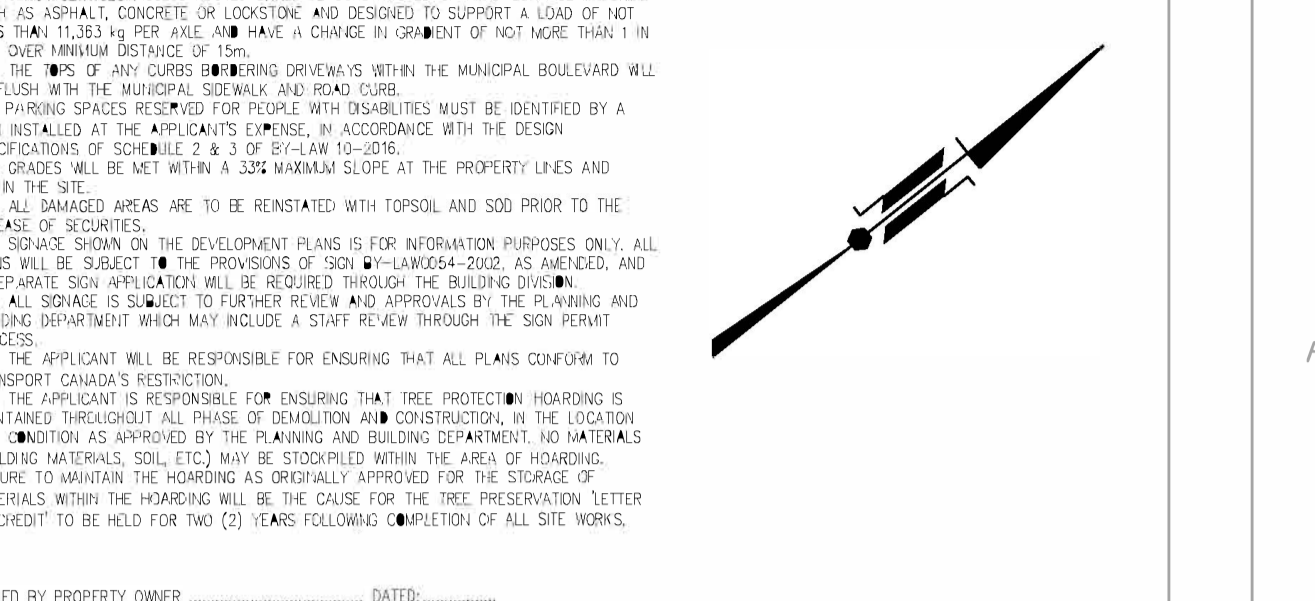


GENERAL NOTES

- 1. ALL SURFACE FINISHES SHALL BE SELF-CONTAINED, COLLECTED AND DISPOSED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A PUBLIC PERMIT.
2. THE CITY OF MISSISSAUGA REQUIRES THAT ALL RECORD DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS A PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT, SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA.

