

A by-law to amend By-law Number 0225-2007, as amended.

WHEREAS pursuant to section 34 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, the council of a local municipality may pass a zoning by-law;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by replacing the table at Article 4.15.3.4, the zoning of Block A, Registered Plan 750 in the City of Mississauga, with the following Exception Table:

0.0.0.0	Exception: RA2-4	Map # <b>XX</b>	By-law:
0.0.0.0.1	The regulations of Lines 5.0 contained in Table 4.15.1 of this By-Law shall not apply.		
0.0.0.0.2	Maximum floor space index – apartment zone		2.44
0.0.0.0.3	Maximum height		30.0 m and 9 storeys
0.0.0.0.4	The regulations of Lines 3.0 contained in Table 3.1.2.1 of this By-Law shall not apply.		
0.0.0.0.5	Minimum number of visitor parking spaces per dwelling unit		0.14
0.0.0.0.6	Minimum front and exterior side yards for that portion of the dwelling with a height greater than 26.0 m		4.5 m
0.0.0.0.7	Minimum interior side yard for that portion of the dwelling with a height greater than 26.0 m		7.5 m
0.0.0.0.8	Maximum encroachment of a balcony located above the first storey, sunroom, window, chimney, pilaster, cornice, balustrade or roof eaves into a required yard		1.8 m
0.0.0.0.9	Maximum encroachment into a required yard of a porch, balcony located on the first storey, staircase, landing or awning, provided that each shall have a maximum width of 6.0 m		2.4 m provided that each shall have a maximum width of 7.0 m

0.0.0.0	Exception: RA2-4	Map # <b>XX</b>	By-law:
0.0.0.0.10	Maximum projection of a balcony located above the first storey measured from the outermost face or faces of the building from which the balcony projects		1.8 m

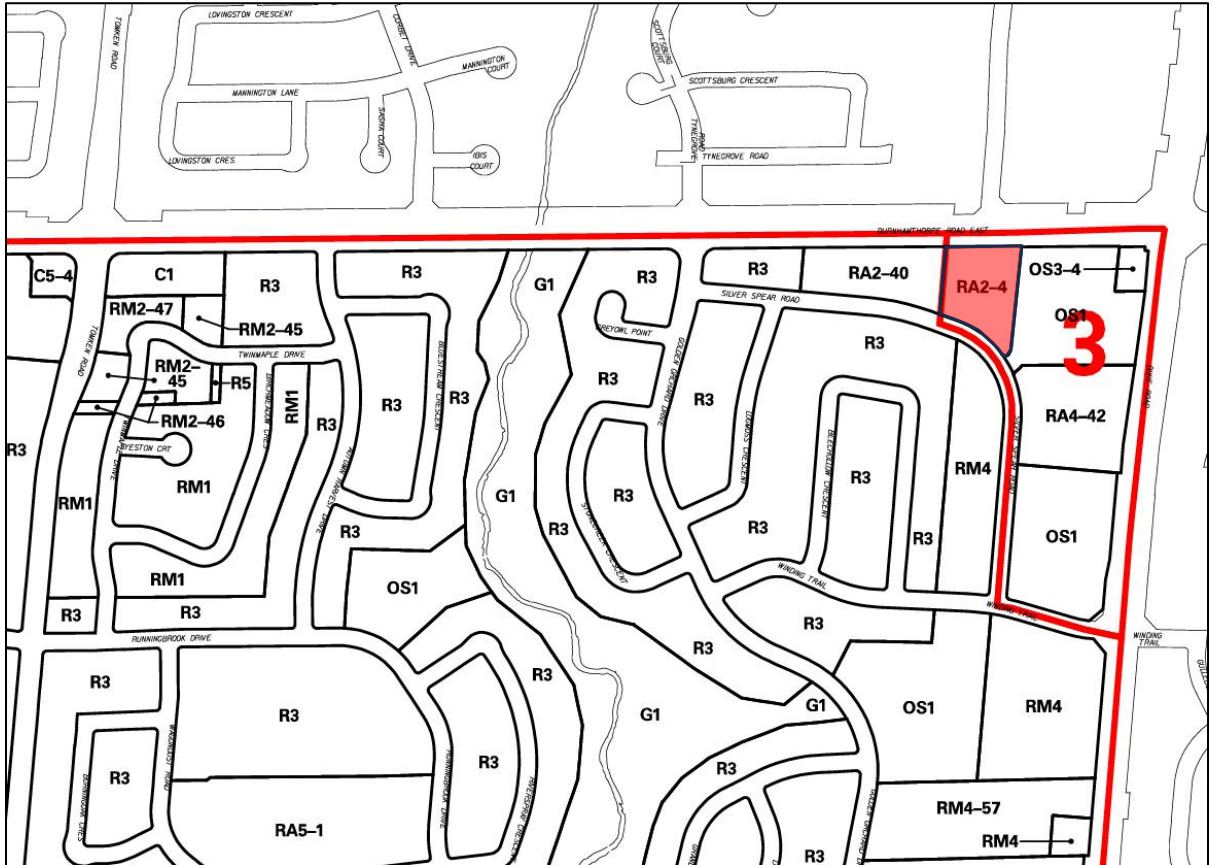
2. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by amending Exception RA2-4 at Article 4.15.3.4.
  
3. This By-law shall not come into force until Mississauga Plan (Official Plan) Amendment Number   x   is in full force and effect.

ENACTED and PASSED this \_\_\_\_\_ day of \_\_\_\_\_  
2024.


\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

## Schedule A



Mississauga Zoning By-law 0225-2007 Map 20

 Subject site

Zoning notation example:  
RA2-4 = RA2 Exception 4

Subject property:  
1315 Silver Spear Road

Note: existing zoning delineated on the plan. Proposed zoning indicated by the red shade within the application.

Proposed rezoning to permit construction of one new 9-storey (30.0 metre) rental apartment building as infill in addition to one existing rental apartment buildings for a total FSI of 2.44 times the entire site.

## **APPENDIX "A" TO BY-LAW NUMBER \_\_\_\_\_**

### Explanation of the Purpose and Effect of the By-law

*The purpose of this by-law is to amend the zoning by-law number 0225-2007 for the lands known as 1315 Silver Spear Road to permit one new purpose-built rental apartment building as infill in addition to one existing rental apartment building.*

*The proposed development includes one new 9-storey apartment building.*

This By-law amends the zoning of the property outlined on the attached Schedule "A" to permit an FSI of 2.44, a maximum height of 9 storeys (30.0 metres), and revised visitor parking rates.

### Location of Lands Affected

1315 Silver Spear Road in the City of Mississauga, as shown on the attached Map designated as Schedule "A".

Further information regarding this By-law may be obtained from \_\_\_\_\_XX\_\_\_\_\_ of the City Planning and Building Department at 905-615-3200 ext. \_\_\_\_\_.