THE ADJACENT PROPERTIES.

4. ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED FROM MEW BY THE APPLICANT.

5. AT THE ENTRANCES TO THE SITE, MUNICIPAL SIDEWALK AND CURBS WILL BE CONTINUOUS THROUGH THE DRIVEWAY, THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING OR FUTURE SIDEWALK AND CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.

6. CN SITE WASTE COLLECTION IS TO BE ARRANGED THROUGH A PRIVATE CONTRACTOR.

7. THE PORTIONS OF THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARDS IS TO BE PAVED

7. THE PORTIONS OF THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARDS IS 10 BE PAVED BY THE APPLICANT.

8. DRIVEWAYS ON THE MUNICIPAL RIGHT—OF—WAY SHALL BE PAVED BY THE APPLICANT.

9. FIRE AND EMERGENCY SERVICES ACCESS ROUTES SHALL BE DESIGNATED AS PER BY—LAW10.36—81, AS AMENDED, PRIOR TO OCCUPANCY OF THE BUILDING, ALL FIRE AND EMERGENCY SERVICES ACCESS ROUTES SHALL BE CONSTRUCTED OF HARD SURFACE MATERIAL SUCH AS ASPHALT, CONCRETE OR LOCKSTONE AND DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11,363 kg PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN

10. THE TOPS OF ANY CURBS BORDERING DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

11. PARKING SPACES RESERVED FOR PEOPLE WITH DISABILITIES MUST BE IDENTIFIED BY A

SIGN INSTALLED AT THE APPLICANT'S EXPENSE, IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS OF SCHEDULE 2 & 3 OF BY-LAW 10-2016, 12. GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND

WITHIN THE SITE.

13. ALL DAMAGED AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE

TO, ALL BAMAGED AREAS ARE TO BE REINSTATED WITH TURSUIL AND SOUL PRIOR TO THE RELEASE OF SECURITIES,

14. SIGNAGE SHOWN ON THE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY, ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF SIGN BY-LAWCO54-2002, AS AMENDED, AND A SEPARATE SIGN APPLICATION MILL BE REQUIRED THROUGH THE BUILDING DISTRIBUTION.

15. ALL SIGNAGE IS SUBJECT TO FURTHER REVIEW AND APPROVALS BY THE PLANNING AND BUILDING DEPARTMENT WHICH MAY INCLUDE A STAFF REVIEW THROUGH THE SIGN PERMIT PROCESS.

16. THE APPLICANT WILL BE RESPONSIBLE FOR ENSURING THAT ALL PLANS CONFORM TO

TRANSPORT CANADA'S RESTRICTION. 17 THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING IS

MAINTAINED THROUGHOUT ALL PHASE OF DEMOLITION AND CONSTRUCTION, IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS

MATERIALS WITHIN THE HOARDING WILL BE THE CAUSE FOR THE TREE PRESERVATION LETTER OF CREDIT' TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS.

(BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED FOR THE STORAGE OF

18. PLEASE BE ADMSED THAT THE DETAILED GRADING FOR THIS APPLICATION WILL BE FINALIZED AND APPROVED BY THE DEVELOPMENT SECTION OF THE TRANSPORTATION AND WORKS DEPARTMENT AS A REDUIREMENT FOR THE ISSUANCE OF A BUILDING PERMIT.

19. THE APPLICANT SHALL ERE RESPONSIBLE FOR THE COST OF AN UTILITY RELOCATIONS

THE APPLICANT SHALL BE RESPONSIBLE FOR THE COST OF AN OFFICE AND THE SITE PLAN.

20. THE STRUCTURAL DESIGN OF AN RETAINING WALL OVER 0.6m IN HEIGHT OR AN RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND TO BE APPROVED BY THE CONSULTING FIGINISER FOR THE PROJECT.

