

NOTES: Tree locations not surveyed, locations are field measured by the arborist. Work location estimated from clients provided site plan.

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- All field data have been recorded by Adam Mohamed ISA Certified Arborist® ON-2333A. All tree locations are based on the survey supplied by the client and field observation by the arborist.
- This plan shall be used in conjunction with the Tree Protection Action Key (TPAK). Specific information regarding tree species, condition, and protection protocols are listed therein.
- Refer to the Arborist Report prepared for this project for specific instruction regarding tree protection requirements.

**PLAN KEY**

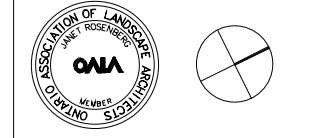
- TREE RECOMMENDED FOR REMOVAL
- RETAINED TREE
- CONIFEROUS TREE FOR REMOVAL
- RETAINED CONIFEROUS TREE
- REPLACEMENT TREE
- RETAINED HEDGEROW
- HEDGEROW FOR REMOVAL
- TREE PROTECTION FENCE
- TREE PROTECTION ZONE

- NOTES**
- COPYRIGHT OF THIS DRAWING AND DESIGN IS RESERVED BY THE DESIGNER. THE DRAWING AND ALL ASSOCIATED DOCUMENTS ARE AN INSTRUMENT OF SERVICE BY THE DESIGNER. THE DRAWING AND THE INFORMATION CONTAINED THEREIN MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN PERMISSION OF THE DESIGNER.
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  - CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT IF CONFLICTS ARE PRESENT. IF UTILITY RELOCATIONS ARE REQUIRED DUE TO CONFLICT OR DAMAGE, COORDINATE WITH APPROPRIATE UTILITY OWNERS.
  - WATERING PROGRAM TO BE ADMINISTERED FOR NEWLY PLANTED TREES FOR THE FIRST TWO YEARS AFTER PLANTING BY OWNER/CONTRACTOR.
  - SOIL IS TO BE RETAINED ON SITE OR ADJUSTED OR REPLACED WITH SOIL OF EQUAL OR BETTER QUALITY BY OWNER/CONTRACTOR.
  - MAXIMUM SOIL VOLUME AVAILABLE HAS BEEN ALLOCATED TO ALL LARGE CANOPY TREES TO MEET THE SOIL VOLUME INDEX FOR EACH TREE MINIMUM.
  - % OF NON-ROOF HEDGEROW, INCLUDING STONE/LEAF PAVING, TO HAVE MINIMUM SOLAR REFLECTIVITY OF 20 OR AN INITIAL SOLAR REFLECTANCE OF AT LEAST 0.35.
  - READ IN CONJUNCTION WITH KPMB ARCHITECTS DRAWINGS AND ALL PROJECT CIVIL ENGINEERING DRAWINGS.

- LEGEND**
- EXISTING TREE TO BE REMOVED (PERMIT REQUIRED)
  - EXISTING TREE (UNDERSIZED - NO PERMIT REQUIRED)
  - EXISTING DECIDUOUS TREE
  - EXISTING CONIFEROUS TREE
  - TREE PROTECTION ZONE FENCING
  - PROPERTY LINE
  - UNDERGROUND GARAGE OUTLINE

**ISSUE**

5			
4			
3	2023-07-14	RE-ISSUED FOR ZBA	
2	2022-10-14	ISSUED FOR ZBA	
1	2022-08-19	ISSUED FOR COORDINATION	



UNITED PROPERTY RESOURCE CORPORATION

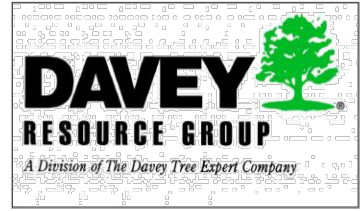
UPRC WESTMINSTER UNITED CHURCH

TREE PRESERVATION PLAN

SCALE: 1:250  
 DRAWN: RM  
 CHECKED: WS  
 PROJECT NUMBER: 039  
 DRAWING DATE: 2022-04-12

**L001**

No.	DATE	BY	REVISIONS
1	06/24/2022	JS	Initial Tree Inventory
2	08/22/2022	JS	Final Site Plan
3	08/22/2023	JB	Corrections
4	10/14/2022	JS	Updates
5	08/04/2023	AW	Revisions
6	08/08/2023	AW	Revisions

