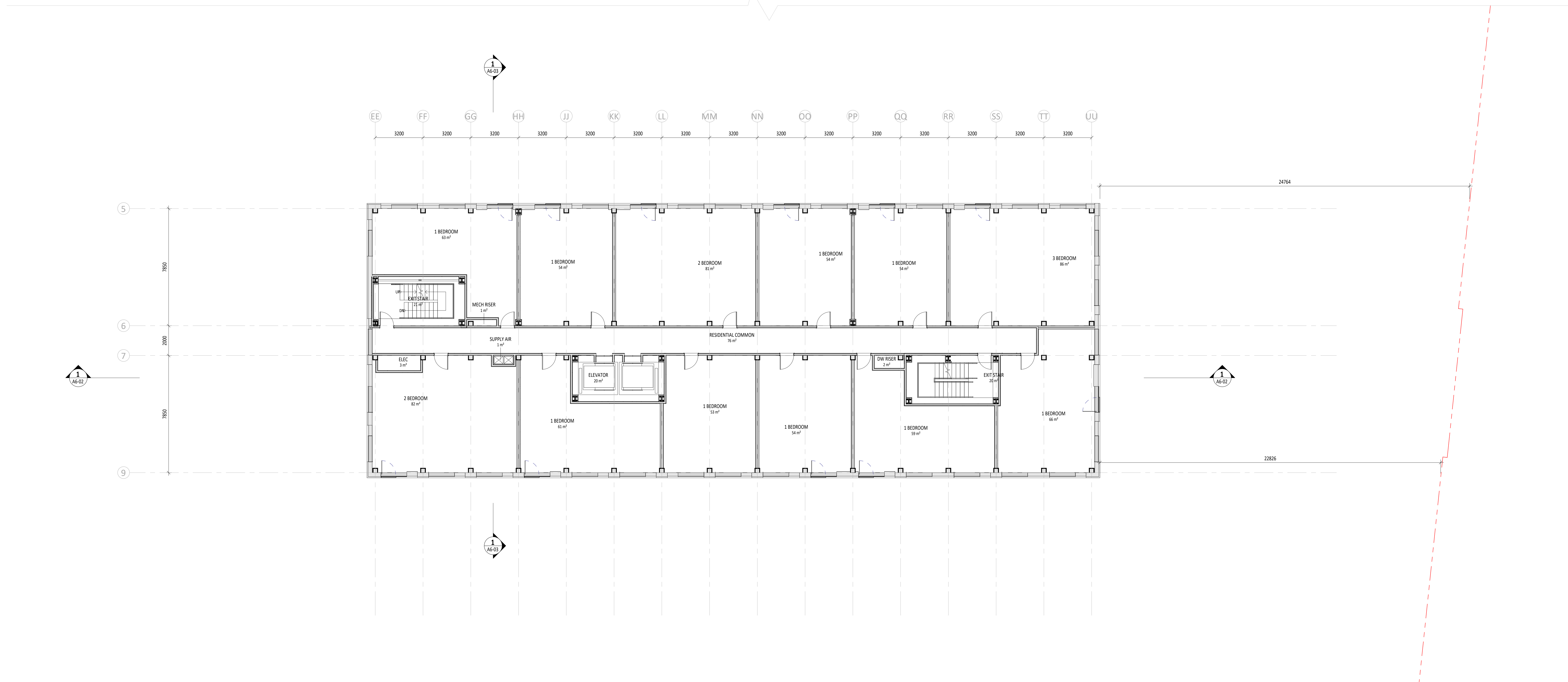
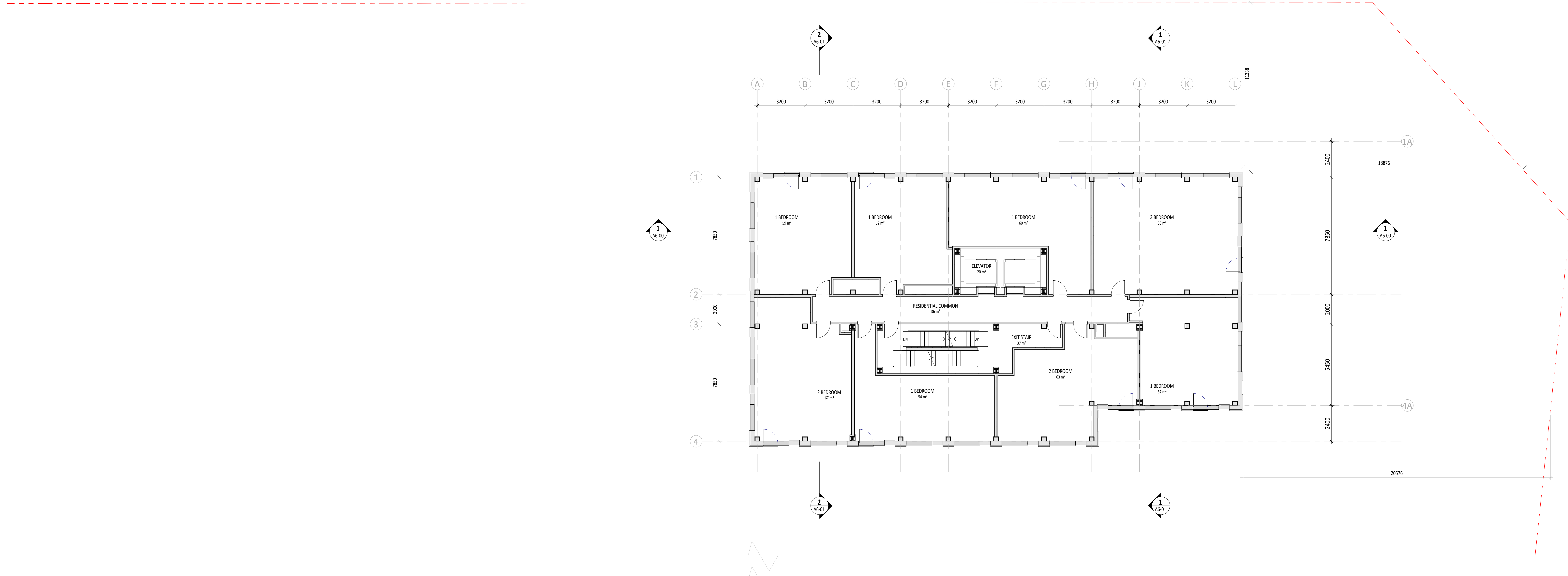
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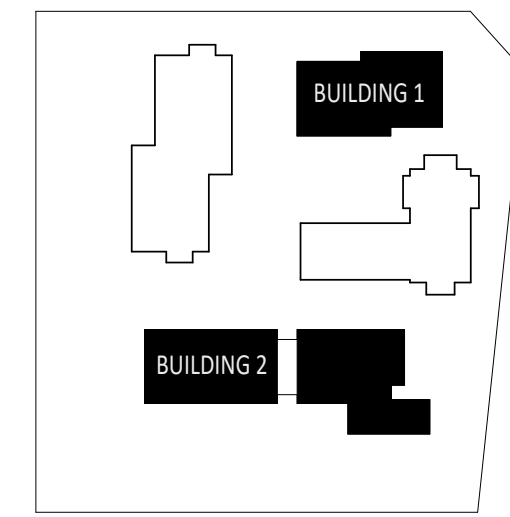
Project No. 2112
 Scale 1:100
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FLOOR PLAN - LEVEL 8