21. SITE GRADING PLAN AND SITE SERVICING PLAN ARE TO BE ASSOCIATED WITH THE SITE

22. I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER 23. ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS: a) FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL CURBING: IS TO STOP AT THE PROPERTY LIMIT OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE, OR) FOR ALL DTHER PROPOSALS INCLUDING INDUSTRIAL, COMMERCIAL AND CONDOMINUM DEVELOPMENTS, ALL ENTRANCES TO

THE SITE ARE TO BE IN ACCOMPANCE WITH 0.P.S.D. 350,010,
24. PRIOR TO ANY CONSTRUCTION TAKING PLACE, STRUCTURALLY CERTIFIED OVERHEAD

24. PRIOR TO ANY CONSTRUCTION IANG PLACE, SHULC URALLY CERTIFIED OVERHEAD
HOARDING WITHIN THE RIGHT-OF-WAY AS SHOWN ON THE SITE PLAN (AS APPLICABLE),
HOARDING ADJACENT TO EASTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY, AND
ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND
SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE EFECTED AND
MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

25. IF THE FINAL COURSE OF ASPHALT PAVING IS DELAYED, INSTALL A TEMPORARY LIFT OF
ASPHALT AT RAMPS OR CURB CUTS TO BARRIER-FREE ACCESS.

26. ANY FENCING ADJACENT TO MUNICIPAL LANDS IS TO BE LOCATED 15cm (6.0in.) INSIDE HE PROPERTY LINE. 27. WE AGREE TO UMPLEMENT THE APPROVED SITE AND LANDSCAPED PLANS WITHIN 18 MONTHS AFTER THE EXECUTION OF THE SITE PLAN UNDERTAKING AND WILL RETAIN THE LANDSCAPE ARCHITECT TO MAKE PERIODIC INSPECTIONS. UPON COMPLETION OF THE WORKS WE WILL FORWARD TO THE CITY OF MISSISSAUGAA COPY OF THE COMPLETION CERTIFICATE FROM THE LANDSCAPE ARCHITECT AND THE APPLICABLE APPLICATION FEE THE LANDSCAPE ARCHITECT AND OR CONSULTING ENGINEER WILL ALSO PROVIDE CERTIFICATION TO INDICATE

ARCHITECT AND OR CONSULTING ENGINEER WILL ALSO PROVIDE CERTIFICATION TO INDICATE THAT THE BIOSWALE IN PARKING LOT, SWALE WITH OVERLAND FLOW AND RAINWATER HARVESTING SYSTEMS HAVE BEEN INSTALLED IN ACCIRDANCE WITH THE APPROVED SITE PLAN DRAWINGS. ANY REVISIONS TO THE SITE AND LANDSCAPE PLANS WILL BE SUBMITTED TO THE PLANNING AND BUILDING DEPARTMENT, CITY OF MISSISSAUCA FOR REVIEW AND APPROVAL. PRIOR TO THE COMMENCEMENT OF WORKS. WE HEREBY AUTHORIZE THE CITY, ITS AUTHORIZED ACENTS, SERVANTS OR EMPLOYEES TO ENTER UPON OUR LAND TO CARRY OUT INSPECTIONS FROM TIME TO TIME AND AGREE TO INDEMNIFY THE CITY, ITS AUTHORIZED AGENTS, SERVANTS OR EMPLOYEES TO ENTER UPON OUR LAND TO CARRY OUT INSPECTION FROM TIME TO TIME

AND AGREE TO INDEMNIFY THE CITYITS AUTHORIZED AGENTS AND SAVE THEM HARMLESS FROM ANY AND ALL ACTIONS ARISING CUT OF THE EXCERSISE BY THE CITY, ITS AUTHORIZED AGENTS, SERVANTS OR EMPLOYEES OF THE RIGHTS HEREBY GIVEN THEM. WE UNDERTAKE TO

development and design construction hoarding

SOLID HOARDING DETAIL

ONARDING DETALS TO BE DETERMINED FOLLORING INITIAL SITE INSPECTION.
HOBBOOMS TO BE APPROVED BY DEVELORMENT AND DESIGN.
HOBBOOMS TO BE APPROVED BY DEVELORMENT AND DESIGN.
HISTORIC TION, DATHL. APPROVAL TO REMOVE HOBBOOMS OF SOFTAINED FROM DEVELOPMENT AND DESIGN.
DO NOT ALLOR MATER TO COLLECT AND PORM DEIGHD ON STITUM HOBBOOMS.
"HOBB SUPPORTS FOR SOLU HOBBOOMS WILL ONLY DE ALLORED WITH PRE APPROVAL FROM DEVELOPMENT AND DESIGN.
SOSPCHEMBOAND MILL NOT DE ACCEPTED FOR SOLU HORSONS.

