

NOTES: Tree locations not surveyed, locations are field measured by the arborist. Work location estimated from clients provided site plan

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- All field data have been recorded by Adam Mohamed ISA Certified Arborist® ON-2333A. All tree locations are based on the survey supplied by the client and field observation by the
- This plan shall be used in conjunction with the Tree Protection Action Key (TPAK). Specific information regarding tree species, condition, and protection protocols are listed there
- Refer to the Arborist Report prepared for this project for specific instruction regarding tree protection requirements,

PLAN KEY



TREE RECOMMENDED FOR REMOVAL



RETAINED TREE



CONIFEROUS TREE FOR REMOVAL



RETAINED CONIFEROUS TREE



REPLACEMENT TREE RETAINED HEDGEROW



HEDGEROW FOR REMOVAL



TREE PROTECTION FENCE





No.	DATE	BY	REVISIONS			
1	06/24/2022	JS	Initial Tree Inventory			
2	08/22/2022	JS	Final Site Plan			
3	08/22/2023	JB	Corrections			
4	10/14/2022		Updates			
5	08/04/2023	AW	Revisions			
6	08/08/2023	AW	Revisions			



Pre-Construction Assessment 4094 Tomken Rd, Mississauga, ON L4W 4H5

Carly Forrester

DRAWING NO.:

1:600 SHEET: 1 of 3

SCALE:

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						90						Œ		1	* 5		Permit Required? (YW)	
*	ě			E		100			8		2			PISE P	n Impact Medium		22	2 8
Tree Tay Number	Map Numbe			41.0	Tree Ownership	¥ _			蓄	E	m) w	Crown Ratio	8	e e	Ti de		2	Observations and Recommendations
Z	爱	223			190	n Tree			60	5	节奏	9	8	e 8 €	otto ore,		8	pop
T 30	100	10	tankal		ő	mm	-6	other	-	Height (m)	É	8	O.W.	age of	atro J. e. L	S	车	EV.
2	1500	å	23	DBH (am)	2	Minimum Dictanoe (Health	Structure	Oversill Condit	Tree	Crown Wedth	EN-	Deadwood	Construction 1 TP 2? (YN)	Construction (None, Low, High)	Aetom		D D D D D D D D D D D D D D D D D D D
101	101	Sugar Maple	Acer saccharum	30	Private	1.8	G	G	G	12.2	9.1	100	0	N	L	Preserve	N	TPF
102	102	Austrian Pine	Finus rigra	30	Private	1.8	G	G	G	12.2	9.1	100	0	N	L	Preserve	N	TPF
103	103	Austrian Pine	Finus rigra	52	Private	3.6	G	G	G	12.2	6.1	100	0	N	L	Preserve	N	TPF
104	104	Austrian Pine	Finus nigra	22	Private	1.8	G	G	G	12.2	9.1	100	0	N	L	Preserve	N	TPF
105	105	Austrian Pine	Pinus rigra	22	Private	1.8	G	G	G	12.2	9.1	100	0	y.	L	hiure	Υ	Hand-dig or hydro-vac to excavate parking lot
		000000000000000000000000000000000000000		1200	525000000	10000	1000	1883	1000	888-83		22-23			1000	COMMENT.	327	edge, arboristroot pruring. TPF.
105	106	Austrian Pine	Pinus rigra	20	Private	1.5	G	G	G	12.2	6.1	100	0	N	L	Preserve	N	TPF
107	107	Colorado Blue Spruce	Picea pungens	31	Private	2.4	G	G	G	15.2	9.1	100	0	- K	Н	Remove	Y	
108	108	Haney Locust	Gledisia triacanthos	16	Private	1.5	G	G	ß	6.1	9.1	100	0	· Y	H	Remove	Y	
109	109	Haney Loaust	Gleditsia triacanthos	16	Private	1.5	G	G	G	6.1	9.1	100	0	Y	H	Remove	Y	
110	110	Haney Locust	Gleditsia triacanthos	14	Private	1.5	G	G	G	6.1	9.1	100	0	Y	H	Remove	Y	
111	111	Haney Loaust Haney Loaust	Gleditsia triacaninos Gleditsia triacaninos	15	Private Private	1.5	G	G F	G	6.1	9.1	100	30	Y	H	Remove	Y	One dead branch.
113	113	Honey Locust	Gleditsia triacanthos	26	Private	1.8	G	F	F	9.1	9.1	100	0	Y	H	Remove	Y	Abnormal root flare growth.
114	114	Cdgrado Bue Spruce	Picea purgens	20	Neighbour	1.5	G	F	F	15.2	9.1	70	30	N	L	Preserve	N	Estimated DBH needles missing TPF.
115	115	Common buddhom	Rhamnus carthartica	10	Neighbour	1.5	G	G	G	3	9.1	100	0	34	L	Preserve	N	Estimated DBH, TFF.
116	116	Common budshom	Rhamnus carthartica	10	Neighbour	1.5	G	G	G	3	9.1	100	0	N	Ł	Preserve	N	Estimated DBH, TPF.
117	117	Maritoba mapile	Acer regundo	10	Neighbour	1.5	G	G	(3	3	9.1	100	0	N	L	Preserve	N	Estimated DBH.TPF.
118	118	Eastern White cedar	Thuja occidentalis	10	Neighbour	1.5	G	G	G	6.1	9.1	100	0	N	1L	Preserve	N	Estimated DBH, 2 stem hedgerow (5-10 cm
119	119	Cherry	Prunus species	11	Nelohbour	1.5	G	G	G	9.1	9.1	100	0		L	Preserve	N	DBH) Estimated DBH
120	120	Cdgrado Bue Spruge	Picea purgens	11	Neighbour Neighbour	1.5	G	G	G	9.1	9.1	100	0	N	L	Preserve	N N	Estimated DBH
121	121	Honey Locust	Gledisia triacantios	12	Neighbour	1.5	G	G	G	6.1	9.1	100	0	N M	L	Preserve	N	Estimated DBH, TPF.
122	122	Honey Locust	Gleditsia triacanthos	30	Neighbour	1.8	G	G	G	12.2	9.1	100	0	N	L	Preserve	N N	Estimated DBH, TPF.
