

KEY PLAN N.T.S.

BENCHMARK
 EXISTING ELEVATIONS FROM SURVEY PREPARED BY SPEIGHT, VAN NOSTRAND & GIBSON LIMITED DATED DECEMBER 3, 2021.
 BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH LIMIT OF BLOCK 104, REGISTERED PLAN 438-18354, HAVING A BEARING M-361 AS SHOWN ON PLAN OF N38°41'45".
 ELEVATIONS ARE GEODETIC DATUM 1928 AND ARE MISSISSAUGA DERIVED FROM THE CITY OF BENCHMARK No. 685.
 LOCATION: WEST FACE AT THE SOUTH END OF CONCRETE RETAINING WALL OF A CULVERT ACROSS BURHAMTHORPE ROAD EAST, 152M EAST OF TOMKEN ROAD, AT EAST END OF PLAZA PARKING LOT
 ELEVATION: PUBLISHED ELEVATION = 135.096 metres.

2.	RE-ISSUED FOR SITE PLAN APPLICATION	G.M.C. 2023.07.25	P.D.C.
1.	ISSUED FOR SITE PLAN APPLICATION	G.M.C. 2022.10.19	A.W.
No.	REVISIONS TO DRAWING	BY	DATE
ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED			
CLIENT UNITED PROPERTY RESOURCE CORP c/o KINDRED WORKS			
MUNICIPALITY CITY OF MISSISSAUGA			
PROJECT TITLE WESTMINISTER			
SHEET TITLE SITE GRADING PLAN			

