8.2.2 E1 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

8.2.2.1	Exception: E1-1	Map # 43W	By-law: 0121-2020/LPAT Order 2021 March 11/OLT Order 2021 November 15				
that the followi	In an E1-1 zone the permitted uses and applicable regulations shall be as specified for an E1 zone except that the following uses /regulations shall apply: Additional Permitted Uses						
8.2.2.1.1	 Restaurant Take-out Restaurant Convenience Restaurant 						
Regulations							
8.2.2.1.2	2.1.2 Lands zoned E1-1 and abutting lands zoned O3-9 shall be considered one lot for the purposes of Lines 3.0 to 12.5 contained in Table 8.2.1 of this By-law						
8.2.2.1.3	Required parking and aisles may be located on abutting lands zoned O3-9						

8.2.2.2	Exception: E1-2	Map # 44E	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11, OLT Order 2021 November 15			
In an E1-2 zone the permitted uses and applicable regulations shall be as specified for an E1 zone except that the following uses /regulations shall apply:						
Regulation	Regulation					
8.2.2.1	Required parking and aisles may be located on abutting lands zoned O3-8					

8.2.2.3	Exception: E1-3	Map # 54W	By-law:			
	In an E1-3 zone the permitted uses and applicable regulations shall be as specified for an E1 zone except that the following uses /regulations shall apply:					
Additional Per	rmitted Use					
8.2.2.3.1	8.2.2.3.1 (1) Motor Vehicle Sales, Leasing and/or Rental Facility - Restricted					
Regulations						
8.2.2.3.2	Maximum gross floor area	- non-residential	55 208 m ²			
8.2.2.3.3	thereof, in height above est	ys of a building or structure (ablished grade, excluding an hin 110.0 m of a railway right	y			
8.2.2.3.4	Minimum setback of a buil	ding or structure to Argentia	Road 6.0 m			

8.2.2.4	Exception: E1-4	Map # 54W	By-law: 0111-2019/ LPAT Order 2021 March 09		
	one the applicable regulations shall apply:	tions shall be as specified for	an E1 zone except that the following		
Permitted U	Uses				
8.2.2.4.1	Lands zoned E1-4 sh	all only be used for the follow	wing:		
Regulations	 (5) Service Esta (6) Recreationa (7) Private Clui (8) Restaurant (9) Convenienc (10) Take-out Restaurant 	estitution ent Establishment ablishment al Establishment b e Restaurant			
8.2.2.4.2		or area - non-residential	10 500 m ²		
8.2.2.4.3	-	a building or structure to H			
8.2.2.4.4	Minimum setback of	a building or structure to A	rgentia Road 4.5 m		
8.2.2.4.5	Minimum setback of a building or structure to5.9 mWinston Churchill Boulevard5.9 m				
8.2.2.4.6	Minimum landscape	ed area	10% of the lot area		
8.2.2.4.7	Minimum number of area - non-residenti	Fparking spaces per 100 m ² al	gross floor 5.4		

8.2.2.5	Exception: E1-5	Map # 44E	By-law: 0191-2009, 0018-2015, <i>deleted by</i> 0121-2020/LPAT Order 2021 March 11, OLT Order 2021 November 15			
In an E1-5 zone the permitted uses and applicable regulations shall be as specified for an E1 zone except that the following uses /regulations shall apply:						
Regulation						
8.2.2.5.1	Required parking and aisles may be located on abutting lands zoned O3-10					

8.2.2.6	Exception: E1-6	Map # 44E	By-law: 0411-2008, 0191-2009/OMB Order 2010 May 05, 0178-2012, 0121-2020/LPAT Order 2021 March 11/OLT Order 2021 November 15, 0217-2023		
	one the permitted uses and owing uses /regulations shal		as specified for an E1 zone except		
Additional	Permitted Uses				
8.2.2.6.1		·			
Regulations	1				
8.2.2.6.2	apply to all areas used t	ed in Subsection 8.1.5 of this By for outdoor storage accessory to y, science and technology facili n facility	o a		
8.2.2.6.3	Minimum depth of a la	Minimum depth of a landscaped buffer along any lot line 3.0 m			
8.2.2.6.4		Maximum number of courier/messenger service delivery vehicles 10 permitted to be stored outside			
8.2.2.6.5	Required parking and a zoned O3-2	isles may be located on abutting	g lands		

8.2.2.7	Exception: E1-7	Map #	By-law: 0411-2008, 0191-2009/OMB Order 2010 May 05, deleted by 0121-2020/LPAT Order 2021 March 11/OLT Order 2021 November 15

8.2.2.8	Exception: E1-8	Map # 43W	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11, OLT Order 2021 November 15		
In an E1-8 zone the permitted uses and applicable regulations shall be as specified for an E1 zone except that the following uses /regulations shall apply:					
Regulation					
8.2.2.8.1	Required parking and aisles may be located on abutting lands zoned O3-13				

8.2.2.9	Exception: E1-9	Map #	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.2.10	Exception: E1-10		By-law: 0379-2009, 0297-2013, 0212-2015				
	In an E1-10 zone the permitted uses and applicable regulations shall be as specified for an E1 zone except that the following uses /regulations shall apply:						
Additional Pe	rmitted Uses						
8.2.2.10.1	 Retail-Warehouse Garden Centre Restaurant accessory to a retail-warehouse or garden centre Equipment, tool and truck rental centre accessory to a 						
	(5) retail-warehouse (5) Outdoor display ar retail-warehouse	nd sales area accessory to a					
Uses Not Pern	nitted						
8.2.2.10.2	(1) <i>deleted</i>						
Regulations							
8.2.2.10.3	Maximum gross floor area	a - non-residential	$11\ 000\ m^2$				
8.2.2.10.4	Maximum gross floor area - non-residential used for an 100 m ² accessory restaurant						
8.2.2.10.5	Maximum area used for ou retail-warehouse	ry to a 275 m^2					
8.2.2.10.6	Maximum area used for outdoor display and sales accessory to a 2 520 m ² garden centre including seasonal nursery stock						
8.2.2.10.7	Minimum landscaped area10% of the lot area						
8.2.2.10.8	Minimum front yard		15.0 m				
8.2.2.10.9	Minimum side yard		10.0 m				
8.2.2.10.10	Minimum rear yard		15.0 m				
8.2.2.10.11	Maximum height above es all materials, goods or proc	tablished grade of outdoor disp lucts	play of 4.6 m				
8.2.2.10.12	"Retail-Warehouse" means a building or structure , or part thereof where goods are stored and offered for sale and shall include only the following: home furnishing and home improvement products, furniture, appliances, electrical fixtures, carpets and floor coverings, building supplies, plumbing supplies, draperies and decorating supplies such as paints and wallpaper						
8.2.2.10.13	Minimum number of park area - non-residential for	ing spaces per 100 m ² gross flo a retail-warehouse	oor 1.6				

8.2.2.11	Exception: E1-11	Map #	By-law: deleted by 0121-2020/LPAT Order 2021 March 11

8.2.2.12	Exception: E1-12	Map #	By-law: 0191-2009, 0212-2015, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.2.13	Exception: E1-13	Map # 54W	By-law:
	ne the permitted uses and app following uses /regulations sl	plicable regulations shall be as hall apply:	specified for an E1 zone
8.2.2.13.1	Maximum floor space inde	X	0.52
8.2.2.13.2	Maximum gross floor area	- non-residential	$22\ 000\ m^2$

8.2.2.14	Exception: E1-14	Map #	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11

		1			
8.2.2.15	Exception: E1-15	Map # 43W	By-law: 0191-2009, 0121-2020/LPAT Order 2021 March 11, 0217-2023		
	following uses/regulations s		be as specified for an E1 zone		
8.2.2.15.1	 (1) Restaurant (2) Take-out Restaura (3) Convenience Resta (4) deleted 				
Regulations					
8.2.2.15.2	Required parking for lands located between Hurontario Street, Courtney Park Drive East, Edwards Boulevard and Annagem Boulevard shall also be permitted on the south side of Annagem Boulevard on all lands zoned E1-15				
8.2.2.15.3	Maximum number of courier/messenger service delivery vehicles 10 permitted to be stored outside				
8.2.2.15.4	Minimum setback of a restaurant, take-out restaurant, convenience restaurant or an outdoor patio accessory to a restaurant, take-out restaurant or convenience restaurant from Hurontario Street50.0 m				

8.2.2.16	Exception: E1-16	Map #	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11/OLT Order 2021 November 15

8.2.2.17	Exception: E1-17	Map #	By-law: OMB Effective Date 2008 May 15, <i>deleted</i> <i>by 0121-2020/LPAT Order</i> <i>2021 March 11</i>

8.2.2.18	Exception: E1-18	Map # 34E	By-law: 0323-2 OMB Order 201 0111-2019/LPA 2021 March 09	10 May 10,	
	one the permitted uses and ap following uses /regulations		be as specified for an	E1 zone	
Uses Not Per	mitted				
8.2.2.18.1	(1) Manufacturing Factor(2) Warehouse/Distri				
Additional P	ermitted Uses				
8.2.2.18.2	passing of this By-				
	date of passing of t	an accessory use in compl	0		
Regulations		-			
8.2.2.18.3	Minimum floor space inde	ex - non-residential		0.5	
8.2.2.18.4	Maximum setback to the fif			7.5 m	
8.2.2.18.5	Maximum setback to the first three storeys of a streetwall of the first building erected on a lot abutting Commerce Boulevard, Explorer Drive or Skymark Avenue5.0 m				
8.2.2.18.6	A maximum of 30% of the length of a streetwall of the first three storeys of a building or structure identified in Sentences 8.2.2.18.4 and 8.2.2.18.5 of this Exception, may be set back beyond the maximum setback				
8.2.2.18.7	Minimum height of all bu	ildings and structures exc	ept that: 4	l storeys	
	(1) a maximum of 30% than four storeys	% of the building footprint	may be less		
8.2.2.18.8	Where a building is locate Eglinton Avenue East, Cor Skymark Avenue, the main Where a building is locate streets and/or lands zoned main front entrance shall building facing the interse located facing each street	nmerce Boulevard, Explor n front entrance shall face d at the intersection of two PB1, or any combination t be located at the corner of ction, or a building entran	er Drive or e the street . of these hereof, the the		
8.2.2.18.9	Expansion or alteration to any building or structure legally existing on the date of passing of this By-law shall be permitted and shall not be subject to the regulations of Sentences 8.2.2.18.3 to 8.2.2.18.8 of this Exception				
8.2.2.18.10	Expansion of any use legally existing on the date of passing of this By-law shall be permitted and shall not be subject to the regulations of Sentences 8.2.2.18.3 to 8.2.2.18.8 of this Exception				
8.2.2.18.11	In an office building, when medical office, are greater non-residential, separate p such uses in accordance w Table 3.1.2.2 of this By-law	than 20% of the total GF A parking will be required for ith the regulations contained	all of		
	Parking for banquet hall/o will be provided in accorda contained in Table 3.1.2.2	ance with the applicable reg			