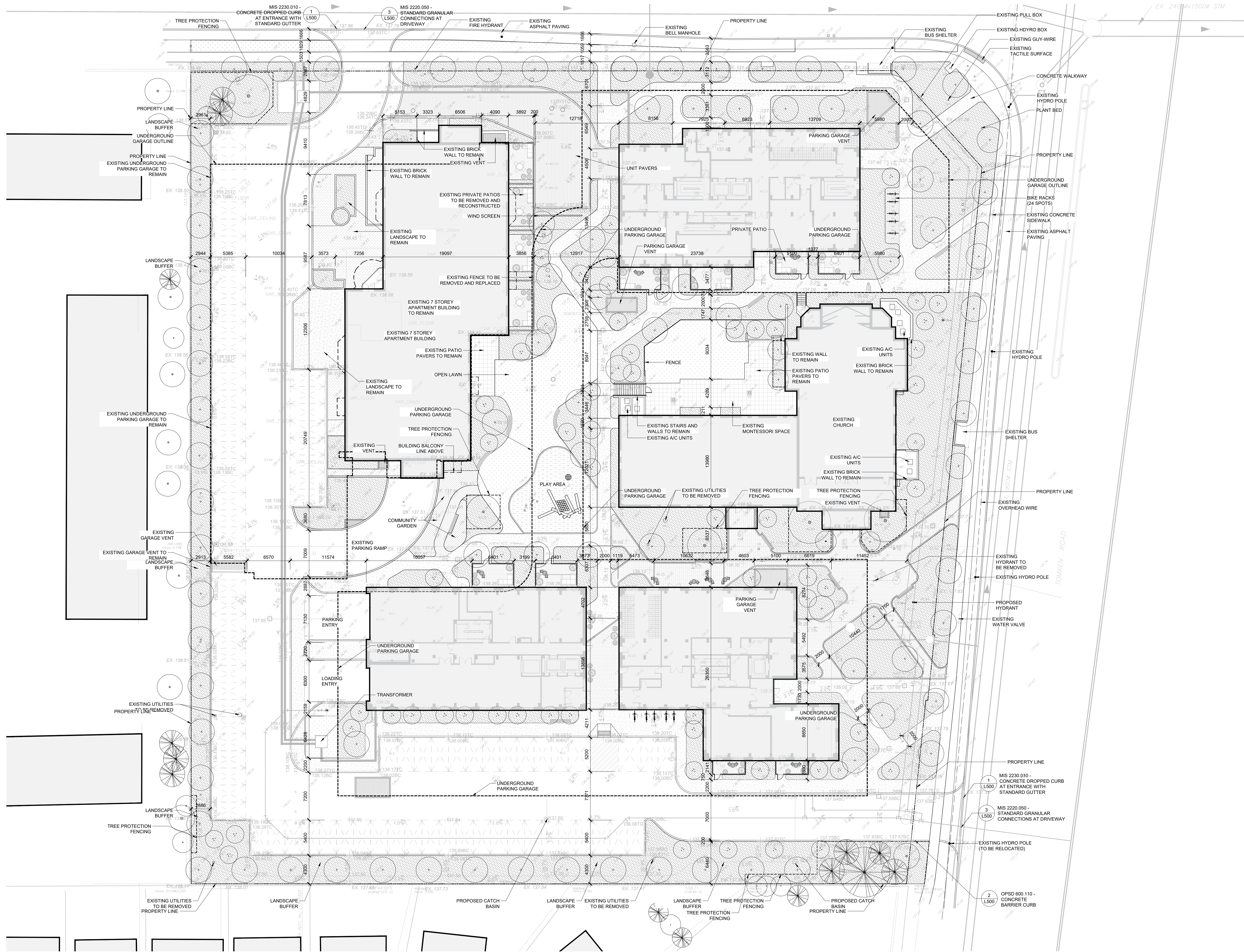


TITLE:  
**Pre-Construction Assessment**  
 4094 Tomken Rd, Mississauga, ON  
 L4W 4H5