curb ramp at mid-block crossing

refer also to ontario provincial standards for roads and public works (opsd)

Detectable

warning surface

accessible parking sign requirement

300 mm min. x 450 mm min.

Post

6

BY PERMIT

ONLY*

International Symbol of Access:

One in Each Accessible Parking

100 mm X 100 mm Pressure Treated Wood or 75

20 mm Red Reflective Circular

15 mm Red Reflective Stroke

hite Reflective Background

White Reflective Symbol and

KROMAR SURVEYORS LTD.

FILE NAME: 14-137 BT01

HISTORY SURVEYORS LID, 1137 CENTRE STREET,THORNHILL,ON, L4J3MG PHONE; 905,738.00:53 FAX: 905.738.9221 WWW.KRCMAR.CA

and Border

Black Legend

MISSISSAUGA
Development and Design

ACCESSIBLE PARKING BY-LAW # 10-2016

Disabilities Act, and be located

Sign Face:

white background

0.064 mm gauge aluminum sign blan

Maximum Fine

\$5000.00

remarkent post, pillar, or other suitable surface, conforming to the requirements or agulations made under the Highway Traffic Act and the Accessibility for Ontanans with

At a height of 1200 mm (47 in) from the ground/floor surface to the bottom edge of

If mounted on a post, the post shall be colour contrasted with the background

For parallel parking located toward the end of the parking space, on the opposite side from the access aisle.

Each Type 'A' Parking Space shall have two (2) 150 mm x 300 mm (6 inches x 11 ½ inches) signs, on the same sign postwall mount and located immediately below the sign described in sections 9 and 11, with the words "Van Accessible" followed undermeath with "Maximum Fine \$5,000.00", as illustrated in Schedule "C" of Accessible Parking Bylaw 10-2018.

Each Type 'B' Parking Space shall have a 190 mm x 300 mm (6 inches x 11 % inches) sign, on the same sign post/wall mount and located immediately below the sign described in sections 9 and 11, with the words "Maximum Fine \$5,000.00", as illustrated in Schedule "C" of Accessible Parking By-law 10-2016.

Secure the sign face to a post or wall with two galvanized 12 mm hex, head bolts and nuts with flat washers on both sides.

Black colour font (min. size 25 mm) - White Reflective Background

Accessible

- 4' X 4'WOOD POSTS/T-BAR SUPPORTS. FIRM SECURED WITD UNDSTURBED SUBCRADE 1/2' X 4'X B: PLYWOOD BOARDS SECURED FEMILY TO WOOD POSTS/T-BAR SUPPORTS

2° X 4° TOP AND BOTTOM RAIL

1/

EXISTING GRADE

NOTIFY THE CITY FORTHWITH OF ANY CHANGE OF OWNERSHIP OF THE SAID LANDS.

SIGNED BY PROPERTY OWNER DATE

whole or in part without prior written permission of the designer

These Contract Documents are the property of the architect. The architect bears no responsibility for the interpretation of these documents by the

clarification or supplementary information regarding the intent of the Contrac Documents. The architect will review Shop Drawings submitted by the

Drawings are not to be scaled for construction. Contractor to verify all existing

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the

architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the architect.