123	123	Cherry	Prunus species	20	Neighbour	1.5	G	G	G	12.2	9.1	100	0	74 74	L	Preserve	N	Estimated DBH, TPF.
124	124	Colorado Blue Spruce	Picea purgens	22	Neighbour	1.8	G	G	G	15.2	9.1	100	0	N	L	Preserve	N	Estimated DBH
125	125	Cdigrado Bue Spruce	Picea purgens	22	Neighbour	1.8	G	G	G	15.2	9.1	100	0	N	(L	Preserve	N	Estimated DBH
126	126	Colorado Bue Spruce	Picea purgens	25	Neighbaur	1.8	G	G	G	15.2	9.1	100	0	N	L	Preserve	N	Estimated DBH
127	127	Haney Loaust	Gleditsia triacanthos	12	Private	1.5	P	P	P	6.1	9.1	80	40	Y	Н	Remove	Y	Dieback in top of crown
128	128	Willow	Sallx species	32	Private	2.4	G	G	G	9.1	9.1	100	0	Y	Н	Remove	Y	
129	129	William	Sallx species	29	Private	1.8	G	F	F	9.1	9.1	100	0	Y	H	Remove	Υ	Multistem (18, 23), missing leaves, trunk wound
130	130	Haney Loaust	Gleditsia triacanthos	32	Private	2.4	G	G	G	12.2	9.1	100	0	Y	н	Remove	Y	
131	131	Honey Locust	Gleditsia triacanthos	36	Private	2.4	G	G	G	12.2	9.1	100	0	Y	н	Remove	Y	
132	132	Haney Loaust	Gleditala triacanthos	36	Private	2.4	G	G	G	12.2	9.1	100	0	Y	н	Remove	Y	
133	133	Honey Locust	Gleditsia triacanthos	25	Private	1.8	G	G	G	12.2	9.1	100	0	Y	Н	Remove	Y	
134	134	Haney Locust	Gleditsia triacanthos	30	Private	1.8	G	G	G	12.2	9.1	100	0	Y	H	Remove	Υ	
135	135	Haney Loaust	Gleditsla triacanthos	26	Private	1.8	G	G	G	12.2	9.1	100	0	Y	Н	Remove	Y	
136	136	Haney Loaust	Gleditsia triacanthos	39	Private	2.4	G	G	G	12.2	9.1	100	0	Y	£	hjure	Y	Hand digging for new pathways, arborist root
137	137	English oak	Quercus robur	41	Private	3.0	G	G	G	18.3	9.1	100	0		L	Preserve	N	pruring TPF. TPF
138	138	Poar Foar	Pyrus sp	17	Private	1.5	F	F	F	15.2	9.1	70	30	Y	L	hiure	Y	Multistem (17, 8), one stem dead. TPF.
	10000		4-5		T HARRY OF W	100/100		100				1	V		-			Multistem (11, 8, 10). Hand digging for new
139	139	Pear	Pyrus sp	11	Private	1.5	Е	F	F	15.2	9.1	70	30	Y	L	hjure	Y	pathways, arborist root pruning. TPF.
140	140	English cak	Quercus robur	43	Private	3.0	G	G	G	18.3	9.1	100	0	Y	L	Preserve	N	Hand digging for new pathways, arborist root pruring. TPF.
141	141	Norway magie	Acer platanoides	23	Private	1.8	G	G	G	12.2	9.1	100	0	Y	Н	Remove	Y	point irr.
142	142	Colorado Bue Spruce	Picea purgens	22	Private	1.8	F	F	F	15.2	9.1	70	30	Y	Н	Remove	Y	Missing leaves.
143	143	Colorado Bue Spruce	Picea purgens	25	Private	1.8	G	G	G	15.2	9.1	100	0	Y	Н	Remove	Y	
144	144	Norway magie	Acer platanoides	23	Private	1.8	F	u.	u,	12.2	9.1	70	30	N	L	Remove	Υ	Missing leaves, trunk damage.
145	145	Sugar Maple	Acer saccharum	25	Private	1.8	G	G	G	12.2	9.1	100	0	Y	H	Remove	Y	
145	146	Sugar Maple	Acer saccharum	21	Private	1.8	G	G	G	12.2	9.1	100	0	Y	Н	Remove	Υ	
147	147	Sugar Maple	Acer saccharum	17	Private	1.5	G	G	G	12.2	9.1	100	0	Y	Н	Remove	Υ	
148	148	Sugar Maple	Acer saccharum	28	Private	1.8	G	G	G	12.2	9.1	100	0	Y	H	Remove	Υ	
149	149	Lifac species	Syringa species	13	Private	1.8	G	G	G	12.2	9.1	100	0	Y	H	Remove	Y	Multistam (13, 9, 9, 10)
151	151	Lifac species	Syringa species Syringa species	16	Private Private	1.5	G	G	G	12.2	9.1	100	0	Y	Н	Remove	Y	Multistern (14, 8)
152	152	Pear	Pyrus species	20	Private	1.5	G	G	G	9.1	9.1	100	0	Y	Н	Remove	Y	Estimated DBH