wsp

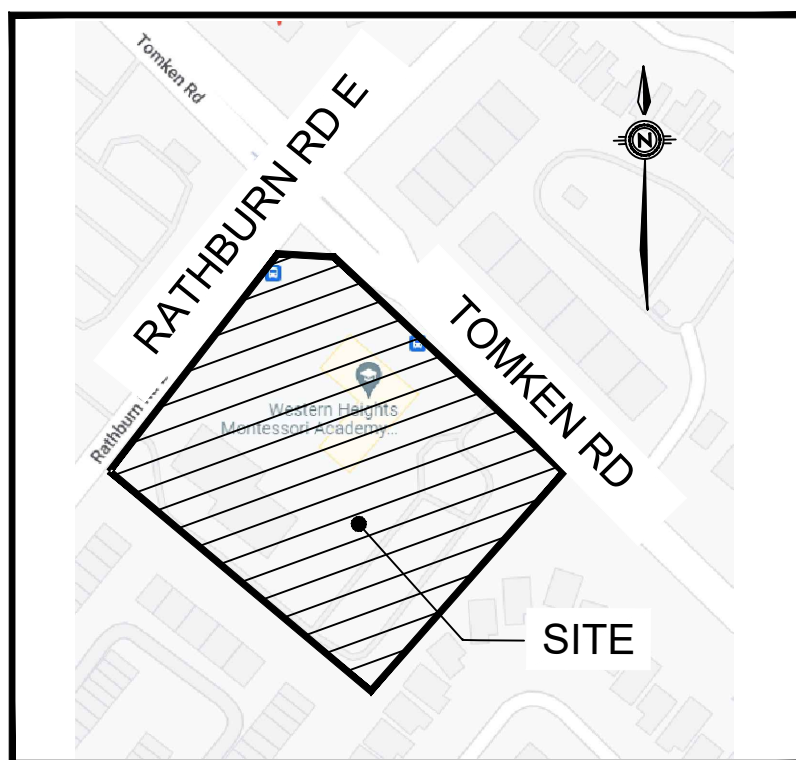
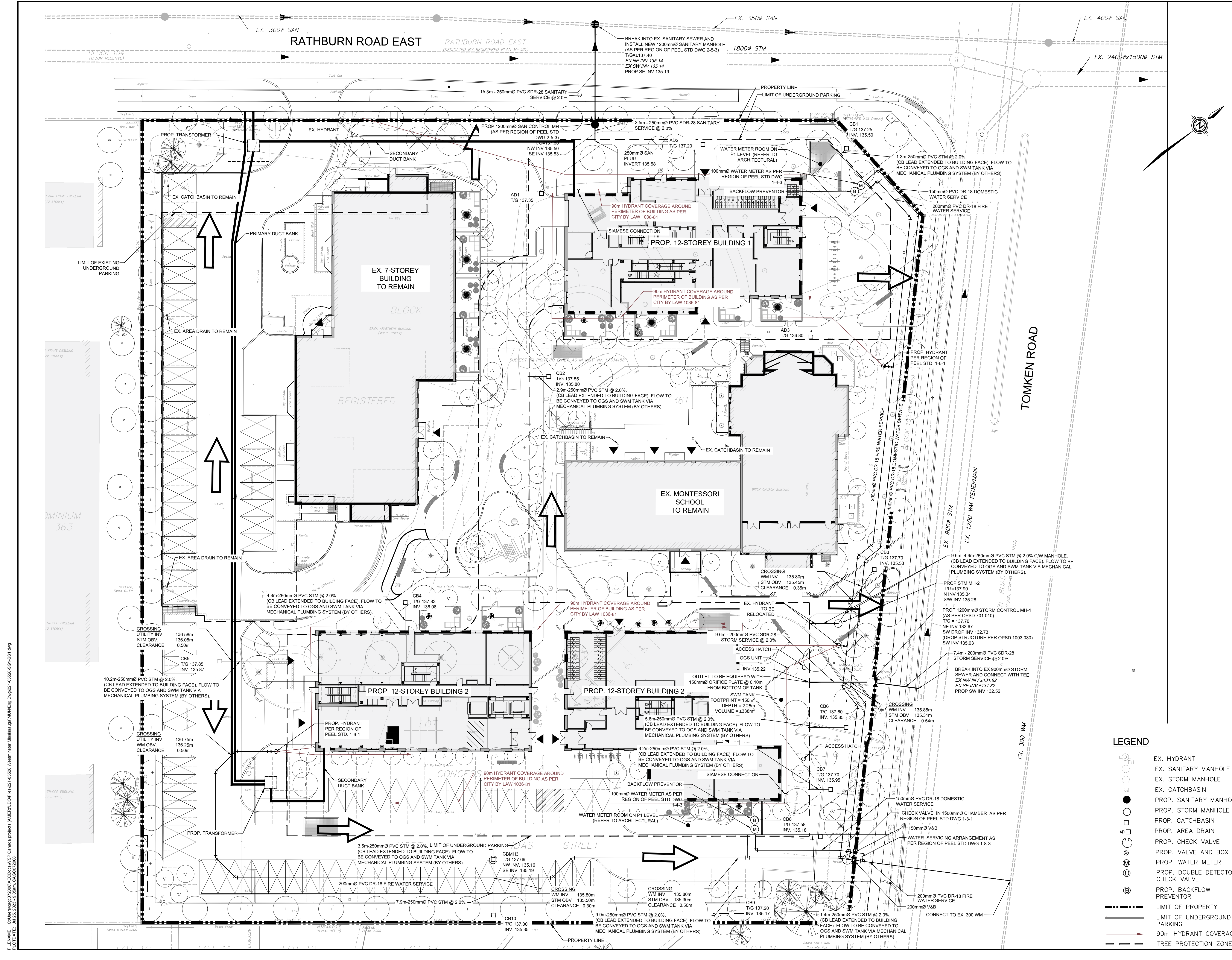
100 Commerce Valley Dr. West, Thornhill, ON Canada L3T 0A1
 t: 905.882.1100 f: 905.882.0055 www.wsp.com

PROFESSIONAL ENGINEER
 P. D. M. CAHILL
 100500422
 July 25, 2023
 PROVINCE OF ONTARIO

DESIGNED G.M.C.	DRAWN 10/12 CAD	CHECKED P.D.C.
SCALE 1:250	DATE OCT 2022	
PROJECT NUMBER 221-05528	DWG. NUMBER C101	
CITY FILE NO: 02/OPA 22-28 W3		