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- GENERAL NOTES:**
1. Drawings are to be used by the contractor and not for construction. The contractor shall verify all dimensions and conditions on site before commencing work.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The contractor shall be responsible for coordinating with all other trades and subcontractors.
 4. The contractor shall be responsible for providing all necessary materials and labor for the completion of the work.
 5. The contractor shall be responsible for maintaining the site in a safe and secure condition at all times.
 6. The contractor shall be responsible for the removal and disposal of all waste materials.



KEY PLAN

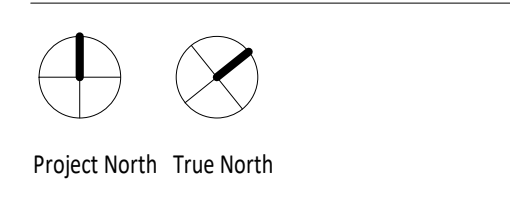
No.	Date	Issued
1	2012-10-14	Site Submission

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Application Number:
 CG-CPA-2012-104

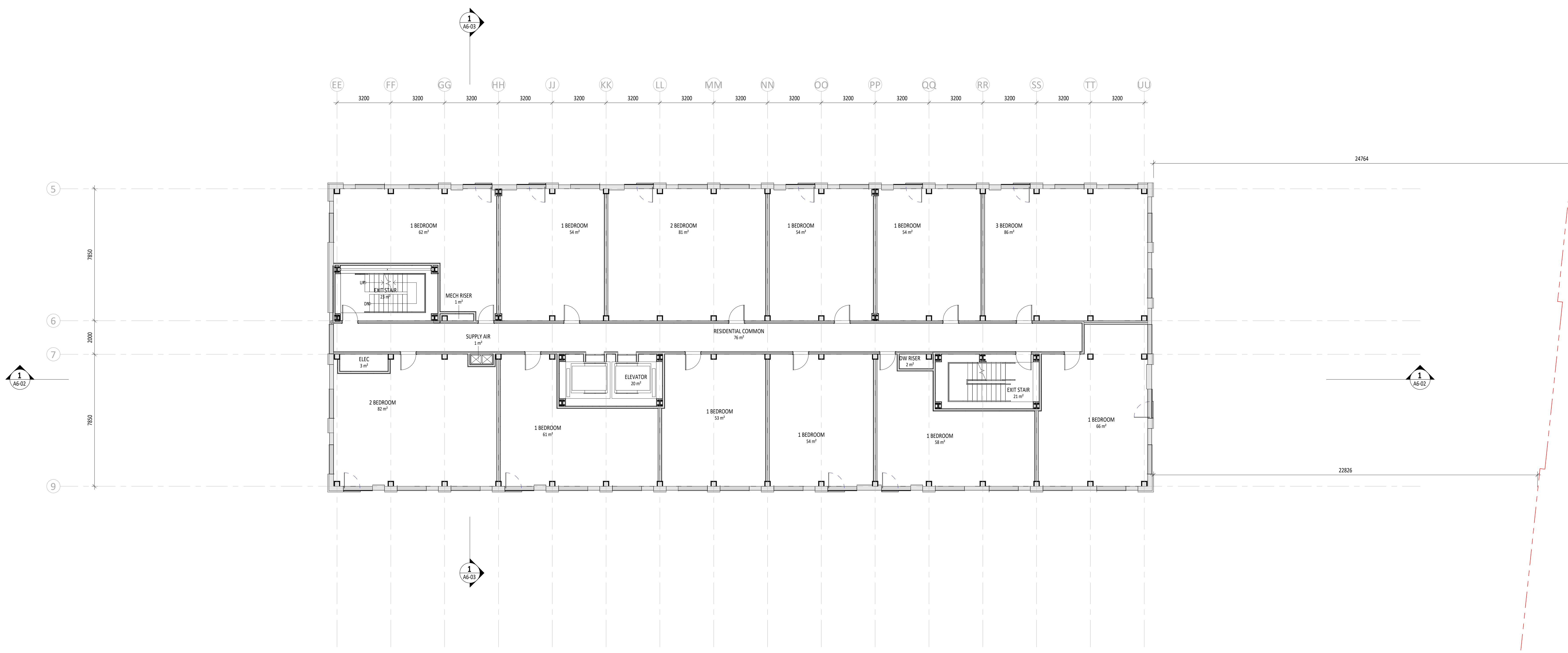
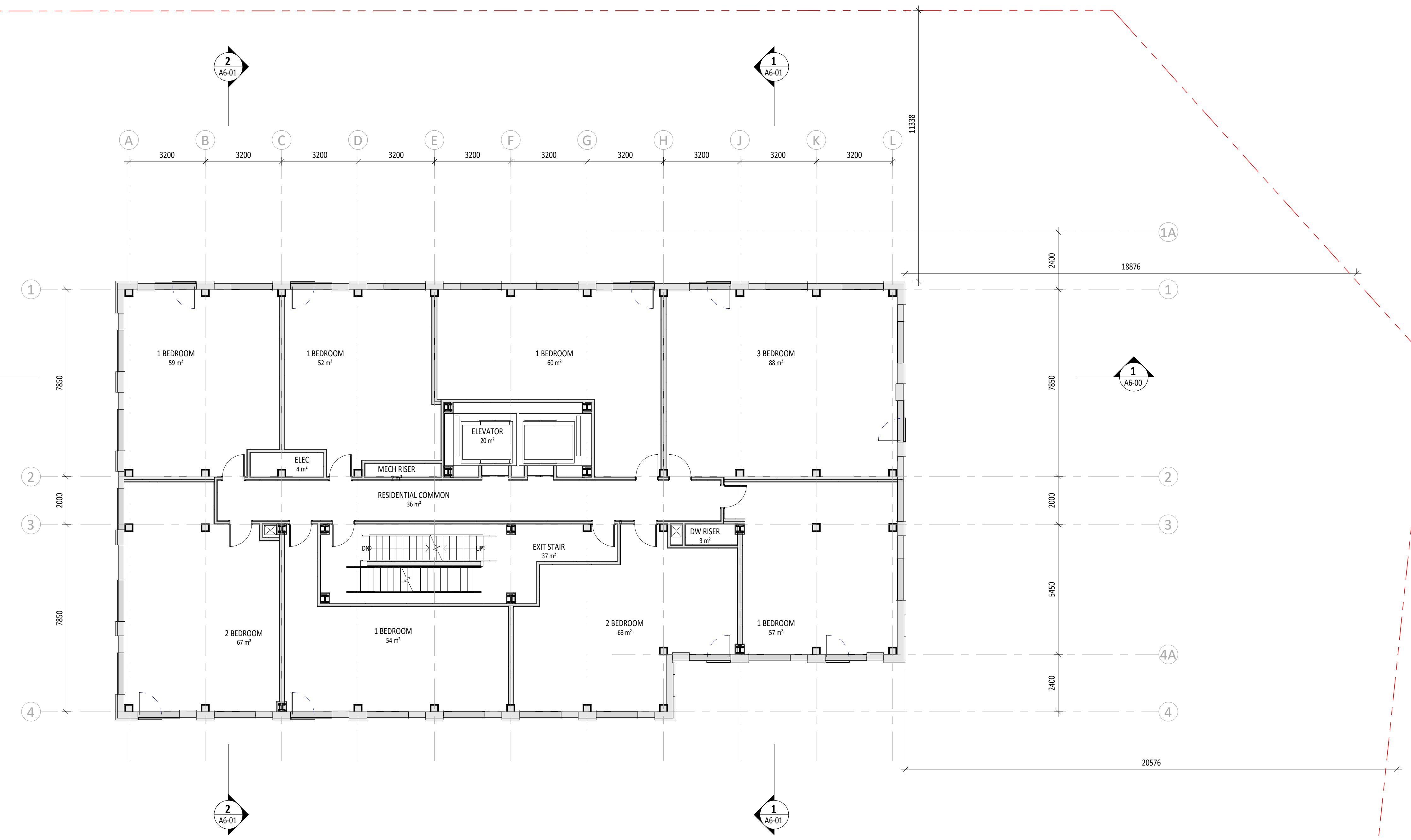
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 L4W 1J5



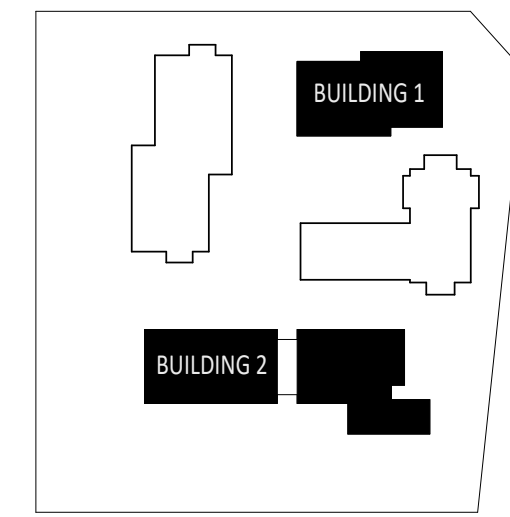
Project No. 2112
 Scale 1:100
 Plot Date 10/14/2012

FLOOR PLAN - LEVEL 9



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- GENERAL NOTES:**
1. Drawings are to be used by the contractor and shall not be used for any other purpose without the prior written consent of the architect.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 4. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 5. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 6. These drawings are not to be used for construction unless specifically noted by the architect.



