4.11 RM5 ZONE (STREET TOWNHOUSES)

4.11.1 RM5 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.11.1 - RM5 Permitted Uses and Zone Regulations.

Table 4.11.1 - RM5 Permitted Uses and Zone Regulations

Colum	in A	В
Line 1.0	ZONES	RM5
PERM	IITTED USES	
2.0	RESIDENTIAL	
2.1	Street Townhouse (0181-2018/LPAT Order 2019 February 15)	✓
ZONE	REGULATIONS	
3.0	MINIMUM LOT AREA	
3.1	Interior lot	200 m ²
3.2	Corner lot	280 m ²
4.0	MINIMUM LOT FRONTAGE	
4.1	Interior lot	6.8 m
4.2	Corner lot	9.8 m
5.0	MINIMUM FRONT YARD	4.5 m ⁽¹⁾
5.1	Garage face (0181-2018/LPAT Order 2019 February 15)	6.0 m
6.0	MINIMUM EXTERIOR SIDE YARD	4.5 m ⁽¹⁾
6.1	Garage face (0181-2018/LPAT Order 2019 February 15)	6.0 m
7.0	MINIMUM INTERIOR SIDE YARD	
7.1	Attached side	0.0 m
7.2	Unattached side	1.5 m ⁽¹⁾
7.3	Attached garage - unattached side	1.2 m ⁽¹⁾
8.0	MINIMUM REAR YARD	7.5 m ⁽¹⁾
9.0	MAXIMUM HEIGHT (0174-2017)	10.7 m and 3 storeys
10.0	MINIMUM LANDSCAPED AREA	25% of the lot area
11.0	MAXIMUM GROSS FLOOR AREA - RESIDENTIAL	0.75 times the lot area
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY	
12.1	Attached garage	Required ⁽²⁾
12.2	Minimum parking spaces	✓ (3) (4)
12.3	Maximum driveway width	5.2 m ⁽⁴⁾
13.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ (5)

NOTES: (1) See also Subsections 4.1.7 and 4.1.8 of this By-law.

(2) See also Subsection 4.1.12 of this By-law.

(3) See also Part 3 of this By-law.

- (4) See also Subsection 4.1.9 of this By-law.
- (5) See Subsection 4.1.2 of this By-law.

4.11.2 RM5 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.11.2.1	Exception: RM5-1	Map # 21	By-law:			
In a RM5-1 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Regulations						
4.11.2.1.1	Minimum lot frontage		6.0 m			
4.11.2.1.2	Minimum front yard		7.5 m			
4.11.2.1.3	Minimum exterior side ya	rd	7.5 m			
4.11.2.1.4	Minimum interior side yar	ď	3.0 m			
4.11.2.1.5	Minimum rear yard		10.5 m			

4.11.2.2	Exception: RM5-2	Map # 16, 17	By-law:				
In a RM5-2 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Additional Per	Additional Permitted Use						
4.11.2.2.1(1)Linked Dwelling							

4.11.2.3	Exception: RM5-3	Map # 09, 10, 28, 38E	By-law: 0174-2017					
	In a RM5-3 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Additional Per	rmitted Uses							
4.11.2.3.1	 Detached Dwelling Semi-Detached 							
Regulations								
4.11.2.3.2	4.11.2.3.2 A detached dwelling shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law							
4.11.2.3.3	A semi-detached shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law							

4.11.2.4	Exception: RM5-4Map # 16By-law:						
In a RM5-4 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Regulation	Regulation						
4.11.2.4.1 Minimum rear yard - interior lot 15.0 m							

4.11.2.5	Exception: RM5-5	Exception: RM5-5 Map # 28, 39E By-law: 0174-2017						
	ne the permitted uses and app following uses /regulations sl	blicable regulations shall be as hall apply:	specified for a RM5 zone					
Additional Per	mitted Uses							
4.11.2.5.1	 (1) Detached Dwelling (2) Semi-Detached 							
Regulations								
4.11.2.5.2	8	comply with the R5 zone regu .1 of this By-law except that:	lations					
	(1) minimum lot area	- interior lot	275 m ²					
	(2) minimum lot front	age - interior lot	9.0 m					
4.11.2.5.3	4.11.2.5.3 A semi-detached shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law							

4.11.2.6	Exception: RM5-6	Map # 30	By-law:			
In a RM5-6 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Regulations						
4.11.2.6.1	Minimum lot area - interio	or lot	275 m ²			
4.11.2.6.2	Minimum lot area - corner	395 m ²				
4.11.2.6.3	Minimum lot frontage - int	terior lot	9.0 m			
4.11.2.6.4	Minimum lot frontage - co	rner lot	13.0 m			
4.11.2.6.5	Minimum front yard		6.0 m			
4.11.2.6.6	Minimum setback from a h	abitable room to the street	line 10.0 m			

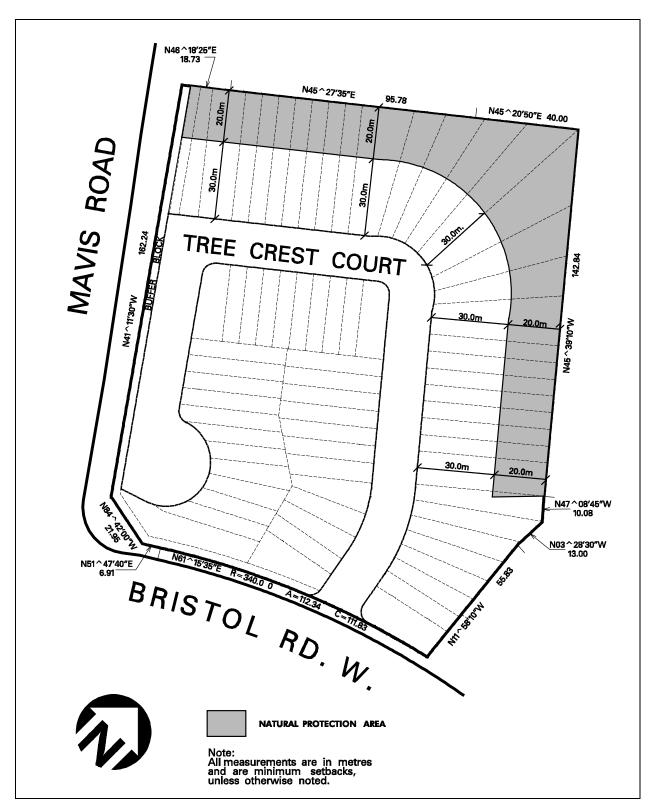
4.11.2.7	Except	ion: RM5-7	Map # 28	By-law: 0174-2017
		ermitted uses and app ag uses /regulations sl	blicable regulations shall be as hall apply:	specified for a RM5 zone
Additional Per	mitted	Use		
4.11.2.7.1	(1)	Semi-Detached		
Regulations				
4.11.2.7.2			ply with the RM2 zone regula .1 of this By-law except that:	itions
	(1)	minimum lot area -	- interior lot	240 m ²
	(2)	minimum lot area -	- corner lot	375 m ²
	(3)	minimum lot front	age - interior lot	8.0 m
	(4)	minimum lot front	age - corner lot	12.5 m

4.11.2.8	Excepti	ion: RM5-8	Map # 37E	By-law:		
In a RM5-8 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Additional Per	mitted	Use				
4.11.2.8.1	(1)	Detached Dwelling	5			
Regulations						
4.11.2.8.2 A detached dwelling shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1)	minimum lot area	- interior lot	275 m ²		
	(2)	maximum lot cove	rage	45%		

4.11.2.9	Excep	otion: RM	15-9	Map # 37W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-9 zo except that the					hall be as specified for a RM5 zone
Additional Po	ermitted	l Use			
4.11.2.9.1	(1)	Semi-	Detached		
Regulations					
4.11.2.9.2	Street	t Townh	ouse:		
	(1)	protec protec	tion area, sl tion area id	•d - where a lot includ hall be measured from entified on Schedule I from the rear lot line	n the natural RM5-9 of this
	(2)		atural prote	on Schedule RM5-9 o ction area shall comp	
		(2.1)	for the pro existing w together w	I protection area sha tection and natural reg oodlot, including tree ith the planting of tree o ensure the retention	generation of the s and vegetation, es and vegetation
		(2.2)	tennis cour facilities sl	gs and structures, sw rts or any like recreating hall not be permitted w rotection area	onal or other
		(2.3)		prage of equipment an nitted within the natu	
		(2.4)	of the natu	all only be permitted o Iral protection area a I protection area	
	(3)			nt plans shall comply f this Exception	with

Exception RM5-9 continued on next page

4.11.2.9	Excep	tion: RM	15-9	0181-2		w: 0174-2017, 2018/LPAT Order February 15	
Exception R	M5-9 col	ntinued f	from previo	us page			
4.11.2.9.3		ii-detach ned in Su					
	(1)	-	ulations of L v-law shall no	ine 5.0 contained in Table 4. ot apply	8.1 of		
	(2)	minim	um lot area	- interior lot		195 m ²	
	(3)	minim	um <mark>lot front</mark>	age - interior lot		6.5 m	
	(4)	maxim	um gross flo	oor area - residential		0.75 times the lot area	
	(5)	protec protec	um rear yar tion area , sh tion area idd tion and not t				
	(6)		a identified o tural protecting:				
		(6.1)	(6.1) the natural protection area shall only be used for the protection and natural regeneration of the existing woodlot, including trees and vegetation, together with the planting of trees and vegetation intended to ensure the retention of the existing woodlot				
		(6.2)					
		(6.3)		brage of equipment and mater e permitted within the natura area			
		(6.4)	of the natu	all only be permitted on the permitted on the permitted on the permitted and not a protection area and not a protection area			
	(7)			t plans shall comply with f this Exception			

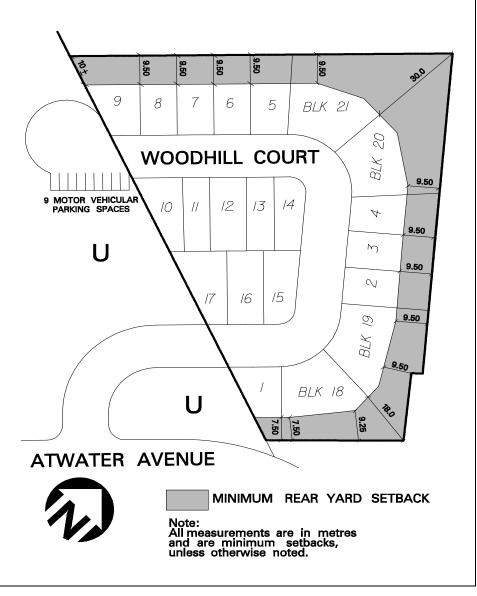


Schedule RM5-9 Map 37W

4.11.2.10	Exception: RM5-10		Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15			
		permitted uses and and and and and and and and and a set of the		l be as specified for a RM5 zone			
Additional P	ermitted	l Uses					
4.11.2.10.1	(1) (2)	Detached Dwellin Semi-Detached	ıg				
Regulations							
4.11.2.10.2	Street	Townhouse:					
	(1)	minimum lot area	- interior lot	100 m ²			
	(2)	minimum lot fron	tage - interior lot	4.0 m			
	(3)	maximum lot cov	erage	55%			
	(4)	minimum setback	to garage face	4.5 m			
	(5)	minimum interio i	side yard - unattached side	le 1.2 m			
	(6)	minimum rear ya Schedule RM5-10	rd unless otherwise identif of this Exception	ied on 7.5 m			
	(7)		g spaces per dwelling unit tially located on adjacent la				
	(8)	maximum drivew	ay width	3.0 m			
	(9)	all site developme Schedule RM5-10	nt plans shall comply with of this Exception				
4.11.2.10.3	A detached dwelling shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1)	minimum lot area	- interior lot	190 m ²			
	(2)	minimum lot area	ı - corner lot	210 m ²			
	(3)	minimum lot from	tage - interior lot	8.0 m			
	(4)	minimum lot from	tage - corner lot	9.5 m			
	(5)	minimum exterio	r side yard	1.4 m			
	(6)	minimum setback	to garage face	4.5 m			
	(7)	minimum interio i	side yard - unattached side	de 0.6 m			
	(8)	minimum rear ya Schedule RM5-10	rd unless otherwise identif of this Exception	ied on 7.5 m			
	(9)		g spaces per dwelling unit tially located on adjacent la				
	(10)	all site developme Schedule RM5-10	nt plans shall comply with of this Exception				

Exception RM5-10 continued on next page

4.11.2.10	Excep	otion: RM5-10	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15	
Exception R	M5-10 c	ontinued from pre	vious page		
4.11.2.10.4			omply with the RM2 zoi 4.8.1 of this By-law exce		
	(1)	the regulations of this By-law shall	f Line 5.0 contained in T not apply	Cable 4.8.1 of	
	(2)	minimum lot are	a - interior lot	130 m ²	
	(3)	minimum lot fro	minimum lot frontage - interior lot		
	(4)	maximum lot cov	maximum lot coverage		
	(5)	minimum setbacl	k to garage face	4.5 m	
	(6)	minimum interio	or side yard - unattache	d side 1.2 m	
	(7)		ard unless otherwise ide 0 of this Exception	entified on 7.5 m	
	(8)		ng spaces per dwelling under the spaces per dwelling under the space of the space o		
	(9)	maximum drive v	way width	3.8 m	
	(10)		ent plans shall comply v 0 of this Exception	vith	



Schedule RM5-10 Map 06

4.11.2.11	Exception: RM5-11	Map # 36E, 56	By-law:		
In a RM5-11 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations					
4.11.2.11.1	Minimum lot area - interio	or lot	165 m ²		
4.11.2.11.2	Minimum lot frontage - in	terior lot	5.5 m		
4.11.2.11.3	Maximum gross floor area	- residential	1.0 times the lot area		

4.11.2.12	Except	tion: RM5-12	Map # 37W, 38E, 53E, 53W, 56	By-law: 0174-2017		
In a RM5-12 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Additional Pe	rmitted	Use				
4.11.2.12.1	(1)	Semi-Detached				
Regulation						
4.11.2.12.2	4.11.2.12.2 A semi-detached shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:					
	(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply					
	(2)	maximum gross flo	oor area - residential	0.75 times the lot area		

4.11.2.13	Except	ion: RM5-13	Map # 37W, 38E, 55, 56	0181-20	0174-2017, 018/LPAT Order bruary 15	
	In a RM5-13 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Additional Pe	rmitted	Uses				
4.11.2.13.1	(1) (2)	Detached Dwelling Semi-Detached	9			
Regulations						
4.11.2.13.2	Street	Townhouse:				
	(1)	minimum rear yar	d - where lands abut a B zone		15.0 m	
4.11.2.13.3		6	comply with the R5 zone regulation.1 of this By-law except that:	ulations		
	(1)	minimum rear yar	d - where lands abut a B zone		15.0 m	
4.11.2.13.4			nply with the RM2 zone regulation.1 of this By-law except that:	ations		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply				
	(2)	maximum gross floor area - residential 0.75 times the lot area				
	(3)	minimum rear yar	d - where lands abut a B zone		15.0 m	

4.11.2.14	Exception: RM5-14	Map # 45E	By-law: 0181-2018/LPAT Order 2019 February 15		
In a RM5-14 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations					
4.11.2.14.1	The lot line abutting a street with a width of 20.0 m or greater shall be deemed to be the front lot line				
4.11.2.14.2	Minimum exterior side yar	rd	3.3 m		
4.11.2.14.3	A detached garage shall be	permitted only in the rear ya	rd		
4.11.2.14.4	Minimum setback from a detached garage to the rear lot line 5.2 m				
4.11.2.14.5	Minimum setback from a detached garage located in the rear yard to a street townhouse				

4.11.2.15	Exception: RM5-15	Map # 53W	By-law:				
	In a RM5-15 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Regulations							
4.11.2.15.1	Minimum lot area - interio	or lot	180 m ²				
4.11.2.15.2	Minimum lot area - corner	250 m ²					
4.11.2.15.3	Minimum exterior side yar	·d	3.6 m				
4.11.2.15.4	Maximum encroachment of exterior side yards	a porch into the required fro	nt and 1.8 m				
4.11.2.15.5	Minimum length of a parki where lands abut a G2-1 zor	ng space located on a drivew ne	ay 4.5 m				
4.11.2.15.6	Minimum length of a parki other lots	ng space located on a drivew	ay - all 5.5 m				

4.11.2.16	Exception: RM5-16	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15				
	In a RM5-16 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Regulations							
4.11.2.16.1	Minimum lot area - interio	or lot	240 m ²				
4.11.2.16.2	Minimum lot area - corner	: lot	330 m ²				
4.11.2.16.3	Minimum lot frontage - in	8.0 m					
4.11.2.16.4	Minimum lot frontage - co	rner lot	11.0 m				
4.11.2.16.5	Minimum front yard		3.6 m				
4.11.2.16.6	Minimum exterior side ya	rd	3.6 m				
4.11.2.16.7	Minimum setback to garag	e face	5.5 m				
4.11.2.16.8	Minimum interior side yar	rd - unattached side	1.5 m				
4.11.2.16.9	Maximum encroachment of exterior side yards	f a porch into the required fro	ont and 1.8 m				
4.11.2.16.10	Minimum setback of a stree	et townhouse to all lands zon	ned G2-1 7.5 m				

