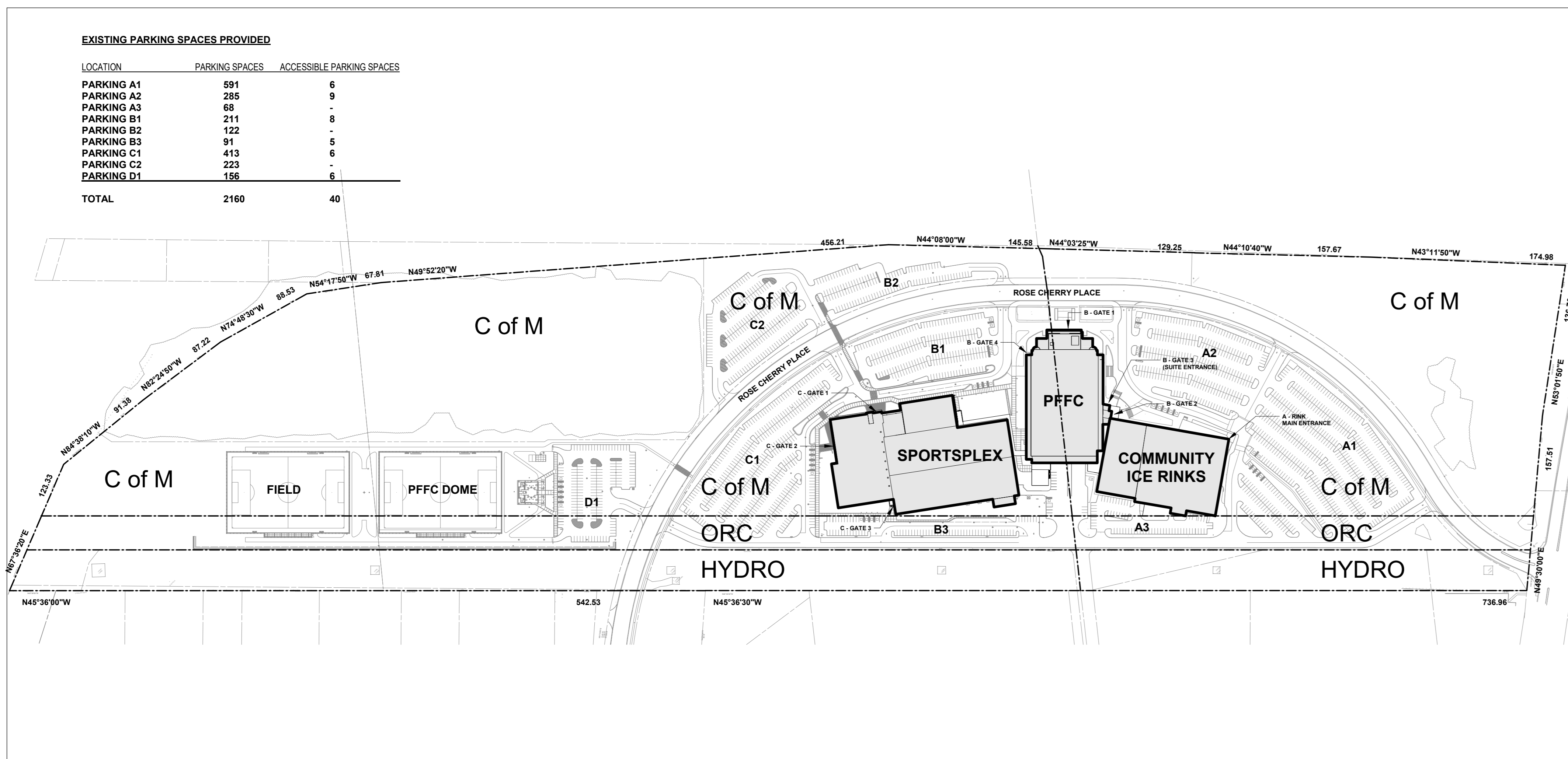


3 SITE PLAN (ROOF PLAN) NEW GYM ADDITION
1:500

2 SITE PLAN EXISTING
1:500



1 SITE PLAN EXISTING
1:500

ZONING STATISTICS

SITE PLAN AND BUILDING STATISTICS:

ZONING CATEGORY: EXISTING: OS2-6
LEGAL DESCRIPTION: CON 2 EHS PT LTS 3, 4 - PT 3 43R23229
MUNICIPAL ADDRESS: 5600 ROSE CHERRY PLACE
LOT AREA: NORTH AREA 12.23 ha (Soccer/Parking north & east of Rose Cherry Pl.)
 SOUTH AREA 46.62 ha (Sports Center west of Rose Cherry Pl.)
TOTAL: 58.85 ha
LOT AREA BY OWNERSHIP: NORTH AREA: CITY OF MISSISSAUGA 12.23ha, ORC 16.63ha, HYDRO 19.71ha
TOTAL NORTH AREA: 48.57ha
SOUTH AREA: CITY OF MISSISSAUGA 46.62ha, ORC 1.04ha, HYDRO 1.29ha
TOTAL SOUTH AREA: 48.95ha
LOT COVERAGE: EXISTING: NORTH AREA 7.21 ha (Soccer/Parking north & east of Rose Cherry Pl.)
 SOUTH AREA 3.42 ha (Sports Center west of Rose Cherry Pl.)
TOTAL: 10.63 ha
BUILDING LOT COVERAGE: EXISTING: CHANGE HOUSE 298 SM, SPORTS CENTER 13,425 SM
TOTAL: PROPOSED GYM ADDITION: 1,238 SM, 14,961 SM
GROSS FLOOR AREA: EXISTING: CHANGE HOUSE 298 SM, SPORTS CENTER 18,427 SM
TOTAL: PROPOSED GYM ADDITION: 1,470 SM, 20,195 SM
NON-RESIDENTIAL GFS AREA: EXISTING: CHANGE HOUSE 191 SM, SPORTS CENTER 16,725 SM
TOTAL: PROPOSED GYM ADDITION: 1,385 SM, 18,301 SM

PFFC SPORTS COMPLEX 5500, 5600 ROSE CHERRY PLACE:

PARKING SPACE REQUIRED
EXISTING: RINK #1 - 5,294 SEATS @ 1 PKG SP/4 SEATS
 RINK #2 - 200 SEATS @ 1 PKG SP/4 SEATS
 RINK #3 - 300 SEATS @ 1 PKG SP/4 SEATS
 RINK #4 - 300 SEATS @ 1 PKG SP/4 SEATS
TOTAL SEATS 6094 @ 1 PKG SP/4 SEATS=1,524 PARKING SPACES
 SPORTSPLEX 16,725 SM* @ 4.5 PKG SP PER 100 SM = 752 PARKING SPACES
 CHANGE HOUSE 298 SM @ 4.5 PKG SP PER 100 SM = 14 PARKING SPACES
NEW: PROPOSED ADDITION @ 1,385 SM @ 4.5 PKG SP PER 100 SM = 63 PARKING SPACES
 (SPA APPROVED FOR 70 SPACES AT NEW ADDITION)
TOTAL PARKING SPACES REQUIRED: EXISTING=2,290 PARKING SPACES
 ADDITION=70 PARKING SPACES
TOTAL =2,360
TOTAL ACCESSIBLE PARKING SPACES REQUIRED =36 PARKING SPACES

EXISTING PARKING SPACES PROVIDED:
 PROVIDED PARKING SPACES = 2,160
 PROVIDED ACCESSIBLE PARKING SPACES = 40
TOTAL PARKING SPACES PROVIDED= 2,200