KEY PLAN

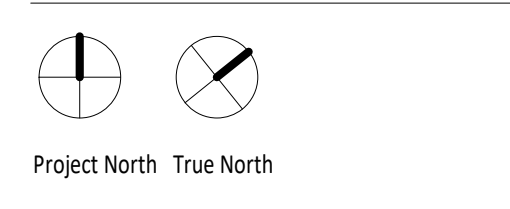
No.	Date	Issued
1	2012-10-14	Site Submission

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 251 King St. E. Suite 1200
 Toronto, ON, Canada M5A 0L6
 416.977.5104

Application Number:
 CG-CPA-20-128-WG

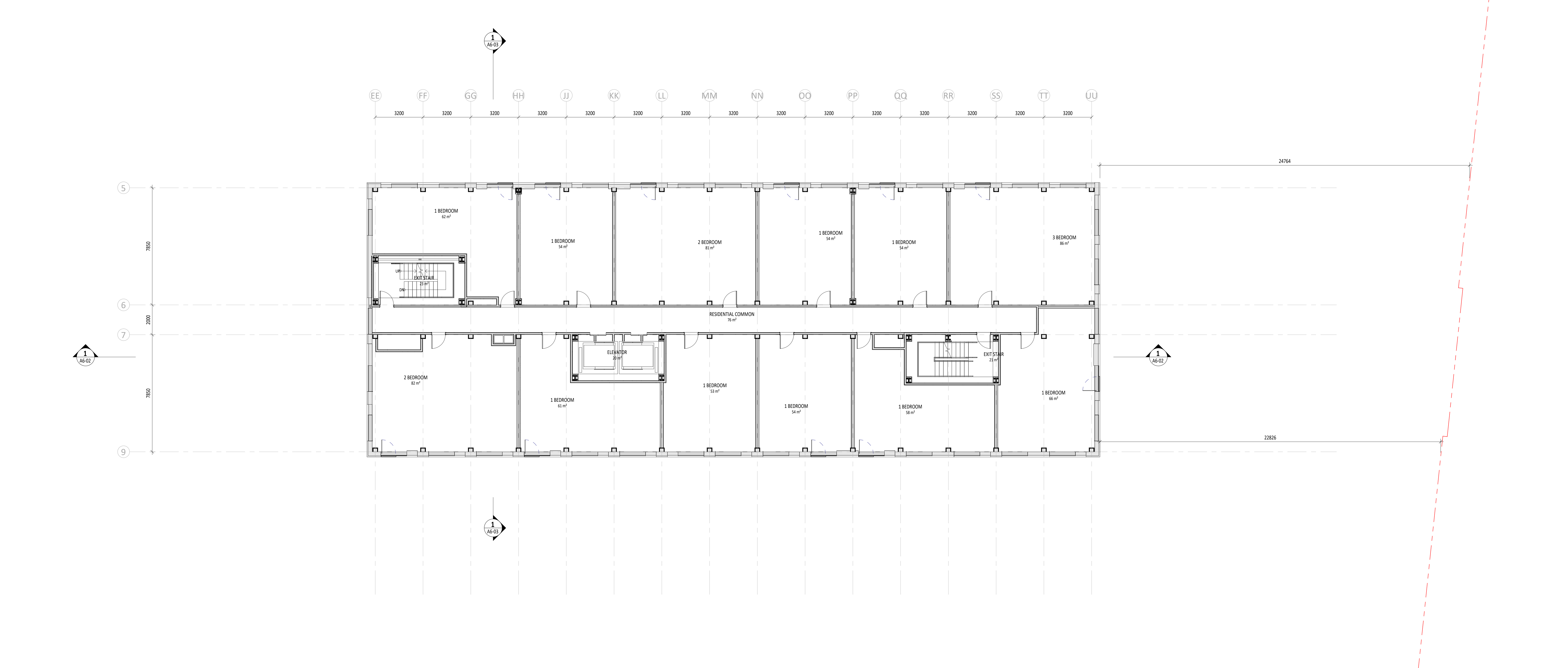
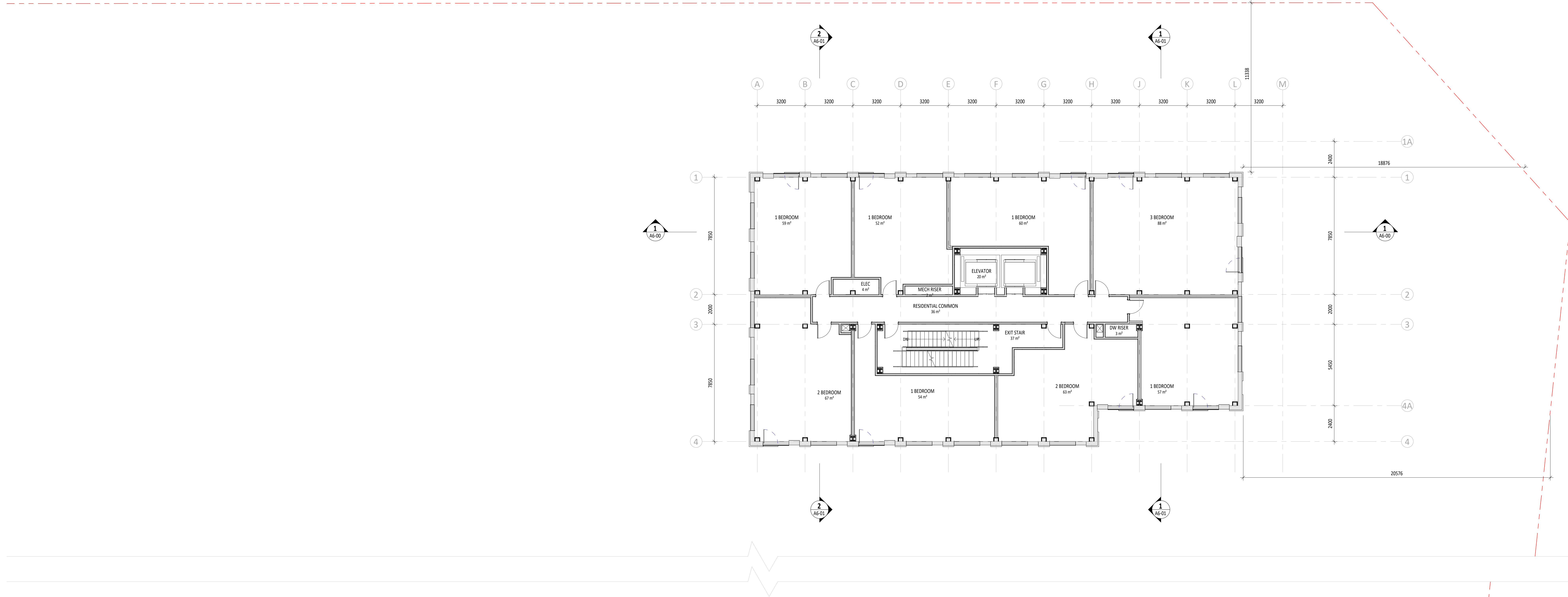
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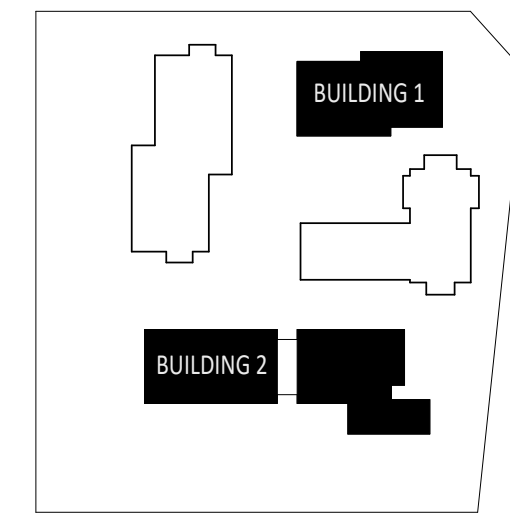
Project No. 2112
 Scale 1:100
 Plot Date 10/14/2012