4.11.2.17	Excep	tion: RM5-17	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15	
In a RM5-17 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Additional Po	ermitted	l Use			
4.11.2.17.1	(1)	Semi-Detached			
Regulations					
4.11.2.17.2	Street	t Townhouse:			
	(1)	minimum setback	to garage face	7.0 m	
4.11.2.17.3			nply with the RM2 zone re 3.1 of this By-law except th	-	
	(1)	the regulations of I this By-law shall n	Line 5.0 contained in Table ot apply	e 4.8.1 of	
	(2)	minimum exterior	side yard	3.5 m	
	(3)	maximum drivew a	y width	5.5 m	
	(4)	minimum setback	to garage face	7.0 m	

4.11.2.18	Exception	on: RM5-18	Map # 22	By-law: 0174-2017	
In a RM5-18 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Additional Per	mitted U	Jse			
4.11.2.18.1	(1)	Semi-Detached			
Regulation					
4.11.2.18.2			nply with the RM2 zone regula 1.1 of this By-law except that:	ations	
	(1)	minimum exterior	side yard	3.5 m	

4.11.2.19	Excep	otion: RM5-19	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
		permitted uses and ing uses /regulations		l be as specified for a RM5 zone
Additional P	ermitteo	l Use		
4.11.2.19.1	(1)	Semi-Detached		
Regulations				
4.11.2.19.2	Stree	t Townhouse:		
	(1)	minimum lot are	a	200 m ²
	(2)	minimum lot fro i	ntage	10.0 m
	(3)	minimum front y	ard	3.0 m
	(4)	minimum exterio	r side yard	1.8 m
	(5)	maximum encroa front and exterio	chment of a window into re r side yards	equired 0.3 m
	(6)	maximum encroa required rear yar	chment of an attached gara d	age into the 1.0 m
	(7)	maximum drivev	v ay width	5.5 m
4.11.2.19.3			omply with the RM2 zone r .8.1 of this By-law except	•
	(1)	the regulations of this By-law shall	Line 5.0 contained in Tabl not apply	e 4.8.1 of
	(2)	minimum lot are	a	200 m ²
	(3)	minimum lot fro i	ntage	10.0 m
	(4)	maximum gross f	loor area - residential	0.75 times the lot area
	(5)	minimum front y	ard	3.0 m
	(6)	minimum exterio	r side yard	1.8 m
	(7)	minimum interio	r side yard - unattached si	de 1.5 m
	(8)	maximum encroa front and exterio	chment of a window into re r side yards	equired 0.3 m
	(9)	maximum encroa the required rear	chment of an attached gara yard	age into 1.0 m
	(10)	maximum drivev	vay width	5.5 m

4.11.2.20	Except	ion: RM5-20	Map # 22	0181-2	: 0174-2017, 018/LPAT Order ebruary 15
In a RM5-20 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply: Additional Permitted Use					
Additional Pe	rinitieu	Use			
4.11.2.20.1	(1)	Semi-Detached			
Regulations					
4.11.2.20.2	Street	Townhouse:			
	(1)	minimum setback t	o garage face		7.0 m
4.11.2.20.3			nply with the RM2 zone 1.1 of this By-law excep	-	
	(1)	the regulations of L this By-law shall no	ine 5.0 contained in Ta	ble 4.8.1 of	
	(2)	maximum gross flo	oor area - residential		0.75 times the lot area
	(3)	minimum setback t	o garage face		7.0 m

4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15
	one the permitted uses and ap following uses /regulations sl	oplicable regulations shall be a hall apply:	as specified for a RM5 zone
Regulations			
4.11.2.21.1	The regulations of Line 11. By-law shall not apply	0 contained in Table 4.11.1 of	this
4.11.2.21.2	Minimum lot area - interio	or lot	183 m ²
4.11.2.21.3	Minimum lot area - corner	·lot	292 m ²
4.11.2.21.4	Minimum lot frontage - in	terior lot	6.1 m
4.11.2.21.5	Minimum lot frontage - co	9.75 m	
4.11.2.21.6	Minimum front yard - lots adjacent the front lot line	without a municipal sidewalk	3.5 m
4.11.2.21.7	Minimum exterior side yar adjacent the exterior side le	rd - lots without a municipal s ot line	idewalk 3.5 m
4.11.2.21.8	Minimum setback to garag	e face	5.8 m
4.11.2.21.9	Minimum interior side yar	d - unattached side	1.2 m
4.11.2.21.10	Maximum encroachment of front and exterior side yar	a porch or balcony into the r ds	equired 2.0 m
4.11.2.21.11	Maximum encroachment of front yard	an awning into the required	0.6 m
4.11.2.21.12	Maximum encroachment of exterior side yard	an awning into the required	0.3 m
4.11.2.21.13		arage beyond either the main in entry feature where provid	
4.11.2.21.14	Where a main entry featur projection of a garage beyo	e has been provided, the maxi nd a main front entrance	mum 5.0 m

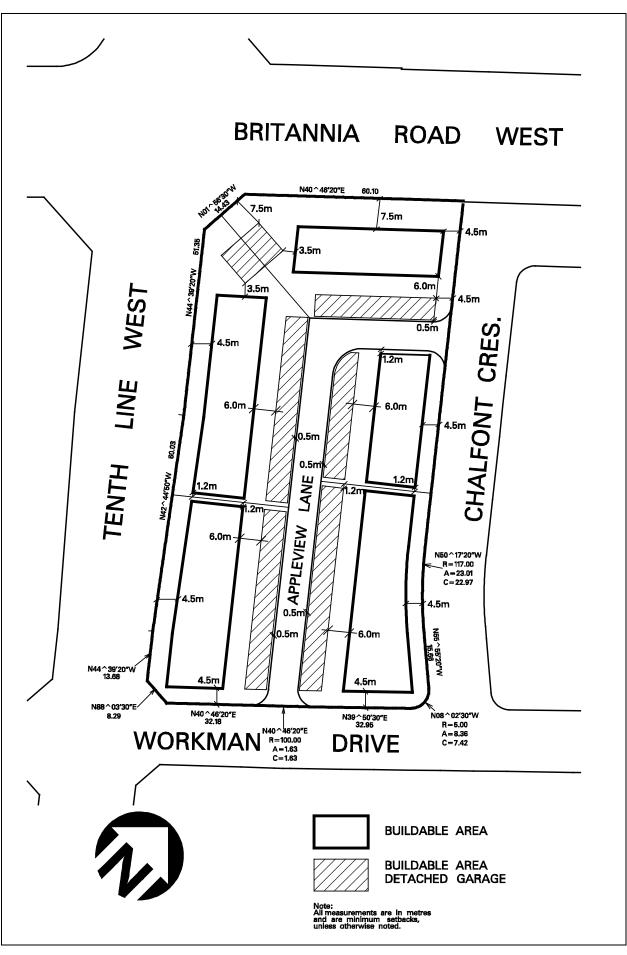
Exception RM5-21 continued on next page

4.11.2.21	Exception: RM5-21	By-law: 0181-2018/LPAT Order 2019 February 15				
Exception RM	Exception RM5-21 continued from previous page					
4.11.2.21.15 For a street townhouse more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face						
4.11.2.21.16	Minimum setback to a sight triangle 0.0 m					
4.11.2.21.17	Maximum driveway width 3.8 m					
4.11.2.21.18	Maximum garage width: 3.8 m measured from the inside face of the garage side walls 3.8 m					

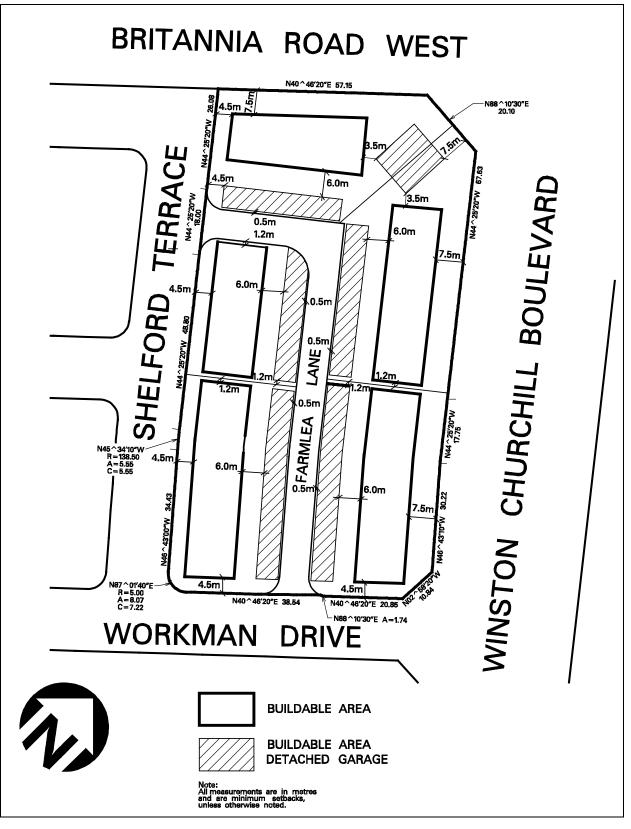
4.11.2.22	Exception: RM5-22(1), RM5-22(2), RM5-22(3), RM5-22(4), RM5-22(5), RM5-22(6), RM5-22(7), RM5-22(8)	Map # 57, 58	By-law: 0208-2022
In a RM5-22(1		M5-22(4), RM5-22(5), RM5-	

RM5-22(8) zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses**/regulations shall apply:

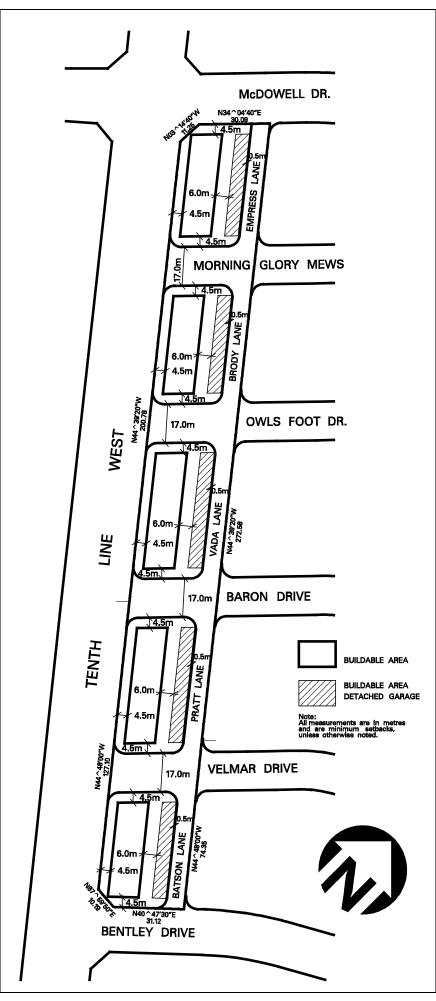
Regulations		
4.11.2.22.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
4.11.2.22.2	Minimum lot area - corner lot	315 m ²
4.11.2.22.3	Minimum lot frontage - corner lot	10.5 m
4.11.2.22.4	Minimum front yard - lot without a municipal sidewalk adjacent the front lot line	3.5 m
4.11.2.22.5	Minimum exterior side yard - lot without a municipal sidewalk adjacent the exterior side lot line	3.5 m
4.11.2.22.6	Maximum encroachment of a porch or balcony outside the buildable area identified on Schedules RM5-22(1) to RM5-22(8) of this Exception, into the required front and exterior side yards	2.0 m
4.11.2.22.7	Maximum encroachment of an awning outside the buildable area identified on Schedules RM5-22(1) to RM5-22(8) of this Exception, into the required exterior side yard	0.3 m
4.11.2.22.8	Maximum driveway width	6.5 m
4.11.2.22.9	A detached garage shall be permitted in the buildable area - detached garage identified on Schedules RM5-22(1) to RM5-22(8) of this Exception	
4.11.2.22.10	Maximum garage width: measured from the inside face of the garage side walls	5.5 m
4.11.2.22.11	Minimum interior side yard on one side of a detached garage located in the rear yard	0.8 m
4.11.2.22.12	Minimum setback of all buildings and structures except a detached garage to a sight triangle	0.0 m
4.11.2.22.13	"Rear Lot Line" means the lot line that divides the lot from the public lane identified and named as a "lane" on Schedules RM5-22(1) to RM5-22(8) of this Exception	
4.11.2.22.14	"Front Lot Line" means the lot line opposite the rear lot line	
4.11.2.22.15	All site development plans shall comply with Schedules RM5-22(1) to RM5-22(8) of this Exception	