8.2.2.19	Exception: E1-19	Map # 34E, 34W, 35E	By-law: 0322-2009, 0111-2019/LPAT Order 2021 March 09		
	one the permitted uses and appl following uses /regulations sha nitted		s specified for an E1 zone		
8.2.2.19.1	(1) Manufacturing Fac(2) Warehouse/Distribution	•			
Additional Pe	rmitted Uses				
8.2.2.19.2	passing of this By-la	lity legally existing on the da w Ition facility legally existing			
	date of passing of thi	s By-law accessory use in compliance			
Regulations					
8.2.2.19.3	Minimum floor space index	- non-residential	0.5		
8.2.2.19.4	Maximum setback to the first the first building erected on Eglinton Avenue East				
8.2.2.19.5	Maximum setback to the first three storeys of a streetwall of the first building erected on a lot abutting Explorer Drive, Orbitor Drive, Satellite Drive, Spectrum Way or Skymark Avenue5.0 m				
8.2.2.19.6	A maximum of 30% of the length of a streetwall of the first three storeys of a building or structure identified in Sentences 8.2.2.19.4 and 8.2.2.19.5 of this Exception, may be set back beyond the maximum setback				
8.2.2.19.7	Minimum height of all build	Minimum height of all buildings and structures except that: 2 storeys			
	(1) a maximum of 30% of the building footprint may be less than two storeys				
8.2.2.19.8	Where a building is located within 10.0 m of lands zoned PB1, Eglinton Avenue East, Explorer Drive, Orbitor Drive, Satellite Drive, Spectrum Way or Skymark Avenue, the main front entrance shall face the street . Where a building is located at the intersection of two of these streets and/or lands zoned PB1, or any combination thereof, the main front entrance shall be located at the corner of the building facing the intersection, or a building entrance shall be located facing each street and/or lands zoned PB1				
8.2.2.19.9	Expansion or alteration to any building or structure legally existing on the date of passing of this By-law shall be permitted and shall not be subject to the regulations of Sentences 8.2.2.19.3 to 8.2.2.19.8 of this Exception				
8.2.2.19.10	Expansion of any use legally existing on the date of passing of this By-law shall be permitted and shall not be subject to the regulations of Sentences 8.2.2.19.3 to 8.2.2.19.8 of this Exception				
8.2.2.19.11	medical office, are greater the	rking will be required for all	_		
	Parking for banquet hall/co will be provided in accordan contained in Table 3.1.2.2 of	ce with the applicable regula			

8.2.2.20	Exception: E1-20	Map #	By-law: 0191-2009/OMB Order 2010 May 05, deleted by 0121-2020/LPAT Order 2021 March 11/OLT Order 2021 November 15

8.2.2.21	Exception: E1-21	Map #	By-law: 0191-2009/OMB Order 2010 May 05, 0178-2012, deleted by 0121-2020/LPAT Order 2021 March 11/OLT Order 2021 November 15

8.2.2.22	Exception: E1-22	Map #	By-law: 0191-2009/OMB Order 2010 May 05, deleted by 0121-2020/LPAT Order 2021 March 11/OLT Order 2021 November 15

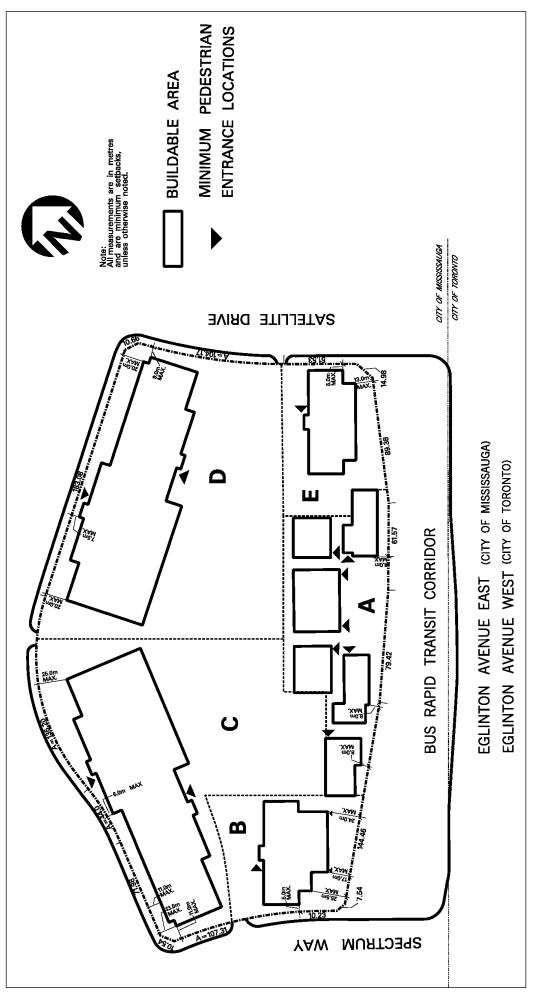
8.2.2.23	Exception: E1-23	Map #	By-law: 0191-2009/OMB Order 2010 May 05, deleted by 0121-2020/LPAT Order 2021 March 11/OLT Order 2021 November 15

8.2.2.24	Exception: E1-24	Map #	By-law: 0191-2009/OMB Order 2010 May 05, deleted by 0121-2020/LPAT Order 2021 March 11/OLT Order 2021 November 15

8.2.2.25	Exception: E1-25	Map #	By-law: 0191-2009/OMB Order 2010 May 05, deleted by 0121-2020/LPAT Order 2021 March 11/OLT Order 2021 November 15

8.2.2.26	Exception: E1-26	Map # 54W	By-law: 0130-2012, 0212-2015			
	In an E1-26 zone the permitted uses and applicable regulations shall be as specified for an E1 zone except that the following uses /regulations shall apply:					
Additional Per	rmitted Use					
8.2.2.26.1	(1) Convenience Resta	urant				
Regulations						
8.2.2.26.2	Maximum gross floor area convenience restaurant	- non-residential used for a	173 m ²			
8.2.2.26.3	Minimum front yard		8.0 m			
8.2.2.26.4	Minimum interior side yar	ď	9.0 m			
8.2.2.26.5	Minimum rear yard		30.0 m			
8.2.2.26.6	Minimum landscaped area	l	30% of the lot area			
8.2.2.26.7	Minimum number of parki area - non-residential for a	ng spaces per 100 m ² gross fl a convenience restaurant	oor 13.5 spaces plus a stacking lane			
8.2.2.26.8	Access to and from parking with abutting lands zoned E	g and loading spaces may be s 1-10	shared			

8.2.2.27	Excep	tion: E1-27	Map # 34W	0212-20 LPAT O	0119-2013, 15, 0111-2019/ rder 2021 March 09, 23, 0217-2023		
		permitted uses and ing uses /regulation	l applicable regulations sh ns shall apply:	nall be as specified	for an E1 zone		
Additional P	ermitted	l Uses					
8.2.2.27.1	(1) (2) (3)	(2) Take-out Restaurant					
Uses Not Per	mitted						
8.2.2.27.2	(1) (2)	Manufacturing Warehouse/Dis	; Facility stribution Facility				
Regulations							
8.2.2.27.3		'B', 'C', 'D' and 'E	ndex - non-residential w dentified on Schedule E		0.5		
8.2.2.27.4		num gross floor a ke-out restauran	urea - non-residential for ats	r all restaurants	5 686 m ²		
8.2.2.27.5	this B separa	y-law, permitted a	ovisions contained in Arti accessory uses may be co ided that it is attached to a fice building	ntained within a			
8.2.2.27.6		Minimum depth of a landscaped buffer abutting the Bus Rapid 2.2 m Transit Corridor					
8.2.2.27.7	Minin	Minimum height of all buildings and structures, except that:			2 storeys		
	(1)	a maximum of 3 less than two st	80% of each building foo preys	tprint may be			
	(2)	containing perm	t of that portion of a buil litted accessory uses attac or medical office buildi	ched to an	1 storey and 6.0 m		
	(3)	0	t of all freestanding rest anding rest and rants measured to the top		1 storey and 6.0 m		
8.2.2.27.8	Sched measu	For the purpose of measuring maximum setbacks on Schedule E1-27 of this Exception, a maximum setback shall be measured from the lot line to the nearest part of any above grade building , structure or part thereof					
8.2.2.27.9	In an office building, where the non-office uses, including medical office, are greater than 20% of the total GFA - non-residential, separate parking will be required for all of such uses in accordance with the regulations contained in Table 3.1.2.2 of this By-law						
	will b	e provided in acco	ll/conference centre/con ordance with the applicabl 2.2 of this By-law				
8.2.2.27.10	area -	contained in Table 3.1.2.2 of this By-law Minimum number of parking spaces per 100 m ² gross floor area - non-residential for all restaurants and take-out restaurants			7.9		
8.2.2.27.11	All sit		ans shall comply with Sch	nedule E1-27 of			



Schedule E1-27 Map 34W

8.2.2.28	Exception: E1-28	Map #	By-law: 0242-2014,
		-	0111-2019/LPAT Order
			2021 March 09, deleted
			by 0121-2020/LPAT Order
			2021 March 11

8.2.2.29	Exception: E1-29	Map # 01	By-law: 0119-2022	
	ne the permitted uses and app following uses /regulations s	plicable regulations shall be as hall apply:	specified for an E1 zone	
Additional Per	rmitted Use			
8.2.2.29.1	(1) Broadcasting/Com	munication Facility		
Uses Not Pern	nitted			
8.2.2.29.2	 Overnight Accomm Active Recreationa Entertainment Est Courier/Messenger 	al Use ablishment		
Regulations				
8.2.2.29.3	Maximum total gross floor of the following uses :	area - non-residential for eac	ch 20% per building	
	 Warehouse/District Financial Institution Banquet Hall/Const Recreational Establishment 	on ference Centre/Convention C	Centre	
8.2.2.29.4	Minimum lot frontage		20.0 m	
8.2.2.29.5	Minimum front yard		3.0 m	
8.2.2.29.6	Minimum height		3 storeys	
8.2.2.29.7	•	rd to a building or structure rang water, stormwater and waster ped services		
8.2.2.29.8	height of a building or stru	3.2.2.29.6 of this Exception, m icture required for the purpose r and wastewater management	es of	
8.2.2.29.9	Minimum setback of all bu zoned G2-5	ildings and structures to lands	s 5.0 m	
8.2.2.29.10	Minimum setback of a parking structure constructed completely below finished grade to all lands zoned G2-53.0 m			
8.2.2.29.11	Minimum depth of a landscaped buffer abutting a lot line that 0.0 m is a street line 0.0 m			
8.2.2.29.12	Minimum depth of a landso zoned G2-5	caped buffer abutting lands	2.0 m	

Exception E1-29 continued on next page

8.2.2.29	Exception: E1-29 Map # 01 By-law: 0119-2022					
Exception E	1-29 continued from previ	ous page				
8.2.2.29.13		Minimum setback of parking areas , driveways , loading spaces 2.0 m and other paved areas to a G2-5 zone				
8.2.2.29.14	Minimum distance from that is a street line	Minimum distance from a surface parking space to a lot line 40.0 m that is a street line				
8.2.2.29.15	Maximum amount of required parking spaces to be provided 10% as surface parking on site except for a pumping station			10%		
8.2.2.29.16	Driveways and aisles may be shared with abutting lands zoned E1-30					
Holding Pro	ovision					
	The holding symbol H is to be removed from the whole or any part of the lands zoned H-E1-29 by further amendment to Map 01 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirement:					
	 the provisions contained in Article 2.1.33.7 of this By-law as they relate to lands zoned H-E1-29 and subject to holding provisions H1, H2, H3 and H6. 					