300 CITY CENTRE DR
MISSISSAUGA, ON L5B 3C1

ARCHITECT



STRUCTURAL ENGINEER

DKWATSON CONSULTING
454 WILLARD AVE
TORONTO, ON M5S 3R8

MECHANICAL ENGINEER



ELECTRICAL ENGINEER



CIVIL ENGINEER



AV CONSULTANT

Smith + Andersen
100 SHEPPARD AVE E
TORONTO, ON M2X 1Y4

WAYFINDING/SIGNAGE

KRAMER DESIGN ASSOC LTD
803 DUPONT ST
TORONTO, ON M5R 1V4

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PARAMOUNT FINE FOODS CENTRE

5500-5600 ROSE CHERRY PL
MISSISSAUGA, ONTARIO

DWG. TITLE
SITE PLAN - NEW GYM ADDITION

SCALE: As indicated
PROJ. NO.: 2215
DWG. NO.: A0-101.a

Name of Practice: Brisbin Brook Beynon Architects 14 Duncan Street, 4 th Floor Toronto, Ontario M5H 3G9	
Name of Project: Paramount Fine Foods Centre	
Location: 5500-5500 Rose Cherry Pl Mississauga, Ontario L4Z 4B6	
Date: November 16, 2023	
Ontario Building Code Data Matrix Part 11 – Renovation of Existing Building	
11.00 Building Code Version: O_Reg. 332/12 Last Amendment: O_Reg. 191/14	Building Code Reference 1
11.01 Project Type: <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input checked="" type="checkbox"/> Addition and renovation <input type="checkbox"/> Change of use Description: <u>Gymnasium Addition / Interior Alteration</u>	[A] 11.2.
11.02 Major Occupancy Classification: <u>A2</u> Use: <u>Sports Complex</u>	3.12.1(1)
11.03 Superimposed Major Occupancies: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description:	3.22.7
11.04 Building Area (m ²): Description: Existing New Total <u>Sportsplex Building</u> 13,400 1,238 14,638 0 0 0 0 0 0 0 0 0 Total 13,400 0 14,638	[A] 14.1.2.
11.05 Building Height: <u>1</u> Storeys above grade 14.560 (m) Above grade <u>1</u> Storeys below grade	[A] 14.1.2. & 3.2.1.1.
11.06 Number of Streets/ Firefighter access: <u>1</u> street(s)	3.2.2.10. & 3.2.5.
11.07 Building Size: <input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large	T.11.2.1.1.B.N.

Ontario Building Code Data Matrix, Part 11
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11.08 Existing Building Classification: Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: <u>7</u> Hazard Index: <u>6</u> Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> Post-disaster <input type="checkbox"/> High	11.2.1.1. T.11.2.1.1A T.11.2.1.1B to N 4.2.1.0. 5.2.2.1.0.
11.09 Renovation type: <input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation	11.3.3.1. 11.3.3.2.
11.10 Occupant Load: Floor Level/Area Occupancy Type Based On Occupant Load (Persons) Existing Sportsplex <u>A2</u> 4,743 New Gym Addition <u>A2</u> 360	3.1.17. 5,103
11.11 Plumbing Fixture Requirements: Ratio: <u>MF = 1/11</u> Except as otherwise noted	3.7.4.
11.12 Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	11.3.3.2.(2)
11.13 Reduction in Performance Level: Structural: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes By increase in occupant load: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes By change of major occupancy: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Plumbing: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Sewage systems: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Extension of combustible construction: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.