FLOOR PLAN - LEVEL 10



Every effort has been made to ensure the accuracy of this drawing. However, the user of this drawing is responsible for verifying the accuracy of the information shown on this drawing. The user of this drawing is responsible for obtaining all necessary permits and approvals for the work shown on this drawing.

- GENERAL NOTES:**
1. Drawings are to be used by the contractor and not for construction. The contractor is responsible for obtaining all necessary permits and approvals for the work shown on this drawing.
 2. The contractor is responsible for obtaining all necessary permits and approvals for the work shown on this drawing.
 3. The contractor is responsible for obtaining all necessary permits and approvals for the work shown on this drawing.
 4. The contractor is responsible for obtaining all necessary permits and approvals for the work shown on this drawing.
 5. The contractor is responsible for obtaining all necessary permits and approvals for the work shown on this drawing.
 6. These drawings are not to be used for construction unless specifically noted otherwise.



KEY PLAN

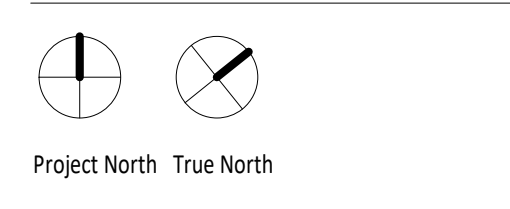
1	2023-10-14	JVA/submit
No.	Date	Issued

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 Toronto, ON, Canada M5A 0L6
 416.977.5104