8.2.2.30	Exception: E1-30	Map # 01	By-law: 0119-2022		
	one the permitted uses and ap following uses /regulations	oplicable regulations shall be shall apply:	as specified for an E1 zone		
Additional Po	ermitted Uses				
8.2.2.30.1	(1) Power generating facility associated with a district energy system				
		ation exclusively for a vacuum	m waste		
	 (3) Community Cultur (4) Broadcasting/Cor (5) Parking Lot 	al Centre nmunication Facility			
Uses Not Per	nitted				
8.2.2.30.2	 Courier/Messenger Overnight Accom Active Recreation Entertainment Est 	modation al Use			
Regulations					
8.2.2.30.3	Maximum total gross floo the following uses :	r area - non-residential for e	each of 20% per building		
	 (1) Warehouse/Distri (2) Financial Institut (3) Banquet Hall/Con (4) Recreational Estat 	ion nference Centre/Convention	Centre		
8.2.2.30.4	Minimum front yard 3.0 m				
8.2.2.30.5	Minimum height 3 storeys				
8.2.2.30.6	Notwithstanding Sentence 8.2.2.30.5 of this Exception, minimum height of a building containing two or more uses contained in Clauses 8.2.2.30.1(1) and 8.2.2.30.1(2) of this Exception, a pumping station and office2 storeys				

Exception E1-30 continued on next page

8.2.2.30	Exception: E1-30 Map # 01	By-law: 01	19-2022		
Exception E	-30 continued from previous page				
8.2.2.30.7	Minimum interior side yard to a building containing both the uses in Clauses 8.2.2.30.1(1) and 8.2.2.30.1(2) of this Exception0.0 m				
8.2.2.30.8	Minimum setback of all buildings and structu zoned G2-5	ires to lands	5.0 m		
8.2.2.30.9	Minimum depth of a landscaped buffer abutti is a street line	ing a lot line that	0.0 m		
8.2.2.30.10	Minimum depth of a landscaped buffer abuttize zoned G2-5	ing lands	2.0 m		
8.2.2.30.11	Minimum setback of parking areas , drivewa and other paved areas to a G2-5 zone	ys, loading spaces	2.0 m		
8.2.2.30.12	Minimum distance from a surface parking spa that is a street line	ace to a lot line	40.0 m		
8.2.2.30.13	Maximum amount of required parking spaces to be provided10%as surface parking on site except for uses contained in Clauses 8.2.2.30.1(1) and 8.2.2.30.1(2) of this Exception10%				
8.2.2.30.14	Required parking may be located on lands zon	ned C4-78			
8.2.2.30.15	Minimum setback of a parking structure constructed3.0 mcompletely below finished grade to lands zoned G2-53.0 m				
8.2.2.30.16	Driveways and aisles may be shared with abutting lands zoned E1-29				
8.2.2.30.17	"Community Cultural Centre" means a building , structure or part thereof, for the provision of community activities, such as, but not limited to, recreation, arts, crafts, museums, social and charitable activities				
Holding Prov	vision				
	The holding symbol H is to be removed from t part of the lands zoned H-E1-30 by further am Map 01 of Schedule B contained in Part 13 of amended, upon satisfaction of the following re	endment to this By-law, as			
	 the provisions contained in Article 2.1.33.7 of this By-law as they relate to lands zoned H-E1-30 and subject to holding provisions H1, H2, H3 and H6. 				

8.2.3 E2 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

8.2.3.1	Exception: E2-1	Map # 25, 36W, 45W, 46E, 53W, 54E, 54W, 58, 59	By-law: OMB Order 2008 November 10, 0177-2018, 0229-2018, 0121-2020/LPAT Order 2021 March 11
that the followi	ng uses/regulations shall app		specified for an E2 zone except
Uses Not Pern	nitted		
8.2.3.1.1	 Truck Terminal Waste Processing Waste Transfer St Composting Facili Body-Rub Establis Adult Entertainme Night Club 	tation ity shment	
Regulation			
8.2.3.1.2	consisting of one (1) or more driveways and/or aisles, while to 3 000 kg in weight are par period of not more than 14 charged. This definition of	pen, unobstructed area of land re parking spaces that is serve here motor vehicles less than arked on a temporary basis for days and a fee may or may no parking area shall only apply faps 45W, 46E, 53W, 54E and	ed by or equal a t be to lands

8.2.3.2	Exception: E2	-2	Map # 58	By-law: 0379-2009			
that the followi	In an E2-2 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
8.2.3.2.1	Additional Permitted Uses 8.2.3.2.1 (1) C3 uses contained in Subsection 6.2.1 of this By-law, except: (1.1) Motor Vehicle Rental Facility						
Uses Not Pern	nitted						
8.2.3.2.2	 (2) Wast (3) Wast (4) Comp (5) Body (6) Adult (7) Night (8) delete 	Club d	tation ity	icted			
Regulation							
8.2.3.2.3	-						

8.2.3.3	Excep	tion: E2-3	Map # 58	By-law: 0379-2009		
		ermitted uses and s/regulations shal		nall be as specified for an E2 zone except		
Uses Not Pe	ermitted					
8.2.3.3.1	$(1) \\ (2) \\ (3) \\ (4) \\ (5) \\ (6) \\ (7) \\ (8) \\ (9) \\ (10) \\ (11) \\ (12) \\ (13) \\ (13)$	deleted Motor Vehicle Motor Vehicle	sing Station fer Station Facility			
Regulations	5					
8.2.3.3.2	-	The provisions contained in Subsection 8.1.4 of this By-law shall not apply				
8.2.3.3.3	Minin	num setback from	n lands zoned OS2	30.0 m		

8.2.3.4	Excep	ption: E2-4 Map # 59 By-law: 0379-2009				
	-	rmitted uses and a /regulations shall		nall be as specified for an E2 zone except		
Uses Not Per	mitted					
8.2.3.4.1	(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13)	deleted Motor Vehicle V Motor Vehicle S	ng Station Station cility blishment Repair Facility - Restr Wash Facility - Restri			
Regulation						
8.2.3.4.2	Minimum front yard where the opposite side of the street on20.0 mwhich the lot fronts is in a Residential Zone20.0 m					

Map # 18	By-law: 0097-2016/OMB Order 2016 December 01, OMB Order 2017 July 18, 0149-2019, 0189-2021				
gulations shall be as specified	for an E2 zone except that the following				
5 shall only be used for the fol	llowing:				
nd Technology Facility and Training Facility ting/Communication Facility t Production Facility /College uring facility legally existing this By-law					
onference centre/convention institution, restaurant, take- nufacturing provided that such an integral part of, the buildir in Sentence 8.2.3.5.1 of this E	-out restaurant, n uses are located ng used for one or				
a	0.8 ha				
ntage	60.0 m				
pace index - non-residential	for all uses 0.6				
Maximum floor space index - non-residential for office 0.4					
tage gross floor area - non-r uses listed in Sentence 8.2.3.5					
ard	12.5 m				
or side yard	12.5 m				
of a landscaped buffer measu	ared from any 4.5 m				
verage	40%				
of the front yard shall be la	ndscaped area				
of a complete site plan applica the subject of the above-note udy; and, on of actions or works, or ente t for the completion of action the recommendations of t	this By-law, as quirements: tudy for all or part that is satisfactory nd Community y Conservation, which are to be tion for the lands d Environmental ring into an or works required he approved				
o re St io m m ec	red for development; of a complete site plan applica re the subject of the above-note Study; and, ion of actions or works, or ente ent for the completion of action ment the recommendations of t mental Impact Study, and posti ed thereto, for all or part of the 2-5 zone.				

8.2.3.6	Exception: E2-6	Map # 18	By-law: 0325-2008, 0379-2009, <i>deleted by</i> 0097-2016/OMB Order 2016 December 01, 0097-2016/LPAT Order 2018 October 03			
	one the applicable regulation ions shall apply:	ns shall be as specified for an E2 z	zone except that the following			
Permitted U	Uses					
8.2.3.6.1	Lands zoned E2-6 shall of	only be used for the following:				
	 (4) Office (5) Pilot Plant (6) Prototype Produ (7) University/Colleg (8) Manufacturing, 	Fraining Facility formmunication Facility action Facility ge warehouse/distribution and lity legally existing on the date of				
8.2.3.6.2	centre, financial institut day care and manufactu within, and form an integ	nce centre/convention centre, fi tion, restaurant, take-out restau ring provided that such uses are lo gral part of, the building used for ence 8.2.3.6.1 of this Exception	r ant , ocated			
Regulations	8					
8.2.3.6.3	Minimum lot area		0.8 ha			
8.2.3.6.4	Minimum lot frontage		60.0 m			
8.2.3.6.5	Maximum floor space in	ndex - non-residential for all use	s 0.6			
8.2.3.6.6	Maximum floor space in	ndex - non-residential for office	0.4			
8.2.3.6.7		Maximum percentage gross floor area - non-residential of a15%building for any uses listed in Sentence 8.2.3.6.2 of this15%				
8.2.3.6.8	Minimum front yard		12.5 m			
8.2.3.6.9	Minimum exterior side	yard	12.5 m			
8.2.3.6.10	Minimum depth of a landscaped buffer measured from any 4.5 m lot line					
8.2.3.6.11	Maximum lot coverage	Maximum lot coverage 40%				
8.2.3.6.12	Minimum of 50% of the	front yard shall be landscaped a	area			

8.2.3.7	Exception: E2-7 M	ap # 44E	By-law: 0325-2008, 0379-2009, deleted by 0097-2016/OMB Order 2016 December 01, 0201-2019, 0111-2019/LPAT Order 2021 March 09			
	one the applicable regulations shal ons shall apply:	l be as specified for an E2 :	zone except that the following			
Permitted U	Jses					
8.2.3.7.1	Lands zoned E2-7 shall only b	e used for the following:				
	 Manufacturing Facilit Warehouse/Distribut Wholesaling Facility Self Storage Facility Self Storage Facility Retail Store Restaurant Take-out Restaurant Financial Institution Veterinary Clinic Service Establishment Medical Office Office Courier/Messenger Ser 	ion Facility t				
Regulations						
8.2.3.7.2	Maximum gross floor area - r	ion-residential	2 550 m ²			
8.2.3.7.3	Maximum gross floor area - 1 for medical office		126 m ²			
8.2.3.7.4	Maximum total gross floor ar a retail store and/or service es		For 360 m ²			
8.2.3.7.5	Maximum gross floor area - 1 for a restaurant and/or take- 0		70 m ²			
8.2.3.7.6	Minimum front yard to a bui l	ding canopy	6.5 m			
8.2.3.7.7	Minimum interior side yard -	east lot line	3.0 m			
8.2.3.7.8	Minimum interior side yard -	west lot line	2.0 m			
8.2.3.7.9	Minimum rear yard		3.0 m			
8.2.3.7.10	Minimum depth of a landscap lot line that is a street line	ed buffer measured from a	4.0 m			
8.2.3.7.11	Minimum depth of a landscap lot line where the lot line abut		a 3.0 m			
8.2.3.7.12	Minimum depth of a landscap east lot line	Minimum depth of a landscaped buffer measured from the 3.0 m				
8.2.3.7.13	Minimum depth of a landscap west lot line	ed buffer measured from t	he 2.0 m			
8.2.3.7.14	Minimum number of parking	Minimum number of parking spaces 82				
8.2.3.7.15	Minimum setback of parking other paved areas and an area Greenlands Zone	areas, driveways, loading	spaces, 4.5 m			

8.2.3.8	Exception: E2-8	Map # 23, 27, 33	By-law:			
In an E2-8 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Regulations						
8.2.3.8.1	The provisions of Lines 10. of this By-law shall not app	0 to 13.0 contained in Table 2 ly	.1.2.1.1			
8.2.3.8.2	The provisions contained in Sentence 8.1.5.1.1 of this By-law shall not apply					

8.2.3.9	Excep	tion: E2-9	Map # 11	By-law: 0379-2009, 0297-2013
		ermitted uses and s/regulations shal		hall be as specified for an E2 zone except
Uses Not Pe	rmitted			
8.2.3.9.1	(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (17) (18)	deleted Motor Vehicle Motor Vehicle deleted Motor Vehicle Gas Bar Motor Vehicle Commercial M Night Club	al ing Station er Station acility ablishment inment Establishment Repair Facility - Restri Rental Facility Wash Facility - Restri Service Station	cted
Regulations				
8.2.3.9.2	The p not ap		ed in Subsection 8.1.4 of	this By-law shall
8.2.3.9.3	Maxir	num floor space	index office	0.5

8.2.3.10	Excep	otion: E2-10	Map # 11	By-law: 0379-2009		
		permitted uses and ing uses /regulatio		l be as specified for an E2 zone		
Uses Not Per	rmitted					
8.2.3.10.1	$(1) \\ (2) \\ (3) \\ (4) \\ (5) \\ (6) \\ (7) \\ (8) \\ (9) \\ (10) \\ (11) \\ (12) \\ (13) \\ (1) \\ (1) \\ (12) \\ (13) \\ (1) $	deleted Motor Vehicle Motor Vehicle deleted Motor Vehicle	ing Station er Station acility			
Regulations						
8.2.3.10.2	· ·	rovisions containe y-law shall not ap	ed in Subsections 8.1.4, 8.1.5 pply	5 and 8.1.6 of		
8.2.3.10.3	Maxir	num floor space	index office	0.5		
8.2.3.10.4		Maximum gross floor area - non-residential used for accessory 25% retail sales and accessory retail display				
8.2.3.10.5	Minin	Minimum front yard 0.25 m				
8.2.3.10.6	Minin	num easterly side	yard	6.0 m		
8.2.3.10.7	Minin	num westerly side	e yard	13.5 m		