153	153	Whitepine	Phus strobus	22	Private	1.8	G	G	G	12.2	9.1	70	30	Y	н	Remove	Y	Missing needles
154	154	Freeman maple	Acer x Freemani	10	Private	1.5	G	G	G	9.1	9.1	100	0	Y	н	Remove	Y	and the said
155	155	Cherry	Prunus species	20	Private	1.5	G	G	G	9.1	9.1	100	0	N	L	Remove	Y	Estimated DBH
195	156	Crabappie	Malus sylvestris	13	Private	1.5	G	G	G	9.1	9.1	100	0	N	L	Preserve	N	Estimated DBH, Multistem (10, 3, 8), TPF.
157	157	Crabappie	Makis sylvestris	16	Private	1.5	G	G	G	9.1	9.1	100	0	N	L	Preserve	N	Estimated DBH, Multistem (10, 8, 10), TPF.
153	158	Pear	Pyrus species	17	Private	1.5	G	G	G	9.1	9.1	100	0	N	L	Remove	Υ	Multistem (14, 10)
199	159	Crabappie	Malus sylvestris	26	Private	1.8	G	G	G	9.1	9.1	100	0	¥	H	Remove	Y	
160	160	Juniper	Juniperus species	11	Private	1.5	G	G	G	9.1	9.1	100	0	Y	Н	Remove	Y	Estimated DBH Hard display for your mitigate authorist most
161	161	Colorado Bue Spruce	Picea purgens	32	Private	2.4	G	G	G	15.2	9.1	100	0	Y	M	hjure	Y	Hand digging for new pathways, arborist root pruning, TPF.
162	162	White spruce	Picea glauca	18	Private	1.5	F	F	F	15.2	9.1	70	30	Y	M	Remove	Y	
163	163	Colorado Blue Spruce	Picea purgens	27	Private	1.8	F	F	F	15.2	9.1	70	30	Y	M	Remove	Υ	
164	164	Honey Locust	Gleditsia Macaninos	25	Neighbour	1.8	G	G	G	12.2	9.1	100	0	N	L	Preserve	N	Estimated DBH
1岳	165	Haney Loaust	Gledisia triacanthos	25	Neighbour	1.8	G	F	F	12.2	9.1	70	30	N	L	Preserve	N	Estim ated DBH, missing leaves
166	166	Honey Locust	Gleditsia triacanthos	25	Neighbour	1.8	G	G	G	12.2	9.1	100	0	N	L	Preserve	N	Estimated DBH
167	167	Honey Locust	Gledisia triacaninos	25	Neighbaur	1.8	G	F	F	12.2	9.1	70	30	N	L	Preserve	N	Estimated DBH, missing loaves
168	168	Haney Loaust White mulberry	Gleditsia triacanthos Morus alba	25 15	Neighbour Neighbour	1.8	G	G	G	12.2 6.1	9.1	100	0	N M	L L	Preserve	N	Estimated DBH Estimated DBH
170	170	Honey Locust	Gleditsia triacanthos	25	Neighbour	1.8	G	G	G	12.2	9.1	100	0	N M	L	Preserve	N	Estimated DBH
171	171	Colorado Bue Spruce	Picea purgens	10	Neighbour	1.5	G	G	G	9.1	9.1	100	0	N N	L	Preserve	N	Estimated DBH
172	172	Honey Locust	Gleditsia triacanthos	25	Neighbour	1.8	G	G	G	12.2	9.1	100	0	N N	L	Preserve	N	Estimated DBH
173	173	Honey Locust	Gleditsia triacanthos	30	Neighbour	1.8	P	Р	P	12.2	9.1	90	50	N	L	Preserve	N	Estimated DBH, half of tree without leaves
		110																Multistem (14, 17); hand-dig or hydro-vec to
174	174	Austrian Pine	Finus rigra	22	Private	1.8	G	G	G	9.1	9.1	100	0	Y	L	hjure	Y	excavate parking lot edge, arborist root pruning.
175	175	Austrian Pine	Pinus rigre	23	Private	1.8	G	G	G	12.2	9.1	100	0	N	L	Preserve	N	TPF.
176	176	Uttleleaf linden	Tille cordate	44	Private	3.0	G	G	G	12.2	9.1	100	0	N N	L	Preserve	N	TPF
177	177	Lilat species	Syringa species	10	Private	1.5	G	G	G	6.1	9.1	100	0	Y	Н	Remove	Y	
178	178	Littleleaf linden	Tilla cordata	34	Private	2.4	G	G	G	12.2	9.1	100	0	Y	н	Remove	Y	
179	179	Littleleaf linden	Tilla cordata	28	Private	1.8	G	F	F	12.2	9.1	70	30	Y	Н	Remove	Υ	Mssingleaves.
180	180	Littleleaf linden	Tilla cordata	32	Private	2.4	G	G	G	12.2	9.1	100	0	Y	Н	Remove	Y	
																		•