- LEGEND**
- +77.16 EX. ELEVATION
 - +77.50 PROP. ELEVATION
 - EX. HYDRANT
 - EX. SANITARY MANHOLE
 - EX. STORM MANHOLE
 - EX. CATCHBASIN
 - PROP. SANITARY MANHOLE
 - PROP. STORM MANHOLE
 - PROP. CATCHBASIN
 - PROP. AREA DRAIN
 - LIMIT OF PROPERTY
 - OVERLAND FLOW
 - LIMIT OF UNDERGROUND PARKING
 - TREE PROTECTION ZONE

FILENAME: C:\Users\p27208\OneDrive\Work\Projects\Westminster\Mississauga\Eng_Dwg\221-05528-S01-C51.dwg
 PLOTTED DATE: Jul 25, 2023 - 9:17am, LAC0270208



KEY PLAN N.T.S.

NOTE:
CONTRACTOR TO CONFIRM LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION

BENCHMARK:
EXISTING ELEVATIONS FROM SURVEY PREPARED BY SPEIGHT, VAN NOSTRAND & GIBSON LIMITED DATED DECEMBER 3, 2021.

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LOCATION: WEST FACE AT THE SOUTH END OF CONCRETE RETAINING WALL OF A CULVERT ACROSS BURNHAMTHORPE ROAD EAST, 152M EAST OF TOMKEN ROAD, AT EAST END OF PLAZA PARKING LOT

ELEVATION: PUBLISHED ELEVATION = 135.096 metres.

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2.	RE-ISSUED FOR SITE PLAN APPLICATION	G.M.C.	2023.07.25	P.D.C.
1.	ISSUED FOR SITE PLAN APPLICATION	G.M.C.	2022.10.19	A.W.
	REVISIONS TO DRAWING			

CLIENT

UNITED PROPERTY RESOURCE CORP
c/o KINDRED WORKS

MUNICIPALITY

CITY OF MISSISSAUGA

PROJECT TITLE

WESTMINISTER

SHEET TITLE

SITE SERVICING PLAN



100 Commerce Valley Dr. West, Thornhill, ON Canada L3T 0A1
t: 905.882.1100 f: 905.882.0055 www.wsp.com



DESIGNED	DRAWN	CHECKED
G.M.C.	10/12 CAD	P.D.C.
SCALE	DATE	
1:250	OCT 2022	
PROJECT NUMBER	DWG. NUMBER	
221-05528	C102	
CITY FILE NO: 02/OPA 22-28 W3		