These drawings are not to be used for construction unless noted below as

All work to be carried out in conformance with the Code and bylaws of the

The Designer of these plans and specifications gives no warranty or representation to any parly about the constructability of the represented by

them, all contractors or subcontractors must satisfy themselves when bidding

and at all times that they can properly construct the work represented by these

"Issued for Construction"

notes:

12. issued for rezoning

10. issued for rezoning

7. issued for rezoning

revisions:

mark zwicker

ernesto sosa

melina m. andretto

9. issued for client review

8. issued for client review

6. issued for client review

5. issued for client review

4. pre-submission meeting

3. issued for client review

2. issued for client review

1. pre-submission meeting

architectural team:

11. issued for SPA

conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the architect before

06.25.15 +

electrical: mechanical:

landscape: MBTW Group site services: urbantech consulting

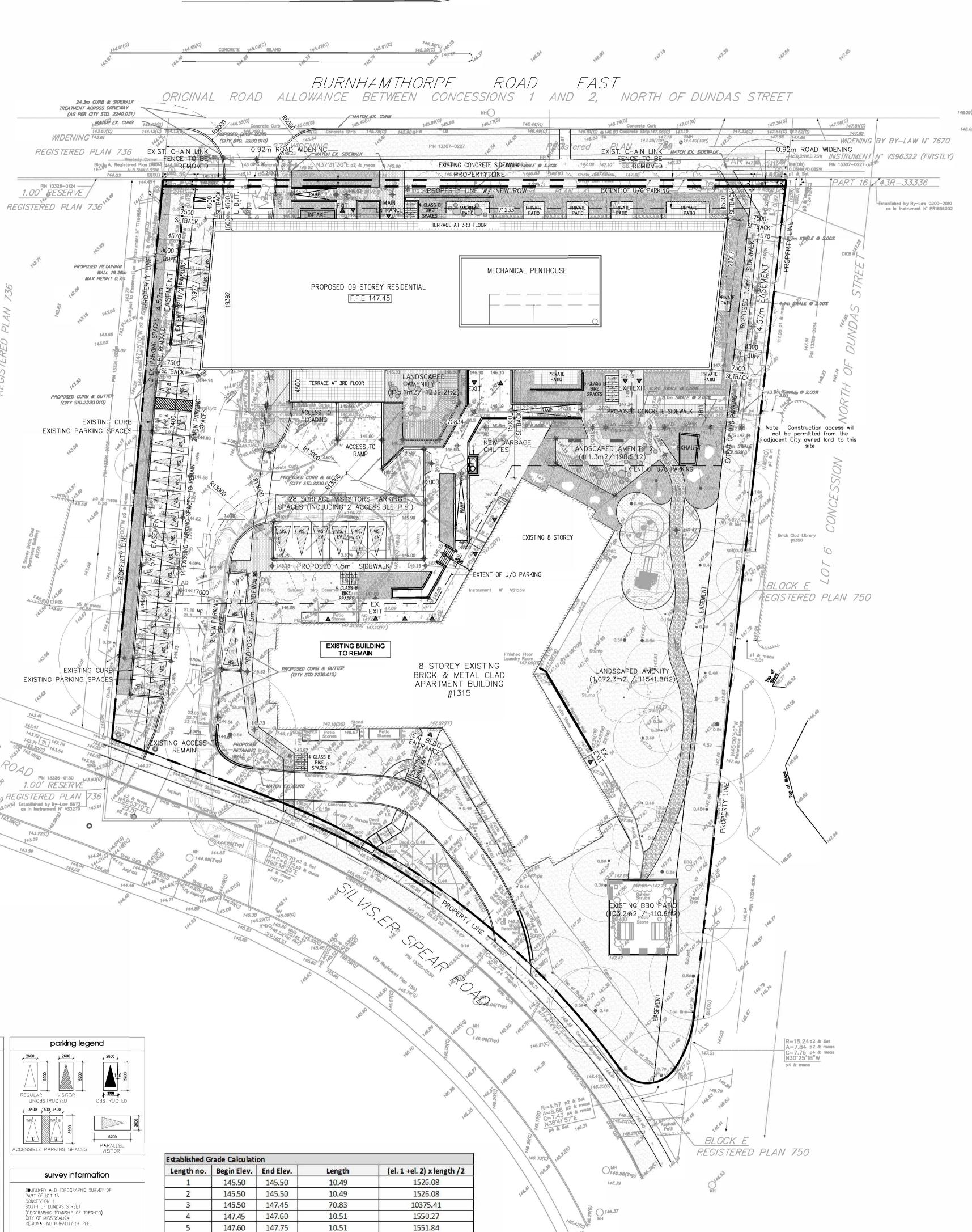
1315 Silver Spear Road

site plan, statistics & general notes

nov. 10, 2023

1:300 14-40

mma - es



145.50

Total:

71.23

184.06

26974.21 / 184.06

10444.54

26974.21

146.5503908

147.75

context plan TYNEGROVE ROAD C5-16 BURNHAMTHORPE ROAD EAST OS3-4-RA2-40 RA2-4 C2-17 H-RA4-42 RM4 statistics

STATISTICS								N●vem	ber 10,2023
1. ZONING				RA24					
2. GROSS SITE AREA			8,404.51 m2 90,465.		465.31 ft2		2.0	8 ACR	
2. NET SITE AREA (DEVELOPABLE AREA)			8,325.02	m2	89,609.68 ft 2			2.0	6 ACR
3. SETBACKS			PERMITTED		PR	PROPOSED:			
			FRONT: 9.50 m) m	FRONT (PROPOSED)		4.50 m	
		REAR (0 - 13m)	7.50 m		R.E	EAR (FROM EXISTING	i	
			REAR (1	3 - 20m)	10.00 m			BUILDING)	15.00 m
			REAR (2)	0 -26m)	12.50) m	SIDE		
				SIDE	7.50) m			7.50 m
4. GROSS FLOOR AREA		PER	MITTED	12,487.53 m2			134,414.52 ft2		
			E	XISTING	9,056.00 m2		!		97,477.88 ft2
			PR	OPOSED	11.,258.20 m2			121,182.14 ft2	
				TOTAL	20,314.20 m2			218,660.02 ft2	
5. GROUND FLOOR AREA			E	XISTING	1,134.00 m2				12,206.26 ft2
			PR	OPOSED:	1,297.50 m 2				13,966.16 ft2
				TOTAL	2,431.50 rn2			26,172.42 ft2	
6. BUILDING DENSITY			PER	MITTED	1		1.50	FSI (GFA / SA)	
			E	XISTING	1.08 FSI (GFA / SA)				
			PR	OPOSED	1.35 FSI (GFA / SA)				
				TOTAL	2.44 FSI (GFA/ SA)				
7. BUILDING COVERAGE			PER	PERMITTED:				N/A	
			E	XISTING				13.6%	
			PR	OPOSED				18.5%	
				TOTAL				29.2%	
8. LANDSCAPED AREA			RE	REQUIRED 3,330,0		330_01 m2			40.0%
			E	XISTING	4,639.20 r		!		55.2%
			PR	OPOSED	5, \$ 93.52 m2		!	70.8%	
					2,737.32 n 3,156.20 n			SOFT HARD	46.4% 53.6%
9. FLOOR AREA :					5,.	130.20 1112		HAND	33.0%
	TOTAL FI	GROSS FLOOR AREA (GFA)							
EXISTING TOTAL	9,056.00 m2	97,477.88 ft2	9,056.00	m2	97,477.88	ft2			
PROPOSED APARTMENTS	TOTAL FLOO	OR AREA (TFA)**	GROSS FLOOR AI		ARFA (GFA)*	ARFA (GFA)*		LEASEABLE FLOOR A	REA (ISA)
P3	2,742.20 m2	29,516.77 ft2	0.00		0.00· ft2		0.0	0.00 ft	
P2	3,562.30 m2	38,344.24 ft2	0.00		0.00			00· m2	0.00 ft2
P1	3,642.30 m2	39,205.35 ft2	0.00 m2		0.00	ft2	0.	00 m2	0.00 ft2
GND	1,297.50 m2	13,966.16 ft2	747.60	ru2	8,047.09	ft2	506.	20 m2	5.448.69 ft2