NOTES: Tree locations not surveyed, locations are field measured by the arborist. Work location estimated from clients provided site plan.

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PLAN KEY



TREE RECOMMENDED FOR REMOVAL



RETAINED TREE



CONIFEROUS TREE FOR REMOVAL



RETAINED CONIFEROUS TREE



REPLACEMENT TREE RETAINED HEDGEROW



HEDGEROW FOR REMOVAL



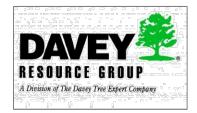
TREE PROTECTION FENCE



TREE PROTECTION ZONE



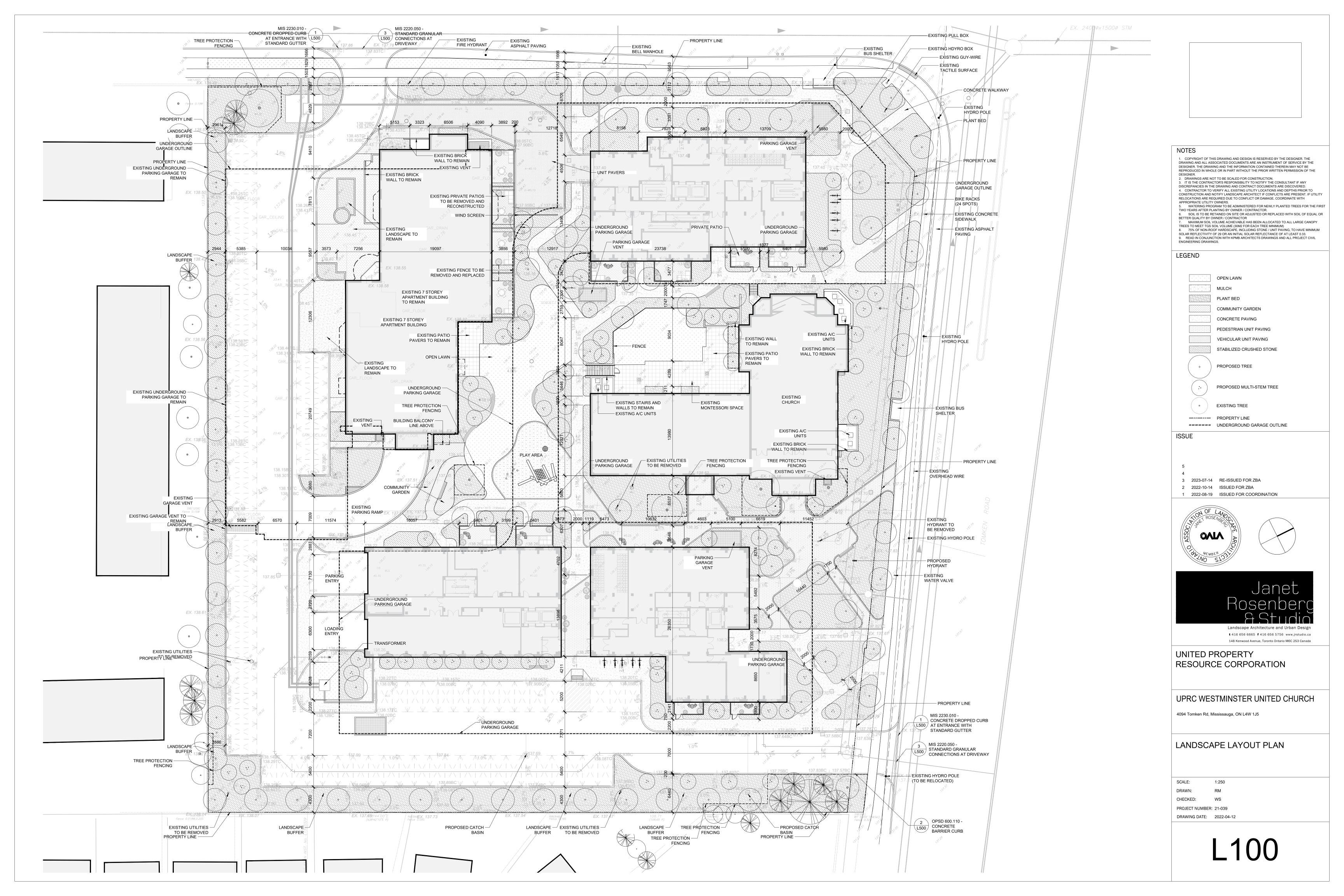
No.	DATE	BY	REVISIONS
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5	10/17/2023	AW	Revisions
6	08/08/2023	AW	Revisions