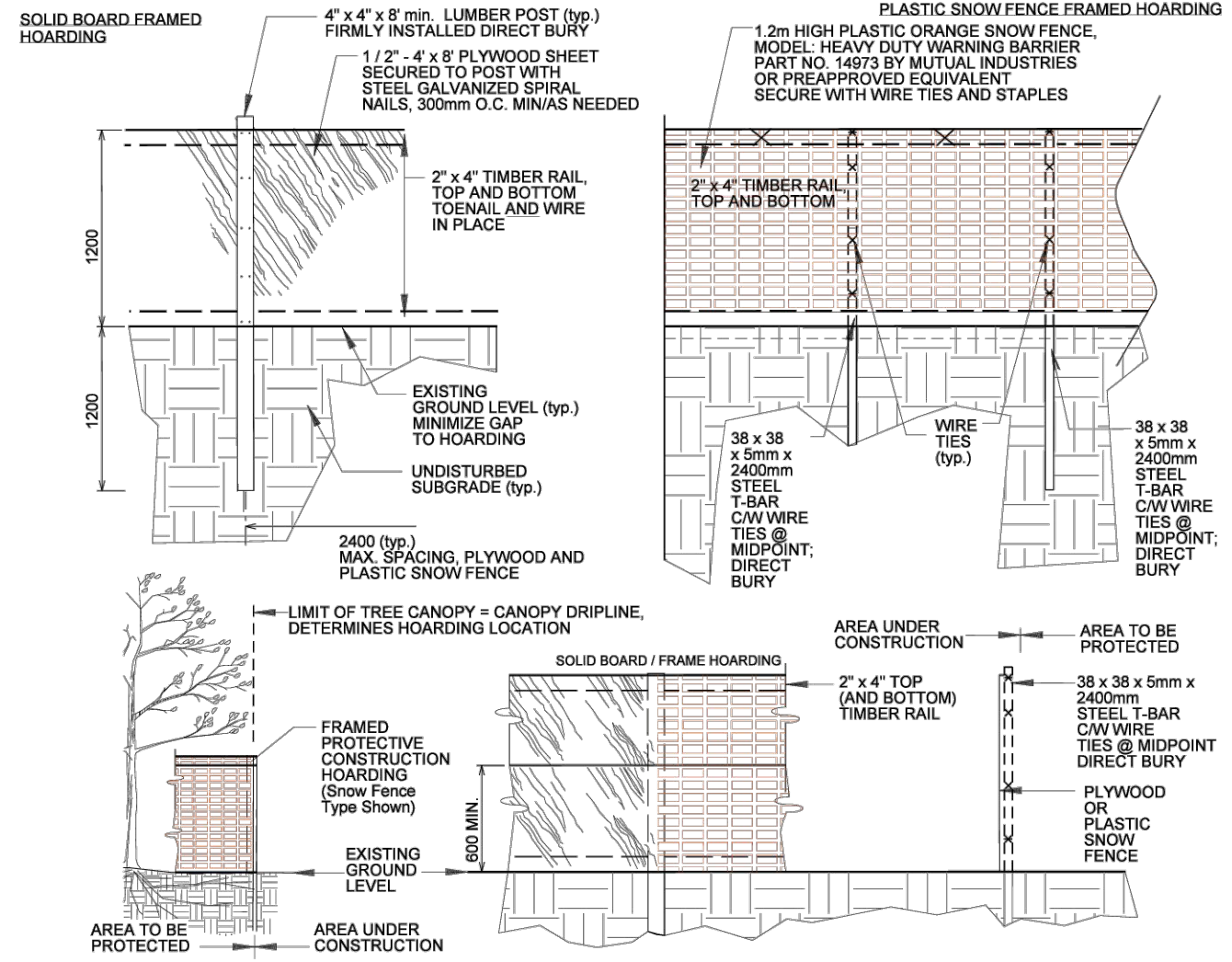
- LEGEND**
- EX. HYDRANT
 - EX. SANITARY MANHOLE
 - EX. STORM MANHOLE
 - EX. CATCHBASIN
 - PROP. SANITARY MANHOLE
 - PROP. STORM MANHOLE
 - PROP. CATCHBASIN
 - PROP. AREA DRAIN
 - PROP. CHECK VALVE
 - PROP. VALVE AND BOX
 - PROP. WATER METER
 - PROP. DOUBLE DETECTOR
 - PROP. CHECK VALVE
 - PROP. BACKFLOW PREVENTOR
 - LIMIT OF PROPERTY
 - LIMIT OF UNDERGROUND PARKING
 - 90m HYDRANT COVERAGE
 - TREE PROTECTION ZONE

FILENAME: C:\Users\p2208\OneDrive\WSP Canada\projects\AMER\LDI\Rev21-0528 Westminister Mississauga\WSP\DWG\21-05528-S01-S01.dwg
 PLOTTED: Jul 25 2023 - 9:55am, CAG070208

02830-6

Hoarding Framed Protective Construction Hoarding Solid Board- Plastic Snow Fence

NOTE:
TO BE USED AS A GUIDELINE ONLY.
NOT TO SCALE. REMOVE CITY TITLE BLOCK
AND REDRAW TO REPRESENT SITE SPECIFIC
CONDITIONS. ALL SITE SPECIFIC CONDITIONS
ARE TO BE CONFIRMED BY THE PROJECT
CONSULTANT.