0 2 2 11	Г	·	N // 11	D 1 0200 2011	
8.2.3.11	Excep	tion: E2-11	Map # 11	By-law: 0308-2011	
		permitted uses and ap ing uses /regulations	oplicable regulations shall be a shall apply:	as specified for an E2 zone	
Additional Pe	rmitted	l Uses			
8.2.3.11.1	 Uses Accessory to a Place of Religious Assembly Private School 				
Regulations					
8.2.3.11.2	8.2.3.11.2 The provisions contained in Subsections 8.1.5 and 8.1.6 of this By-law shall not apply				
8.2.3.11.3	Maximum floor space index office 0.5				
8.2.3.11.4	Maximum gross floor area - non-residential5 200 m²				
8.2.3.11.5	Maximum gross floor area - non-residential used for a worship 616 m ² area				
8.2.3.11.6	Minimum parking spaces provided 393				
8.2.3.11.7	"Uses Accessory to a Place of Religious Assembly" means an office, travel agency, and funeral preparation room				

8.2.3.12	Exception: E2-12	Map # 11, 27, 45W, 53W	By-law:	
	one the permitted uses and app following uses /regulations sl	blicable regulations shall be as nall apply:	s specified for an E2 zone	
Additional Pe	rmitted Uses			
8.2.3.12.1	(1) Public School(2) Day Care			
Regulations				
8.2.3.12.2	The provisions of Lines 2.0 this By-law shall apply	to 10.0 contained in Table 2.1	1.9.1 of	
8.2.3.12.3	The provisions contained in Subsections 8.1.5 and 8.1.6 of this By-law shall not apply			
8.2.3.12.4	Maximum floor space index office 0.5			
8.2.3.12.5	Minimum depth of a landso	caped buffer abutting a G1 zo	one 7.0 m	

8.2.3.13	Exception: E2-13	Map # 27	By-law: deleted by 0111-2019/ LPAT Order 2021 March 09, 0128-2023				
	In an E2-13 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Regulations							
8.2.3.13.1	The provisions of Line 2.0 o By-law shall not apply	contained in Table 2.1.17.1 of	this				
8.2.3.13.2	Minimum rear yard		5.5 m				
8.2.3.13.3	Minimum depth of a lands lot line where the lot line a	caped buffer measured from a buts a Development Zone	u 0.6 m				

Exception E2-13 continued on next page

8.2.3.13	Exce	ption: E2-13	Map # 27	By-law: deleted by 0111-2019/ LPAT Order 2021 March 09, 0128-2023		
Exception F	E2-13 cor	ntinued from previ	ous page			
8.2.3.13.4	Stairs and landings shall be permitted within a required landscaped buffer abutting a southerly lot line					
Holding Pro	ovision					
	part o Map	of the lands zoned H 27 of Schedule B co	to be removed from the I-E2-13 by further ame ontained in Part 13 of the on of the following req	ndment to his By-law, as		
	(1)	Infrastructure Sc	evelopment Agreement hedules in a form and one Corporation of the C ty"):	on terms		
	(2)					
	(3)	receipt of an upd including detaile the required nois	ated Environmental No d drawings and cross-s e barrier to the satisfac ilding Department;	oise Impact Study, ections showing		
	(4)	receipt of an upd Stormwater Man	ated Functional Servic agement Report, to the	satisfaction of		
	 the City's Transportation and Works Department; receipt of a satisfactory Draft Reference Plan showing the future right-of-way lands and woodlot to be dedicated to the City's Transportation and Works Department and Community Services Department; 					
	(6)	gratuitous dedica	tion of the natural heri ouffer, and required right			
	(7)	receipt of an ame Protection Plan,	ended Arborist Report a to the satisfaction of the vices Department;			
	(8)	receipt of a Resto	oration Plan to the satis			

8.2.3.14	Excep	otion: E2-14	Map # 17	By-law: 0379-2009, 0055-2015, 0100-2023
		permitted uses and ing uses /regulation		shall be as specified for an E2 zone
Additional F	Permittee	l Use		
8.2.3.14.1	(1)	Medicinal Prod Restricted	luct Manufacturing Fa	acility -
Uses Not Per	rmitted			
8.2.3.14.2	$(1) \\ (2) \\ (3) \\ (4) \\ (5) \\ (6) \\ (7) \\ (8) \\ (9) \\ (10) \\ (11) \\ (12) \\ (13) \\ (14) \\ (15) \\ (16) \\ (16) \\ (11) \\ (12) \\ (13) \\ (14) \\ (15) \\ (16) \\ (16) \\ (11) \\ (12) \\ (11) \\ (12) \\ (13) \\ (14) \\ (15) \\ (16) \\ (1$	Night Club Overnight Acco Conference Cen Medicinal Prod Motor Vehicle Motor Vehicle Motor Vehicle Gas Bar Motor Vehicle	ng Station r Station cility blishment nment Establishment ommodation tre/Convention Centre luct Manufacturing Facility - Rest Repair Facility - Rest	ricted
Holding Pro	vision			
	part o Map 1	f the lands zoned H 17 of Schedule B c	s to be removed from th I-E2-14 by further ame ontained in Part 13 of t ion of the following rec	ndment to his By-law, as
	(1)	long-term care, control system f site is establishe development pro not interfere wit	Il not be permitted on the maintenance, and secur for the former North Sh ad by the Region of Pee oposals must demonstra h the migration gas con- meridan Landfill site.	ity of the gas eridan Landfill l; ate that they will

·	_			
8.2.3.15	Excep	otion: E2-15	Map # 04	By-law: 0396-2009/ OMB Order 2010 May 17, 0297-2013
		permitted uses and ap ing uses /regulations s		nall be as specified for an E2 zone
Additional Pe	ermitte	d Use		
8.2.3.15.1	(1)	Garden Centre		
Uses Not Peri	mitted			
8.2.3.15.2	 (1) (2) (3) (4) (5) (6) (7) (8) (9) 	Transportation Facility Truck Terminal Waste Processing Station Waste Transfer Station Composting Facility Contractor Service Shop Adult Entertainment Establishment Body-Rub Establishment Truck Fuel Dispensing Facility		
Regulation				
8.2.3.15.3	to sal	t and sand shall be wi	ulate materials such as thin enclosed containe des and a roof, or othe	ers, a structure

8.2.3.16	Exception: E2-16	Map # 23	By-law: 0229-2018			
In an E2-16 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Uses Not Perm	itted					
8.2.3.16.1(1)Adult Entertainment Establishment(2)Body-Rub Establishment(3)Night Club						

8.2.3.17	Exception: E2-17 Ma	p#44E	By-law: 0217-20	0379-2009, 223		
	one the permitted uses and applica e following uses /regulations shall		l be as specifie	d for an E2 zone		
Additional P	ermitted Use					
8.2.3.17.1	deleted					
Uses Not Per	mitted					
8.2.3.17.2	 Waste Processing Stat Waste Transfer Statio Composting Facility Body-Rub Establishm Day Care Adult Entertainment I Adult Video Store 	n ent				
Regulations						
8.2.3.17.3	deleted					
8.2.3.17.4	Maximum gross floor area - ne	on-residential used	for offices	0.5 times the lot area		
8.2.3.17.5	Minimum front yard			6.0 m		
8.2.3.17.6	Minimum exterior side yard			6.0 m		
8.2.3.17.7	Minimum interior side yard			4.5 m		
8.2.3.17.8	Minimum setback of a building Highway 401 right-of-way	Minimum setback of a building or structure from the 13.7 m Highway 401 right-of-way				
8.2.3.17.9	Minimum setback of a building McLaughlin Road	g or structure to		7.5 m		
8.2.3.17.10	Maximum height of a building	Maximum height of a building or structure used for offices 2 storeys				
8.2.3.17.11	Maximum number of courier/m permitted to be stored outside	essenger service del	ivery vehicles	10		

8.2.3.18	Except	tion: E2-18	Map # 14	By-law: 0229	9-2018		
In on E2 19 70	ma tha m	amaittad usaas and an	uliashla namlationa shall	he as specified for	on E 2 2000		
		ng uses /regulations s	plicable regulations shall hall apply:	be as specified for	an E2 zone		
Additional Pe	rmitted	Uses					
8.2.3.18.1	(1)	Asbestos products the date of passing	manufacturing legally ex i	isting on			
	(2)		ring legally existing on the	ne date of			
	(2)	passing of this By-					
	(3)		ne processing and by-pro	oduct			
	(-)		ally existing on the date of				
		of this By-law	• 0				
	(4)	 (4) Oil based paints, oil based coatings, solvent based adhesives and resin, and natural or synthetic rubber 					
			•				
			ally existing on the date o	of passing			
	(5)	of this By-law	l refining and by-product				
	(\mathbf{J})		ally existing on the date of				
		of this By-law	ing existing on the date of	n pussing			
	(6)		ur products and manufact	turing			
			the date of passing of thi				
	(7)	•	y operations legally exist	ting on the			
	(-)	date of passing of t	•				
	(8)	Solvent manufacturing legally existing on the date of					
	(0)	passing of this By-law					
	(9)	Tannery legally existing on the date of passing of this By-law					
	(10)		nufacturing legally existi	ng on the			
	(10)	date of passing of t		ang on mo			
	(11)		ty legally existing on the	date of			
		passing of this By-					
	(12)		cking yard legally existin	g on the			
		date of passing of t	his By-law				
Uses Not Pern	nitted						
8.2.3.18.1A	(1)	Truck Terminal					
	(2)	Waste Processing Waste Transfer S					
	(3) (4)	Composting Facil					
	(4)	Body-Rub Establ					
	(6)		ent Establishment				
	(0) (7)	Night Club					
	(8)	Asbestos Products	Manufacturing				
	(9)	Cement Manufactu	ring				
	(10)		ne processing and by-pro	oduct			
		manufacturing					
	(11)	Oil based paints, of	l based coatings, solvent	based			
			n, and natural or synthetic	rubber			
	(12)	manufacturing Petroleum and coal	refining and by-product				
	(12)	manufacturing	and by-product				
	(13)	e	ur products and manufact	turing			
	(14)	Smelting or Found		÷			
	(15)	Solvent Manufactu					
	(16)	Tannery					
	(17) (18)	Tar and Asphalt M Motor Vehicle Wre					
Dogula4:	(10)	whotor venicle wre					
Regulations	N 61 - 1	1 1 0 1 -			15.0		
8.2.3.18.2		um depth of a lands ential Zone	caped buffer abutting a		15.0 m		
8.2.3.18.3			ding or structure to a		25.5 m		
		ential Zone					

Exception E2-18 continued on next page

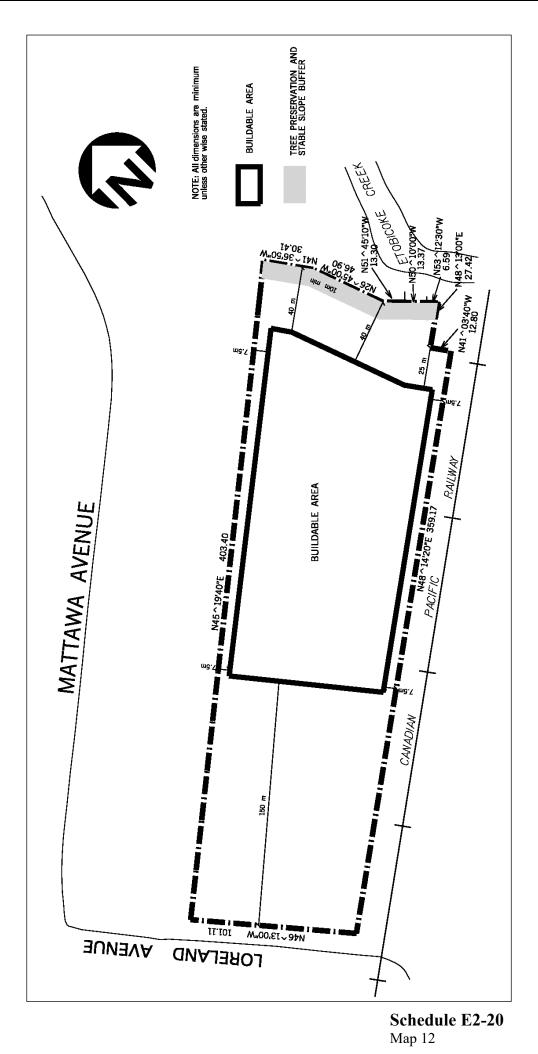
8.2.3.18	Exception: E2-18 Map # 14 By-law: 0229-2018					
Exception E2-18 continued from previous page						
8.2.3.18.4	8.2.3.18.4 A chain-link fence shall be required along the lot line abutting the Residential Zone					
8.2.3.18.5	Minimum height of a chain-link fence required under1.8 mSentence 8.2.3.18.4 of this Exception					
8.2.3.18.6	.3.18.6 No building or structure shall have doors or windows facing a Residential Zone					