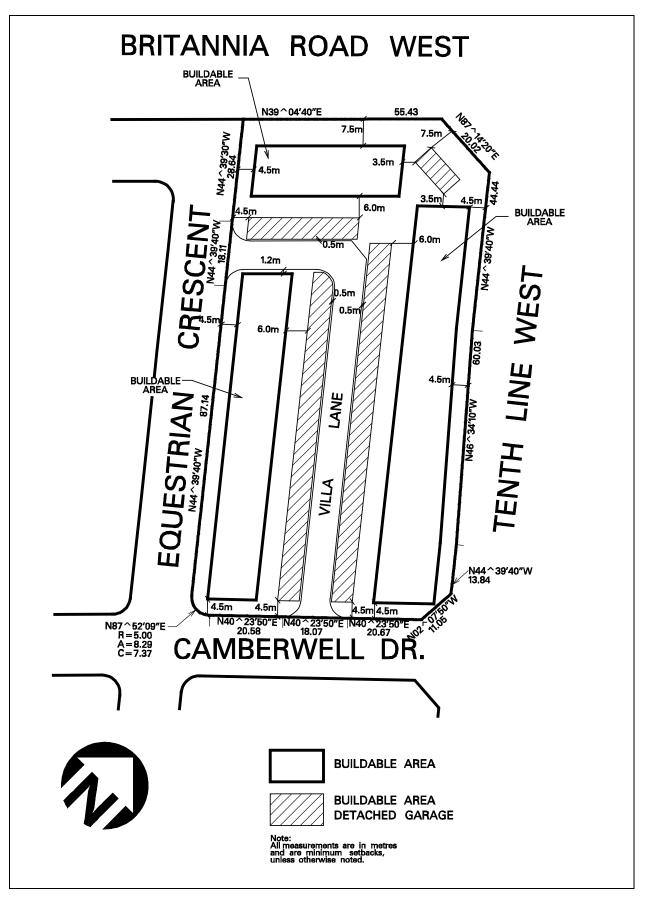
Schedule RM5-22(1) Map 57



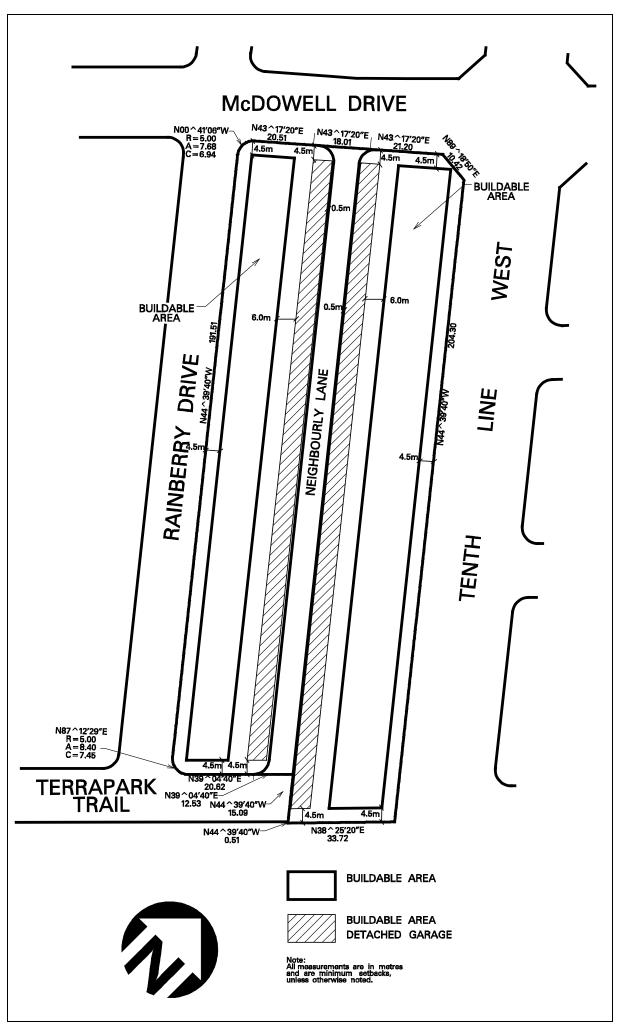
Schedule RM5-22(2) Map 57



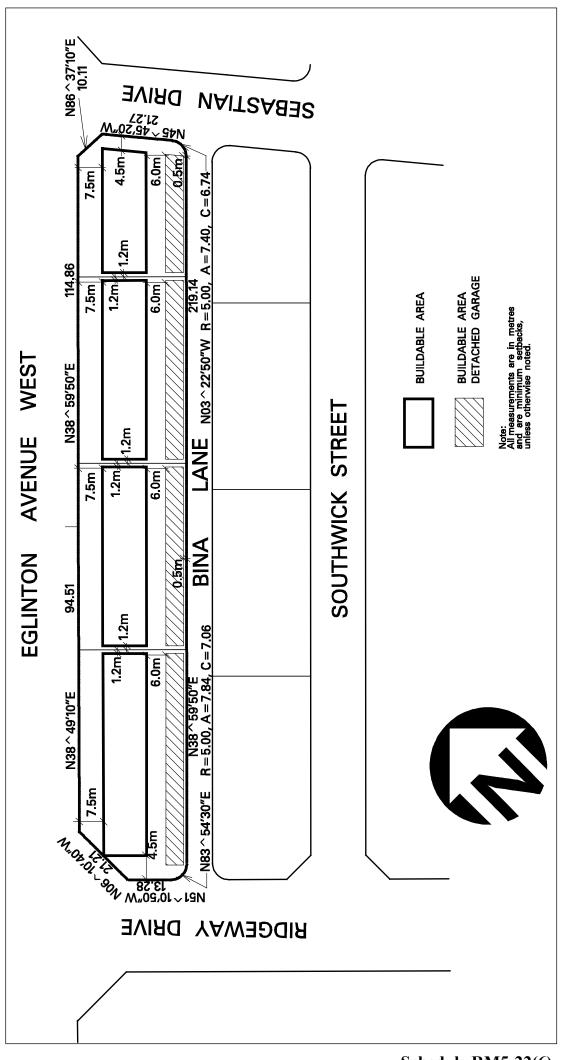
Schedule RM5-22(3) Map 57



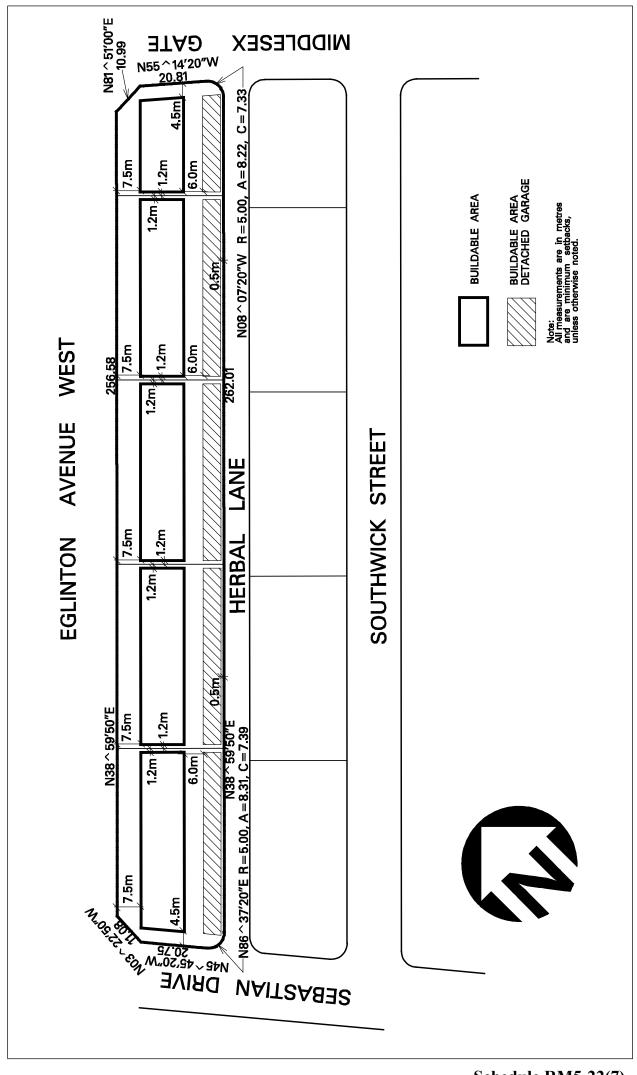
Schedule RM5-22(4) Map 57



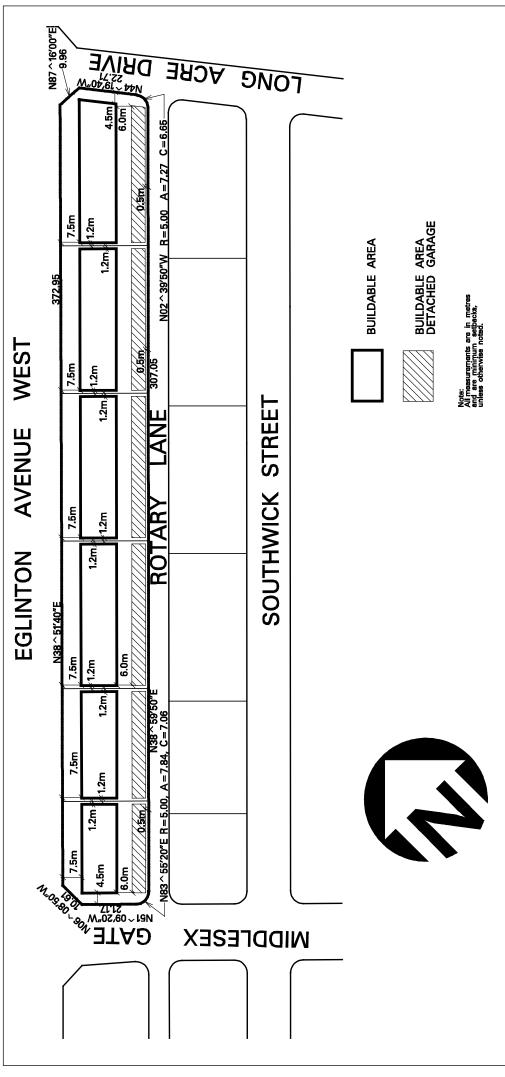
Schedule RM5-22(5) Map 57



Schedule RM5-22(6) Map 58



Schedule RM5-22(7) Map 58



Schedule RM5-22(8) Map 58

4.11.2.23	Exception: RM5-23	Map # 44W		81-2018/LPAT February 15
	zone the permitted uses and a e following uses /regulations s		shall be as specified f	for a RM5 zone
Regulations				
4.11.2.23.1	Minimum front yard - lot adjacent the front lot line	without a municipal s	idewalk	3.5 m
4.11.2.23.2	Minimum exterior side ya adjacent the exterior side l		nicipal sidewalk	3.5 m
4.11.2.23.3	Minimum setback to garag	ge face		5.8 m
4.11.2.23.4	Maximum encroachment o exterior side yards	f a porch into the requ	uired front and	1.8 m
4.11.2.23.5	Maximum encroachment o and exterior side yards	2.0 m		
4.11.2.23.6	Maximum encroachment o exterior side yard	f an awning into the re	equired	0.3 m
4.11.2.23.7	Maximum projection of a g entrance or beyond the ma			2.5 m
4.11.2.23.8	Where a main entry featu projection of a garage bey			5.0 m
4.11.2.23.9	For a street townhouse mo the garage projects beyond shall be covered by a secor maximum of 2.5 m from th	l the main front entra nd storey which may b	ance, the garage	
4.11.2.23.10	Minimum setback to a sigh	it triangle		0.0 m
4.11.2.23.11	Maximum driveway width	l		3.8 m
4.11.2.23.12	Maximum garage width: measured from the inside f	ace of the garage side	walls	3.8 m

4.11.2.24	Exception: RM5-24	^	3y-law: 0181-2018/LPAT Order 2019 February 15		
	zone the permitted uses and a e following uses /regulations s	pplicable regulations shall be as hall apply:	specified for a RM5 zone		
Regulations					
4.11.2.24.1	The regulations of Line 11. By-law shall not apply	0 contained in Table 4.11.1 of th	nis		
4.11.2.24.2	Minimum lot area - interio	Minimum lot area - interior lot			
4.11.2.24.3	Minimum lot area - corner	260 m ²			
4.11.2.24.4	Minimum lot frontage - in	7.5 m			
4.11.2.24.5	Minimum lot frontage - co	10.0 m			
4.11.2.24.6	Minimum front yard - lot adjacent the front lot line	3.5 m			
4.11.2.24.7	Minimum exterior side ya adjacent the exterior side l	ewalk 3.5 m			
4.11.2.24.8	Minimum setback to garag	zone 7.0 m			
4.11.2.24.9	Minimum setback to garag	e face - all other lots	6.0 m		
4.11.2.24.10	Minimum interior side ya	1.2 m			

Exception RM5-24 continued on next page

4.11.2.24	Exception: RM5-24	Map # 28	By-law: 018 Order 2019	1-2018/LPAT February 15	
Exception RN	M5-24 continued from previ	ous page			
4.11.2.24.11	Minimum rear yard			7.0 m	
4.11.2.24.12	Minimum setback of a stre	et townhouse to all lands zone	ed PB1	18.5 m	
4.11.2.24.13	Maximum encroachment of front and exterior side yar	a porch or balcony into requested as	iired	1.8 m	
4.11.2.24.14	Maximum encroachment of exterior side yard	Maximum encroachment of an awning into the required exterior side yard			
4.11.2.24.15	Maximum projection of a g entrance or beyond the ma	2.5 m			
4.11.2.24.16	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance			5.0 m	
4.11.2.24.17	the garage projects beyond	re than one storey in height , the main front entrance , the d storey which may be set bac e garage face	garage		
4.11.2.24.18	Minimum setback to a sight triangle			0.0 m	
4.11.2.24.19	Maximum driveway width			3.8 m	
4.11.2.24.20	Maximum garage width: 3.8 m measured from the inside face of the garage side walls			3.8 m	

4.11.2.25	Exception: RM5-25	Map # 36W	By-law:			
In a RM5-25 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Regulations						
4.11.2.25.1	Minimum lot area - interio	or lot	163 m ²			
4.11.2.25.2	Minimum lot frontage - int	terior lot	6.1 m			
4.11.2.25.3	Minimum setback to Huron	tario Street	3.2 m			

4.11.2.26 Exception: RM5-26	Map # 44E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RM5-26 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses**/regulations shall apply:

Additional Per	rmitted	Use	
4.11.2.26.1	(1)	Semi-Detached	
Regulations			
4.11.2.26.2	Street	Townhouse:	
	(1)	maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot	45%
	(2)	maximum lot coverage - all other lots	40%
	(3)	minimum rear yard where lands abut a C5-12 zone	10.0 m

Exception RM5-26 continued on next page

4.11.2.26	Excep	otion: RM5-26	Map # 44E	By-law: 0174-2017 0181-2018/LPAT 2019 February 15	
Exception R	M5-26 c	ontinued from previo	ous page		
4.11.2.26.2 (continued)	(4)		on of a garage beyond either the ce or beyond the main entry the main entry the terior lot		5 m
	(5)		y feature has been provided, action of a garage beyond a ce - interior lot	4.	0 m
	(6)	where the garage p entrance, the gara	puse more than one storey in l rojects beyond the main fron ge shall be covered by a secon be set back a maximum of 2.5	t id	
	(7)	maximum porch ar	rea in a front yard - interior l	lot 12	m^2
	(8)	maximum porch ar corner lot	ea in front and exterior side	yards - 20) m ²
	(9)		hes in front and exterior side from the calculation of lot cover		
	(10)		s and structures shall not be r exterior side yard	located	
4.11.2.26.3			ply with the RM2 zone regula .1 of this By-law except that:	ations	
	(1)	project more than 1	rage - where the garage does .0 m beyond the main entry f e main front entrance - inter	feature	5%
	(2)	maximum lot cover	rage - all other lots	40	0%
	(3)	minimum rear yar	d where lands abut an C5-12 z	zone 10.	.0 m
	(4)	1 5	on of a garage beyond either the ce or beyond the main entry the		5 m
	(5)	-	y feature has been provided, t on of a garage beyond a main • lot		0 m
	(6)	where the garage p entrance , the garag	d more than one storey in hei rojects beyond the main fron ge shall be covered by a secon be set back a maximum of 2.5 ce - interior lot	t id	
	(7)	maximum porch ar	ea in a front yard - interior l	lot 12	m^2
	(8)	maximum total por yards - corner lot	rch area in front and exterior	side 20	m^2
	(9)		hes in front and exterior side om the calculation of lot cove		
	(10)		s and structures shall not be r exterior side yard	located	

4.11.2.27	Excep	otion: RM5-2	27	Map # 44W, 4	5E, 52W	By-law: 01' 0181-2018/ 2019 Febru	LPAT Order
In a RM5-27 z except that the		-		applicable regula shall apply:	ntions shall be	as specified f	for a RM5 zone
Additional Pe	ermittee	l Use					
4.11.2.27.1	(1)	Semi-Det	ached				
Regulations							
4.11.2.27.2	Street	t Townhous	e:				
	(1)	maximum	lot cove	erage:			
		(1.1)	1.0 m be 2.5 m be	he garage does eyond the main eyond the main ole room on the	entry feature front entrand	e or ce or a	45%
		(1.2)	less, me exterior	he width of the g asured from the walls or from the wall to the mid	outside of op ne outside of a	posite n	45%
		(1.3)	all other	r lots			40%
	(2)	minimum setback to Old Derry Road				9.0 m	
	(3)	maximum projection of a garage beyond the7.0 mmain front entrance					7.0 m
	(4)	for a street townhouse more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face					
	(5)	maximum porch area in a front yard - interior lot			lot	12 m ²	
	(6)	maximum total porch area in front and exterior side yards - corner lot			· side	20 m ²	
	(7)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage					
	(8)	accessory building and structures shall not be located in the front yard or exterior side yard				located	
4.11.2.27.3				nply with the R 8.1 of this By-la	-		
	(1)	maximum	lot cove	erage:			
		(1.1)	1.0 m be 2.5 m be	he garage does eyond the main eyond the main ole room on the	entry feature front entrand	e or ce or a	45%
		(1.2)	less, me exterior	he width of the g casured from the walls or from the wall to the mid	outside of op ne outside of a	posite n	45%
		(1.3)	all other	r lots			40%
	(2)	minimum	setback	to Old Derry Ro	oad		9.0 m
	(3)	maximum main fro i		on of a garage l 1 ce	beyond the		7.0 m

Exception RM5-27 continued on next page

4.11.2.27	Exce	ption: RM5-27	Map # 44W, 45E, 52W	By-law: 01 0181-2018/ 2019 Febru	LPAT Order
Exception R	M5-27 o	continued from previo	ous page		
4.11.2.27.3 (continued)	(4)	where the garage pr entrance , the garag	I more than one storey in he rojects beyond the main from ge shall be covered by a second ack a maximum of 2.5 m from	nt and storey	
	(5)	maximum porch are	ea in a front yard - interior	lot	12 m ²
	(6)	maximum total por yards - corner lot	ch area in front and exterio	r side	20 m ²
	(7)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		•	
	(8)	accessory building in the front yard or	s and structures shall not be exterior side yard	elocated	

4.11.2.28	Exception: RM5-28		5-28	Map # 52E		25-2008, 0181-2018/LPAT February 15
In a RM5-28 except that th					shall be as specified f	for a RM5 zone
Additional P	ermitte	d Uses				
4.11.2.28.1	(1) (2)	Detache Semi-D	ed Dwellin etached	ng		
Regulations						
4.11.2.28.2	Stree	t Townho	use:			
	(1)	maximu	m lot cov	erage:		
		(1.1)	1.0 m b 2.5 m b	the garage does not propeyond the main entry beyond the main front beyond the main front ble room on the first	y feature or t entrance or a	45%
		(1.2)	less, me exterior	the width of the garag easured from the outsi r walls or from the out r wall to the midpoint	ide of opposite tside of an	45%
		(1.3)	all othe	er lots		40%
	(2)		m projecti ont entra	ion of a garage beyon nce	id the	7.0 m
	(3)	where th entranc	ne garage e, the gar which may	nouse more than one s projects beyond the n age shall be covered by be set back a maximu	nain front by a second	
	(4)	maximu	m porch a	area in a front yard -	interior lot	12 m^2
	(5)		m total po corner lo	orch area in front and t	exterior side	20 m ²
	(6)			ches in front and exte from the calculation o		
	(7)		•	igs and structures sha or exterior side yard		