- NOTES:**
1. HOARDING LOCATION AS PER DRAWINGS. HOARDING INSTALLATIONS ARE TO INCLUDE WOVEN GEOTEXTILE FABRIC FOR SEDIMENT CONTROL.
 2. NO MOBILIZATION OR CONSTRUCTION WORK TO OCCUR UNTIL HOARDING HAS BEEN INSPECTED AND APPROVED BY COMMUNITY SERVICES PROJECT MANAGER (CSPM). CONTRACTOR TO ARRANGE FOR A HOARDING INSPECTION WITH (CSPM), 48 HOUR NOTICE REQUIRED.
 3. HOARDING TO BE SUPPLIED, INSTALLED AND MAINTAINED BY THE CONTRACTOR THROUGH ALL PHASES OF WORK ON SITE.
 4. THE CONTRACTOR IS TO REMOVE AND DISPOSE THE HOARDING OFF SITE WHEN DIRECTED BY THE (CSPM).
 5. ALL WOOD PRODUCTS TO BE NEW AND LUMBER KILN DRIED SPF.
 6. ALL FASTENERS TO BE NEW GALVANIZED STEEL AND SECURELY INSTALLED. WIRE TIES MIN 3.5mm DIA. GALVANIZED STEEL.
 7. DO NOT ALLOW WATER TO COLLECT AND/OR POND ON EITHER SIDE OF THE HOARDING.
 8. WHEN INSTALLING DIRECT BURY TIMBER POSTS AND T-BARS, TAKE CARE TO AVOID VISIBLE AND ASCERTAINABLE TREE ROOTS.
 9. PLACE HOARDING AT LIMIT OF TREE CANOPY DRIP LINE OR BEYOND (E.G. FURTHER AWAY FROM TRUNK) OF TREE.
 10. HOARDED OFF AREA TO REMAIN UNDISTURBED. NO STOCKPILING, STAGING OR MOVEMENT OF VEHICLES TO OCCUR WITHIN PROTECTED AREA.
 11. FOR PROTECTION OF TREE'S AND ROOT SYSTEM, CONTRACTOR MAY BE REQUIRED TO PROVIDE WATERING, MULCHING, FERTILIZING, PRUNING OR OTHER ACTIVITIES TO ENSURE THE HEALTH OF THE TREE(S).
 12. ALL MEASUREMENTS IN MILLIMETRES UNLESS NOTED OTHERWISE (E.G. DIMENSIONAL LUMBER).
 13. CONTRACTOR RESPONSIBLE FOR LOCATES
- N.T.S.**

Detail: 02830-6

ORIGINAL DATE: Mar 08/18
REVISION DATE: Mar 08/18



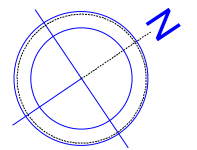
NOTES: Tree locations not surveyed, locations are field measured by the arborist. Work location estimated from clients provided site plan.

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- All field data have been recorded by Adam Mohamed ISA Certified Arborist® ON-2333A. All tree locations are based on the survey supplied by the client and field observation by the arborist.
- This plan shall be used in conjunction with the Tree Protection Action Key (TPAK). Specific information regarding tree species, condition, and protection protocols are listed therein.
- Refer to the Arborist Report prepared for this project for specific instruction regarding tree protection requirements.

PLAN KEY

- TREE RECOMMENDED FOR REMOVAL
- RETAINED TREE
- CONIFEROUS TREE FOR REMOVAL
- RETAINED CONIFEROUS TREE
- REPLACEMENT TREE
- RETAINED HEDGEROW
- HEDGEROW FOR REMOVAL
- TREE PROTECTION FENCE
- TREE PROTECTION ZONE