8.2.3.19	Exception: E2-19	Map # 23, 27, 35W, 36E, 44E, 49E, 54W	By-law: 0229-2018, 0067-2019			
In an E2-19 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Additional Per	rmitted Use					
8.2.3.19.1	8.2.3.19.1 (1) E3 uses contained in Subsection 8.2.1 of this By-law, except: (1.1) Power Generating Facility					
Regulations						
8.2.3.19.2	8.2.3.19.2 The provisions contained in Sentence 8.1.5.1.1 of this By-law shall not apply					
8.2.3.19.3 Uses contained in Sentence 8.2.3.19.1 of this Exception and the E2 uses contained in Subsection 8.2.1 of this By-law, shall comply with the E3 zone regulations contained in Subsection 8.2.1 of this By-law						

8.2.3.20	Excep	tion: E2-20	Map # 12	By-law: Ol 2009 Marc	MB Order h 17, 0229-2018		
In on F2 20 z	one the r	permitted uses and	l applicable regulations	shall be as specified for	or an E2 zone		
		ing uses/regulation		shall be as specified to			
Additional P	ermitted	l Uses					
8.2.3.20.1	(1)		Body Repair Facility				
	(2)	Contractor's Ya					
	(3)	Outdoor Stora	ge				
	(4)	Power Genera	ting Facility				
	(5)	Asbestos produ	cts manufacturing legal	ly existing on			
		the date of pass	ing of this By-law				
	(6)	Cement manufa	cturing legally existing	on the date of			
		passing of this l	By-law				
	(7)	Gypsum or lime	estone processing and by	y-product			
		manufacturing	legally existing on the d	late of passing of			
		this By-law					
	(8)		s, oil based coatings, sol				
			esin, and natural or synt				
		-	egally existing on the d	late of passing of			
		this By-law					
	(9)		coal refining and by-pro				
		manufacturing legally existing on the date of passing					
	(10)	of this By-law					
	(10)	Phosphate or sulphur products and manufacturing legally					
	(11)	existing on the date of passing of this By-law					
	(11)	Smelting or foundry operations legally existing on the date of passing of this By-law					
	(12)	date of passing of this By-law Solvent manufacturing legally existing on the date of					
	(12)	passing of this By-law					
	(13)	Tannery legally existing on the date of passing of this					
	(13)	By-law					
	(14)	Tar and asphalt manufacturing legally existing on the					
	(14)	date of passing of this By-law					
	(15)						
	(10)	passing of this By-law					
	(16)		vrecking yard legally ex	isting on the date			
		of passing of th		8			
Uses Not Per	mitted	* •					
8.2.3.20.1A	(1)	Ashestos Produ	cts Manufacturing				
0.2.9.20.171	(1) (2)	Cement Manufa					
	(2) (3)			v-product			
		Gypsum or limestone processing and by-product manufacturing					
	(4)	Oil based paints, oil based coatings, solvent based					
		adhesives and resin, and natural or synthetic rubber					
		manufacturing	- J				
	(5)	U U	coal refining and by-pro	duct			
	× /	manufacturing	5 71				
	(6)		lphur products and man	ufacturing			
	(7)		indry Operations	-			
	(8)	Solvent Manufa					
	(9)	Tannery	-				
	(10)		t Manufacturing				
	(11)	Composting Fa					
	(12)	Motor Vehicle	Wrecking Yard				
Regulations							
8.2.3.20.2	Maxir	num percentage o	f lot area used for outd	loor storage	45%		
8.2.3.20.3			oor storage shall not be building or structure	closer to any			
8.2.3.20.4			ndscaped buffer abuttin	ng	6.0 m		
0.2.3.20.4		and Avenue	auscapca vunci abutti	шğ	0.0 111		

Exception E2-20 continued on next page

8.2.3.20	Excep	tion: E2-20	Map # 12	By-law: OM 2009 March	B Order 17, 0229-2018		
Exception E2	2-20 cont	tinued from previous	s page				
8.2.3.20.5	Minin slope		k from tree preservation an	d stable	7.5 m		
8.2.3.20.6		The rear yard setback shall be measured from the western extent of the tree preservation and stable slope buffer					
8.2.3.20.7	Minin	Ainimum width of the tree preservation and stable slope buffer 10.0 m					
8.2.3.20.8		Minimum height of fencing surrounding the area used for 2.9 m outdoor storage					
8.2.3.20.9	not be main l	situated closer to any	area used for outdoor stora v streetline than any portion or closer to the rear proper rear yard	n of the			
8.2.3.20.10		num height of materia or storage	als in the area used for		2.9 m		
8.2.3.20.11	where drive wall, i and w	no building or struc way or ramp, whether notor vehicle parking here existing vegetation	ble Slope Buffer" means an ture, walk, patio, vehicular surfaced or not, any curb, n g area or open storage is per on shall not be removed ex- or conservation uses.	retaining rmitted			
8.2.3.20.12	preser	All site development plans shall comply with the tree preservation and stable slope buffer identified on Schedule E2-20 of this Exception					
8.2.3.20.13	A pov follow	8	y shall also comply with th	e			
	(1)	maximum height			28.0 m		
	(2)	maximum height o	f storage tanks		11.0 m		
	(3)	maximum height o structure	f heat recovery steam gener	rator	37.0 m		
	(4)	maximum height o and relief valve ven	f heat recovery steam gener at piping	rator stack	43.0 m		
	(5)	maximum capacity cooling towers	of all storage tanks, exclud	ing	6 500 m ³		
	(6)	minimum setback o interior side lot lin	of storage tanks from the no ne	rtherly	15.0 m		
	(7)	fuel oil shall not be power	used for the production of	electrical			
	(8)		ans for a power generatin Schedule E2-20 of this Exce				
Holding Prov	vision						
		he following use shal lding symbol H:	l be permitted prior to the r	removal of			
	(1)	hard surfaced areas	facility in which stormwate shall be harvested and used unicipal water for process of	1 in			
	part of Map 1	f the lands zoned H-E 2 of Schedule B cont	be removed from the whole 2-20 by further amendment ained in Part 13 of this By- of the following requireme	t to law, as			
	(1)	Agreements regard works to service the land dedications, ea	d Servicing and Developme ing the construction of mun e site and arrangements for asements, securities, and, and applicable Tree Permit A	icipal associated			



8.2.3.21	Exception: E2-21	Map # 01	By-law: 0379-2009			
In an E2-21 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Uses Not Perr	nitted					
8.2.3.21.1	 (7) Night Club (8) deleted (9) Motor Vehic (10) Motor Vehic (11) Gas Bar (12) deleted (13) Motor Vehic 	ssing Station fer Station Facility				

8.2.3.22	Exception: E2-22	Map #	By-law: deleted by 0002-2020

8.2.3.23	Except	tion: E2-23	Map # 52E	By-law: 0379-2009, 0055-2015, 0100-2023
	-	ermitted uses and app ng uses /regulations sl	plicable regulations shall be a hall apply:	s specified for an E2 zone
Additional Per	mitted	Use		
8.2.3.23.1	(1)	Medicinal Product Restricted	Manufacturing Facility -	
Uses Not Perm	nitted			
 8.2.3.23.2 (1) Place of Religious Assembly (2) Library (3) Motor Vehicle Repair Facility - Restricted (4) Overnight Accommodation (5) Restaurant (6) Financial Institution (7) Broadcasting/Communication Facility (8) Medicinal Product Manufacturing Facility (9) Plant-Based Manufacturing Facility 				

Exception E2-23 continued on next page

8.2.3.23	Excep	otion: E2-23	Map # 52E	By-law: 03 0055-2015	379-2009, 5, 0100-2023		
Exception E	2-23 con	tinued from pre	vious page				
Regulations							
8.2.3.23.3		provisions contain w shall not apply	ed in Subsections 8.1.5 an	nd 8.1.6 of this			
8.2.3.23.4		Minimum setback of all buildings and structures from the20.0 m lot line abutting a Residential Zone					
Holding Pro	ovision						
	Map : amen	part of the lands zoned H-E2-23 by further amendment to Map 52E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:					
	(1)	 the stormwater management facility (Part 1, Reference Plan 43R-25114) and storm sewer outlet to Fletcher's Creek shall be constructed and operable to the satisfaction of the City Transportation and Works 					
	 Department and Credit Valley Conservation; (2) the completion of services (including storm sewers) and registration of Draft Plan of Subdivision T-M95022, Ben-Ted Limited; 						
	(3)						
	(4)	satisfactory arr Transportation	angements being made w and Works Department f across the Saint Barbara E site.	for establishing a			

8.2.3.24	Except	ion: E2-24	Map # 35E, 35W, 36E, 36W, 40W, 43E, 43W, 44E, 44W, 45W, 46E, 51E, 54E, 54W, 58, 59	By-law: 0379-2009, 0177-2018, 0121-2020/ LPAT Order 2021 March 11	
except that the	followir	ermitted uses and app ng uses /regulations sl	blicable regulations shall be as hall apply:	s specified for an E2 zone	
Uses Not Perm					
8.2.3.24.1	(1) (2)	Truck Terminal	G4_4*		
	(2)	Waste Processing Waste Transfer St			
	(3) (4)	Composting Facili			
	(5)	Body-Rub Establis			
	(6)	Adult Entertainm			
	(7)	Night Club			
	(8)	deleted			
	(9)		pair Facility - Restricted		
	(10)	Motor Vehicle Rei	ntal Facility		
	(11)	Gas Bar			
	(12)	Motor Vehicle Ser	vice Station		
	(13) (14)	deleted Motor Vehicle We	sh Facility - Restricted		
Dogulations	(14)		ish Fachity - Kesti Kicu		
Regulations					
8.2.3.24.2	The provisions contained in Subsection 8.1.4 of this By-law shall not apply				
8.2.3.24.3	this By		ions contained in Subsection 8 loor storage shall not be perm 01, 403 or 410		

8.2.3.25	Exception: E2-25	Map # 54W	By-law:			
	zone the permitted uses and be following uses /regulation		nall be as specified for an E2 zone			
Additional P	Permitted Uses					
8.2.3.25.1	 (1) E3 uses contained in Subsection 8.2.1 of this By-law, except: (1.1) Power Generating Facility 					
Regulations						
8.2.3.25.2	The provisions contained in Sentence 8.1.5.1.1 of this By-law shall not apply					
8.2.3.25.3	Minimum setback of a building , structure or part thereof, to a 10.0 m gas transmission pipeline easement					
8.2.3.25.4	Uses contained in Sentence 8.2.3.25.1 of this Exception and the E2 uses contained in Subsection 8.2.1 of this By-law, shall comply with the E3 zone regulations contained in Subsection 8.2.1 of this By-law					