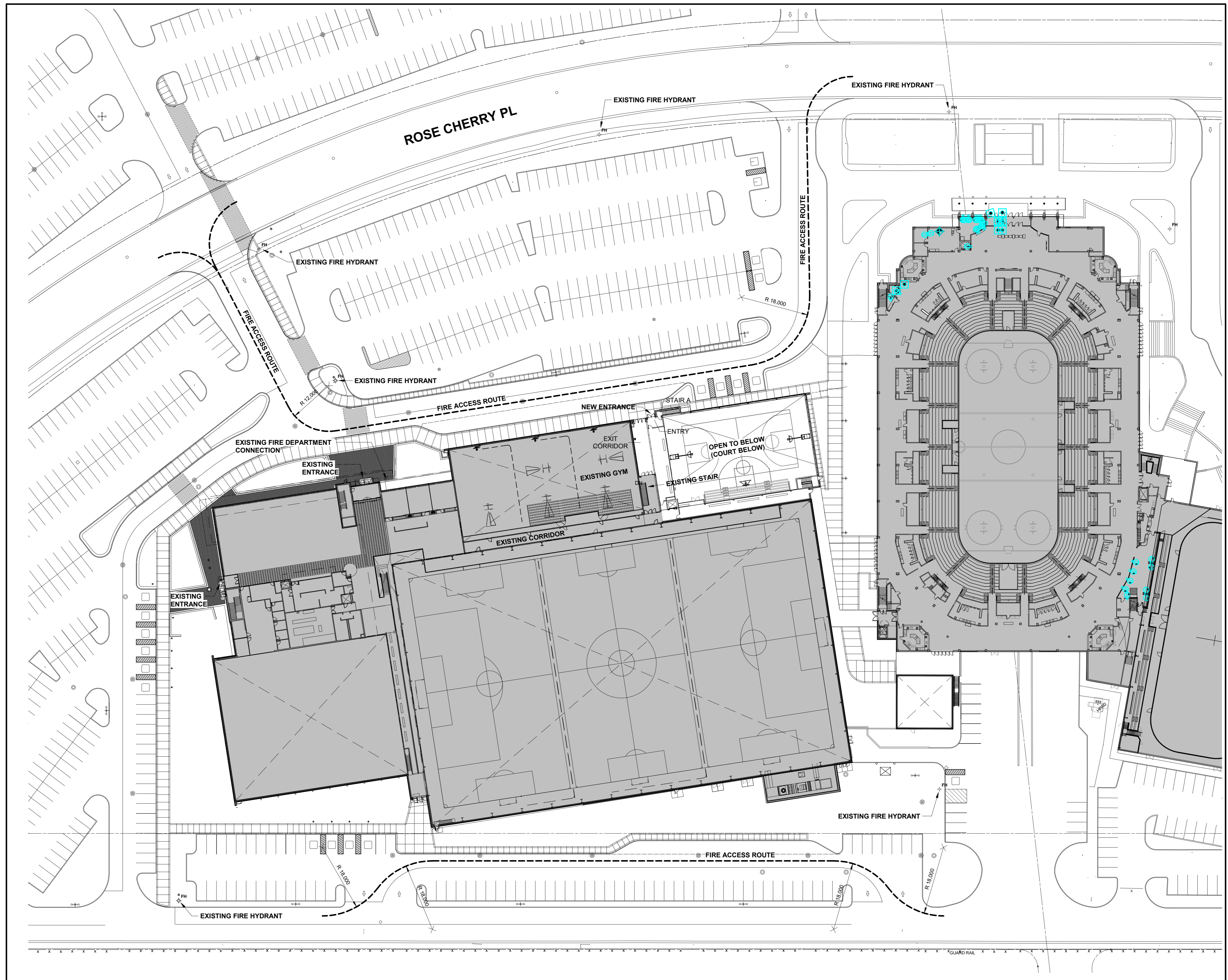
Ontario Building Code Data Matrix, Part 11
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11.14 Compensating Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Structural: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) _____ Increase in occupant load: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) _____ Change of major occupancy: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) _____ Plumbing: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) _____ Sewage systems: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) _____ Extension of combustible construction: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) _____	11.4.3.1. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6. 11.4.3.7.
11.15 Compliance Alternatives Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (list numbers and describe) _____ (list numbers and describe) _____ (list numbers and describe) _____	11.5.1.
11.16 Notes: New Gym Addition, New Universal Washroom, 2 New Accessible Washrooms, New Elevator.	11.5.1.

1 All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C.

PLUMBING FACILITIES REQUIREMENTS	
FOR RECREATIONAL ESTABLISHMENTS 3.7.4.3.(1): ONE FIXTURE PER 100 MALES AND ONE FIXTURE PER 75 FEMALES	FOR CAFETERIAS 3.7.4.3.(6):
OCCUPANT LOAD (OCCUPANCY PERSONS EXCLUDED): 5,103 PERSONS	NUMBER OF SEATS: 36
MEN: 2,551 PERSONS	EMPLOYEE FACILITIES REQUIRED: 0
WOMEN: 2,552 PERSONS	MAXIMUM NUMBER OF CAFETERIA EMPLOYEES: 0
MEN'S WATER CLOSETS REQUIRED: 26 (EXISTING 11, 12 EXISTING UNSEX, 1 RELOCATED UNSEX, 1 NEW UNSEX, 1 UNIVERSAL - COUNTED FOR BOTH SEXES)	
WOMEN'S WATER CLOSETS REQUIRED: 34 (EXISTING 13, 18 EXISTING UNSEX, 2 NEW UNSEX, 1 UNIVERSAL - COUNTED FOR BOTH SEXES)	
TOTAL WATER CLOSETS REQUIRED: 60 PROVIDED: 60	

Ontario Building Code Data Matrix, Part 11
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1 SITE PLAN AT GRADE LEVEL - NEW GYM ADDITION



300 CITY CENTRE DR
 MISSISSAUGA, ON L5B 3C1

ARCHITECT



454 WILLARD AVE
 TORONTO, ON M5S 3R6

MECHANICAL ENGINEER



285 YORLAND BLVD
 TORONTO, ON M2J 1S5

ELECTRICAL ENGINEER



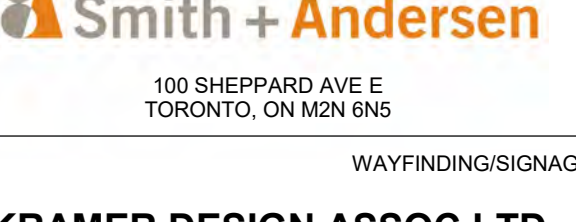
2255 SHEPPARD AVE E SUITE E-331
 TORONTO, ON M2A 4Y1