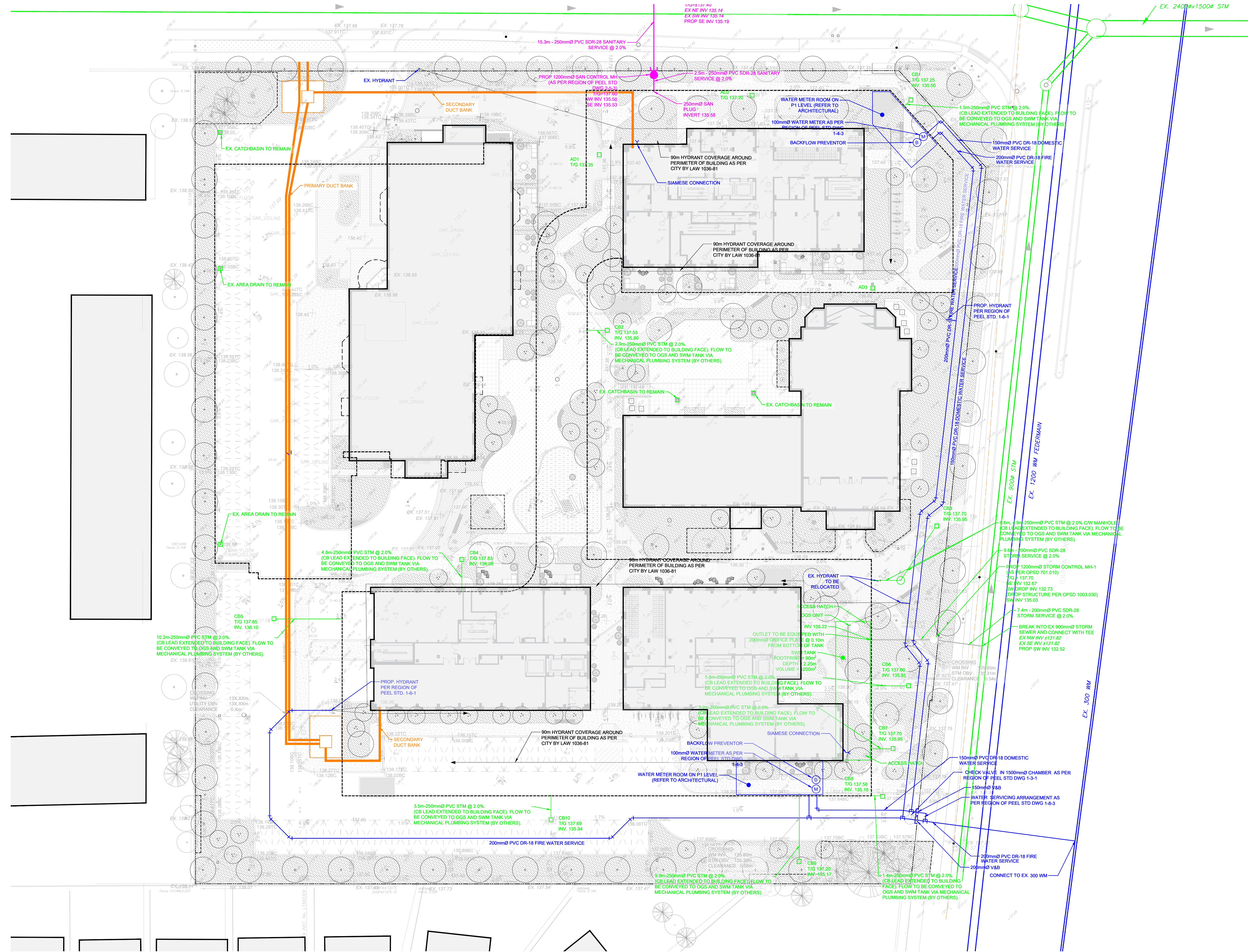
No.	DATE	BY	REVISIONS
1	06/24/2022	JS	Initial Tree Inventory
2	08/22/2022	JS	Final Site Plan
3	08/22/2023	JB	Corrections
4	10/14/2022	JS	Updates
5	10/17/2023	AW	Revisions
6	08/08/2023	AW	Revisions