8.2.3.26	Excep	Exception: E2-26 Map # 54E By-law: 0379-2009				
		permitted uses and ng uses /regulatio		hall be as specified for an E2 zone		
Uses Not Pe	rmitted					
8.2.3.26.1	$(1) \\ (2) \\ (3) \\ (4) \\ (5) \\ (6) \\ (7) \\ (8) \\ (9) \\ (10) \\ (11) \\ (12) \\ (13) \\ (14) \\ (14) \\ (12) \\ (13) \\ (14) \\ (11) \\ (12) \\ (13) \\ (14) \\ (11) \\ (12) \\ (13) \\ (14) \\ (11) \\ (12) \\ (11) \\ (12) \\ (13) \\ (14) \\ (14) \\ (11) \\ (12) \\ (11) \\ (12) \\ (11) \\ (12) \\ (11) \\ (12) \\ (13) \\ (14) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (11) \\ (12) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (14) \\ (11) \\ (12) \\ (11) \\ (12) \\ (1$	Truck Terminal Waste Processing Station Waste Transfer Station Composting Facility Body-Rub Establishment Adult Entertainment Establishment Night Club deleted Motor Vehicle Repair Facility Motor Vehicle Rental Facility Motor Vehicle Service Station deleted Motor Vehicle Service Station Motor Vehicle Wash Facility - Restricted				
Regulations						
8.2.3.26.2	The provisions contained in Subsection 8.1.4 of this By-law shall not apply					
8.2.3.26.3		Minimum setback of buildings , structures or parts thereof, to 13.7 m Highway 401				

8.2.3.27	Exception: E2-27	Map # 22	By-law: 0055-2015, 0100-2023				
	In an E2-27 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Additional Pe	rmitted Use						
8.2.3.27.1	(1) Medicinal Produ Restricted						
Uses Not Perr	nitted						
8.2.3.27.2	8.2.3.27.2 (1) Medicinal Product Manufacturing Facility (2) Plant-Based Manufacturing Facility						
Regulation							
8.2.3.27.3	3.2.3.27.3 The provisions contained in Sentence 8.1.5.1.1 of this By-law shall not apply						

8.2.3.28	Exception: E2-28	Map # 44E	By-law: 0191-2009, 0252-2011, 0297-2013, 0217-2023		
	following uses /regulations sl	plicable regulations shall be as hall apply:	s specified for an E2 zone		
8.2.3.28.1	deleted				
Uses Not Perm	nitted				
8.2.3.28.2	 Truck Terminal Waste Processing Waste Transfer St Composting Facili Body-Rub Establis Adult Entertainmet Night Club 	tation ity shment			
Regulations					
8.2.3.28.3	The provisions contained in Subsection 8.1.4 of this By-law shall not apply				
8.2.3.28.4	Maximum setback of a building or structure from Derry Road16.5 mWest on a property abutting Derry Road West16.5 m				
8.2.3.28.5	Minimum setback of motor facilities from Derry Road	r vehicle parking and loading West	16.5 m		

8.2.3.29	Exception: E2-29	Map # 45W, 46E	By-law:		
	one the permitted uses and e following uses /regulation		l be as specified for an E2 zone		
Additional P	ermitted Use				
8.2.3.29.1	(1) Outdoor Storag	ge			
Uses Not Per	mitted				
8.2.3.29.2	 (1) Waste Processin (2) Waste Processin (3) Waste Transfer (4) Composting Fa (5) Body-Rub Esta 	Truck Terminal Waste Processing Station Waste Transfer Station Composting Facility Body-Rub Establishment Adult Entertainment Establishment Night Club			
Regulations					
8.2.3.29.3	The provisions contained in Subsections 8.1.5 and 8.1.6 of this By-law shall not apply				
8.2.3.29.4	The provisions contained apply	d in Subsection 8.1.7 of this	s By-law shall		

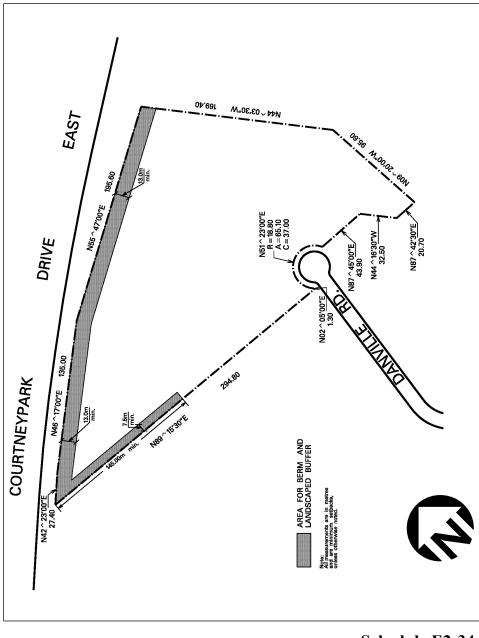
8.2.3.30	Except	tion: E2-30	Map # 53W	By-law: 0229-2018
		ermitted uses and app gulations shall apply:	plicable regulations shall be as	s specified for an E2 zone
Additional Pe	rmitted	Use		
8.2.3.30.1	(1)	Day Care		
Uses Not Peri	nitted			
8.2.3.30.2	 (1) (2) (3) (4) (5) (6) (7) 	Adult Entertainme Body-Rub Establis Night Club Truck Terminal Waste Processing Waste Transfer St Composting Facili	shment Station ation	

8.2.3.31	Exception: E2-31	By-law: 0097-2016/OMB Order 2016 December 01, 0149-2019				
	zone the applicable regulations	s shall be as specified f	for an E2 zone except that the following			
Permitted U	Jses					
8.2.3.31.1	Lands zoned E2-31 shall or	nly be used for the foll	lowing:			
	 (4) Office (5) Pilot Plant (6) Prototype Produc (7) University/College 	aining Facility nmunication Facility tion Facility cility legally existing	on the date of			
8.2.3.31.2	A banquet hall/conferenc centre, financial institutio day care and manufacturin within, and form an integra more of the uses in Sentence	n, restaurant, take-ou ng provided that such u al part of, the building	ut restaurant, ises are located used for one or			
Regulations						
8.2.3.31.3	Minimum lot area		0.8 ha			
8.2.3.31.4	Minimum lot frontage		60.0 m			
8.2.3.31.5	Maximum floor space ind	ex - non-residential fo	or all uses 0.6			
8.2.3.31.6	Maximum floor space ind	ex - non-residential fo	or office 0.4			
8.2.3.31.7	Maximum percentage gros building for any uses listed Exception					
8.2.3.31.8	Minimum front yard		12.5 m			
8.2.3.31.9	Minimum exterior side ya	rd	12.5 m			
8.2.3.31.10	Minimum depth of a lands lot line	Minimum depth of a landscaped buffer measured from any 4.5 m				
8.2.3.31.11	Maximum lot coverage		40%			
8.2.3.31.12	Minimum of 50% of the fr	ont yard shall be land	lscaped area			

8.2.3.32	Exception: E2-32	Map # 43E	By-law:
	ne the permitted uses and app following uses /regulations sl	plicable regulations shall be as hall apply:	specified for an E2 zone
Additional Per	mitted Use		
8.2.3.32.1	(1) Retail Store		
Regulations			
8.2.3.32.2	Maximum gross floor area	- non-residential	$7 450 \text{ m}^2$
8.2.3.32.3	Maximum gross floor area retail stores	- non-residential used for all	300 m ²

8.2.3.33	Exception: E2-33	Map # 43E	By-law: 0297-2013			
In an E2-33 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Additional Per	mitted Use					
8.2.3.33.1	33.1 (1) Convenience retail and service kiosk accessory to a truck fuel dispensing facility					
Regulations						
8.2.3.33.2	Maximum gross floor area accessory convenience reta	- non-residential used for an ail and service kiosk	400 m ²			
8.2.3.33.3	Required parking for a permitted use may be located on lands zoned U-6					

8.2.3.34	Exception: E2-34	Map # 43E	By-law:			
	In an E2-34 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:					
8.2.3.34.1	All landscaped buffers sha this Exception	all comply with Schedule E2-3	4 of			



Schedule E2-34 Map 43E

	_					
8.2.3.35	Excepti	ion: E2-35	Map # 45W	By-law: 0379-2009, 0055-2015, 0100-2023		
	e followin	g uses /regulation		nall be as specified for an E2 zone		
8.2.3.35.1	(1) (2)	Private Comm Medicinal Pro Restricted	unity Centre oduct Manufacturing Fac	cility -		
Uses Not Per	rmitted					
8.2.3.35.2	$(1) \\ (2) \\ (3) \\ (4) \\ (5) \\ (6) \\ (7) \\ (8) \\ (9) \\ (10) $	 Truck Terminal Waste Processing Station Waste Transfer Station Composting Facility Body-Rub Establishment Adult Entertainment Establishment Night Club Adult Video Store Medicinal Product Manufacturing Facility 				
Regulation						
8.2.3.35.3		The provisions contained in Subsection 8.1.4 of this By-law shall not apply				

8.2.3.36	Exception: E2	-36	Map # 23	By-law:				
except that the	In an E2-36 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply: Additional Permitted Uses							
8.2.3.36.1	(2) E3 use except (2.1) (2.2)	 Recycling and processing of concrete and asphalt E3 uses contained in Subsection 8.2.1 of this By-law, except: 						
Regulation								
8.2.3.36.2	2 The provision of Line 11.0 contained in Table 2.1.2.1.1 of this By-law shall not apply							

8.2.3.37	Exception: E2-37	Map # 36E	By-law:			
In an E2-37 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Additional Permitted Use						
8.2.3.37.1	(1) Motor vehicle par lands zoned OS2-6	king facilities associated with t	he			

8.2.3.38	Exception: E2-38	Map # 33, 35W, 40W, 41E, 49E	By-law: 0005-2020
	zone the permitted uses and ne following uses /regulation	applicable regulations shall be as s shall apply:	s specified for an E2 zone
Uses Not Per	rmitted		
8.2.3.38.1	(6) Body-Rub Esta	ng Station Station cility ment Establishment blishment ommunication facility including	g any

8.2.3.39	Exception: E2-39	Map # 40W	By-law: 0111-2019/ LPAT Order 2021 March 09				
	In an E2-39 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Additional Per	rmitted Uses						
8.2.3.39.1	 Service Establishment Travel Agency Photography Studio 						
Regulations							
8.2.3.39.2		ng spaces per 100 m ² gross fl d for a motor vehicle rental f					
8.2.3.39.3	Minimum number of parking spaces per leased vehicle which is 1.0 stored within a building or structure						
8.2.3.39.4	Tandem parking will be per	rmitted					

8.2.3.40	Exception: E2-40	Map # 26	By-law: 0217-2023			
In an E2-40 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Additional Pe	ermitted Use					
8.2.3.40.1	deleted					
Uses Not Permitted						
8.2.3.40.2(1)Motel(2)Waste Processing Station(3)Waste Transfer Station(4)Composting Facility						

8.2.3.41	Exception: E2-41	Map # 42W	By-law:			
In an E2-41 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply: Regulation						
8.2.3.41.1 Maximum number of motor vehicles stored outdoors accessory to a truck rental facility 25						

8.2.3.42	Exception: E2-42	Map # 35W, 42W, 50E, 50W	By-law:				
except that the	In an E2-42 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Regulations							
8.2.3.42.1	8.2.3.42.1 Notwithstanding Sentence 8.1.5.1.1 of this By-law, the maximum 50% of lot area area permitted to be used for outdoor storage						
8.2.3.42.2	An outdoor storage area shall not be situated closer to any street line than the rear wall of the main building or structure						

8.2.3.43	Exception	on: E2-43	Map # 42W	By-law:				
	In an E2-43 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:							
Additional	Permitted U	Jses						
8.2.3.43.1	1 (1) Storage and sale of the following: (1.1) Motor vehicle parts and accessories (1.2) Trailer parts (1.3) Tires and accessories (1.4) Construction tools and accessories (1.5) Farm equipment and accessories (1.6) Plumbing supplies (1.7) Electrical supplies (1.8) Building supplies							
8.2.3.43.2	3.2.3.43.2 Uses contained in Sentence 8.2.3.43.1 of this Exception shall only be permitted provided such establishment incorporates the storage and sale of two or more different types of the commodities listed							

8.2.3.44	Exception: E2-44	Map # 50W	By-law:			
In an E2-44 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Regulations						
8.2.3.44.1	The provisions contained in Sentence 8.1.6.1.2 of this By-law shall not apply					
8.2.3.44.2	Minimum setback of outdo	or storage from Dixie Road	110.0 m			
8.2.3.44.3		s or truck trailers, accessory to embly of trucks and trailers pe				