Exception RM5-28 continued on next page

4.11.2.28	Excep	otion: RM:	5-28	Map # 52E		325-2008, 7, 0181-2018/LPAT 9 February 15
Exception R	М5-28 с	ontinued	from previ	ous page		
4.11.2.28.3	regula			comply with the R11 zone bsection 4.4.1 of this By-la		
	(1)	is 5.0 m exterior	n or less, me walls or fro	rage - where the width of t easured from the outside of om the outside of an exteri interior wall	opposite	45%
	(2)	garage main e equal to	beyond the ntry feature 0 1.0 m or th	rage - where the projection main front entrance or the e, where provided, is less the projection of a garage b ce is less than or equal to 2	ne han or eyond the	45%
4.11.2.28.4				nply with the RM2 zone re 8.1 of this By-law except th	-	
	(1)	maximu	um lot cove			
		(1.1)	1.0 m bey beyond th	e garage does not project n yond the main entry featu ne main front entrance or e room on the first storey	re or 2.5 m a	45%
		(1.2)	measured walls or f	e width of the garage is 3.5 from the outside of oppositions of the outside of an extension of an interior wall or	ite exterior	45%
		(1.3)	all other I	lots		40%
	(2)		um projectic cont entran	on of a garage beyond the ce		7.0 m
	(3)	where t entrand storey	he garage p ce, the garag	d more than one storey in projects beyond the main f ge shall be covered by a se be set back a maximum of ce	ront cond	
	(4)	maximum porch area in a front yard - interior lot		12 m ²		
	(5)	maximu corner		rch in front and exterior s	ide yards -	20 m ²
	(6)		-	hes in front and exterior s rom the calculation of lot o	-	
	(7)			gs and structures shall not r exterior side yard	be located	

4.11.2.29	Excep	otion: RM5-29	Map # 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15		
In a RM5-29 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Additional P	Additional Permitted Uses					
4.11.2.29.1	(1)	Detached Dwell	ling			
	(2)	Semi-Detached				

Exception RM5-29 continued on next page

4.11.2.29	Excep	otion: RM5-29	Map # 52E	By-law: 017 0181-2018/ 2019 Februa	LPAT Order	
Exception R	М5-29 с	ontinued from previ	ious page			
Regulations						
4.11.2.29.2	Stree	t Townhouse:				
	(1)	project more than	rage - where the garage d 1.0 m beyond the main en the main front entrance - i	try feature	45%	
	(2)	maximum lot cove	rage - all other lots		40%	
	(3)		on of a garage beyond eith ace or beyond the main en nterior lot		2.5 m	
	(4)		ry feature has been provide on of a garage beyond a m r lot		4.0 m	
	(5)	where the garage p entrance, the gara	ouse more than one storey projects beyond the main f age shall be covered by a so be set back a maximum of	front econd		
	(6)	maximum porch a	12 m^2			
	(7)	maximum porch a	side yards	20 m ²		
(1	(8)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage				
	(9)		gs and structures shall not or exterior side yard	t be located		
4.11.2.29.3		ached dwelling shall comply with the R11 zone tions contained in Subsection 4.4.1 of this By-law				
4.11.2.29.4	A semi-detached shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:					
	(1)	maximum lot cove project more than or 2.5 m beyond th	try feature	45%		
	(2)	maximum lot cove		40%		
	(3)		on of a garage beyond eith ice or beyond the main en iterior lot		2.5 m	
	(4)		y feature has been provid on of a garage beyond a m r lot		4.0 m	
	(5)	where the garage p entrance, the gara	ed more than one storey in projects beyond the main f age shall be covered by a so be set back a maximum of ace - interior lot	front econd		
	(6)	maximum porch a	rea in a front yard - inter	ior lot	12 m ²	
	(7)	maximum total po yards - corner lot	rch area in front and exten	rior side	20 m ²	
	(8)	-	ches in front and exterior from the calculation of lot	•		
	(9)	•	gs and structures shall not or exterior side yard	t be located		

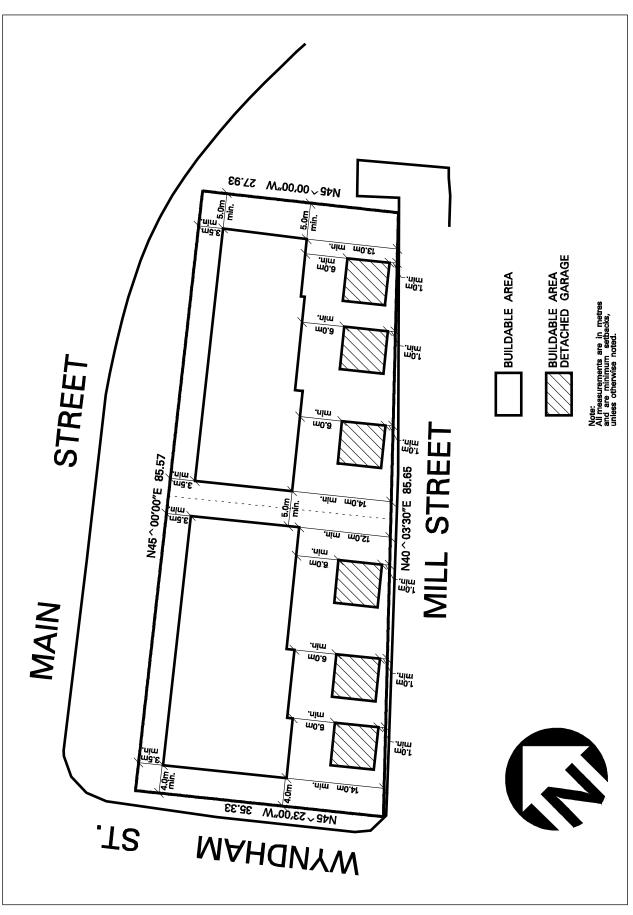
4.11.2.30	Exception: RM5-30	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15		
	cone the permitted uses and following uses /regulations		all be as specified for a RM5 zone	
Regulations				
4.11.2.30.1	Minimum lot area - corr	ner lot	325 m ²	
4.11.2.30.2	Minimum lot frontage -	corner lot	10.5 m	
4.11.2.30.3	beyond the main	ge does not project more th n entry feature or 2.5 m b ance or habitable room of	beyond the	
		of the garage is 3.8 m or face of the garage side wa		
	(3) all other lots		40%	
4.11.2.30.4	Minimum setback to gar	age face	7.0 m	
4.11.2.30.5	Maximum encroachment exterior side yards	of a porch into the requi	red front and 1.5 m	
4.11.2.30.6	garage projects beyond t	re than one storey in heig he main front entrance , ond storey which may be the garage face	the garage	
4.11.2.30.7	Maximum porch area in	a front yard - interior lo	t 12 m^2	
4.11.2.30.8	Maximum total porch ar corner lot	ide yards - 20 m^2		
4.11.2.30.9	The area of all porches is excluded from the calculated	n front and exterior side ation of lot coverage	yards shall be	
4.11.2.30.10	Maximum driveway wid	lth	3.8 m	
4.11.2.30.11	Minimum setback to a si	Minimum setback to a sight triangle		
4.11.2.30.12	Accessory buildings and front yard or exterior si	l structures shall not be lo ide yard	ocated in the	

4.11.2.31	Excepti	ion: RM5-31	Map # 37W	By-law: 0174-2017		
	In a RM5-31 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Additional Per	Additional Permitted Use					
4.11.2.31.1	(1)	Semi-Detached				
Regulations						
4.11.2.31.2			nply with the RM2 zone regula .1 of this By-law except that:	itions		
	(1)	minimum lot area	- interior lot	195 m ²		
	(2)	minimum lot front	age - interior lot	6.5 m		
	(3)	maximum gross flo	oor area - residential	0.75 times the lot area		

			1	
4.11.2.32	Excep	tion: RM5-32	Map # 38W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
		permitted uses and ap ng uses /regulations s	e	be as specified for a RM5 zone
Additional Pe	ermitted	Uses		
4.11.2.32.1	(1) (2)	Detached Dwelling Semi-Detached	g	
Regulations				
4.11.2.32.2	Street	Townhouse:		
	(1)	minimum lot area		186 m ²
	(2)	minimum interior	side yard - unattached sid	le 1.2 m
4.11.2.32.3			comply with the R5 zone 2.1 of this By-law except the	
	(1)	minimum lot area		247 m ²
4.11.2.32.4			nply with the RM2 zone re .1 of this By-law except the	•
	(1)	minimum lot area		186 m ²

4.11.2.33	Exception: RM5-33	Map # 38W	By-law:		
In a RM5-33 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations					
4.11.2.33.1	Minimum lot frontage - int	terior lot	8.0 m		
4.11.2.33.2	Minimum lot frontage - co	rner lot	11.5 m		
4.11.2.33.3	Minimum exterior side yar	rd	3.6 m		

4.11.2.34	Exception: RM5-34	Map # 38W	By-law: 0176-2010			
In a RM5-34 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Regulations						
4.11.2.34.1	4.11.2.34.1 The regulations of Lines 3.0 to 8.0, 10.0 to 12.1 and 13.0 contained in Table 4.11.1 of this By-law shall not apply					
4.11.2.34.2	All site development plans shall comply with Schedule RM5-34 of this Exception					



Schedule RM5-34 Map 38W

4.11.2.35	Exception: RM5-35	Map # 39E	By-law: 0181-2018/LPAT Order 2019 February 15		
	in a RM5-35 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:				
Regulations					
4.11.2.35.1	Minimum lot area - interio	170 m ²			
4.11.2.35.2	Minimum lot area - corner	230 m ²			
4.11.2.35.3	Minimum lot frontage - in	5.9 m			
4.11.2.35.4	Minimum setback to garag	10.5 m			
4.11.2.35.5	Minimum exterior side ya	rd	4.1 m		
4.11.2.35.6	Maximum encroachment of exterior side yards	nt and 1.8 m			
4.11.2.35.7	Maximum encroachment of	f a deck into the required rear	yard 2.0 m		
4.11.2.35.8	Minimum number of parki	ng spaces	3		

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4.11.2.36	Exception: RM5-36		Map # 30	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15	
		permitted uses and a ng uses /regulations s	pplicable regulations shall be hall apply:	as specified for a RM5 zone	
Additional Pe	rmitted	Use			
4.11.2.36.1	(1)	Semi-Detached			
Regulations					
4.11.2.36.2	Street	Townhouse:			
	(1)	minimum setback f zoned PB1	from a street townhouse to al	l lands 10.0 m	
	(2)	minimum setback t	o a sight triangle	0.0 m	
	(3)		nment of a porch or balcony i exterior side yards	nto the 2.0 m	
	(4)	maximum drivewa	y width	3.8 m	
	(5)	maximum garage we measured from the	width: inside face of the garage side	3.8 m	
4.11.2.36.3			nply with the RM2 zone regula 3.1 of this By-law except that:	ations	
	(1)	minimum setback f zoned PB1	rom a semi-detached to all la	nds 10.0 m	
	(2)	minimum setback t	o a sight triangle	0.0 m	
	(3)		nment of a porch or balcony i exterior side yards	into the 2.0 m	
	(4)	maximum drivewa	y width	3.8 m	
	(5)	maximum garage we measured from the	width: inside face of the garage side	3.8 m	

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4.11.2.37	Exception: RM5-37		0	By-law: 0449-2007,)174-2017, 0181-2018/LPAT Order 2019 February 15
		permitted uses and a ing uses /regulations s	pplicable regulations shall be as hall apply:	specified for a RM5 zone
Additional P	ermitted	l Use		
4.11.2.37.1	(1)	Semi-Detached		
Regulations				
4.11.2.37.2	Street	t Townhouse:		
	(1)	the regulations of I this By-law shall n	Line 11.0 contained in Table 4.11 ot apply	1.1 of
	(2)	minimum lot area	- interior lot	183 m ²
	(3)	minimum lot area	- corner lot	292 m ²
	(4)	minimum lot front	age - interior lot	6.1 m
	(5)	minimum lot front	age - corner lot	9.75 m
	(6)	minimum front ya adjacent the front	rd - lots without a municipal sid lot line	lewalk 3.5 m
	(7)		side yard - lots without a munic he exterior side lot line	cipal 3.5 m
	(8)	minimum setback	to garage face	5.8 m
	(9)	minimum interior	side yard - unattached side	1.2 m
	(10)	minimum rear ya r	ď	6.0 m
	(11)	minimum setback zoned U-3	from a street townhouse to all la	ands 11.0 m
	(12)		nment of a porch or balcony into exterior side yards	o 2.0 m
	(13)		on of a garage beyond either the beyond the main entry feature	
	(14)		y feature has been provided, the on of a garage beyond a main fr	
	(15)	where the garage performed and the garage performance of the garage pe	buse more than one storey in he projects beyond the main front ge shall be covered by a second be set back a maximum of 2.5 m	-
	(16)	maximum drivew a	y width - interior lot	4.3 m
	(17)	maximum drivew a	y width - corner lot	4.7 m
	(18)	maximum garage	width:	3.8 m
			inside face of the garage side w	alls
	(19)	minimum setback	0 0	0.0 m

Exception RM5-37 continued on next page

4.11.2.37	Excep	otion: RM5-37	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15	
Exception R	M5-37 c	ontinued from previ	ious page		
4.11.2.37.3	A semi-detached shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:				
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply			
	(2)	minimum front yard - lots without a municipal sidewalk adjacent the front lot line			3.5 m
	(3)	minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line			3.5 m
	(4)	minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m			1.8 m
	(5)	minimum exterior side yard - corner lots with a 0.3 m reserve along the exterior lot line			4.2 m
	(6)	minimum setback to garage face			5.8 m
	(7)	maximum encroachment of a porch or balcony into required front and exterior side yards		into	2.0 m
	(8)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided			2.5 m
	(9)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance			5.0 m
	(10)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face			
	(11)	minimum setback to a sight triangle			0.0 m
	(12)		ay width - interior lot		4.3 m
	(13)		ay width - corner lot		4.7 m
	(14)	maximum garage width: measured from the inside face of the garage side walls		walls	3.8 m

4.11.2.38	Excep	tion: RM5-38		By-law: 0265-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15
		permitted uses and a ng uses /regulations s	pplicable regulations shall be as hall apply:	s specified for a RM5 zone
Additional P	ermitted	l Uses		
4.11.2.38.1	(1) (2)	Detached Dwellin Semi-Detached	g	
Regulations				
4.11.2.38.2	Street	t Townhouse:		
	(1)	the regulations of I of this By-law shal	Line 11.0 contained in Table 4.1 l not apply	1.1
	(2)	minimum lot area	- interior lot	183 m ²
	(3)	minimum lot area	- corner lot	292 m ²
	(4)	minimum lot front	age - interior lot	6.1 m
	(5)	minimum lot front	9.75 m	
	(6)	minimum front ya adjacent the front	rd - lots without a municipal sid lot line	dewalk 3.5 m
	(7)		side yard - lots without a muni the exterior side lot line	icipal 3.5 m
	(8)	minimum setback	to garage face	5.8 m
	(9)	minimum interior	side yard - unattached side	1.2 m
	(10)	minimum rear yar	ď	6.0 m
	(11)	minimum setback t zoned U-3	from a street townhouse to all l	ands 11.0 m
	(12)		nment of a porch or balcony in exterior side yards	to 2.0 m
	(13)		on of a garage beyond either the ce or beyond the main entry fe	
	(14)		y feature has been provided, ection of a garage beyond a ce	5.0 m
	(15)	where the garage performed entrance, the gara	buse more than one storey in he projects beyond the main front ge shall be covered by a second be set back a maximum of 2.5 m	1
	(16)	maximum drivew a	y width - interior lot	4.3 m
	(17)		y width - corner lot	4.7 m
	(18)	maximum garage	-	3.8 m valls
	(19)	minimum setback	0 0	0.0 m

Exception RM5-38 continued on next page

4.11.2.38	Exception: RM5-38		Map # 57, 58	By-law: 0265-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception R	M5-38 c	ontinued from previ	ous page	
4.11.2.38.3			comply with the R7 zone regulation of this By-law except that:	lations
	(1)	minimum lot area	- interior lot	275 m^2
	(2)	minimum lot area	- corner lot	380 m ²
	(3)	minimum lot front	age - interior lot	9.75 m
	(4)	minimum lot front	age - corner lot	13.5 m
	(5)	minimum setback f lands zoned G1	from a detached dwelling to a	ll 11.0 m
	(6)	minimum rear yar	d	7.5 m
	(7)	maximum drivewa	y width	6.5 m
	(8)	maximum garage we measured from the	width: inside face of the garage side	5.5 m walls
4.11.2.38.4			nply with the RM2 zone regula 3.1 of this By-law except that:	tions
	(1)	the regulations of L of this By-law shal	ine 5.0 contained in Table 4.8 l not apply	.1
	(2)	minimum front ya adjacent the front l	rd - lots without a municipal s lot line	idewalk 3.5 m
	(3)		side yard - lots without a mur he exterior side lot line	nicipal 3.5 m
	(4)		side yard - lots abutting a str width less than 17.0 m	eet 1.8 m
	(5)	minimum exterior reserve along the e	side yard - corner lots with a xterior lot line	0.3 m 4.2 m
	(6)	minimum setback t	to garage face	5.8 m
	(7)		nment of a porch or balcony in exterior side yards	nto 2.0 m
	(8)		on of a garage beyond either th ce or beyond the main entry f	
	(9)		y feature has been provided, t on of a garage beyond a main	
	(10)	where the garage p entrance, the gara	d more than one storey in heig projects beyond the main from ge shall be covered by a secon be set back a maximum of 2.5 ce	t d
	(11)	minimum setback t	o a sight triangle	0.0 m
	(12)	maximum drivewa	y width - interior lot	4.3 m
	(13)		y width - corner lot	4.7 m
	(14)	maximum garage measured from the	width: inside face of the garage side	3.8 m walls