12,475.36 ft2 8,262.60 m2 \$8,937.\$0 ft2 8,032.20 m2 86,457.80 ft2 7,032.60 m2 75,698.20 ft2 196,60 m2 2,116.18 ft2 0.00 rn2 0.00· ft2 ROPOSED TOTAL 12,324.20 m2 132,656.46 ft2 11,258.20 m2 121,182.14 ft2 9,698.40 m2 104,392.61 ft2 21.380.20 m2 230.134.33 ft2 20.314.20 m2 218.660.02 ft2

PROPOSED: ESTABLISHED GRADE = 146.55 8 STOREYS (26.0m) 9 STOREYS (30.0m) 3. REQUIRED REQUIRED PROPOSED: PARKING RATES PER UNIT (93) = VISITOR. 0.2 PER UNIT(179) TOTAL EXISTING VISITOR PARKING 1 TO TAL PROPOSED APARTMENT VISITOR PARKING RESIDENTIAL D.9 PER UNIT (179) = STUDIO 1.0 PER UNIT (0) = PER UNIT (9) = 10 TOTAL REQUIRED PROPOSED APARTMENT RESIDENTIAL PARKING 16 2B 1.4 PER UNIT (77) = 104 3B 1.5 PER UNIT (7) =

TOTAL EXISTING RESIDENTIAL PARKING 124 REQUIRED EXISTING TOTAL 142 REQUIRED GRAND TOTAL 14. REQUIRED REQUIRED PROPOSED: ACCESSIBLE 2 (4% OF THE VISITOR PARKING SPACES) PARKING RATES REQUIRED GRAND TOTAL

ncludes 1 Type A and 1 Type BAccessible p. spaces) VISITOR TOTAL RESIDENTIAL 1.00 sp/unit (includes 32 EV parking spaces) GRAND TOTAL CLASS B 0.05 PER UNIT(SIKE PARKING RATE CLASSA 0.6 PER UNIT(179) =

CLASS A BIKE PARKING SPACES CLASS A BIKE PARKING SPACES CLASS A BIKE PARKING SPACES 5.6 m2 PER UNIT (272) = 1,523.2 m2 INDOOR AMENITY SPACE = 832.50 m2 10% of the Site Area EXISTING BUILDING GYI MINIMUM AMENITY IN ONE CONTIGUOUS SPACE INDOOR AMENITY 1 INDOOR AMENITY 2 JINIMU'M AMENITY SPACE AT GRADE 55.0 mi2 OUTDOOR AMENITY SPACE EXISTING OUTDOOR BBQ PATK

building including floor area occupied by interior walls but excluding any part of the building used for mechanical floor area, stairwells, elevators, rimptor vehicle marking, bicycle parking, storage lockers, below-grade storage, any enclosed area used for the collection or storage of disposable or ecyclable waste generated within the building, common facilities for the use of the residents of the building, a day care and amenity area.

(1 TYPEA - 1 TYPEB) RESIDENTIAL TOTAL 2 REQUIRED PROPOSED TOTAL 1 CLASS B BIKE PARKING SPACES 40.8 m2 119.3 m2 95.0 m2 255.1 m2

OUTDOOR AMENITY PATIO LANDSCAPED AMENITY SPACE 1

LOADING SPACES 6.0m W x 18.0m D x 6.2m H (SHARED WITH EXISTING BUILDING

12,813.35 ft.2 1,151.90 rn2 12,398.94 ft2 1,000.60 rn2 1,190.40 m2 10,770.36 ft2 1,377 10 m2 14,822.97 ft2 1,326.50 m2 14,278.31 ft 2 1,159.00· m2

15. PARKING SUPPLY & DISTRIBUTION

mississauga, ontario

14.4 m2

111.3 m 2 LANDSCAPED AMENITY SPACE 2 LANDSCAPED AMENITY SPACE 1,072.3 m2 ROOFTOP OUTDOOR AMENITY 1,716.3 m2 1,971.4 m2

115.1 m2