8.2.3.45	Exception: E2-45	Map # 50W	By-law: 0212-2015
	one the applicable regulations shall apply:	ons shall be as specified f	for an E2 zone except that the following
Permitted Us	ses		
8.2.3.45.1	Lands zoned E2-45 shall	only be used for the foll	lowing:
	 Gas Bar Motor Vehicles Restaurant Office 	Service Station	
Use Not Peri	nitted		
8.2.3.45.2		e of motor vehicles over uction equipment	r 5 000 kg gross
Regulations			
8.2.3.45.3	Maximum gross floor a restaurants	rea - non-residential use	ed for all 171 m^2
8.2.3.45.4	Maximum gross floor a	r ea - non-residential use	ed for all offices 130 m ²

8.2.3.46	Exception: E2-46	Map # 45W	By-law:				
In an E2-46 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:							
Additional Per	mitted Use						
8.2.3.46.1	8.2.3.46.1 (1) Motor Vehicle Sales, Leasing and/or Rental Facility - Restricted						
Regulation							
8.2.3.46.2 The provisions contained in Sentence 8.1.5.1.1 of this By-law shall not apply							

8.2.3.47	Except	ion: E2-47	Map # 46E	By-law:			
In an E2-47 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:							
Additional Per	mitted	Uses					
8.2.3.47.1	8.2.3.47.1 (1) Motor Vehicle Sales, Leasing and/or Rental Facility - Restricted						
	(2)	Motor Vehicle Equ	aipment Outlet				

8.2.3.48	Excep	otion: E2-48	Map # 51W	By-law:	
		permitted uses and ing uses /regulation	l applicable regulations sl ns shall apply:	nall be as specified f	for an E2 zone
Additional P	ermittee	l Use			
8.2.3.48.1	3.1 (1) Motor Vehicle Sales, Leasing and/or Rental Facility - Restricted				
Uses Not Per	mitted				
8.2.3.48.2	(1) (2) (3) (4) (5) (6) (7)	Truck Termin Waste Process Waste Transfe Composting Fa Body-Rub Esta Adult Entertai Night Club	ing Station er Station acility		
Regulation					
8.2.3.48.3		num depth of a la ng Derry Road Ea	ndscaped buffer along th 1st	ne lot line	7.5 m

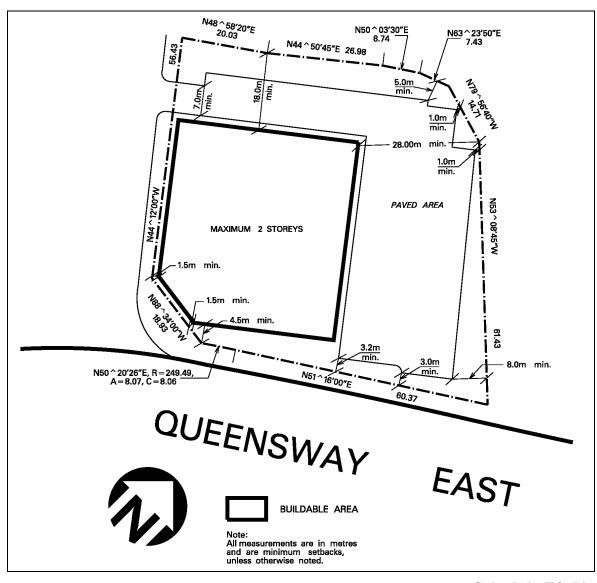
8.2.3.49	Exception: E2-49	Map # 44W	By-law: 0379-2009, 0297-2013		
In an E2-49 zone the applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:					
Permitted Use					
8.2.3.49.1	Lands zoned E2-49 shall on	ly be used for the following:			
	(1) Motor Vehicle Sales, Leasing and/or Rental Facility - Restricted				
Regulations					
8.2.3.49.2	Minimum front yard		6.0 m		
8.2.3.49.3	Maximum height		11.0 m		
8.2.3.49.4	deleted				

8.2.3.50	Exception: E2-50	Map #	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.51	Excep	tion: E2-51	Map # 12	By-law: 0379-2009, 0229-2018		
In on EO 51	zona the	omnitted mean and	applicable re-relation	a shall be as specified for an E2		
		ng uses /regulatior		s shall be as specified for an E2 zone		
Additional I		<u> </u>				
8.2.3.51.1	(1) (2)	Retail Store	ta manufaaturina laas	lly aviating on the		
	(2)	date of passing of	ets manufacturing lega	my existing on the		
	(3)		cturing legally existin	g on the date of		
		passing of this E	By-law	-		
	(4)		stone processing and			
		-	egally existing on the	date of passing of		
	(5)	this By-law Oil based paints	, oil based coatings, so	olvent based		
	(3)		esin, and natural or sy			
			egally existing on the			
		this By-law				
	(6)		oal refining and by-pr			
		•	egally existing on the	date of passing of		
	(7)	this By-law Phosphate or sulphur products and manufacturing legally				
		existing on the date of passing of this By-law				
	(8)	Smelting or foundry operations legally existing on the				
	(0)	date of passing of this By-law Solvent manufacturing legally existing on the date of				
	(9)	passing of this By-law				
	(10)	Tannery legally existing on the date of passing of				
		this By-law				
	(11)	Tar and asphalt manufacturing legally existing on the date of passing of this By-law				
	(12)			on the date of		
	(12)	Composting facility legally existing on the date of passing of this By-law				
	(13)	Motor vehicle wrecking yard legally existing on the date				
		of passing of thi	s By-law			
Uses Not Pe	rmitted					
8.2.3.51.2	(1)	Truck Termina	ıl			
	(2)	Waste Processi				
	(3)	Waste Transfer				
	(4) (5)	Composting Fa Body-Rub Esta	·			
	(6)		nment Establishment	t		
	(7)		Repair Facility - Res			
	(8)	Motor Vehicle	Rental Facility			
	(9)	Night Club				
	(10) (11)		cts Manufacturing			
	(11) (12)	Cement Manufacturing Gypsum or limestone processing and by-product				
		manufacturing	1 0	5 1		
	(13)		, oil based coatings, se			
			esin, and natural or syn	nthetic rubber		
	(14)	manufacturing Petroleum and c	oal refining and by-pr	roduct		
	(14)	manufacturing	oar remning and by-pr	ouuci		
	(15)	•	phur products and ma	unufacturing		
	(16)	Smelting or Fou	ndry Operations	-		
	(17)	Solvent Manufa	cturing			
	(18)	Tannery	Monufacturing			
	(19) (20)	Tar and Asphalt Motor Vehicle V				

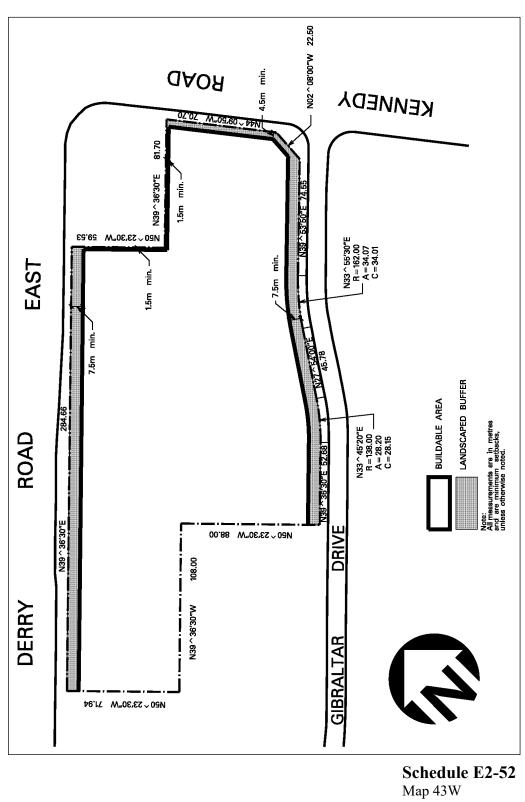
Exception E2-51 continued on next page

8.2.3.51	Exception: E2-51	Map # 12	By-law: 03' 0229-2018	79-2009,
Exception E	2-51 continued from pre	vious page		
Regulations				
8.2.3.51.3	The provisions contained in Subsection 8.1.4 of this By-law shall not apply			
8.2.3.51.4	Maximum gross floor area - non-residential2 600 m²			
8.2.3.51.5	Maximum gross floor stores	area - non-residential u	sed for all retail	1 300 m ²
8.2.3.51.6	All site development p this Exception	lans shall comply with So	chedule E2-51 of	

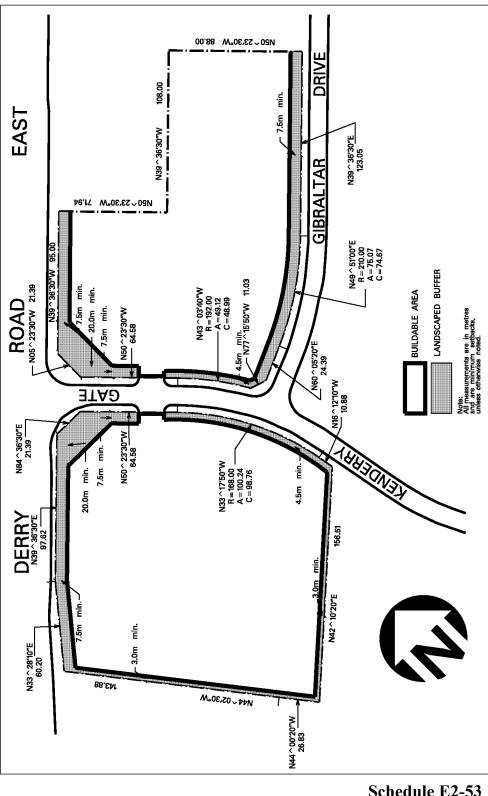


Schedule E2-51 Map 12

8.2.3.52	Exception: E2-52	Map # 43W	By-law:				
In an E2-52 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:							
Additional Per	rmitted Use						
8.2.3.52.1	8.2.3.52.1 (1) Repair and service of trucks and truck trailers, including the installation of heating/air conditioning equipment, with temporary outdoor storage of trucks and truck trailers, accessory to the repair and service operation						
Regulations							
8.2.3.52.2	8.2.3.52.2 The provisions contained in Sentence 8.1.5.1.1 of this By-law shall not apply						
8.2.3.52.3	Maximum gross floor area - non-residential used for office 0.5 times the lot area						
8.2.3.52.4	<u> </u>						



8.2.3.53	Exception: E2-53	Map # 12W	Pry low					
0.2.3.33	Exception. E2-33	Map # 43W	By-law:					
	In an E2-53 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:							
Additional Per	mitted Use							
8.2.3.53.1	 Repair and service of trucks and truck trailers, including the installation of heating/air conditioning equipment, with temporary outdoor storage of trucks and truck trailers, accessory to the repair and service operation 							
Regulations	Regulations							
8.2.3.53.2	53.2 The provisions contained in Sentence 8.1.5.1.1 of this By-law shall not apply							
8.2.3.53.3	All landscaped buffers shall comply with Schedule E2-53 of this Exception							



Schedule E2-53 Map 43W

8.2.3.54	Exception	E2-54	Map # 44W	By-law: 0379-2009, 0055-2015, 0100-2023
			l applicable regulations sh ns shall apply:	nall be as specified for an E2 zone
Additional F	Permitted Use	es		
8.2.3.54.1	R	estricted	Sales, Leasing and/or R duct Manufacturing Fac	·
		estricted		-
Uses Not Pe	rmitted			
8.2.3.54.2	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	ght Club ivate Club itertainment creational E ctive Recreat oadcasting/C as Bar edicinal Proc otor Vehicle otor Vehicle otor Vehicle otor Vehicle otor Vehicle otor Vehicle otor Vehicle suck Termin aste Process aste Transfe omposting Fa	ore nment Establishment Establishment Stablishment ional Use Communication Facility duct Manufacturing Fac Rental Facility Repair Facility - Restrict Sales, Leasing and/or R lotor Vehicles Service Station Wash Facility - Restrict al ing Station r Station	cted ental Facility -
Regulations				
8.2.3.54.3	The provis not apply	ions containe	ed in Subsection 8.1.5 of the	his By-law shall
8.2.3.54.4	Minimum	front yard		6.0 m
8.2.3.54.5	Minimum	exterior side	vard	4.5 m