Application Number:
 CG-COPA-22-018-WQ

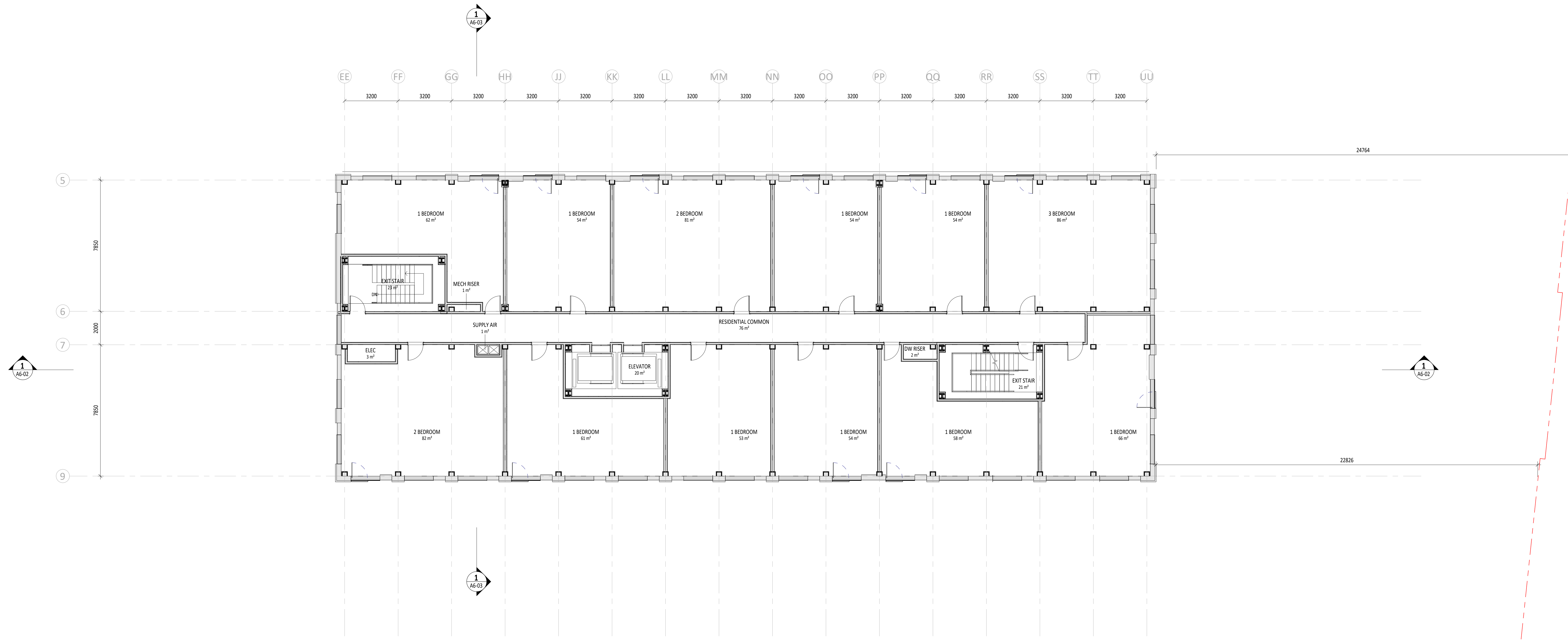
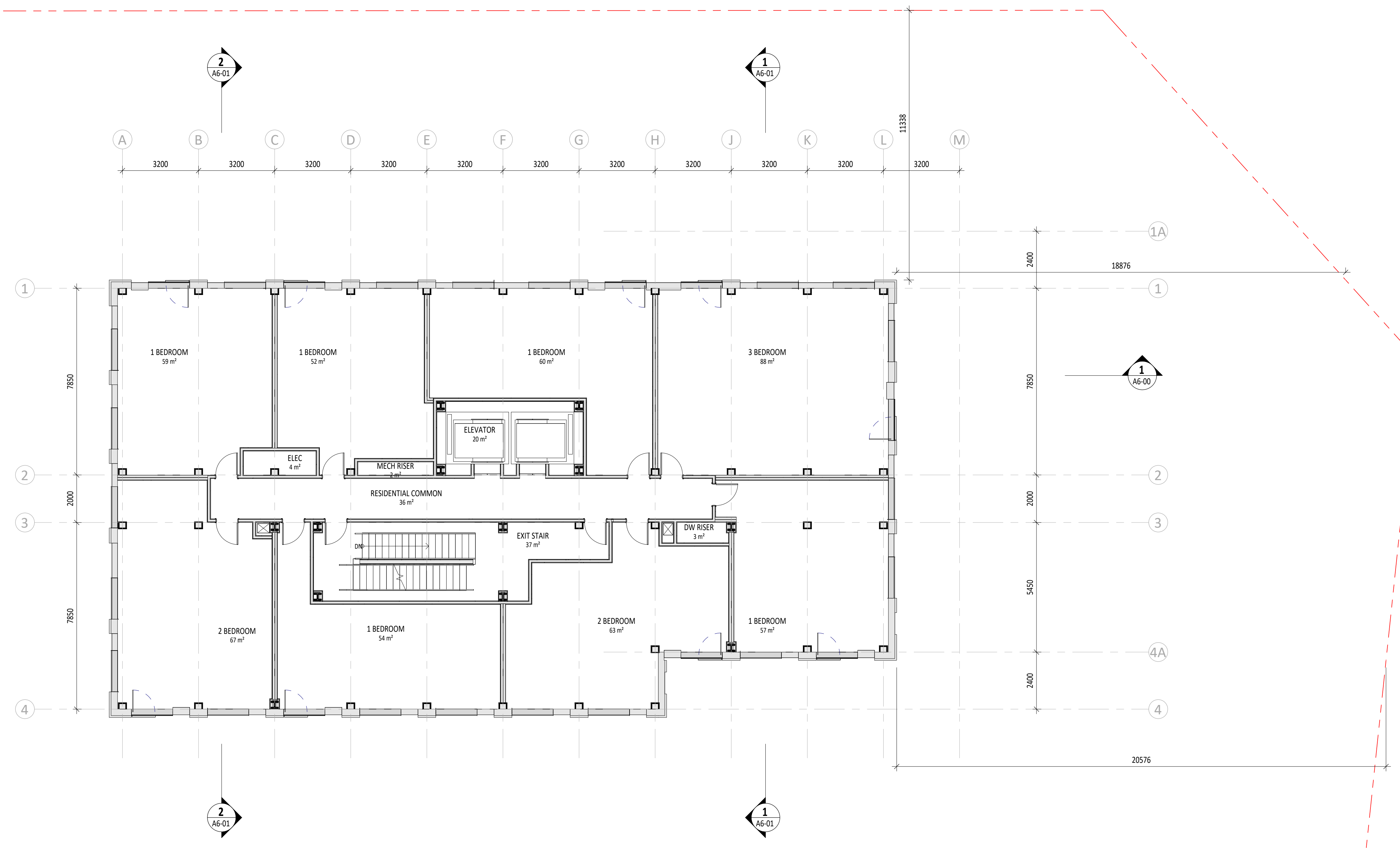
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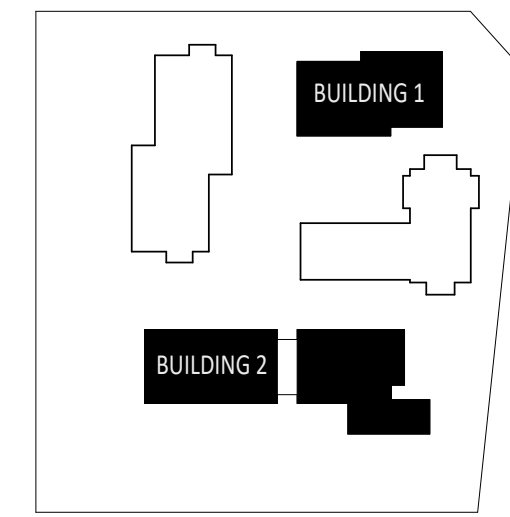
Project No. 2112
 Scale 1:100
 Plot Date 10/14/2022