CIVIL ENGINEER



130 BRIDGELAND AVE SUITE 101
 TORONTO, ON M6A 1Z4

AV CONSULTANT



100 SHEPPARD AVE E
 TORONTO, ON M2M 1S5

WAY FINDING/SIGNAGE



103 DUPONT ST
 TORONTO, ON M5R 1V4

CONTRACTOR

NO.	DESCRIPTION	DATE
1	ISSUED FOR 100% LOI BUILDING PERMIT	2023.11.16

REVISIONS/ISSUES

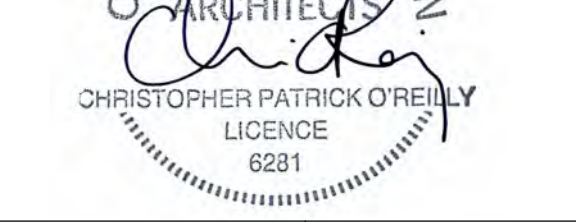
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE THE DRAWINGS.



DRAWN: Author

DATE: 10/16/23

CHECKED: Checker



PARAMOUNT FINE FOODS CENTRE

5500-5600 ROSE CHERRY PL
 MISSISSAUGA, ONTARIO

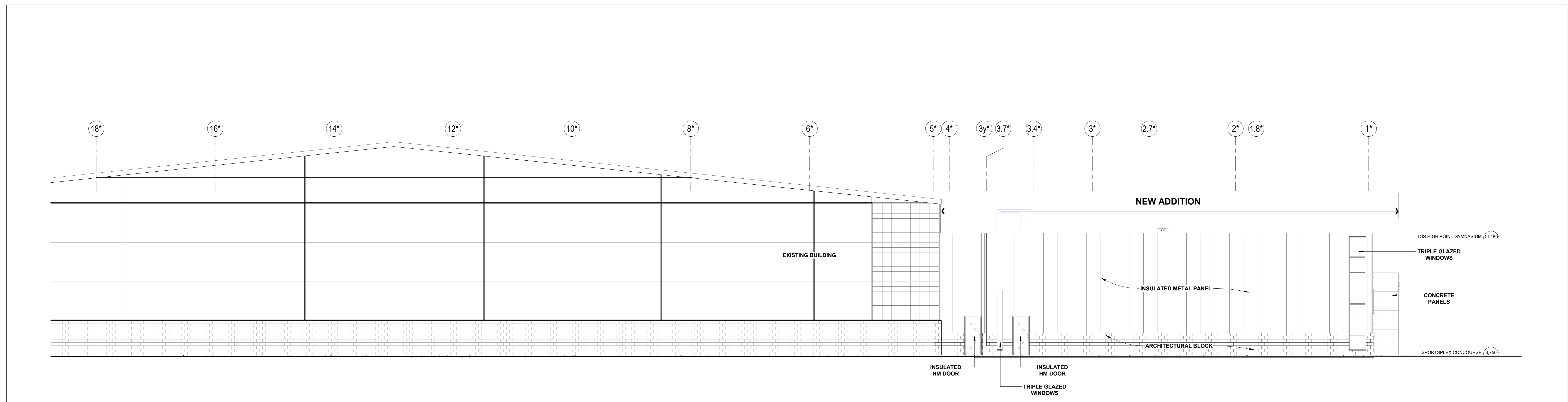
DWG. TITLE

SITE PLAN AT GRADE LEVEL (NEW GYM ADDITION)