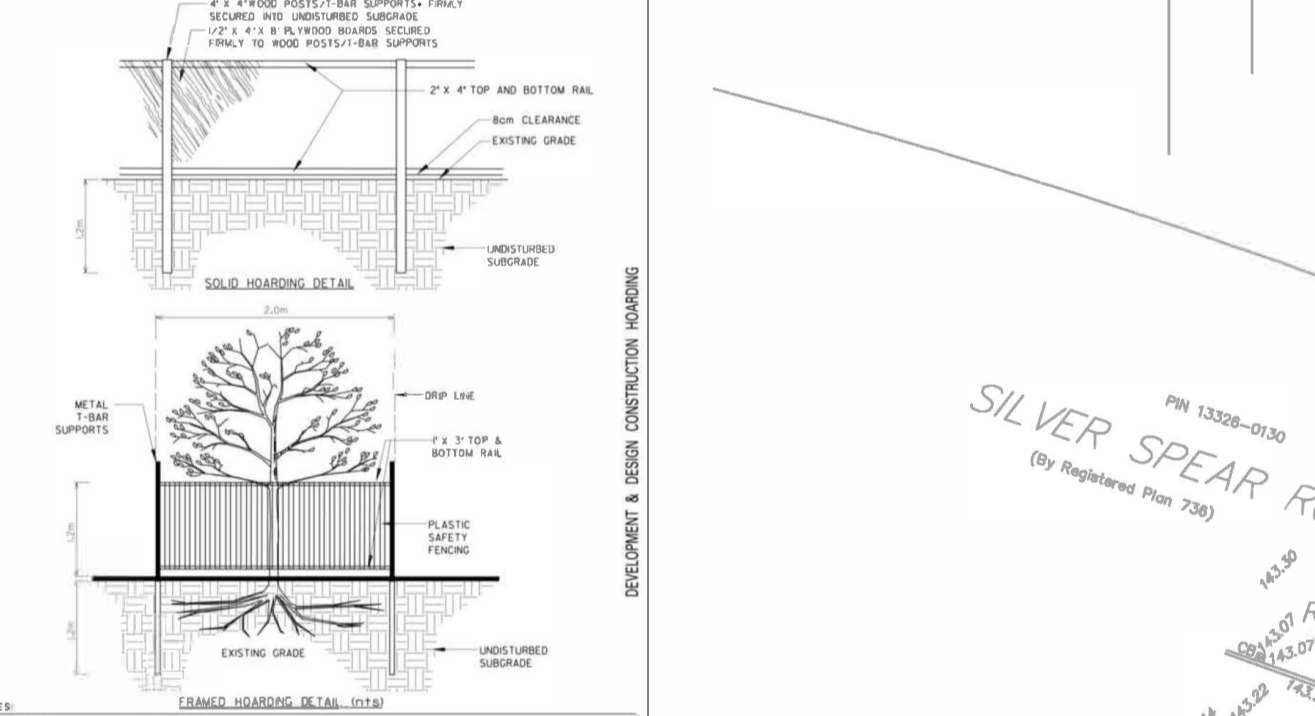


SIGNED BY PROPERTY OWNER DATE: _____

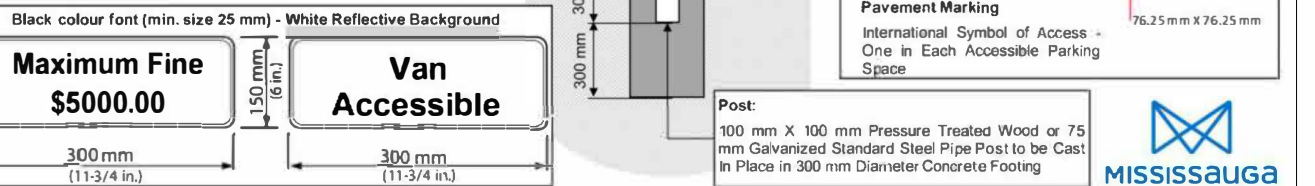
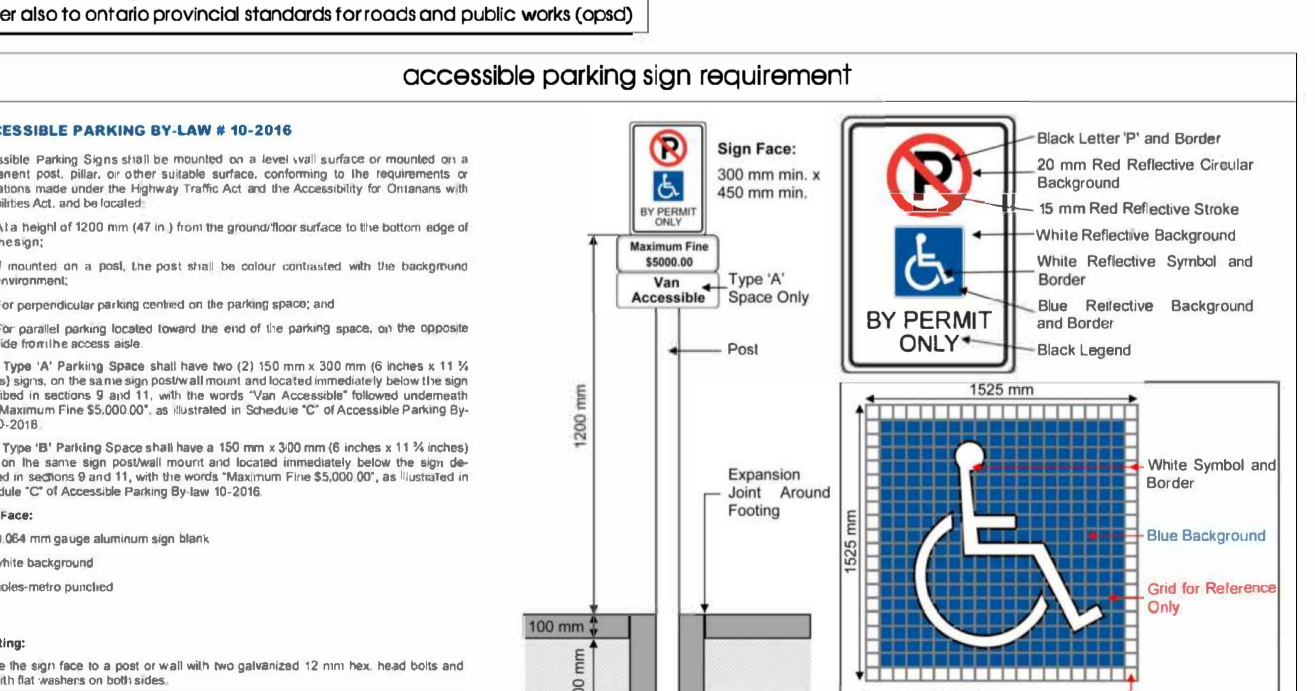
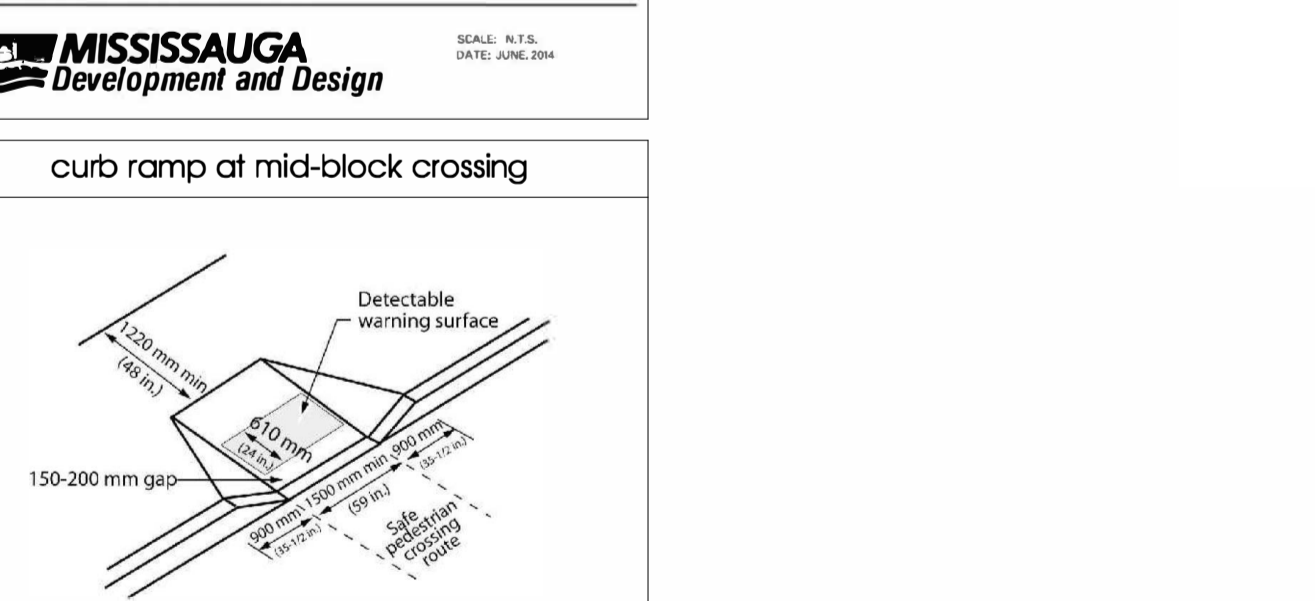
- 18. PLEASE BE ADVISED THAT THE DETAIL GRADING FOR THIS APPLICATION WILL BE PREPARED AND APPROVED BY THE DEVELOPER SECTION OF THE TRANSPORTATION AND WORKS DEPARTMENT AS A REQUIREMENT FOR THE ISSUANCE OF A BUILDING PERMIT.
19. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELAY/ADJUSTMENTS TO THE SITE.
20. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 1M IN HEIGHT OR ANY RETAINING WALL LOCATED AT A PROPERTY LINE TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