TITLE:
Pre-Construction Assessment
4094 Tomken Rd, Mississauga, ON
L4W 4H5

CLIENT:
Carly Forrester

DRAWING NO.:	001	SCALE:	1:600
JOB NO.:		SHEET:	3 of 3



- NOTES**
- COPYRIGHT OF THIS DRAWING AND DESIGN IS RESERVED BY THE DESIGNER. THE DRAWING AND ALL ASSOCIATED DOCUMENTS ARE AN INSTRUMENT OF SERVICE BY THE DESIGNER. THE DRAWING AND THE INFORMATION CONTAINED THEREIN MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN PERMISSION OF THE DESIGNER.
 - DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CONSULTANT IF ANY DISCREPANCIES IN THE DRAWING AND CONTRACT DOCUMENTS ARE DISCOVERED.
 - CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT IF CONFLICTS ARE PRESENT. IF UTILITY RELOCATIONS ARE REQUIRED DUE TO CONFLICT OR DAMAGE, COORDINATE WITH APPROPRIATE UTILITY OWNERS.
 - WATERING PROGRAM TO BE ADMINISTERED FOR NEWLY PLANTED TREES FOR THE FIRST TWO YEARS AFTER PLANTING BY OWNER/CONTRACTOR.
 - SOIL IS TO BE RETAINED ON SITE OR ADJUSTED OR REPLACED WITH SOIL OF EQUAL OR BETTER QUALITY BY OWNER/CONTRACTOR.
 - MAXIMUM SOIL VOLUME ACHIEVABLE HAS BEEN ALLOCATED TO ALL LARGE CANOPY TREES TO MEET TGS SOIL VOLUME (BM2 FOR EACH TREE MINIMUM).
 - 7% OF NON-ROOF HARDSHIP, INCLUDING STONE UNIT PAVING, TO HAVE MINIMUM SOLAR REFLECTIVITY OF 20 OR AN INITIAL SOLAR REFLECTANCE OF AT LEAST 0.33.
 - READ IN CONJUNCTION WITH KPMB ARCHITECTS DRAWINGS AND ALL PROJECT CIVIL ENGINEERING DRAWINGS.

- LEGEND**
- STORM SEWER
 - SANITARY
 - WATER
 - HYDRO / ELECTRICAL
 - OVERHEAD WIRE
 - TREE PROTECTION ZONE FENCING
 - PROPERTY LINE
 - UNDERGROUND GARAGE OUTLINE

ISSUE

5	
4	
3	2023-07-14 RE-ISSUED FOR ZBA
2	2022-10-07 ISSUED FOR ZBA
1	2022-08-19 ISSUED FOR COORDINATION

Janet Rosenberg & Studio
Landscape Architecture and Urban Design
416 656 6665 | 416 656 5736 www.jrstudio.ca
148 Kenwood Avenue, Toronto Ontario M6C 2S3 Canada