SCALE: 1:500

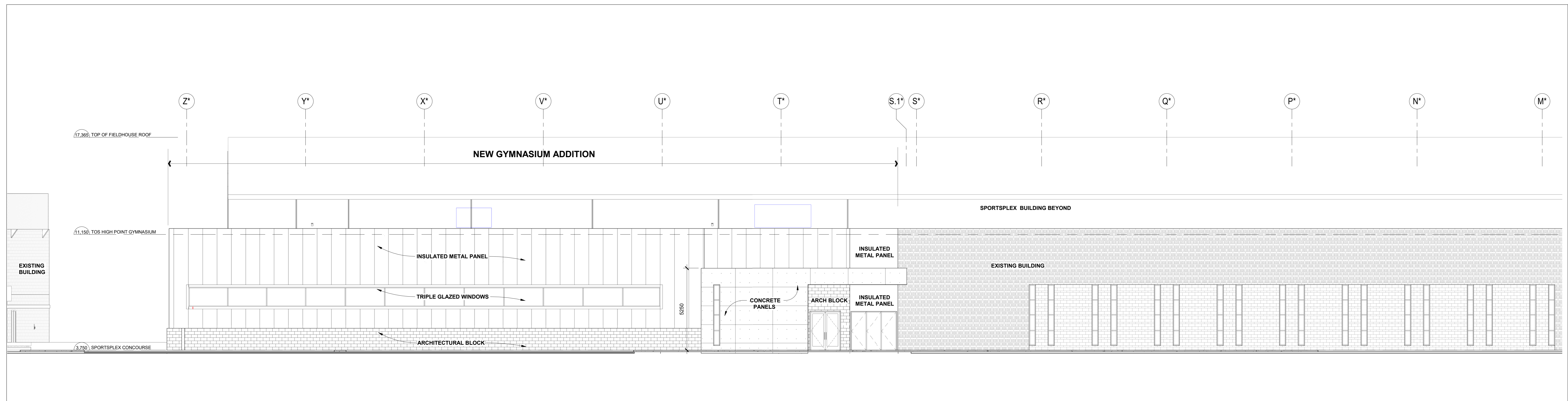
DWG. NO. A0-102.a

PROJ. NO. 2215



2 SOUTH ELEVATION - NEW GYM ADDITION

1:100



1 EAST ELEVATION - NEW GYM ADDITION

1:100

NO.	DESCRIPTION	DATE
1	ISSUED FOR 10% S&P BUILDING PERMIT	2023-11-16
2	ISSUED FOR CMA	2023-12-20
3	ISSUED FOR 50% SCHEMATIC DESIGN	2023-04-19
4	ISSUED FOR 70% SCHEMATIC DESIGN	2023-12-23

REVISIONS/ISSUES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE THE DRAWINGS.



DRAWN	SG
DATE	2023-01-19
CHECKED	SE



PARAMOUNT FINE FOODS CENTRE

5500-5600 ROSE CHERRY PL
MISSISSAUGA, ONTARIO

DWG. TITLE
NEW GYM ELEVATIONS

SCALE	DWG. NO.
1 : 100	A3-001.a
PROJ. NO.	2215

NO.	DESCRIPTION	DATE
1	ISSUED FOR 100% DO BUILDING PERMIT	2023-11-16
2	ISSUED FOR 100% SCHEMATIC DESIGN	2023-01-19
3	ISSUED FOR 70% SCHEMATIC DESIGN	2022-12-23

REVISIONS/ISSUES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE THE DRAWINGS.