SIGNED BY PROPERTY OWNER DATE: _____

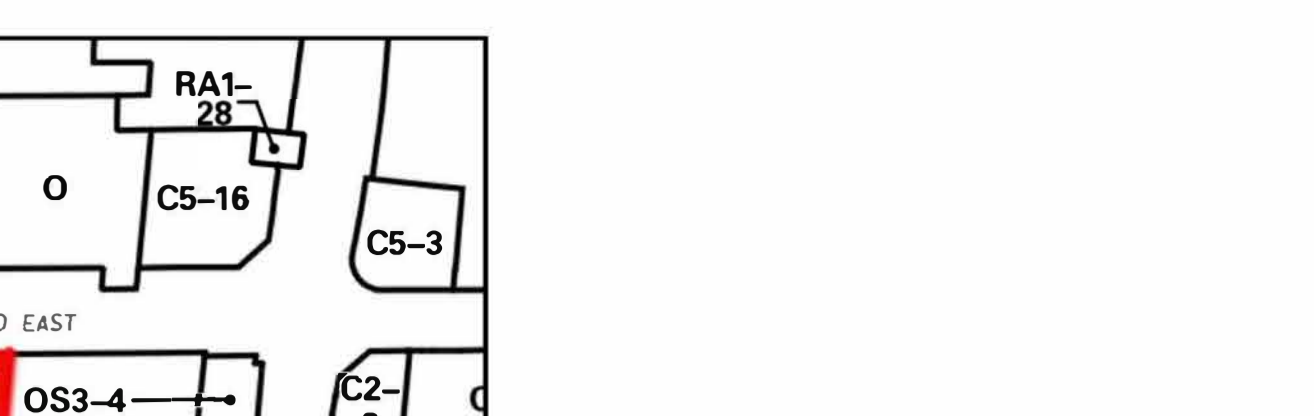
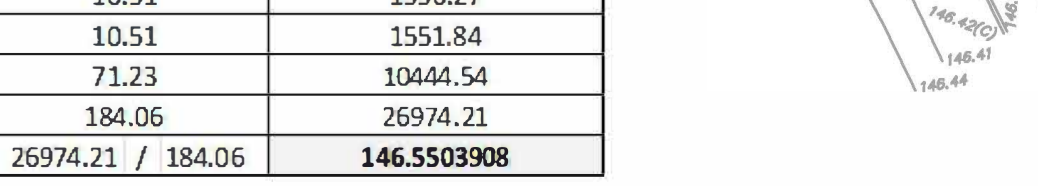
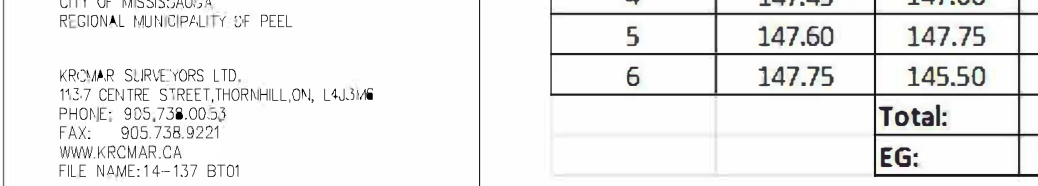