4.11.2.39	Excep	tion: RM5-39	-	0181-20	0174-2017, 018/LPAT Order bruary 15
		permitted uses and a ng uses /regulations s	pplicable regulations shall be as hall apply:	s specifi	ed for a RM5 zone
Additional Po	ermitted	Use			
4.11.2.39.1	(1)	Semi-Detached			
Regulations					
4.11.2.39.2	Street	Townhouse:			
	(1)	the regulations of I of this By-law shal	Line 11.0 contained in Table 4.1 l not apply	1.1	
	(2)	minimum front ya adjacent the front l	rd - lots without a municipal sid lot line	dewalk	3.5 m
	(3)		side yard - lots without a muni he exterior side lot line	icipal	3.5 m
	(4)	minimum setback t	to a sight triangle		0.0 m
	(5)	maximum encroachment of a porch or balcony into the required front and exterior side yards			2.0 m
	(6)	minimum setback of a detached garage to the rear lot line			0.5 m
	(7)	minimum setback of interior side lot lin	of a detached garage to the ne		0.85 m on one side and 0.0 m on the other side
	(8)	maximum drivewa	y width		6.5 m
	(9)	maximum garage measured from the	width: inside face of the garage side v	valls	5.5 m
	(10)	a detached garage	shall be provided in the rear ya	ırd	
	(11)	minimum setback f street townhouse	from a detached garage to a		6.0 m
	(12)		g a street with a width of 17.0 n emed to be the front lot line	n or	
4.11.2.39.3			nply with the RM2 zone regulat 8.1 of this By-law except that:	ions	
	(1)	the regulations of I this By-law shall n	ine 5.0 contained in Table 4.8.3 ot apply	l of	
	(2)	minimum front ya adjacent the front l	rd - lots without a municipal sid lot line	dewalk	3.5 m
	(3)		side yard - lots without a muni he exterior side lot line	icipal	3.5 m
	(4)	maximum drivewa	y width		6.5 m
	(5)		ument of a porch or balcony in exterior side yards	to the	2.0 m
	(6)	minimum setback o rear lot line	of a detached garage to the		0.5 m
	(7)	minimum setback of interior side lot li	of a detached garage to the ne		0.85 m on one side and 0.0 m on the other side
	(8)	maximum garage measured from the	width: inside face of the garage side v	walls	5.5 m
	(9)	minimum setback t	0 0		0.0 m

Exception RM5-39 continued on next page

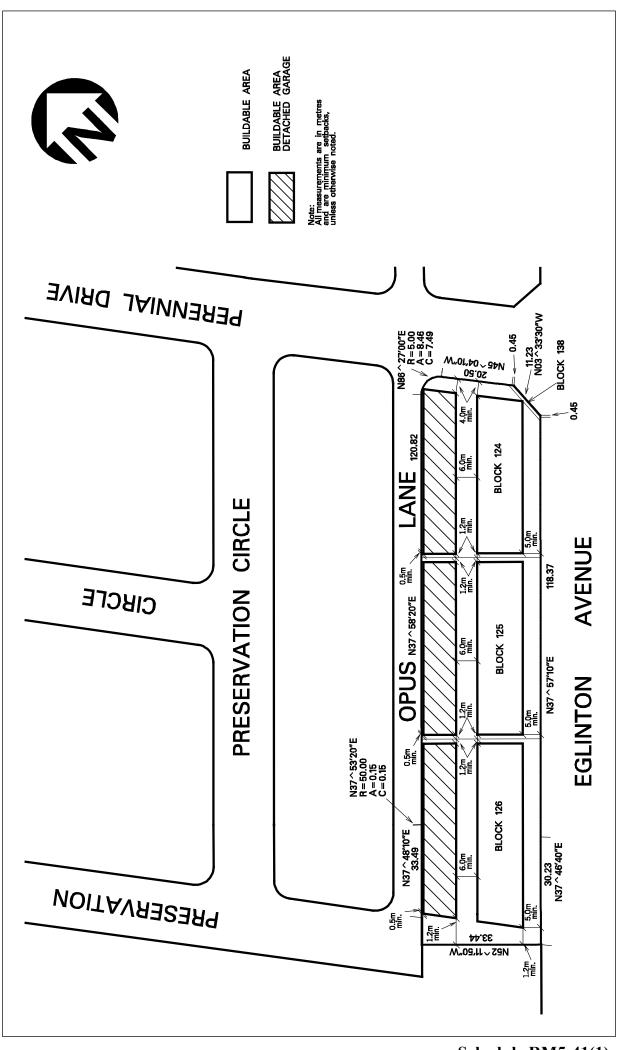
4.11.2.39	Excep	otion: RM5-39	Map # 57	By-law: 0 0181-2018 2019 Febr	3/LPAT Order
Exception R	M5-39 c	ontinued from pr	evious page		
4.11.2.39.3 (continued)	(10)	a detached gara	ge shall be provided in	the rear yard	
	(11)	minimum setba semi-detached	ck from a detached gar a	age to a	6.0 m
	(12)		ting a street with a wid deemed to be the front		

4.11.2.40	Exception: RM5-40	Map # 25, 37W	By-law: 0174-2017		
In a RM5-40 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Additional Per					
4.11.2.40.1	(1) Semi-Detached				
Regulation					
4.11.2.40.2	A semi-detached shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law				

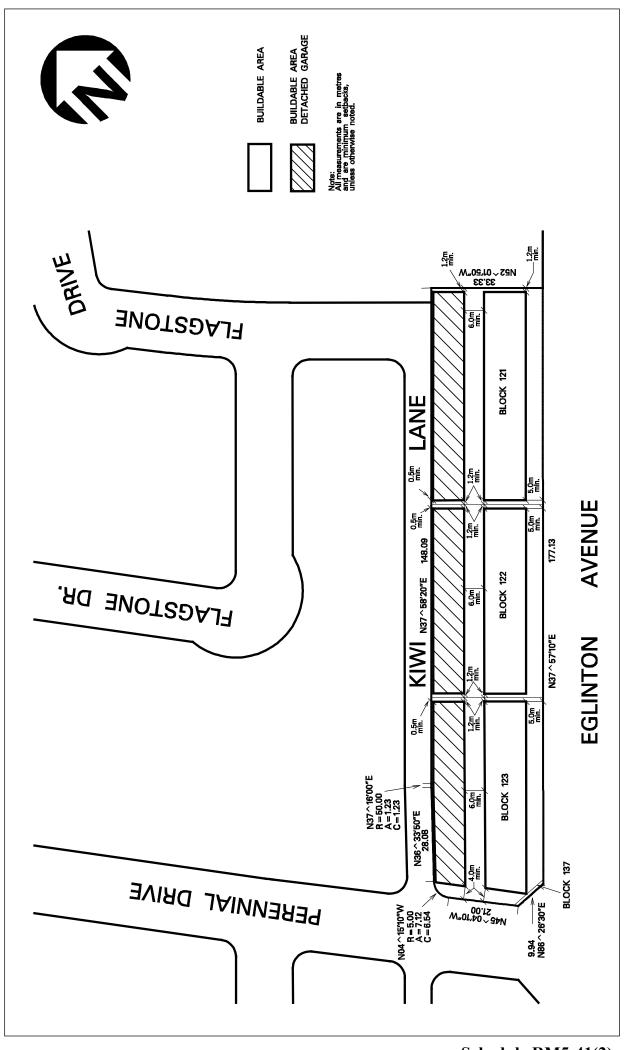
4.11.2.41	Excep RM5-4 RM5-4	41(1), RM5-41(2),	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09, 0208-2022
				l uses and applicable regulations shall gulations shall apply:
Additional Pe	ermitted	Uses		
4.11.2.41.1	The fo	llowing uses are perr	nitted within a street	t townhouse:
Uses Not Peri 4.11.2.41.2	$(1) \\ (2) \\ (3) \\ (4) \\ (5) \\ (6) \\ mitted \\ \hline (1) \\ (2) \\ (3) \\ (4) \\ (4) \\ (2) \\ (3) \\ (4) \\ (4) \\ (3) \\ (3) \\ (4) \\ (3) \\ (3) \\ (3) \\ (4) \\ (3) \\$	Office Medical Office - R Service Establishin Repair Service Retail Store Tutoring Dry-cleaning establ Carpet or floor cove Pet Shop Laundromat or laur	nent lishment or depot ering cleaning servic	e
Regulations				
4.11.2.41.3	Street	Townhouse:		
	(1)	the regulations of L this By-law shall no	ine 11.0 contained in ot apply	n Table 4.11.1 of
	(2)	Exception, except t Sentence 4.11.2.41	in Sentence 4.11.2.41 he uses not permitted 2 of this Exception, irst storey of a stree	d in shall only be

Exception RM5-41(1), RM5-41(2), and RM5-41(3) continued on next page

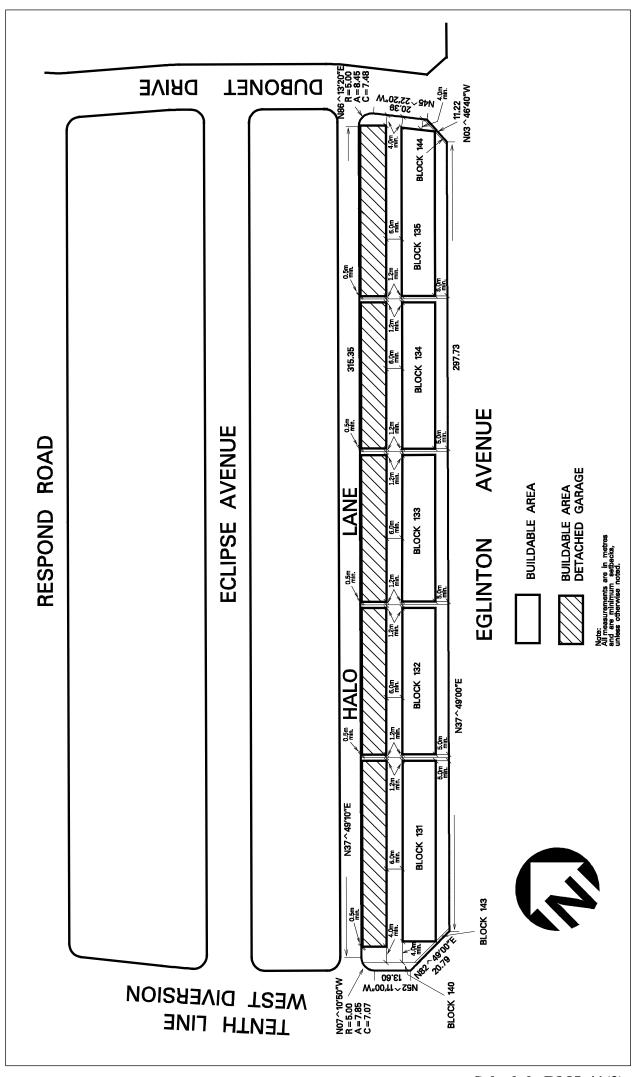
4.11.2.41	RM5-4	41(1), RM5-41(2), 41(3)	Map # 57	Order 2019 I 0111-2019/L 2021 March	e /
Exception R	M5-41(1)), RM5-41(2), and R	M5-41(3) continued from pr	evious page	
4.11.2.41.3 (continued)	(3)	Sentence 4.11.2.41	of uses permitted in .1 of this Exception, except the ntence 4.11.2.41.2 of this Exce as dwelling unit		1
	(4)	maximum gross flo	oor area - non-residential		65 m ²
	(5)	minimum lot area	- corner lot		315 m ²
	(6)	minimum lot front	age - corner lot		10.5 m
	(7)	maximum lot cove	rage - detached garage		17%
	(8)	minimum front ya adjacent the front lo	rd - lots without a municipal s ot line	idewalk	4.0 m
	(9)		side yard - lots without a mu he exterior side lot line	nicipal	4.0 m
	(10)		nment of a porch or balcony is exterior side yards	nto the	2.0 m
	(11)	buildable area ide	nment of a deck beyond the ntified on Schedules RM5-41(is Exception between a street etached garage		2.0 m
	(12)	maximum drivewa	y width		6.1 m
	(13)	buildable area - de	shall be permitted in the etached garage identified on (1) to RM5-41(3) of this Exce	ption	
	(14)	maximum garage we measured from the interior lot	vidth: inside face of the garage side	walls -	5.5 m
	(15)	maximum garage we measured from the corner lot	vidth: inside face of the garage side	walls -	5.9 m
	(16)	minimum interior garage located in th	side yard on one side of a det he rear yard	ached	0.85 m
	(17)	minimum setback o a detached garage	of all buildings and structure s to a sight triangle	s except	0.0 m
	(18)	this Exception, atta rear yard of Block identified on Sched	hedules RM5-41(1) to RM5-4 ched garages may be permitte is 122, 125, 132, 133 and 134, ules RM5-41(1) to RM5-41(3 liance with the following:	ed in the	
			m garage width: d from the inside face of the g ls	arage	3.8 m
		(18.2) maximum	m driveway width		4.3 m
		(18.3) minimur	n rear yard		6.0 m
	(19)	from a public lane	eans the lot line that divides the dentified and named as a "lan (1) to RM5-41(3) of this Exce	e" on	
	(20)	"Front Lot Line" m rear lot line	eans the lot line opposite the		
	(21)		t plans shall comply with (1) to RM5-41(3) of this Exce	ption	



Schedule RM5-41(1) Map 57



Schedule RM5-41(2) Map 57

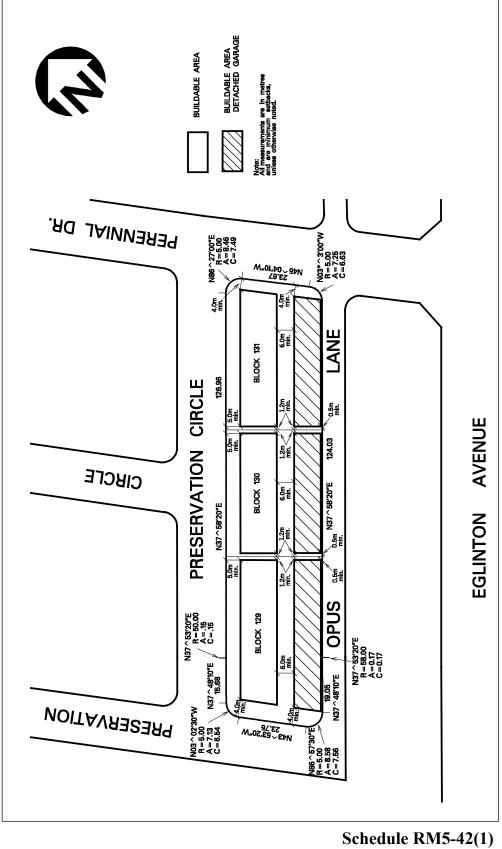


Schedule RM5-41(3) Map 57

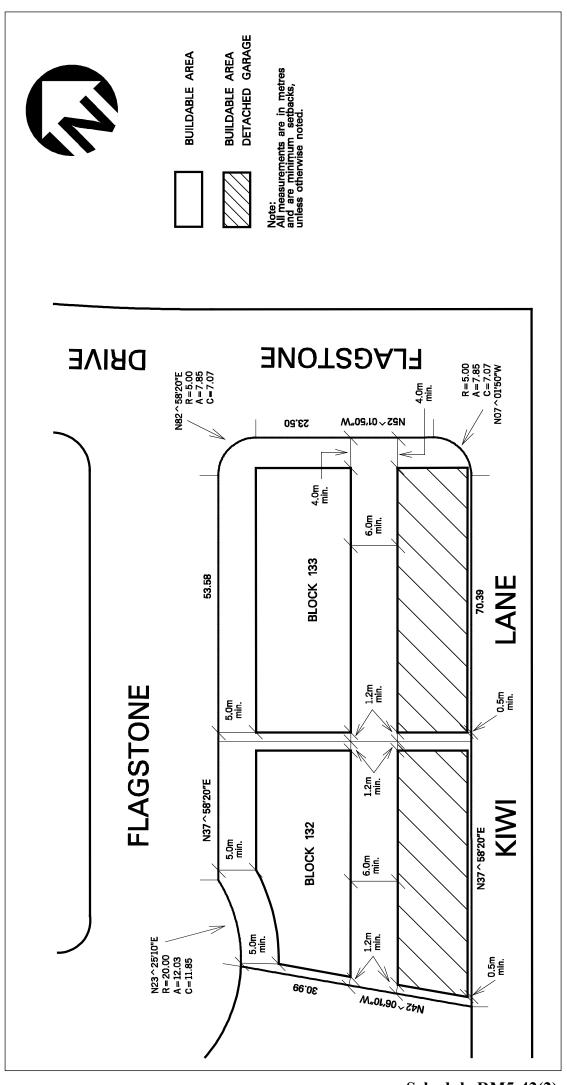
4.11.2.42	Exception: RM5-42(1), RM5-42 RM5-42(3), RM5-42 RM5-42(5)		By-law: 0181- Order 2019 Fe 0208-2022		
		42(3), RM5-42(4) and RM5-4 ecified for a RM5 zone excep			
Regulations					
4.11.2.42.1	The regulations of L By-law shall not app	Line 11.0 contained in Table 4	4.11.1 of this		
4.11.2.42.2	Minimum lot area -	Minimum lot area - corner lot			
4.11.2.42.3	Minimum lot fronta	age - corner lot		10.5 m	
4.11.2.42.4	Maximum lot cover	age - detached garage		17%	
4.11.2.42.5	Minimum front yar adjacent the front lo	·d - lots without a municipal t line	sidewalk	4.0 m	
4.11.2.42.6	Minimum exterior sadjacent the exterio	side yard - lots without a mu r side lot line	inicipal sidewalk	4.0 m	
4.11.2.42.7	Maximum encroach front and exterior s	ment of a porch or balcony side yards	into the required	2.0 m	
4.11.2.42.8	identified on Schedu	ment of a deck outside the b ules RM5-42(1) to RM5-42(5 a street townhouse and a det	5) of this	2.0 m	
4.11.2.42.9	Maximum drivewa		6.1 m		
4.11.2.42.10		shall be permitted in the buil entified on Schedules RM5-4 Exception			
4.11.2.42.11	Maximum garage w measured from the i interior lot	vidth: nside face of the garage side	e walls -	5.5 m	
4.11.2.42.12	Maximum garage w measured from the i corner lot	e walls -	5.9 m		
4.11.2.42.13		rom one side of a detached g an interior side lot line	arage, located	0.8 m	
4.11.2.42.14	Minimum setback o detached garage to	f all buildings and structure a sight triangle	es except a	0.0 m	
4.11.2.42.15	Exception, attached Block 130 identified Blocks 126, 127, 12 of this Exception; B of this Exception; at	hedules RM5-42(1) to RM5- garages may be permitted in 1 on Schedule RM5-42(1) of 8 and 129 identified on Sche lock 122 identified on Sched nd Blocks 125 and 126 identi 5) of this Exception, in compl	n the rear yard this Exception; dule RM5-42(3) ule RM5-42(4) fied on		
	(1) maximum g	arage width: om the inside face of the gar	age side walls	3.8 m	
	(2) maximum d	Iriveway width		4.3 m	
	(3) minimum r	ear vard		6.0 m	

Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued on next page

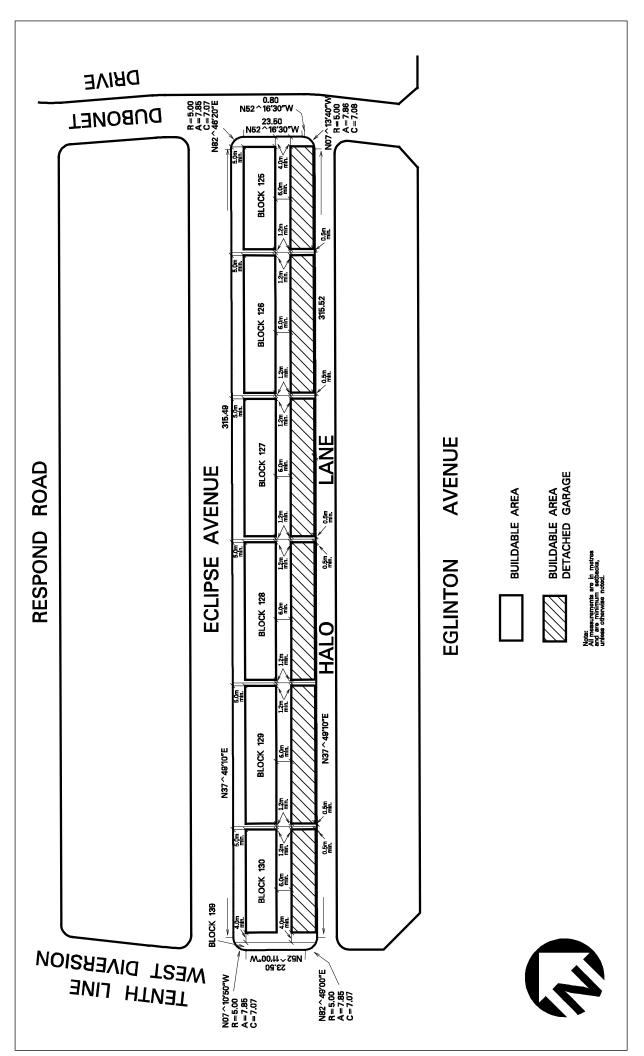
4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022	
Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued from previous page				
4.11.2.42.16	 2.16 "Rear Lot Line" means the lot line that divides the lot from a public lane identified and named as a "lane" on Schedules RM5-42(1) to RM5-42(5) of this Exception 			
4.11.2.42.17	"Front Lot Line" means the lot line opposite the rear lot line			
4.11.2.42.18	All site development plans shall comply with Schedules RM5-42(1) to RM5-42(5) of this Exception			



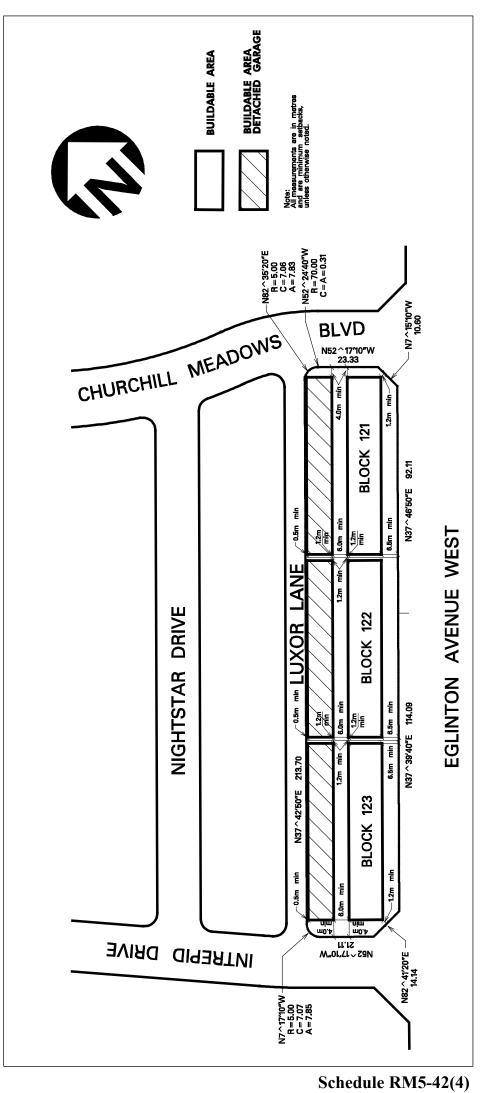
Map 57



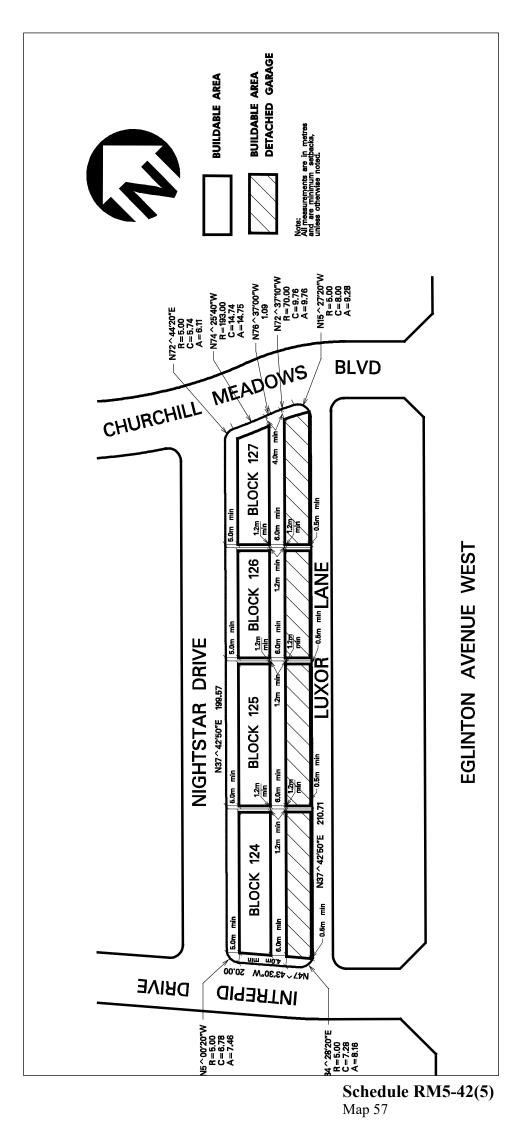
Schedule RM5-42(2) Map 57



Schedule RM5-42(3) Map 57



Map 57



4.11.2.43	Exception: RM5-43		Map # 57	By-law: 017 0181-2018/J 2019 Februa	LPAT Order
		permitted uses and a ing uses /regulations	applicable regulations shall shall apply:	be as specified for	or a RM5 zone
Additional P	ermitted	l Use			
4.11.2.43.1	(1)	Semi-Detached			
Regulations					
4.11.2.43.2	Street	t Townhouse:			
	(1)	the regulations of of this By-law sha	Line 11.0 contained in Tabl ll not apply	e 4.11.1	
	(2)	minimum lot area	ı - interior lot		183 m ²
	(3)	minimum lot area	ı - corner lot		292 m ²
	(4)	minimum lot from	tage - interior lot		6.1 m
	(5)	minimum lot from	tage - corner lot		9.75 m
	(6)	minimum front y a adjacent the front	ard - lots without a municip lot line	al sidewalk	3.5 m
	(7)		r side yard - lots without a t the exterior side lot line	municipal	3.5 m
	(8)	minimum setback	to garage face		5.8 m
	(9)	minimum interio	side yard - unattached side	e - all lots	1.2 m
	(10)	minimum rear ya	rd		6.0 m
	(11)		chment of a porch or balco r l exterior side yards	ny into	2.0 m
	(12)	1 5	ion of a garage beyond eithen nce or beyond the main ent		2.5 m
	(13)		ry feature has been provide jection of a garage beyond a nce		5.0 m
	(14)	where the garage entrance, the gar	nouse more than one storey projects beyond the main fr age shall be covered by a se be set back a maximum of	ront cond	
	(15)	minimum setback	to a sight triangle		0.0 m
	(16)	maximum drivew	ay width		3.8 m
	(17)	maximum garage measured from the	width: e inside face of the garage s	ide walls	3.8 m

Exception RM5-43 continued on next page

4.11.2.43	Excep	otion: RM5-43	Map # 57	By-law: 017 0181-2018/I 2019 Februa	PAT Order
Exception R	M5-43 c	ontinued from previ	ious page		
4.11.2.43.3			nply with the RM2 zone regu 8.1 of this By-law except that		
	(1)	the regulations of I this By-law shall n	Line 5.0 contained in Table 4 ot apply	.8.1 of	
	(2)	2) minimum front yard - lots without a municipal sidewalk adjacent the front lot line			3.5 m
	(3)		minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line minimum exterior side yard - corner lots with a 0.3 m reserve along the exterior lot line		
	(4)				
	(5)	minimum setback	minimum setback to garage face		
	(6)	minimum interior	side yard		1.2 m
	(7)		hment of a porch or balcony exterior side yard	vinto	2.0 m
	(8)		on of a garage beyond either ice or beyond the main entry		2.5 m
	(9)		y feature has been provided ection of a garage beyond a ice	,	5.0 m
	(10)	where the garage performed and the garage performance of the garage pe	ed more than one storey in h projects beyond the main fro age shall be covered by a seco be set back a maximum of 2.	ont	
	(11)	minimum setback	to a sight triangle		0.0 m
	(12)	maximum garage measured from the	width: inside face of the garage sid	le walls	3.8 m

4.11.2.44	Exception: RM5-44		0	By-law: 0174-2017, 181-2018/LPAT Order 019 February 15
		permitted uses and a ng uses /regulations	applicable regulations shall be as shall apply:	specified for a RM5 zone
Additional P	ermitted	l Uses		
4.11.2.44.1	(1) (2)	Detached Dwellin Semi-Detached	g	
Regulations				
4.11.2.44.2	Street	t Townhouse:		
	(1)	the regulations of I of this By-law sha	Line 11.0 contained in Table 4.11 ll not apply	1.1
	(2)	minimum lot area	- interior lot	183 m ²
	(3)	minimum lot area	- corner lot	292 m ²
	(4)	minimum lot fron	tage - interior lot	6.1 m
	(5)	minimum lot fron	tage - corner lot	9.75 m
	(6)	minimum front y a adjacent the front	rd - lots without a municipal sid lot line	ewalk 3.5 m
	(7)		• side yard - lots without a munic the exterior side lot line	cipal 3.5 m
	(8)	minimum setback	to garage face	5.8 m
	(9)	minimum interior	side yard - unattached side	1.2 m
	(10)	minimum rear ya i	rd	6.0 m
	(11)	minimum setback zoned U-3	from a street townhouse to all la	unds 11.6 m
	(12)		hment of a porch or balcony into exterior side yards	o 2.0 m
	(13)		on of a garage beyond either the nce or beyond the main entry fea	
	(14)		ry feature has been provided, ection of a garage beyond a nce	5.0 m
	(15)	where the garage entrance, the gara	ouse more than one storey in heiprojects beyond the main front age shall be covered by a second be set back a maximum of 2.5 m ace	-
	(16)	maximum drivew a	ay width - interior lot	4.3 m
	(17)	maximum drivew a	ay width - corner lot	4.7 m
	(18)	maximum garage measured from the	width: inside face of the garage side w	3.8 m alls
	(19)	minimum setback	0 0	0.0 m

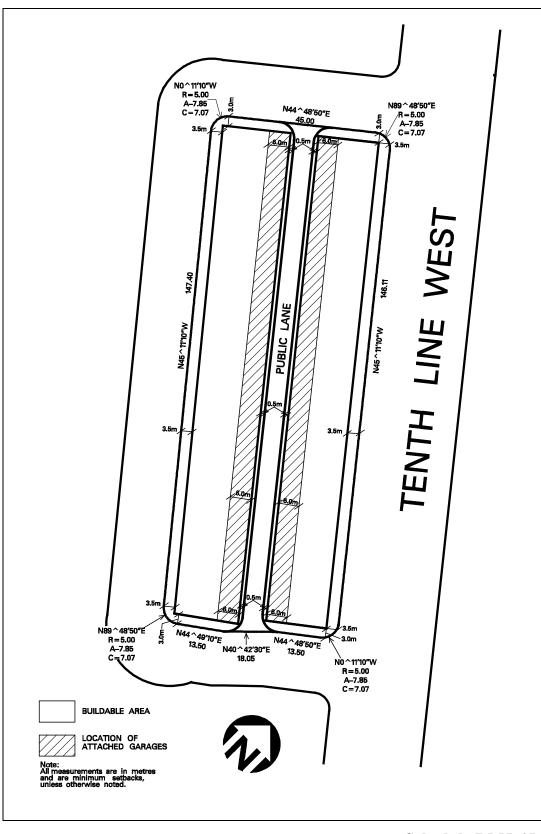
Exception RM5-44 continued on next page

4.11.2.44	Excep	tion: RM5-44		By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15		
Exception R	M5-44 co	ontinued from prev	ious page			
4.11.2.44.3		A detached dwelling shall comply with the R7 zone regulations contained in Subsection 4.3.1 of this By-law except that:				
	(1)	minimum lot area	- interior lot	275 m ²		
	(2)	minimum lot area	- corner lot	380 m ²		
	(3)	minimum lot fron	tage - interior lot	9.75 m		
	(4)	minimum lot fron	tage - corner lot	13.5 m		
	(5)	minimum rear ya	rd	7.5 m		
	(6)	minimum setback zoned U-3	of a detached dwelling to all lar	nds 11.6 m		
	(7)	maximum drivew	ay width	6.5 m		
	(8)	maximum garage measured from the	width: inside face of the garage side w	5.5 m valls		
4.11.2.44.4			nply with the RM2 zone regulati 8.1 of this By-law except that:	ions		
	(1)	the regulations of this By-law shall r	Line 5.0 contained in Table 4.8.1 not apply	l of		
	(2)	minimum front y a adjacent the front	ard - lots without a municipal side lot line	dewalk 3.5 m		
	(3)		• side yard - lots without a muni the exterior side lot line	cipal 3.5 m		
	(4)		• side yard - lots abutting a stree th less than 17.0 m	et with 1.8 m		
	(5)	minimum exterior the exterior side l	• side yard with a 0.3 m reserve ot line	along 4.2 m		
	(6)	minimum setback	to garage face	5.8 m		
	(7)	minimum setback	to a sight triangle	0.0 m		
	(8)	minimum setback zoned U-3	of a semi-detached to all lands	11.6 m		
	(9)		hment of a porch or balcony int exterior side yards	to a 2.0 m		
	(10)		on of a garage beyond either the nce or beyond the main entry fe			
	(11)		ry feature has been provided, ection of a garage beyond a ice	5.0 m		
	(12)	where the garage entrance, the gara	ed more than one storey in heigh projects beyond the main front age shall be covered by a second be set back a maximum of 2.5 n ace			
	(13)	maximum drivew	ay width - interior lot	4.3 m		
	(14)	maximum drivew	ay width - corner lot	4.7 m		
	(15)	maximum garage measured from the	width: inside face of the garage side w	3.8 m valls		