FLOOR PLAN - LEVEL 11



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- GENERAL NOTES:**
1. Drawings are to be used by the Contractor and shall not be used for any other purpose without the prior written consent of the architect.
 2. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 4. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 5. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 6. These drawings are not to be used for construction unless specifically noted otherwise.



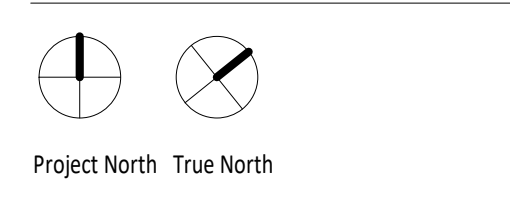
No.	Date	Issued
1	2012-10-14	Site Submission

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 251 King St. E. Suite 1200
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Application Number:
 CG-CDA-2012-10-14

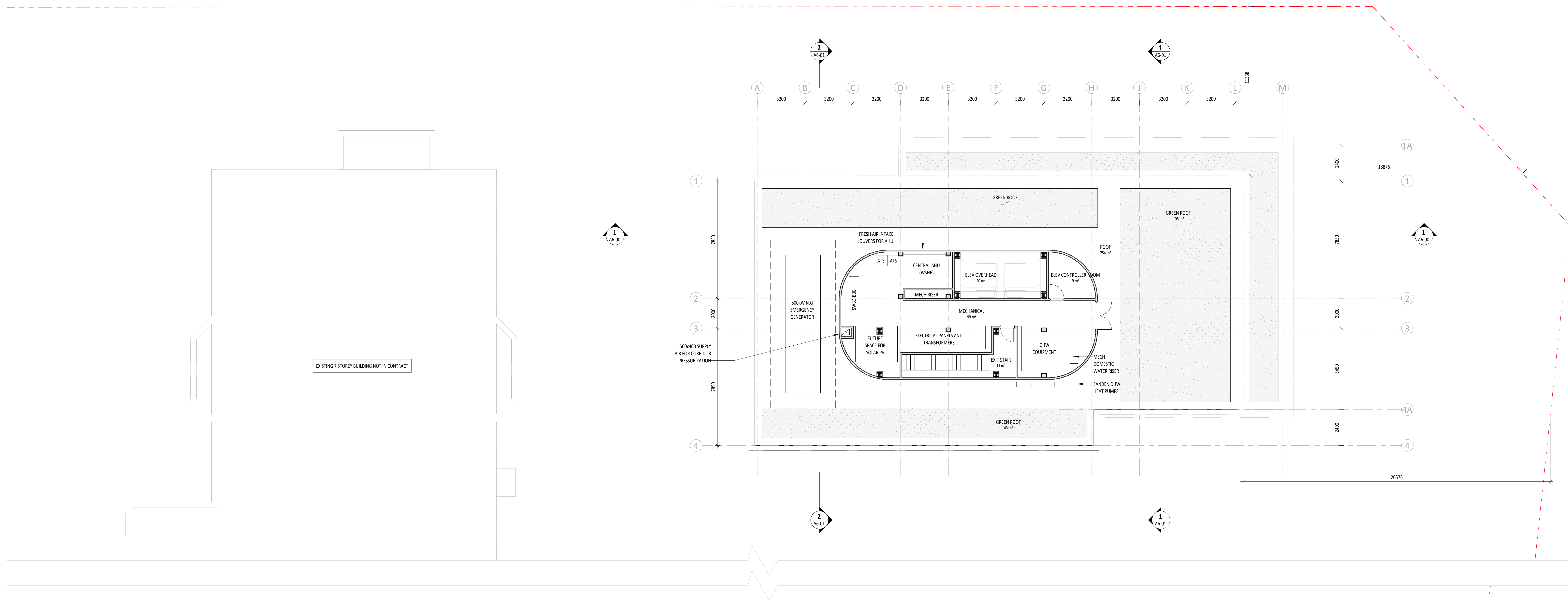
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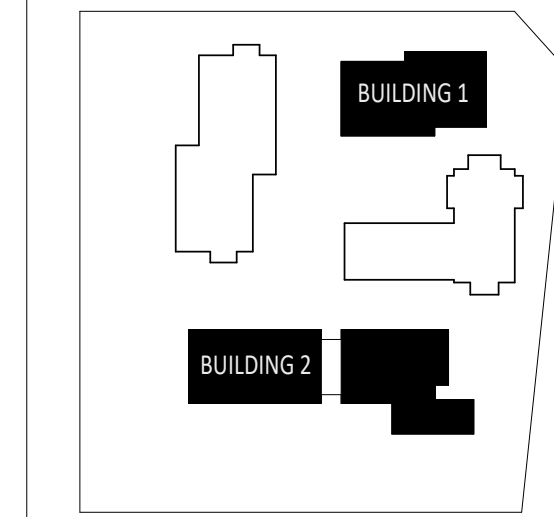
Project No. 2112
 Scale 1:100
 Plot Date 10/14/2012