CLIENT:  
**Carly Forrester**

DRAWING NO.:	001	SCALE:	1:600
JOB NO.:		SHEET:	1 of 3





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  5. WATERING PROGRAM TO BE ADMINISTERED FOR NEWLY PLANTED TREES FOR THE FIRST TWO YEARS AFTER PLANTING BY OWNER/CONTRACTOR.
  6. SOIL IS TO BE RETAINED ON SITE OR ADJUSTED OR REPLACED WITH SOIL OF EQUAL OR BETTER QUALITY BY OWNER/CONTRACTOR.
  7. MAXIMUM SOIL VOLUME ACHIEVABLE HAS BEEN ALLOCATED TO ALL LARGE CANOPY TREES TO MEET TGS SOIL VOLUME (BM3 FOR EACH TREE MINIMUM).
  8. 7% OF NON-ROOF HARDSCAPE, INCLUDING STONE UNIT PAVING, TO HAVE MINIMUM SOLAR REFLECTIVITY OF 29 OR AN INITIAL SOLAR REFLECTANCE OF AT LEAST 0.33.
  9. READ IN CONJUNCTION WITH KPMB ARCHITECTS DRAWINGS AND ALL PROJECT CIVIL ENGINEERING DRAWINGS.

- LEGEND**
- OPEN LAWN
  - MULCH
  - PLANT BED
  - COMMUNITY GARDEN
  - CONCRETE PAVING
  - PEDESTRIAN UNIT PAVING
  - VEHICULAR UNIT PAVING
  - STABILIZED CRUSHED STONE
  - PROPOSED TREE
  - PROPOSED MULTI-STEM TREE
  - EXISTING TREE
  - PROPERTY LINE
  - UNDERGROUND GARAGE OUTLINE

- ISSUE**
- |   |                                    |
|---|------------------------------------|
| 5 |                                    |
| 4 |                                    |
| 3 | 2023-07-14 RE-ISSUED FOR ZBA       |
| 2 | 2022-10-14 ISSUED FOR ZBA          |
| 1 | 2022-08-19 ISSUED FOR COORDINATION |

ASSOCIATION OF LANDSCAPE ARCHITECTS ONTARIO  
**JANET ROSENBERG**  
**JANET ROSENBERG & STUDIO**  
 Landscape Architecture and Urban Design  
 416 656 6665 | 416 656 5736 www.jrstudio.ca  
 148 Kenwood Avenue, Toronto Ontario M6C 2S3 Canada