4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
	one the permitted uses and following uses /regulations		be as specified for a RM5 zone
Regulations			
4.11.2.45.1		in Subsection 2.1.14 and the ontained in Table 4.11.1 of the	
4.11.2.45.2	Minimum lot area - inter	ior lot	170 m ²
4.11.2.45.3	Minimum lot area - corn	er lot	235 m ²
4.11.2.45.4	Minimum lot frontage - i	nterior lot	7.5 m
4.11.2.45.5	Minimum lot frontage - c	corner lot	10.5 m
4.11.2.45.6	Minimum setback of all b detached garage to a sigh	uildings and structures exco t triangle	ept a 0.0 m
4.11.2.45.7	Minimum height		8.5 m
4.11.2.45.8	Minimum height - street	townhouse with an unattach	ed side 8.0 m
4.11.2.45.9	buildable area identified into the front and/or exte	porch or balcony outside th on Schedule RM5-45 of this rior side yard provided that hall not exceed 50% of the w	Exception the width
4.11.2.45.10	Maximum projection of an identified on Schedule RM required front yard		
4.11.2.45.11	Maximum projection of an identified on Schedule RM required exterior side ya		
4.11.2.45.12	Maximum projection of a without a foundation, chin buildable area identified into a required yard		
4.11.2.45.13	Maximum area of a deck Schedule RM5-45 of this	in the buildable area identif Exception	fied on 10 m^2
4.11.2.45.14	Maximum garage width: measured from the inside interior lot	face of the garage side walls	5.5 m 5 -
4.11.2.45.15	Maximum garage width: measured from the inside corner lot	face of the garage side walls	5.9 m 5 -
4.11.2.45.16	above:	ed garage with no habitable d gr ade to the highest point	
4.11.2.45.17	Maximum height - attach above:	ed garage with habitable ro d grade to the highest point	
4.11.2.45.18		ard on one side of an attache	
4.11.2.45.19	Maximum driveway widt		6.5 m

Exception RM5-45 continued on next page

4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022		
Exception RM5-45 continued from previous page					
4.11.2.45.20	"Rear Lot Line" means the lot line that divides the lot from a public lane identified and named as a "lane" on Schedule RM5-45 of this Exception				
4.11.2.45.21	"Front Lot Line" means the lot line opposite the rear lot line				
4.11.2.45.22	All site development plans shall comply with Schedule RM5-45 of this Exception				



Schedule RM5-45 Map 57

4.11.2.46	Exception: RM5-46	^	By-law: 0181-2018/LPAT Order 2019 February 15
	zone the permitted uses and a e following uses /regulations s	pplicable regulations shall be as hall apply:	s specified for a RM5 zone
Regulations			
4.11.2.46.1	The regulations of Line 11. By-law shall not apply	0 contained in Table 4.11.1 of t	his
4.11.2.46.2	Minimum lot area - interi	or lot	170 m ²
4.11.2.46.3	Minimum lot area - corne	r lot	235 m ²
4.11.2.46.4	Minimum lot frontage - in	terior lot	5.4 m
4.11.2.46.5	Minimum lot frontage - co	orner lot	10.5 m
4.11.2.46.6	Minimum front yard - lot adjacent the front lot line	without a municipal sidewalk	3.5 m
4.11.2.46.7	Minimum exterior side ya	rd	3.5 m
4.11.2.46.8	Minimum rear yard		7.0 m
4.11.2.46.9	Maximum encroachment o front and exterior side ya	equired 2.0 m	
4.11.2.46.10	Maximum encroachment o front yard	0.6 m	
4.11.2.46.11	Maximum encroachment o exterior side yard	0.3 m	
4.11.2.46.12	Maximum projection of a generation of a generation of a generation of the matrix of th		
4.11.2.46.13	Where a main entry featu projection of a garage beyo	re has been provided, the maximond a main front entrance	num 5.0 m
4.11.2.46.14	the garage projects beyond minimum of 60% of the wi	bre than one storey in height , we I the main front entrance , a dth of the garage shall be cover by be set back a maximum of 2.5	red by
4.11.2.46.15	Minimum setback to a sigh	t triangle	0.0 m
4.11.2.46.16	Maximum driveway width	- interior lot	3.8 m
4.11.2.46.17	Maximum driveway width	- corner lot	4.2 m
4.11.2.46.18	Maximum garage width:	ace of the garage side walls	3.8 m

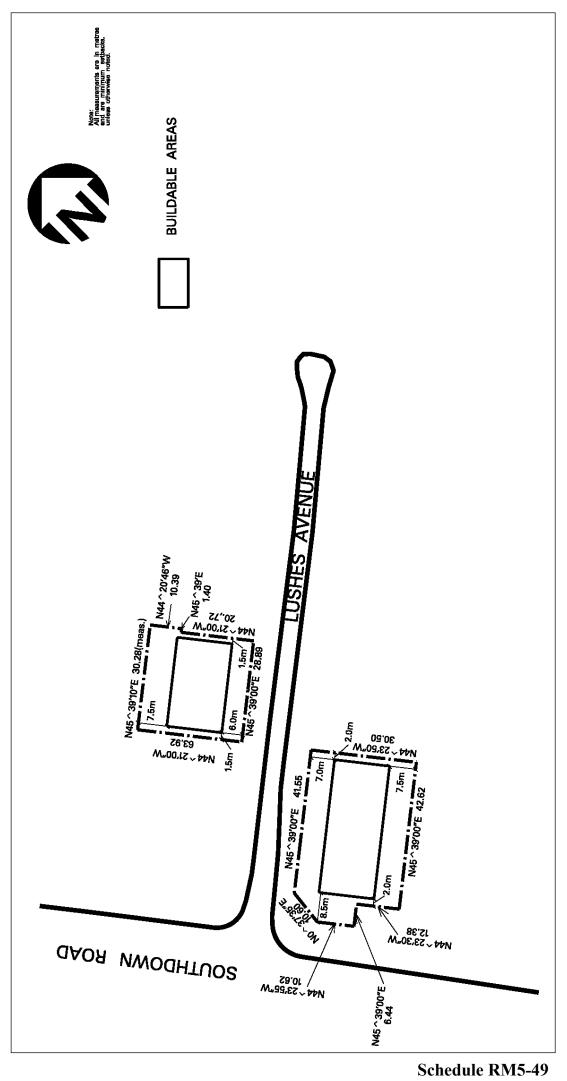
4.11.2.47	Exception: RM5-47	Map # 38W	By-law: 0426-2008, 0181-2018/LPAT Order 2019 February 15
		pplicable regulations shall be	as specified for a RM5 zone
except that the	following uses/regulations s	hall apply:	
Regulations			
4.11.2.47.1	The provisions contained in shall not apply	Sentence 3.1.1.2.1 of this By	z-law
4.11.2.47.2	Minimum lot area - interio	or lot	155 m ²
4.11.2.47.3	Minimum lot frontage - in	6.0 m	
4.11.2.47.4	Minimum front yard	3.2 m	
4.11.2.47.5	Minimum front yard - gar	2.2 m	
4.11.2.47.6	Minimum interior side yaı	1.3 m	
4.11.2.47.7	Maximum height		13.0 m
4.11.2.47.8	Maximum gross floor area - residential		295 m ²
4.11.2.47.9	Maximum driveway width		5.72 m
4.11.2.47.10	each storey of a building a	ntial" means the sum of the ar bove established grade meas walls but shall not include ar btor vehicle parking	sured

4.11.2.48	Excep	otion: RM5-48	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
		permitted uses and ap ing uses /regulations s	pplicable regulations shall be hall apply:	as specified for a RM5 zone
Additional Pe	rmittee	l Uses		
4.11.2.48.1	(1) (2)	Detached Dwelling Semi-Detached	g	
Regulations				
4.11.2.48.2		8	comply with the R7 zone reg 3.1 of this By-law except that:	•
	(1)		of detached dwelling units 35.0 m of Thomas Street	1
	(2)	minimum setback o Boulevard	of a lot to Winston Churchill	108.0 m
	(3)	minimum lot area	- interior lot	275 m ²
	(4)	minimum lot front	age - interior lot	9.75 m
	(5)	minimum lot front	age - corner lot	13.0 m
	(6)	maximum drivewa	y width	6.5 m
	(7)	maximum garage we measured from the	vidth: inside face of the garage side	5.5 m e walls
	(8)	on top of an attache	aximum area of 10 m ² is perred garage provided that the b ore than 1.0 m beyond the gar	alcony

Exception RM5-48 continued on next page

4.11.2.48	Excep	otion: RM5-48	Map # 57	· · · · · · · · · · · · · · · · · · ·	5-2007, 0181-2018/LPAT February 15
Exception R	M5-48 c	ontinued from previo	ous page		
4.11.2.48.3			ply with the RM2 zone regul. 1 of this By-law except that:	ations	
	(1)	•	ines 5.0 and 11.0 contained in 3y-law shall not apply	1	
	(2)	minimum front yar sidewalk adjacent tl	rd - lots without a municipal ne front lot line		3.5 m
	(3)	minimum setback to	o garage face		5.8 m
	(4)		side yard - lots without a adjacent the exterior side lot	t line	3.5 m
	(5)	minimum exterior a right-of-way widt	side yard - lots abutting a str h less than 17.0 m	reet with	1.8 m
	(6)	minimum exterior reserve along the ex	side yard - corner lots with a attention of the states of	a 0.3 m	4.2 m
(7)		minimum rear yard	1		7.0 m
(8)	(8)	maximum encroach required front and c	ment of a porch or balcony i exterior side yards	nto	2.0 m
	(9)		n of a garage beyond either t ce or beyond the main entry :		2.5 m
	(10)	ť	y feature has been provided, t n of a garage beyond a main		5.0 m
	(11)	where the garage pro- entrance, a minimum measured from the in garage shall be cov	d more than one storey in heir rojects beyond the main from um of 75% of the width of the inside face of the garage wall ered by a second storey which hum of 2.5 m from the garage	t garage, ls, the ch may	
	(12)	minimum setback to	o a sight triangle		0.0 m
	(13)	maximum driveway	y width - interior lot		4.3 m
	(14)	maximum drivewa	maximum driveway width - corner lot		4.7 m
	(15)	maximum garage w measured from the	vidth: inside face of the garage side	walls	3.8 m
	(16)	on top of an attache	aximum area of 10 m ² is pern d garage provided that the ba re than 1.0 m beyond the gar	alcony	

4.11.2.49	Exception: RM5-49 Ma	ap # 03	0410-2	: 0281-2008, 008, 0181-2018/LPAT 2019 February 15, 022
	zone the permitted uses and applie following uses /regulations shall		s shall be as specif	ied for a RM5 zone
Regulations				
4.11.2.49.1	Minimum lot area - interior lo	ot		188 m ²
4.11.2.49.2	Minimum lot frontage - interi	or lot		6.3 m
4.11.2.49.3	Maximum gross floor area - r	esidential		1.16 times the lot area
4.11.2.49.4	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required front and exterior side yards outside the buildable area identified on Schedule RM5-49 of this Exception			1.6 m
4.11.2.49.5	Maximum encroachment of an awning, window, chimney, pilaster or corbel, window well, and stairs with a maximum of three risers into the required front and exterior side yards outside the buildable area identified on Schedule RM5-49 of this Exception0.61 m			0.61 m
4.11.2.49.6	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey , or awning into the required rear yard outside the buildable area identified on Schedule RM5-49 of this Exception			5.0 m
4.11.2.49.7	For a lot with a townhouse req the setback to the interior side inclusive of stairs permitted in	lot line from a j	oorch or deck	
4.11.2.49.8				1.0 m
4.11.2.49.9	Maximum encroachment of a window, chimney , heating and/or air conditioning equipment, pilaster or corbel, window well, and stairs with a maximum of three risers into the required rear yard outside the buildable area identified on Schedule RM5-49 of this Exception			1.0 m
4.11.2.49.10	All site development plans shal of this Exception	l comply with S	chedule RM5-49	



Map 03

4.11.2.50	Exception: RM5-50	Map # 30	By-law: 0184-2008	
	cone the permitted uses and ap following uses /regulations s		ns shall be as specified for a RM5 zone	
Regulations				
4.11.2.50.1	The regulations of Line 11. By-law shall not apply	0 contained in Tabl	le 4.11.1 of this	
4.11.2.50.2	Minimum lot area - interior lot 145 r			
4.11.2.50.3	Minimum lot area - corner	255 m ²		
4.11.2.50.4	Minimum lot frontage - interior lot 6.0 m			
4.11.2.50.5	Minimum lot frontage - co	rner lot	10.5 m	
4.11.2.50.6	Minimum rear yard		6.0 m	
4.11.2.50.7	Maximum encroachment of required front yard or exte		ony into the 2.0 m	
4.11.2.50.8	Maximum height		11.0 m	
4.11.2.50.9	Maximum driveway width		3.0 m	
4.11.2.50.10	Maximum area of a balcon	y on top of an attac	ched garage 6 m ²	

4.11.2.51	Exception: RM5-51	Map # 15	By-law: 0188-20	: 0389-2009,)10			
	In a RM5-51 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Regulations							
4.11.2.51.1	Minimum lot area - interio	or lot		195 m ²			
4.11.2.51.2	Minimum lot area - corner	Minimum lot area - corner lot					
4.11.2.51.3	Minimum lot frontage - corner lot			13.6 m			
4.11.2.51.4	Minimum exterior side ya	7.2 m					
4.11.2.51.5	Minimum interior side yaı	1.2 m					
4.11.2.51.6	Maximum gross floor area - residential 1.37 times the lot are						
4.11.2.51.7	Maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard			2.0 m			
4.11.2.51.8	Maximum encroachment of a balcony into a required rear yard			2.5 m			
4.11.2.51.9	Maximum driveway width			3.75 m			
4.11.2.51.10	Maximum garage door wid	lth		3.0 m			

4.11.2.52	Exception: RM5-52		By-law: 0389-2009, 0188-2010	
	zone the permitted uses and a e following uses /regulations	applicable regulations shall be as shall apply:	specified for a RM5 zone	
Regulations				
4.11.2.52.1	Minimum lot area - interi	or lot	250 m ²	
4.11.2.52.2	Minimum lot frontage - in	nterior lot	7.5 m	
4.11.2.52.3	Minimum interior side ya R1-7 zone	3.0 m		
4.11.2.52.4	Maximum gross floor are	1.08 times the lot area		
4.11.2.52.5	Maximum encroachment of a porch or a deck , located at and 2.0 m accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard			
4.11.2.52.6	Maximum encroachment of	Maximum encroachment of a balcony into a required rear yard		
4.11.2.52.7	Maximum driveway widtl	1	3.75 m	
4.11.2.52.8	Maximum garage door wi	3.0 m		
4.11.2.52.9	Minimum number of park	3.0		
4.11.2.52.10	Tandem parking is permitt	ed within a garage		
4.11.2.52.11	A hammerhead shall be p greater than or equal to 7.5	permitted on a lot with a lot fron	tage	

4.11.2.53 Exception: RM5-53	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18/ 2014 November 11, 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RM5-53 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses**/regulations shall apply:

Additional Permitted Use				
4.11.2.53.1	(1)	Semi-Detached		
Regulations				
4.11.2.53.2	Street	t Townhouse:		
	(1)	minimum lot area - interior lot	162 m ²	
	(2)	minimum lot area - corner lot	255 m ²	
	(3)	minimum lot frontage - interior lot	6.0 m	
	(4)	minimum lot frontage - corner lot	9.5 m	
	(5)	minimum exterior side yard	4.0 m	
	(6)	minimum interior side yard - unattached side	0.91 m	
	(7)	maximum height	11.0 m	
	(8)	maximum gross floor area - residential	1.2 times the lot area	
	(9)	maximum encroachment of a porch or balcony into the required front yard	2.0 m	
	(10)	a porch or a deck , exceeding 0.61 m in height above grade at any point, shall not project from the rear wall of a dwelling		

Exception RM5-53 continued on next page

4.11.2.53	Excep	otion: RM5-53		By-law: 0088-2013/OMB Order 2013 November 18/ 2014 November 11, 0174-2017, 0181-2018/LPA Order 2019 February 15	.T
Exception RN	A5-53 co	ontinued from previo	ous page		
4.11.2.53.2 (continued)	(11)	only apply to a porc	Article 4.1.5.2 and Article 4.1.5.7 of this By-law shall only apply to a porch or deck 0.61 m or less in height above grade at any point		
	(12)	a balcony shall not dwelling	project from the rear wall of a	a	
4.11.2.53.3		mi-detached shall comply with the RM2 zone regulations tined in Subsection 4.8.1 of this By-law except that:			
	(1)	minimum lot area -	interior lot	162 m ²	
	(2)	minimum lot front a	minimum lot frontage - interior lot maximum lot coverage		
	(3)	maximum lot cover			
	(4)	minimum exterior s	minimum exterior side yard		
	(5)	maximum height		11.0 m	
	(6)	maximum gross flo	or area - residential	1.2 times the lot are	ea
	(7)	maximum encroach required front yard	ment of a porch or balcony in	nto the 2.0 m	
	(8) a porch or a deck , exceeding 0.61 m in height above grade at any point, shall not project from the rear wall or a dwelling				
	(9)		Article 4.1.5.7 of this By-law s ch or deck 0.61 m or less in he point		
	(10)	a balcony shall not dwelling	project from the rear wall of a	a	
	(11)	minimum interior s	side yard	0.9 m	