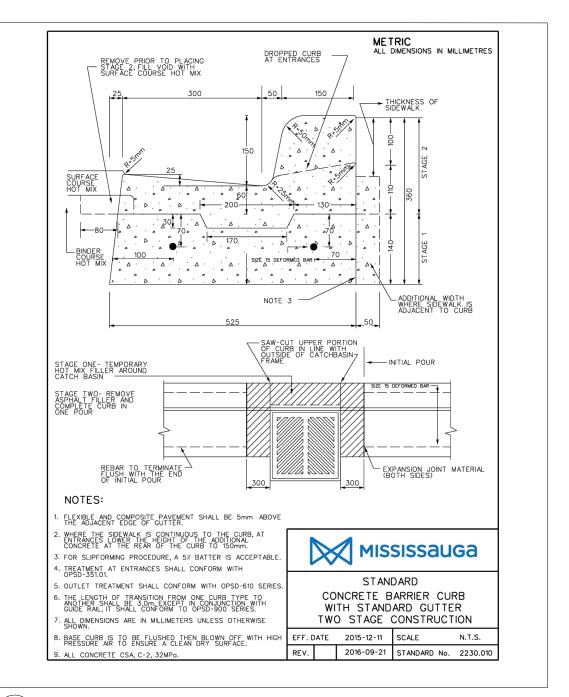


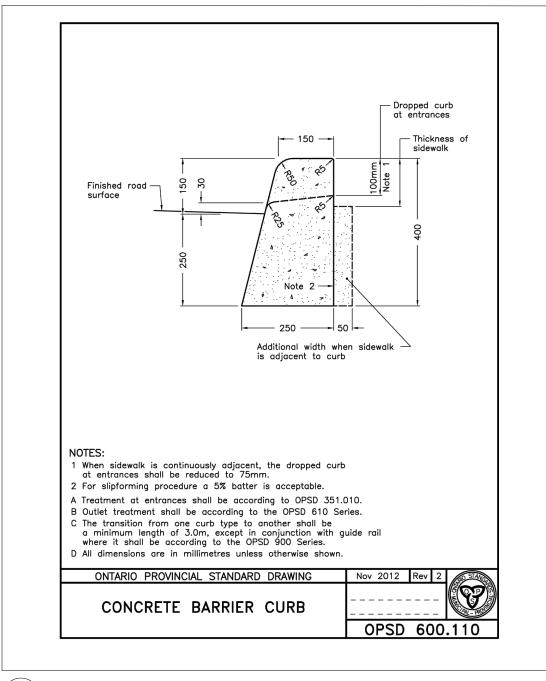
Pre-Construction Assessment 4094 Tomken Rd, Mississauga, ON L4W 4H5