**UNITED PROPERTY RESOURCE CORPORATION**

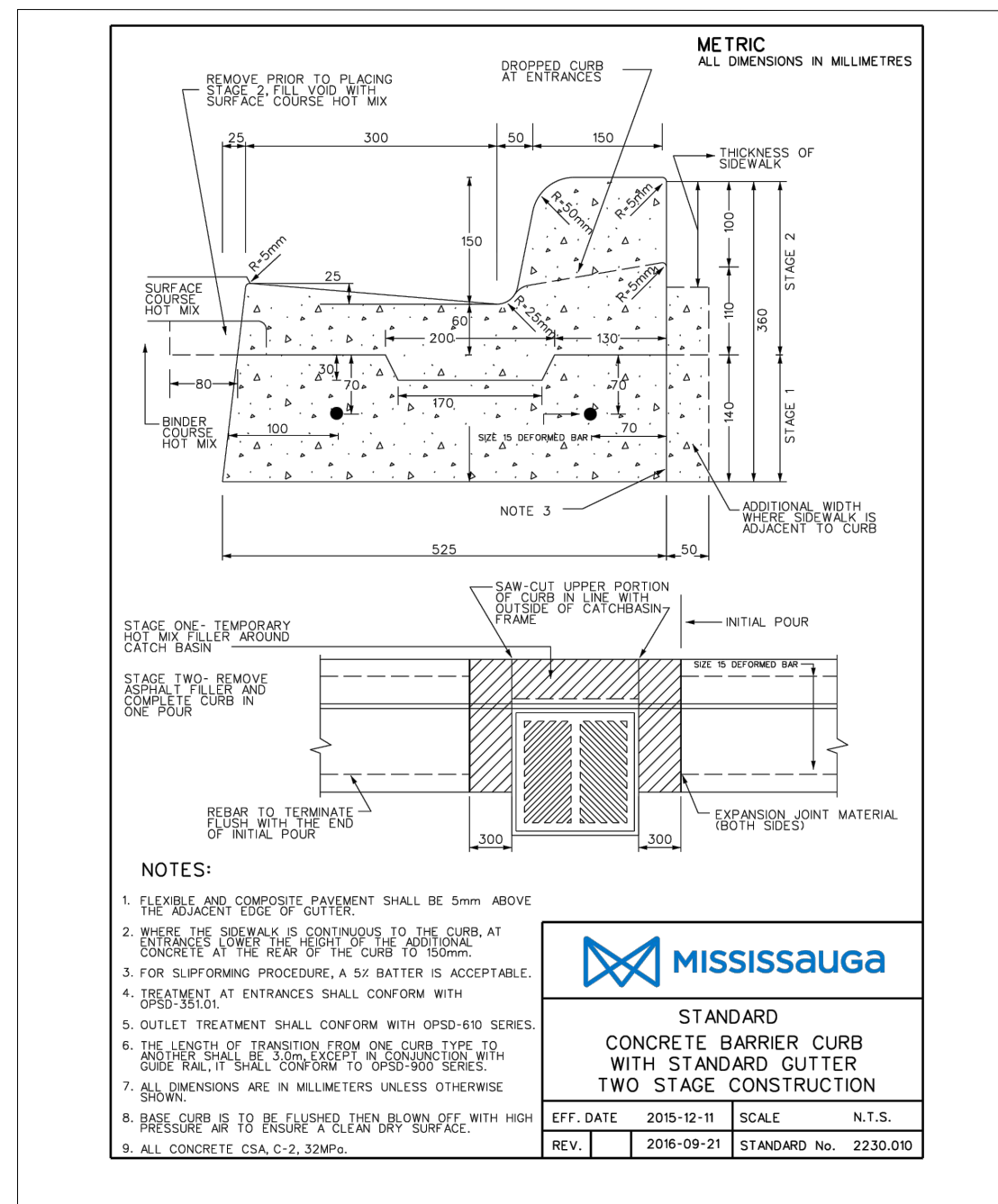
**UPRC WESTMINSTER UNITED CHURCH**

4094 Tomken Rd, Mississauga, ON L4W 1J5

**LANDSCAPE LAYOUT PLAN**

SCALE: 1:250  
 DRAWN: RM  
 CHECKED: WS  
 PROJECT NUMBER: 21-039  
 DRAWING DATE: 2022-04-12

**L100**



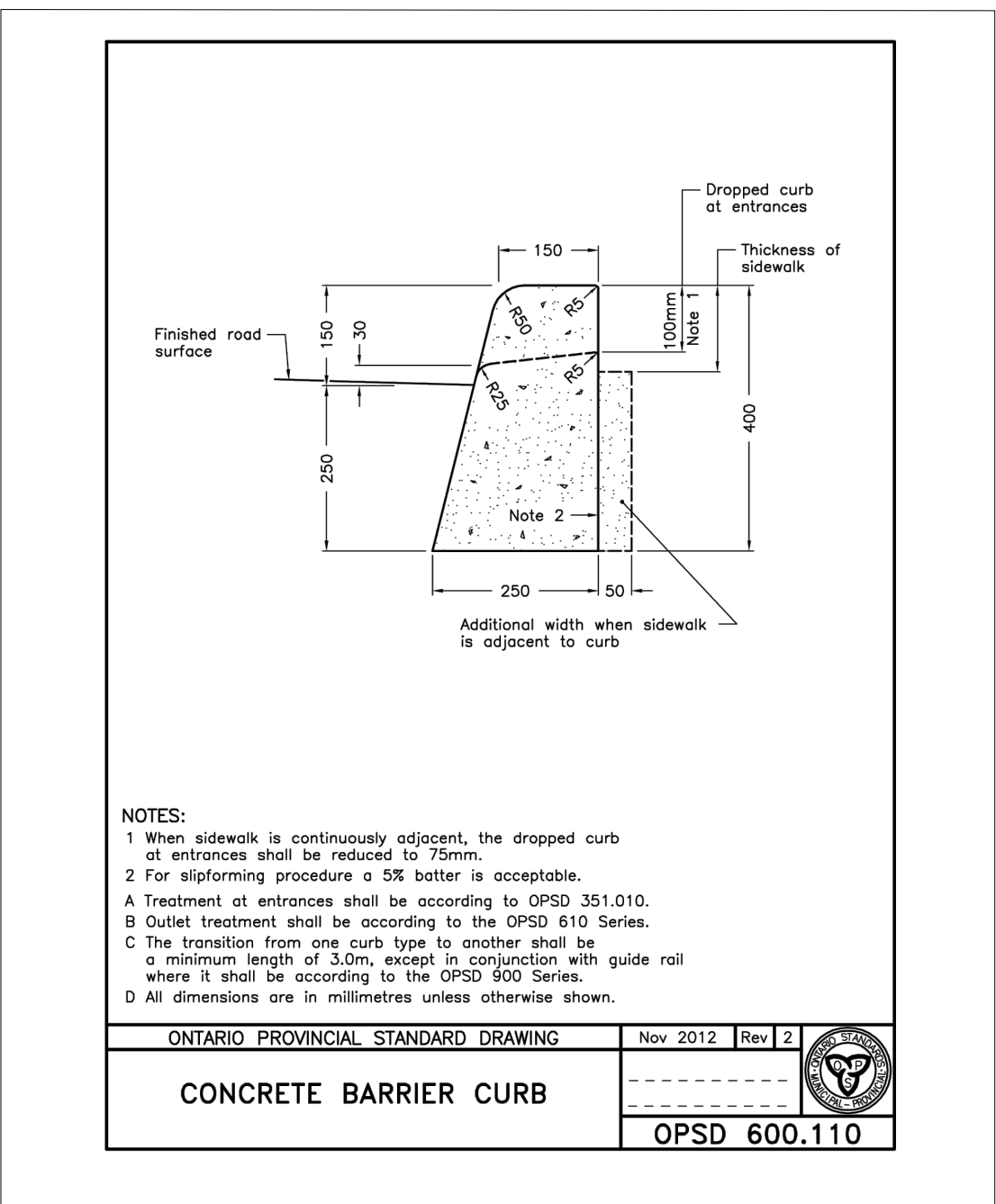
- NOTES:**
1. THE CURB AND GUTTER FINISH SHALL BE 5mm ABOVE FINISHED DRIVEWAY SURFACE.
  2. REMOVE THE CURB AND GUTTER AT THE END OF THE DRIVEWAY AND AT THE END OF THE CURB TO 50mm.
  3. FOR SLIPFORMING PROCEDURE, A 5% BATTER IS ACCEPTABLE.
  4. GUTTER TREATMENT SHALL CONFORM WITH OPSD 810 SERIES.
  5. GUTTER AT ENTRANCES SHALL CONFORM WITH OPSD 810 SERIES.
  6. THE LENGTH OF TRANSITION FROM ONE CURB TYPE TO ANOTHER SHALL BE A MINIMUM LENGTH OF 3.0m, EXCEPT IN CONJUNCTION WITH GUIDE RAILS WHERE IT SHALL BE ACCORDING TO THE OPSD 900 SERIES.
  7. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
  8. REINFORCEMENT SHALL BE PLACED WITH HIGH PRESSURE AIR TO ENSURE A CLEAN DRY SURFACE.
  9. ALL CONCRETE CQA C.3.13M9.