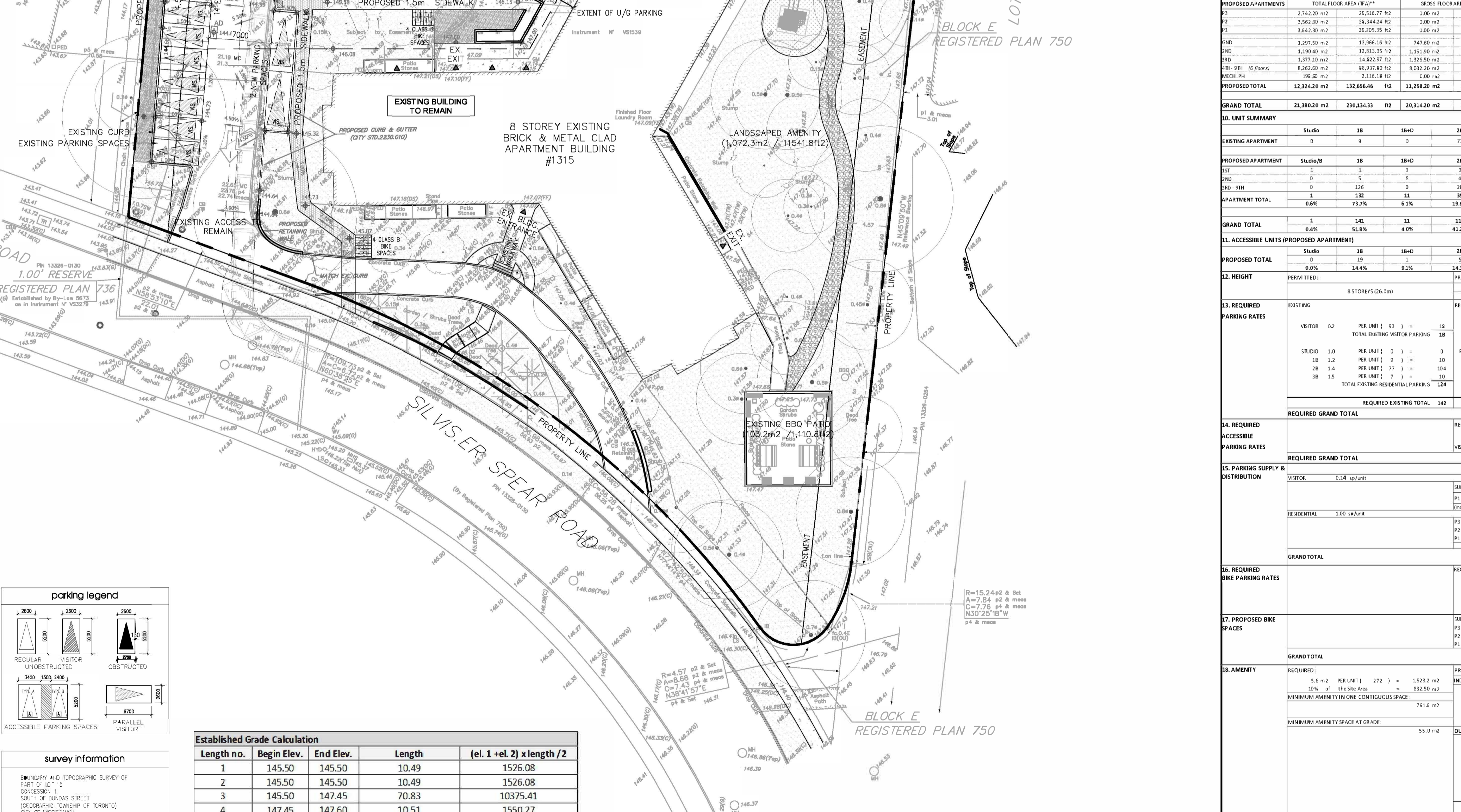
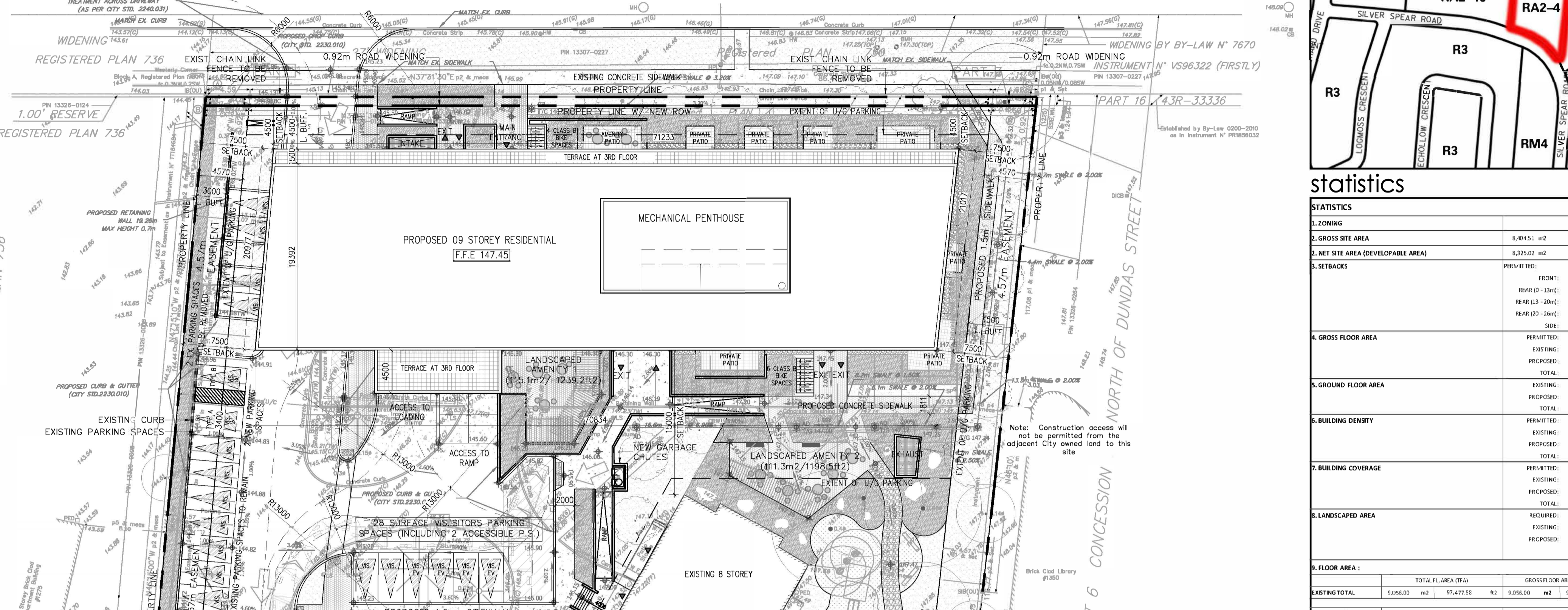
development and design construction hoarding