FLOOR PLAN - LEVEL 12

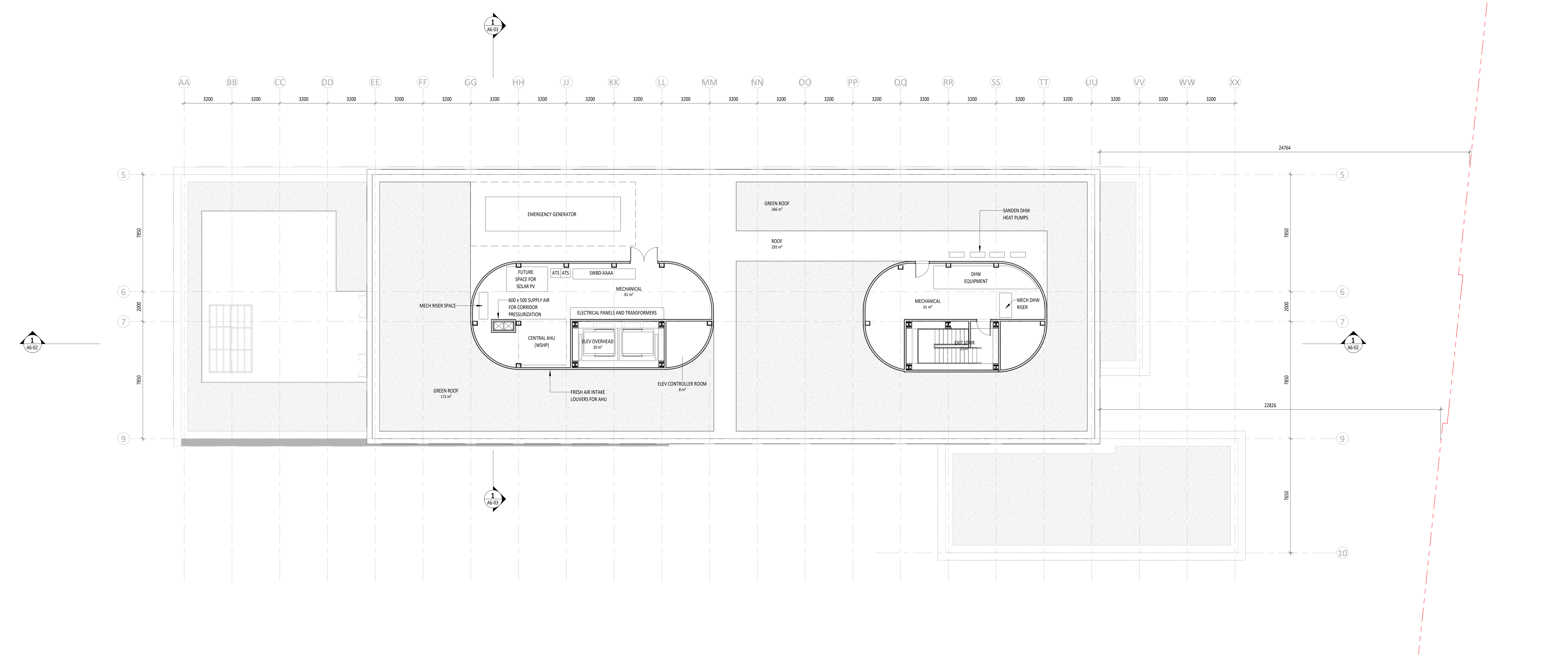


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- GENERAL NOTES:**
1. Drawings are to be used by the contractor and not for any other
 location and dimensions reported to any other party and all reports
 are to be prepared with the contractor's responsibility for accuracy and
 compliance.
 2. The contractor shall be responsible for all other
 conditions including, but not limited to, the proper use and installation of
 materials and electrical wiring. The contractor shall be responsible for
 the location of all equipment and materials to be installed on site.
 The contractor shall be responsible for the quality and safety of
 work, the permit and safety.
 3. The contractor shall be responsible for the location of all
 equipment and materials to be installed on site. The contractor shall
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 4. The contractor shall be responsible for the location of all
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 of all equipment and materials to be installed on site.
 6. These drawings are not to be used for construction unless specifically
 noted for such purposes.



KEY PLAN



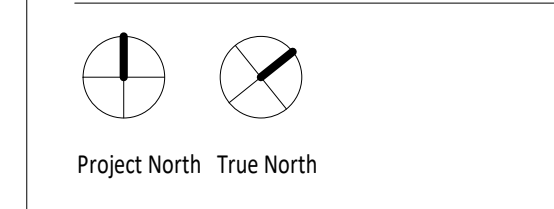
1	2023-10-14	Site Submission
No.	Date	Issued

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Application Number:
 CG-CPA-22-128-192

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**FLOOR PLAN - ROOF
 LEVEL**

A2-15