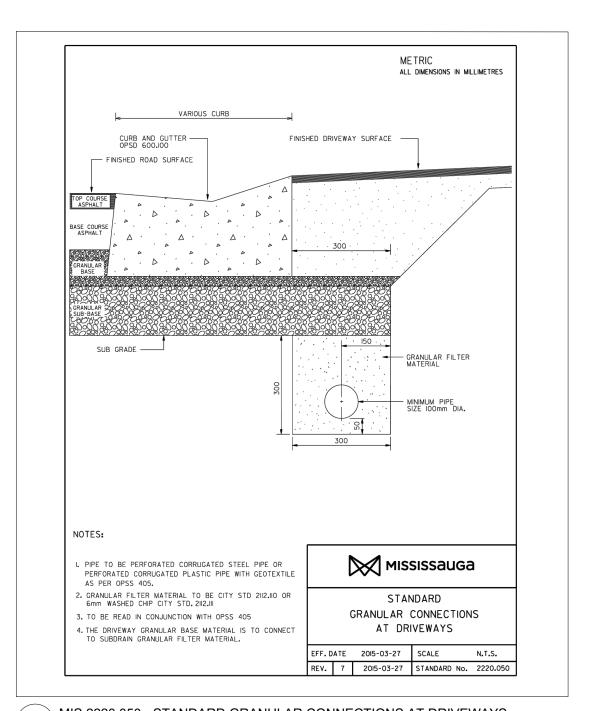
Carly Forrester

DRAWING NO.:	001	1:600
JOB NO.:		SHEET: 2 of 3





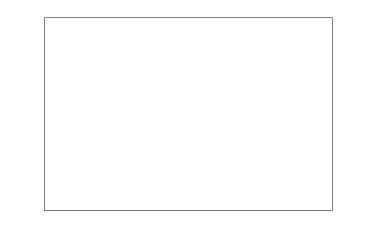




MIS 2230.010 - CONCRETE BARRIER & DROPPED CURB WITH STANDARD GUTTER SCALE: NTS

OPSD 600.110 - CONCRETE BARRIER CURB SCALE: NTS

MIS 2220.050 - STANDARD GRANULAR CONNECTIONS AT DRIVEWAYS SCALE: NTS



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- DESIGNER.

 2. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION.

 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CONSULTANT IF ANY DISCREPANCIES IN THE DRAWING AND CONTRACT DOCUMENTS ARE DISCOVERED.

 4. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT IF CONFLICTS ARE PRESENT. IF UTILITY RELOCATIONS ARE REQUIRED DUE TO CONFLICT OR DAMAGE, COORDINATE WITH APPROPRIATE UTILITY OWNERS.

 5. WATERING PROGRAM TO BE ADMINISTERED FOR NEWLY PLANTED TREES FOR THE FIRST TWO YEARS AFTER PLANTING BY OWNER / CONTRACTOR.

 6. SOIL IS TO BE RETAINED ON SITE OR ADJUSTED OR REPLACED WITH SOIL OF EQUAL OR BETTER QUALITY BY OWNER / CONTRACTOR

 7. MAXIMUM SOIL VOLUME ACHIEVABLE HAS BEEN ALLOCATED TO ALL LARGE CANOPY TREES TO MEET TGS SOIL VOLUME (30M2 FOR EACH TREE MINIMUM)

 8. 75% OF NON-ROOF HARDSCAPE, INCLUDING STONE / UNIT PAVING, TO HAVE MINIMUM SOLAR REFLECTIVITY OF 29 OR AN INITIAL SOLAR REFLECTANCE OF AT LEAST 0.33.

 9. READ IN CONJUNCTION WITH KPMB ARCHITECTS DRAWINGS AND ALL PROJECT CIVIL ENGINEERING DRAWINGS. ENGINEERING DRAWINGS.

LEGEND

ISSUE

2 2023-07-14 RE-ISSUED FOR ZBA

1 2022-10-14 ISSUED FOR ZBA





UNITED PROPERTY RESOURCE CORPORATION

UPRC WESTMINSTER UNITED CHURCH

4094 Tomken Rd, Mississauga, ON L4W 1J5

LANDSCAPE DETAILS

SCALE: 1:250 CHECKED: PROJECT NUMBER: 21-039 DRAWING DATE: 2022-04-12