curb ramp at mid-block crossing



BURNHAMTHORPE ROAD EAST ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 1 AND 2, NORTH OF DUNDAS STREET



STATISTICS table with columns for zoning, gross site area, setbacks, gross floor area, ground floor area, building density, building coverage, landscaped area, and floor area.

- 12. issued for rezoning 11.10.23
11. issued for SPA 11.09.18
10. issued for rezoning 11.09.18

Table with 10 columns (P1-P10) and 3 rows (Studio, 18+0, 28) showing statistics for proposed apartments and floor area.

Table with 10 columns (Studio, 18+0, 28) and 3 rows (Studio, 18+0, 28) showing unit summary and apartment statistics.

Table with 10 columns (Studio, 18+0, 28) and 3 rows (Studio, 18+0, 28) showing height and required parking rates.

Table with 10 columns (Studio, 18+0, 28) and 3 rows (Studio, 18+0, 28) showing required bicycle parking rates and amenity space.

Table with 10 columns (Studio, 18+0, 28) and 3 rows (Studio, 18+0, 28) showing required bicycle parking rates and amenity space.

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These Contract Documents are the property of the architect. The architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions required to perform the work and report any discrepancies in the Contract Documents to the architect before commencing work.

Portions of executed or finished mechanical or electrical devices, fittings, and fixtures are indicated on or attached to drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the architect.

These drawings are not to be used for construction unless related below as 'Issued for Construction'.

All work to be carried out in conformance with the Code and bylaws of the authorities having jurisdiction.

The Designer of these plans and specifications gives no warranty or representation in any way about the drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the architect.

12. issued for rezoning 11.10.23
11. issued for SPA 11.09.18
10. issued for rezoning 11.09.18

9. issued for client review 09.21.18
8. issued for client review 09.12.18
7. issued for rezoning 11.13.17

6. issued for client review 05.11.17
5. issued for client review 10.12.16
4. pre-submission meeting 10.06.16

3. issued for client review 04.04.16
2. issued for client review 06.25.15

architectural team: mark zwicker, melina m. andretto, ernesto rosa

planning: urban strategies inc.
structural:
electrical:
mechanical:

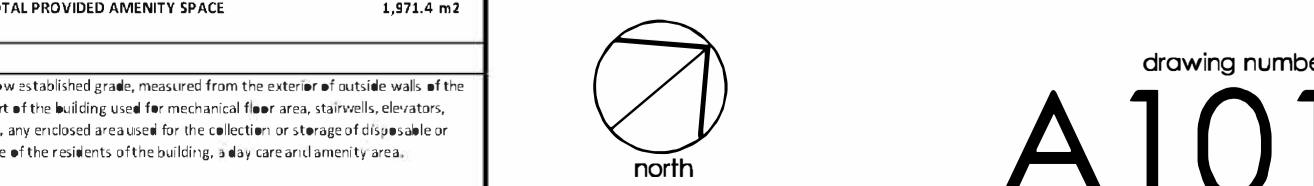
landscape: MBTW Group
site services: urbantech consulting

project: 1315 Silver Spear Road, mississauga, ontario

site plan, statistics & general notes

nov. 10, 2023
1:300
14-40
mma - es

date:
scale:
project:
drawn by:



architecture unfolded | info@unfiled.ca | (416) 601-5416 | mark@ | mack | 219 dufferin street, suite 201b, toronto, on. | drawing number: A101