**MISSISSAUGA**

STANDARD  
CONCRETE BARRIER CURB  
WITH STANDARD GUTTER  
TWO STAGE CONSTRUCTION

EFF. DATE 2015-12-11 SCALE N.T.S.  
REV. 1 2016-09-21 STANDARD No. 2230.010

1 MIS 2230.010 - CONCRETE BARRIER & DROPPED CURB WITH STANDARD GUTTER  
SCALE: NTS



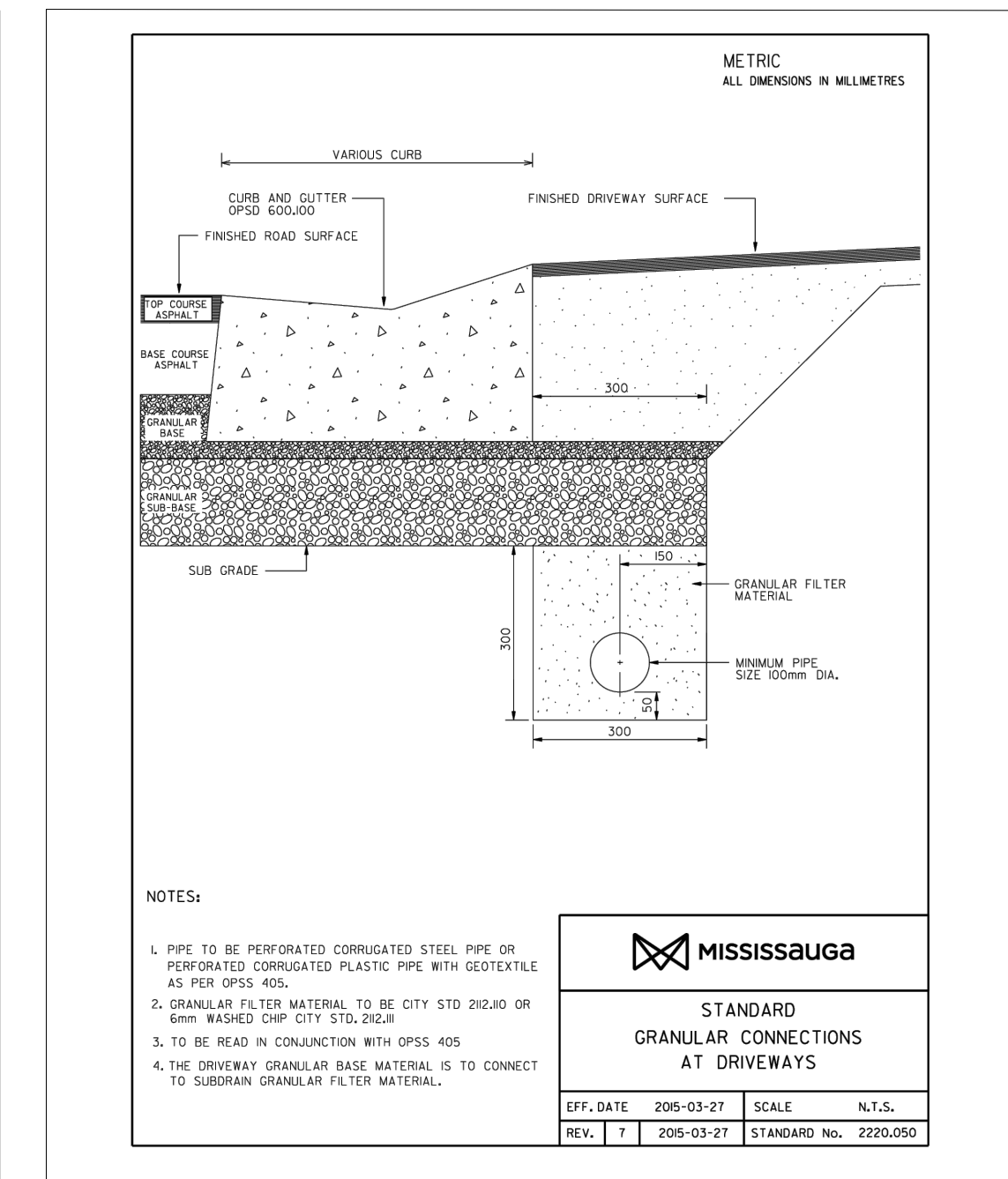
- NOTES:**
1. When sidewalk is continuously adjacent, the dropped curb at entrances shall be reduced to 75mm.
  2. For slipforming procedure a 5% batter is acceptable.
  - A. Treatment of entrances shall be according to OPSD 351.010.
  - B. Outlet treatment shall be according to the OPSD 810 Series.
  - C. The transition from one curb type to another shall be a minimum length of 3.0m, except in conjunction with guide rail where it shall be according to the OPSD 900 Series.
  - D. All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2012 Rev 2

CONCRETE BARRIER CURB

OPSD 600.110

2 OPSD 600.110 - CONCRETE BARRIER CURB  
SCALE: NTS



- NOTES:**
1. PPE TO BE PERFORATED CORRUGATED STEEL PPE OR PERFORATED CORRUGATED PLASTIC PPE WITH GEOTEXILE AS PER OPSD 405.
  2. GRANULAR FILTER MATERIAL TO BE CITY STD 20/40 OR 6mm WASHED CH# CITY STD 20/20.
  3. TO BE READ IN CONJUNCTION WITH OPSD 405.
  4. THE DRIVEWAY GRANULAR BASE MATERIAL IS TO CONNECT TO SUBDRAIN GRANULAR FILTER MATERIAL.

**MISSISSAUGA**

STANDARD  
GRANULAR CONNECTIONS  
AT DRIVEWAYS

EFF. DATE 2016-03-27 SCALE N.T.S.  
REV. 1 2016-03-27 STANDARD No. 2220.050

3 MIS 2220.050 - STANDARD GRANULAR CONNECTIONS AT DRIVEWAYS  
SCALE: NTS



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**LEGEND**

- ISSUE**
- |   |                              |
|---|------------------------------|
| 5 |                              |
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| 3 |                              |
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MEMBER

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148 Kenwood Avenue, Toronto Ontario M6C 2S3 Canada

**UNITED PROPERTY RESOURCE CORPORATION**

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4094 Tomken Rd, Mississauga, ON L4W 1J5

**LANDSCAPE DETAILS**

SCALE: 1:250  
DRAWN: RM  
CHECKED: WS  
PROJECT NUMBER: 21-039  
DRAWING DATE: 2022-04-12

**L500**