4.11.2.54	Exception: RM5-54	Map # 57	By-law: 0055-2012, 0181-2018/LPAT Order 2019 February 15		
	in a RM5-54 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:				
Regulations					
4.11.2.54.1	Minimum lot area - interio	or lot	183 m ²		
4.11.2.54.2	Minimum lot area - corner	292 m ²			
4.11.2.54.3	Minimum lot frontage - int	6.1 m			
4.11.2.54.4	Minimum lot frontage - co	9.7 m			
4.11.2.54.5 Minimum front yard - lots without a municipal sidewalk adjacent the front lot line			k 3.5 m		
4.11.2.54.6	1.2.54.6 Minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line				
4.11.2.54.7	Minimum interior side ya	1.2 m			
4.11.2.54.8	Minimum rear yard	6.0 m			
4.11.2.54.9	Minimum setback to garage	5.8 m			

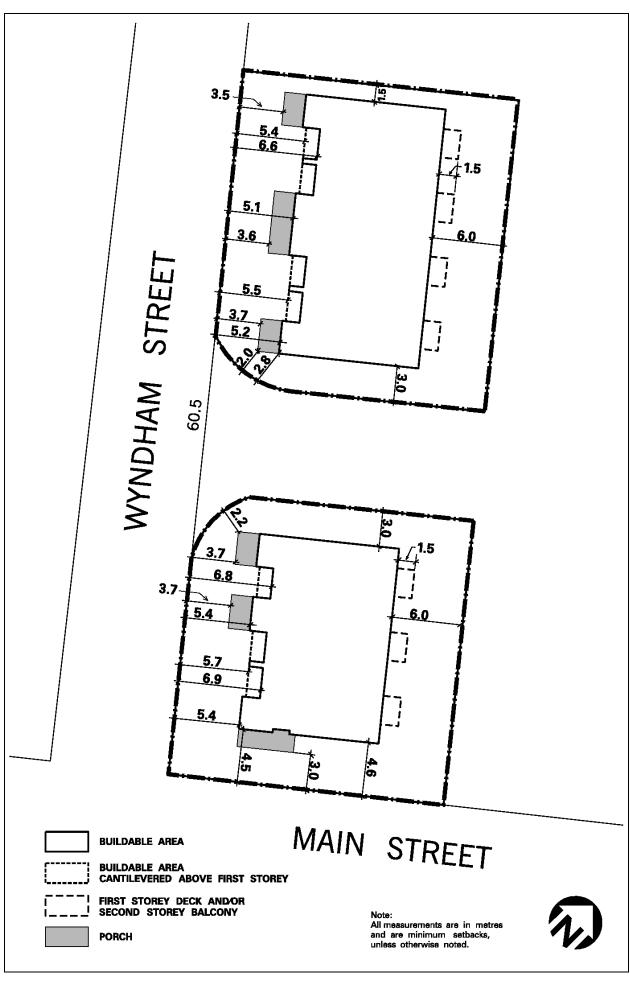
Exception RM5-54 continued on next page

4.11.2.54	Exception: RM5-54	Map # 57	0181-20	0055-2012, 18/LPAT Order oruary 15
Exception RN	A5-54 continued from previo	ous page		
4.11.2.54.10	Maximum gross floor area	- residential		1.0 times the lot area
4.11.2.54.11	Maximum encroachment of front and exterior side yar	a porch or balcony into the ds	required	2.0 m
4.11.2.54.12	Minimum setback of stairs f lot lines	Minimum setback of stairs from the front and exterior side		
4.11.2.54.13	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature , where provided			2.5 m
4.11.2.54.14	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance			5.0 m
4.11.2.54.15	For a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face			
4.11.2.54.16	Maximum driveway width	Maximum driveway width - interior lot		
4.11.2.54.17	Maximum driveway width - corner lot			4.7 m
4.11.2.54.18	Maximum garage width: measured from the inside face of the garage side walls			3.8 m
4.11.2.54.19	Minimum setback to a sight triangle			0.0 m

4.11.2.55	Exception: RM5-55	Map # 19	By-law: OMB Order 2015 December 03, 0181-2018/LPAT Order 2019 February 15
	cone the permitted uses and a following uses /regulations s		e as specified for a RM5 zone
4.11.2.55.1	Minimum lot area - interio	or lot	191 m ²
4.11.2.55.2	Minimum lot frontage - in	7.8 m	
4.11.2.55.3	Minimum front yard	6.2 m	
4.11.2.55.4	Minimum setback to the ga	6.5 m	
4.11.2.55.5	Minimum interior side yar other than RM5-55	zone 3.0 m	
4.11.2.55.6	Maximum gross floor area	- residential	1.15 times the lot area

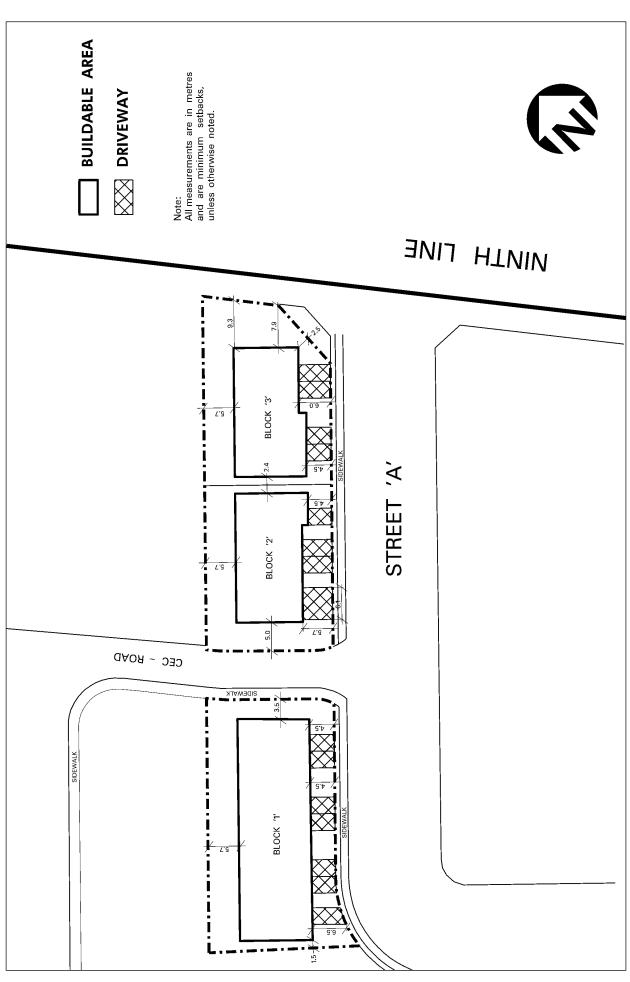
4.11.2.56	Exception: RM5-56	Map # 03	By-law: 0166-2018		
	in a RM5-56 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:				
Regulations					
4.11.2.56.1	Minimum lot area - interio	r lot	135 m ²		
4.11.2.56.2	Minimum lot frontage - int	terior lot	6.4 m		
4.11.2.56.3	Minimum rear yard		7.0 m		
4.11.2.56.4	Maximum gross floor area	- residential	175 m ²		
4.11.2.56.5	Maximum encroachment of front yard	a porch or stairs into a requir	red 1.0 m		
4.11.2.56.6	Maximum encroachment of	a balcony into a required rea	ar yard 2.5 m		

4.11.2.57	Exception: RM5-57	Map # 38W	By-law: 0029-2021, 0050-2022
	one the permitted uses and ap following uses /regulations sl		be as specified for a RM5 zone
Regulations			
4.11.2.57.1	The provisions contained in regulations of Line 11.0 con By-law shall not apply		his
4.11.2.57.2	Minimum lot area - interio	or lot	127 m ²
4.11.2.57.3	Minimum lot area - corner	195 m ²	
4.11.2.57.4	Minimum lot frontage - int	5.4 m	
4.11.2.57.5	Minimum lot frontage - co	8.5 m	
4.11.2.57.6	Notwithstanding Sentence 4 maximum encroachment of		
4.11.2.57.7	Notwithstanding Sentence 4 maximum encroachment of and accessible from the firs the dwelling into a required	stairs attached to a deck lo t storey or below the first	ocated at
4.11.2.57.8	Notwithstanding Sentence 4 maximum encroachment of required rear yard		
4.11.2.57.9	Notwithstanding Sentence 4 external heating, air conditi equipment is permitted in a	oning, and home back-up g	
4.11.2.57.10	All site development plans of this Exception	shall comply with Schedul	e RM5-57



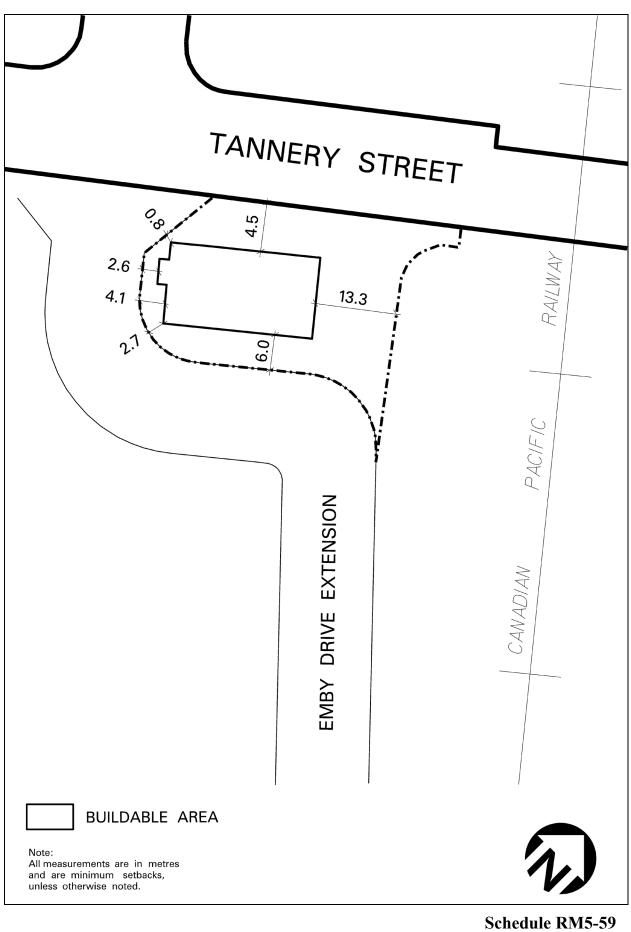
Schedule RM5-57 Map 38W

4.11.2.58	Exception: RM5-58 Map # :	57 B	y-law: 0209-2021
	one the permitted uses and applicable following uses /regulations shall appl		pecified for a RM5 zone
Regulations			
4.11.2.58.1	The provisions contained in Article shall not apply	4.1.5.9 of this By-law	
4.11.2.58.2	Minimum lot area - interior lot		145 m ²
4.11.2.58.3	Minimum lot area - corner lot		240 m ²
4.11.2.58.4	Minimum lot frontage - interior lo	t	6.0 m
4.11.2.58.5	Notwithstanding Sentence 4.11.2.58 minimum front yard - garage face	3.17 of this Exception,	6.0 m
4.11.2.58.6	Maximum height		15.0 m and 3 storeys
4.11.2.58.7	Maximum gross floor area - reside	ential	1.5 times the lot area
4.11.2.58.8	Notwithstanding Sentence 4.11.2.58 maximum encroachment of a porch required front yard		1.5 m he
4.11.2.58.9	Notwithstanding Sentence 4.11.2.58 maximum encroachment of a porch required exterior side yard for Blo	inclusive of stairs into t	1.5 m he
4.11.2.58.10	Notwithstanding Sentence 4.11.2.58 maximum encroachment of a first s stairs into the required rear yard		2.5 m
4.11.2.58.11	Notwithstanding Sentence 4.11.2.58 maximum encroachment of a second required front yard		1.5 m
4.11.2.58.12	Notwithstanding Sentence 4.11.2.58 maximum encroachment of a second required rear yard		2.5 m
4.11.2.58.13	Notwithstanding Sentence 4.11.2.58 maximum area of a second storey b		6 m ²
4.11.2.58.14	Notwithstanding Sentence 4.11.2.58 maximum encroachment of a buildi first storey that is not more than 3.0 and/or doors covering a minimum o into a required yard	ng projection above the) m wide with windows	0.61 m tion
4.11.2.58.15	Notwithstanding Sentence 4.11.2.58 maximum encroachment of eaves in		0.61 m
4.11.2.58.16	External heating, air conditioning, h be located in a yard , other than the closer than 0.1 m to any lot line		
4.11.2.58.17	All site development plans shall cor of this Exception	nply with Schedule RM5	5-58



Schedule RM5-58 Map 57

4.11.2.59	Exception: RM5-59	Map # 39E	By-law: 0259-2021/ OLT Order 2023 March 03
	cone the permitted uses and ap following uses /regulations sh		e as specified for a RM5 zone
Regulations			
4.11.2.59.1	The regulations of Lines 11. of this By-law shall not appl		ble 4.11.1
4.11.2.59.2	Minimum lot area - interio	r lot	110 m ²
4.11.2.59.3	Minimum lot area - corner	lot	165 m ²
4.11.2.59.4	Minimum lot frontage - int	erior/corner lot	4.7 m
4.11.2.59.5	Maximum height		11.5 m and 3 storeys
4.11.2.59.6	For the purpose of this Exce street townhouse shall be n		grade
4.11.2.59.7	Minimum landscaped area		15% of the lot area
4.11.2.59.8	Notwithstanding Sentence 4 maximum encroachment of exclusive of stairs into a req	a balcony , awning or deck ,	
4.11.2.59.9	Notwithstanding Sentence 4 maximum projection of a ba of stairs from the front or rea	llcony, awning or deck, exc	
4.11.2.59.10	A balcony with a maximum an attached garage , provide more than 1.8 m beyond the	d that the balcony does not	
4.11.2.59.11	Maximum driveway width		3.0 m
4.11.2.59.12	All site development plans s of this Exception	hall comply with Schedule	RM5-59
Holding Prov	ision		
	The holding symbol H is to part of the lands zoned H-RI Map 39E of Schedule B con amended, upon satisfaction	M5-59 by further amendment tained in Part 13 of this By-	ent to -law, as
	form and on terms s City of Mississauga ("Region"), includin items but not limited of the required crash Pacific Railway ("C	ted Development Agreemen atisfactory to The Corporati ("City") and the Region of g provisions related to the f d to: detailed design and cor n wall/berm abutting the Car PR") lands, grading and dra dedication and easements, a ture detailed design;	ion of the Peel following nstruction nadian ainage of
	any proposed risk m to the satisfaction of Department for any	assessment including the de anagement measures, which the Transportation and Wo lands being dedicated to the	h must be orks e City;
	Condition(s) have be Environment, Conse submission of all su	e required Record(s) of Site een filed with the Ministry of ervation and Parks, and the pporting environmental repo the Transportation and Wo	of orts
	(4) confirmation from C plans are satisfactor a professional const	CPR that final grading and d y and certification from CP Ilting engineer that the ultin tion of the required crash w design criteria.	PR and/or nate



Map 39E

4.11.2.60	Exception: RM5-60		By-law: 0261-2021, 0208-2022, 0001-2024
	zone the permitted uses and a e following uses /regulations	applicable regulations shall be as shall apply:	s specified for a RM5 zone
Regulations			
4.11.2.60.1		n Article 4.1.8.1 and the regulati Fable 4.11.1 of this By-law shall	
4.11.2.60.2	Maximum number of dwe	lling units on all lands zoned RM	M5-60 6
4.11.2.60.3	Minimum lot area - interi	or lot	143 m ²
4.11.2.60.4	Minimum lot area - corne	er lot	250 m ²
4.11.2.60.5	Minimum lot frontage - in	6.0 m	
4.11.2.60.6	The lot line abutting Albert the front lot line	rtson Crescent shall be deemed to	o be
4.11.2.60.7	Maximum height		9.6 m and 3 storeys
4.11.2.60.8		4.11.2.60.13 of this Exception, f a porch inclusive of stairs into	3.8 m
4.11.2.60.9	maximum encroachment o	4.11.2.60.13 of this Exception, f a window, chimney , heating an t, window well, and stairs with a nto a required yard	
4.11.2.60.10	Notwithstanding Sentence maximum encroachment o	3.0 m yard	
4.11.2.60.11	Maximum area of a balco buildable area identified	ny permitted outside the on Schedule RM5-60 of this Exc	5 m ²
4.11.2.60.12	Maximum driveway widtl	3.6 m	
4.11.2.60.13	All site development plans of this Exception	s shall comply with Schedule RM	15-60