DRAWN	RA
DATE	2023-01-19
CHECKED	SE

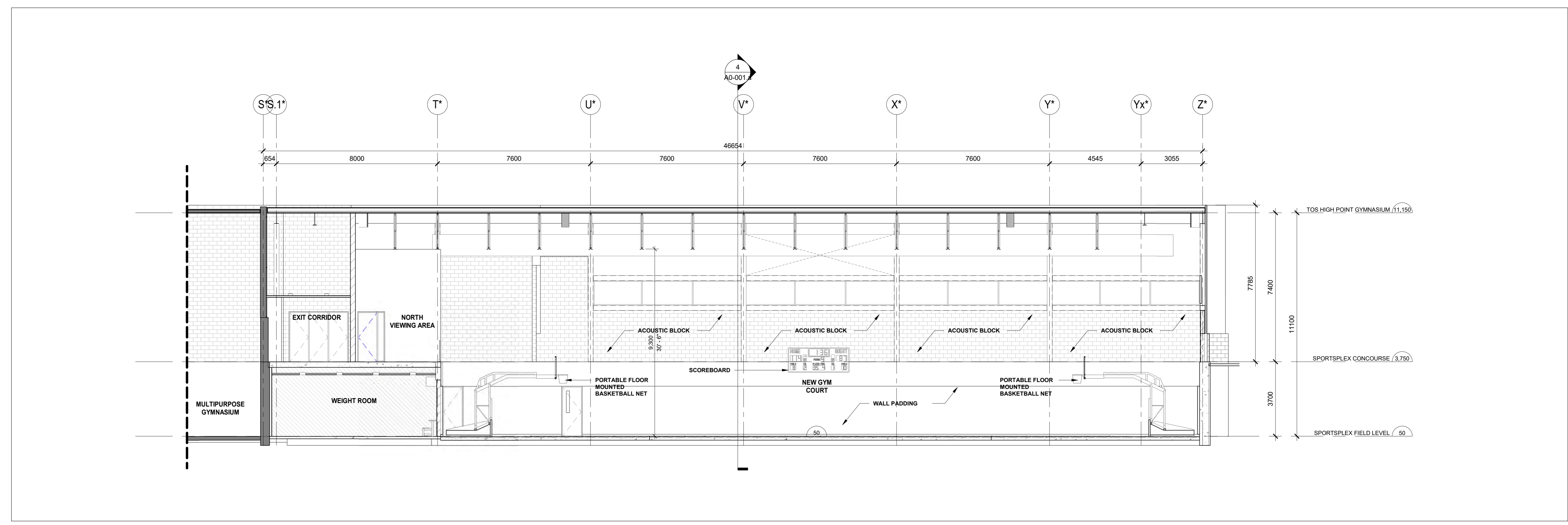


PARAMOUNT FINE FOODS CENTRE

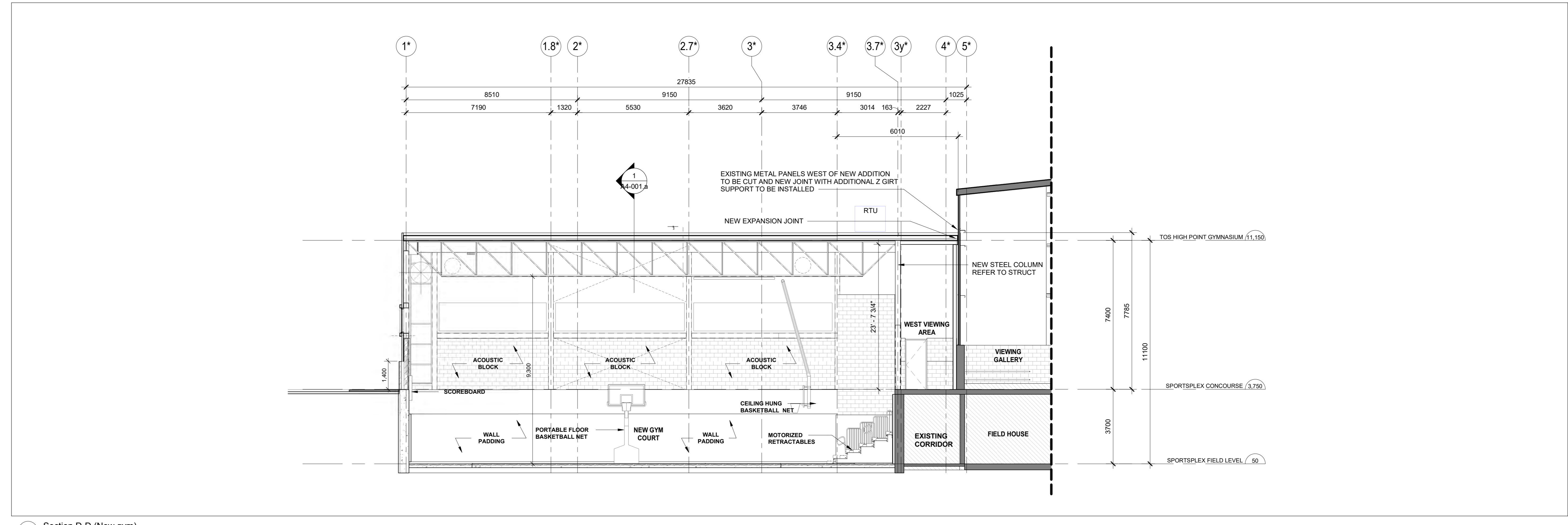
5500-5600 ROSE CHERRY PL
MISSISSAUGA, ONTARIO

NEW GYM BUILDING SECTIONS

SCALE	1 : 100	DWG. NO.	A4-001.a
PROJ. NO.	2215		



1 Section C-C (New gym)
1 : 100



2 Section D-D (New gym)
1 : 100