UNITED PROPERTY RESOURCE CORPORATION

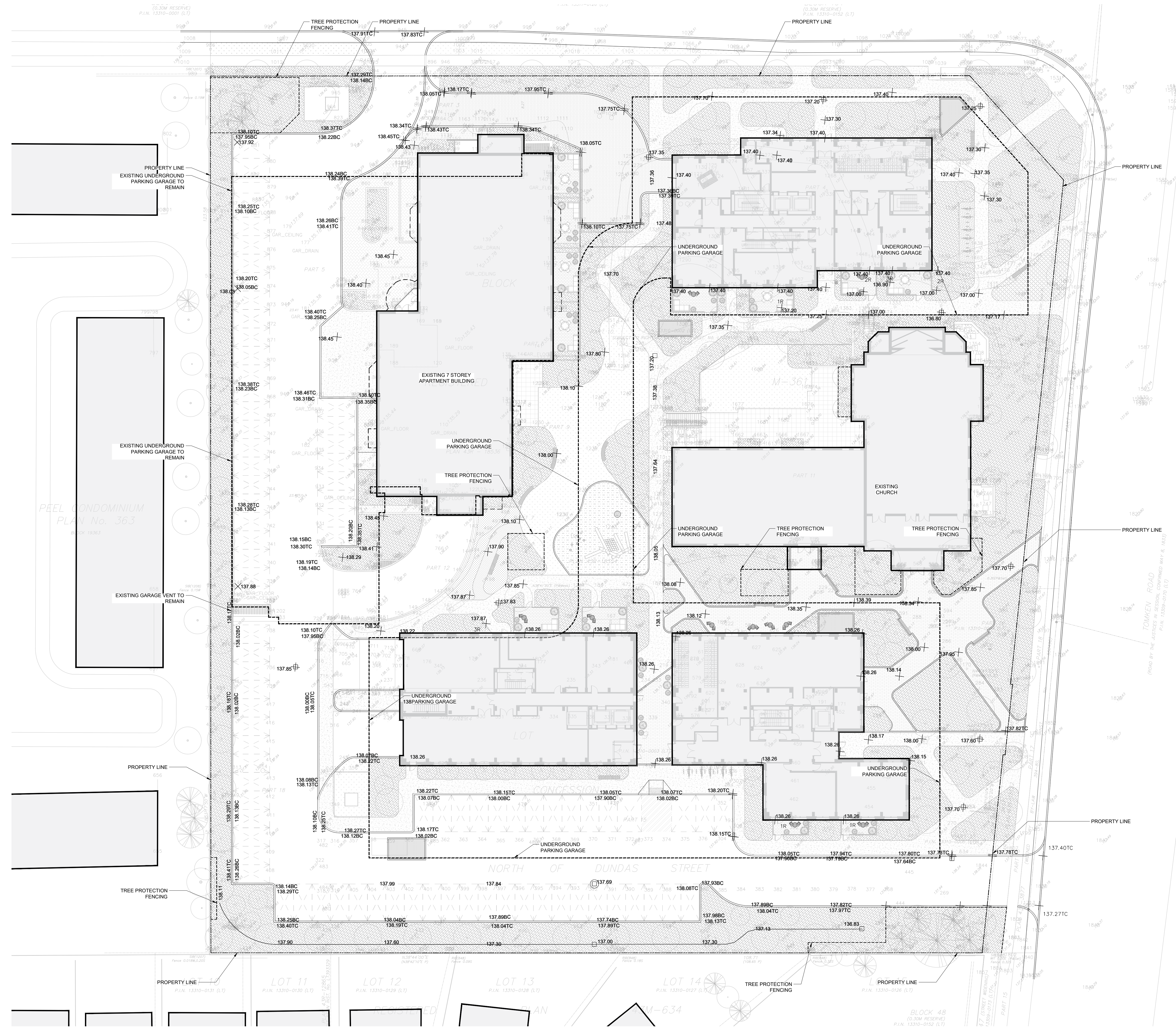
UPRC WESTMINSTER UNITED CHURCH

4094 Tomken Rd, Mississauga, ON L4W 1J5

COMPOSITE UTILITIES LANDSCAPE PLAN

SCALE: 1:250
DRAWN: RM
CHECKED: WS
PROJECT NUMBER: 21-039
DRAWING DATE: 2022-04-12

L002



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 5. WATERING PROGRAM TO BE ADMINISTERED FOR NEWLY PLANTED TREES FOR THE FIRST TWO YEARS AFTER PLANTING BY OWNER/CONTRACTOR.
 6. SOIL IS TO BE RETAINED ON SITE OR ADJUSTED OR REPLACED WITH SOIL OF EQUAL OR BETTER QUALITY BY OWNER/CONTRACTOR.
 7. MAXIMUM SOIL VOLUME ACHIEVABLE HAS BEEN ALLOCATED TO ALL LARGE CANOPY TREES TO MEET TGS SOIL VOLUME (BM2 FOR EACH TREE MINIMUM).
 8. 75% OF NON-ROOF HARDSCAPE, INCLUDING STONE UNIT PAVING, TO HAVE MINIMUM SOLAR REFLECTIVITY OF 29 OR AN INITIAL SOLAR REFLECTANCE OF AT LEAST 0.33.
 9. READ IN CONJUNCTION WITH KPMB ARCHITECTS DRAWINGS AND ALL PROJECT CIVIL ENGINEERING DRAWINGS.

LEGEND

ISSUE	DATE	DESCRIPTION
5		
4		
3		
2	2023-07-14	RE-ISSUED FOR ZBA
1	2022-10-14	ISSUED FOR ZBA

Janet Rosenberg & Studio

 Landscape Architecture and Urban Design

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 148 Kenwood Avenue, Toronto Ontario M6C 2S3 Canada

UNITED PROPERTY RESOURCE CORPORATION

 UPRC WESTMINSTER UNITED CHURCH

 4094 Tomken Rd, Mississauga, ON L4W 1J5

GRADING PLAN

 SCALE: 1:250

 DRAWN: RM

 CHECKED: WS

 PROJECT NUMBER: 21-039

 DRAWING DATE: 2022-04-12

L200