8.2.3.55	Exception: E2-55	· · ·	7-law: 0379-2009, 55-2015, 0100-2023			
In an E2-55 z	one the permitted uses and a	pplicable regulations shall be as sp	ecified for an E2 zone			
	e following uses /regulations					
Additional P	Permitted Uses					
8.2.3.55.1	(1) Motor Vehicle S	ales, Leasing and/or Rental Facili	ity -			
	Restricted					
		ct Manufacturing Facility -				
	Restricted					
Uses Not Per	rmitted					
8.2.3.55.2	(1) Restaurant					
	(2) Convenience Res					
	(3) Body-Rub Estab					
	(4) Adult Video Stor(5) Adult Entertain	[.] e nent Establishment				
	(6) Night Club	IIIII ESTADIISIIIIUUT				
	(7) Private Club					
	 (7) Frivate Club (8) Entertainment Establishment 					
	(9) Recreational Establishment					
	(10) Active Recreational Use					
		11) Broadcasting/Communication Facility				
	(12) Gas Bar					
		ct Manufacturing Facility				
	(14) Motor Vehicle R					
		epair Facility - Restricted ales, Leasing and/or Rental Facili	4			
	(16) Motor Vehicle Sa Commercial Mo		ity -			
	(17) Motor Vehicle S					
		Vash Facility - Restricted				
	(19) Truck Terminal					
	(20) Waste Processing	g Station				
	(21) Waste Transfer	Station				
	(22) Composting Fac					
	(23) Plant-Based Man	nufacturing Facility				
Regulations						
8.2.3.55.3	The provisions contained By-law shall not apply	in Subsections 8.1.4 and 8.1.5 of th	iis			
8.2.3.55.4	Maximum gross floor are	e a - non-residential used for all of	fices $11 \ 140 \ m^2$			
8.2.3.55.5		Minimum depth of landscaped buffer along the lot line abutting 7.0 m				
8.2.3.55.6	The lot line abutting Ivan front lot line	dale Drive shall be deemed to be th	e 7.0 m			
8.2.3.55.7	Minimum front yard		7.0 m			
8.2.3.55.8	Minimum exterior side y	ard	4.5 m			
8.2.3.55.9	Maximum building heig t	4	10.7 m			

8.2.3.56	Excep	tion: E2-56	Map # 37W	By-law: 0379-2009, 0055-2015, 0100-2023
		permitted uses and ing uses /regulation		all be as specified for an E2 zone
Additional H	Permitted	l Use		
8.2.3.56.1	(1)	Medicinal Pro Restricted	duct Manufacturing Fac	ility -
Uses Not Pe	rmitted			
8.2.3.56.2	(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14)	Night Club Medicinal Pro Motor Vehicle Motor Vehicle Gas Bar Motor Vehicle Motor Vehicle	ing Station er Station acility	ted
Regulation				
8.2.3.56.3		num setback whe	re the opposite side of the	street is a 30.0 m

8.2.3.57	Exception: E2-57	Map # 06, 07	By-law: 0379-2009, 0055-2015, 0100-2023
	zone the permitted uses and he following uses /regulatio		all be as specified for an E2 zone
Additional 1	Permitted Use		
8.2.3.57.1	(1) Medicinal Pro Restricted	duct Manufacturing Faci	ility -
Uses Not Pe	ermitted		
8.2.3.57.2 Regulation	 (7) Night Club (8) Outdoor Stora (9) Transportatio (10) Broadcasting/(11) Financial Institution (11) Financial Institution (12) Restaurant (13) Convenience H (14) Take-out Rest (15) Medicinal Product (16) Motor Vehicle (17) Motor Vehicle (18) Gas Bar (19) Motor Vehicle (20) Motor Vehicle (21) Overnight Accondition (22) Banquet Hall/(23) Entertainment (24) Recreational H (25) Accessory Out 	ing Station er Station acility ablishment inment Establishment age n Facility Communication Facility itution Restaurant duct Manufacturing Fac Repair Facility - Restrice Rental Facility Service Station Wash Facility - Restrict commodation Conference Centre/Conv t Establishment	ed
			· 015 0
8.2.3.57.3	e 1	ovisions contained in Subs outdoor storage shall not	

8.2.3.58	Excep	otion: E2-58	Map # 07, 08	By-law: 0325-2008, 0379-2009, 0297-2013, 0055-2015, 0100-2023
		permitted uses and ap ing uses /regulations s		nall be as specified for an E2 zone
Additional P	ermitted	l Use		
8.2.3.58.1	(1)	Medicinal Produc Restricted	t Manufacturing Fac	ility -
Uses Not Per	mitted			
8.2.3.58.2	(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18)	Transportation Fa Truck Terminal Animal Boarding Waste Processing Waste Transfer St Composting Facilit Self Storage Facilit Propane Storage Convenience Rest Night Club Overnight Accom Adult Video Store Adult Entertainm Body-Rub Establi Truck Fuel Disper	Establishment Station tation ity y aurant modation ent Establishment shment nsing Facility t Manufacturing Fac	ility
Regulation				
8.2.3.58.3		egulations of Line 5.1 w shall not apply	contained in Table 8.	2.1 of this

8.2.3.59	Exception: E2-59	Map # 27	By-law: 0111-2019/ LPAT Order 2021 March 09, 0217-2023		
	ne the permitted uses and ap following uses /regulations s	plicable regulations shall be a hall apply:	as specified for an E2 zone		
Additional Pe	rmitted Use				
8.2.3.59.1	(1) Retail Commercial(2) <i>deleted</i>	Uses Accessory to an Office			
Uses Not Pern	nitted				
8.2.3.59.2	 Adult Entertainment Establishment Body-Rub Establishment Adult Video Store 				
Regulations					
8.2.3.59.3	Maximum gross floor area commercial uses accessory	a - non-residential used for a to an office	ll retail 15%		
8.2.3.59.4		accessory to an office shall be building or structure princip			
8.2.3.59.5	retail store, service establ	Accessory to an Office" means ishment, veterinary clinic, notor vehicle sales, leasing a			

8.2.3.60	Exception: E2-60	Map # 43W	By-law:					
	In an E2-60 zone the applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:							
Permitted U	Permitted Use							
8.2.3.60.1	Lands zoned E2-60 sha	Il only be used for the fo	llowing:					
	(1) Works Yard							

8.2.3.61	Exception: E2-61	Map # 44W	By-law: 0379-2009, 0055-2015, 0100-2023			
	one the permitted uses and e following uses /regulation		all be as specified for an E2 zone			
Additional P	ermitted Uses					
8.2.3.61.1	(1) Motor Vehicle S Restricted	Sales, Leasing and/or Re	ental Facility -			
	(2) Medicinal Prod Restricted	Medicinal Product Manufacturing Facility -				
Uses Not Per	mitted					
8.2.3.61.2	 (7) Night Club (8) Recreational Es (9) Broadcasting/C (10) Medicinal Prod (11) Motor Vehicle I (12) Gas Bar (13) Motor Vehicle S (14) Motor Vehicle S 	ng Station • Station cility blishment ment Establishment stablishment communication Facility uct Manufacturing Faci Repair Facility - Restric	ted			
Regulations						
8.2.3.61.3	Minimum depth of a lan Residential Zone	dscaped buffer abutting	a 4.5 m			
8.2.3.61.4		dscaped buffer abutting permitted uses contained w				
8.2.3.61.5	Minimum setback to Ma	wis Road	6.0 m			
8.2.3.61.6	Minimum setback to a E	Buffer Zone	6.0 m			

8.2.3.62	Excep	otion: E2-62	Map # 12	By-law: 0229-2018			
		permitted uses and ap ing uses /regulations		shall be as specified for an E2 zone			
Additional Po	ermitted	l Uses					
8.2.3.62.1	(1)	Food Store					
	(2)		manufacturing legally	y existing on the			
	(3)	date of passing of	this By-law uring legally existing	on the data of			
	(3)	passing of this By		on the date of			
	(4)						
			ally existing on the da	ate of passing of			
	(5)	this By-law		4.1 1			
	(5)		oil based coatings, solv n, and natural or synth				
	manufacturing legally existing on the date of passing of this By-law						
	(6) Petroleum and coal refining and by-product						
	manufacturing legally existing on the date of passing of this By-law						
	(7) Phosphate or sulphur products and manufacturing legally						
	existing on the date of passing of this By-law						
	(8)						
		date of passing of this By-law					
	(9)	Solvent manufacturing legally existing on the date of passing of this By-law Tannery legally existing on the date of passing of					
	(10)						
	(10)	this By-law					
	(11)	Tar and asphalt manufacturing legally existing on the date of passing of this By-law					
	(12)	Composting facility legally existing on the date of					
	(13)	passing of this By Motor vehicle wre		isting on the date			
	(13) Motor vehicle wrecking yard legally existing on the date of passing of this By-law						
Uses Not Per	Uses Not Permitted						
8.2.3.62.1A	(1)	Asbestos Products	Manufacturing				
	(2)	Cement Manufact	uring				
	(3)		one processing and by	y-product			
	(4)	manufacturing	oil based coatings, solv	vent based			
	(4)	-	n, and natural or synth				
		manufacturing	,				
	(5)		al refining and by-proc	duct			
	(f)	manufacturing	haan maa doo ahaa a 1				
	(6) (7)	Smelting or Found	hur products and manu lry Operations	uracturing			
	(7) (8)	Solvent Manufact					
	(9)	Tannery	0				
	(10)	Tar and Asphalt M	-				
	(11)	Composting Faci					
Dogulation	(12)	Motor Vehicle Wr	recking Y ard				
Regulation	\{'		non	220°			
8.2.3.62.2	Maxii	num gross floor are	e <mark>a - non-residential</mark> fo	bod store 320 m^2			

8.2.3.63	Exception: E2-63	Map #	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.64	Exception: E2-64	Map # 27	By-law:		
In an E2-64 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:					
Regulations					
8.2.3.64.1	2.3.64.1 The lot line abutting Eglinton Avenue East shall be deemed to be the front lot line				
8.2.3.64.2	Minimum front yard		3.0 m		
8.2.3.64.3	Minimum exterior side yar	·d	5.0 m		
8.2.3.64.4	Minimum interior side yar	d	5.0 m		
8.2.3.64.5	Minimum rear yard		7.5 m		
8.2.3.64.6	Minimum setback to a sight	t triangle	3.0 m		

8.2.3.65	Exception: E2-65	Map # 43E	By-law:				
	In an E2-65 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Additional Pe	ermitted Uses						
8.2.3.65.1	8.2.3.65.1 (1) Outdoor storage of trucks or trailers accessory to a warehouse/distribution facility						
	(2) Maintenance of trucks or trailers accessory to a warehouse/distribution facility						
Regulations							
8.2.3.65.2	Maximum gross floor are truck or trailer maintenanc		ed for accessory	1 200 m ²			
8.2.3.65.3	Minimum setback of a bui truck or trailer maintenanc	0	ed for accessory	400.0 m			
8.2.3.65.4	Trucks or trailers stored ou front of loading bay doors trucks or trailers does not o	provided that the stora	age or parking of				

8.2.3.66	Exception: E2-66	Map # 27	By-law: 0174-2017			
except that the	In an E2-66 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:					
Additional Permitted Uses						
8.2.3.66.1 (1) Long-Term Care Building (2) Retirement Building						

8.2.3.67	Excep	otion: E2-67	Map # 49E	By-law: 0379-2009
		permitted uses and ing uses/regulation		hall be as specified for an E2 zone
Uses Not Per	rmitted			
8.2.3.67.1	$(1) \\ (2) \\ (3) \\ (4) \\ (5) \\ (6) \\ (7) \\ (8) \\ (9) \\ (10) \\ (11) \\ (12) \\ (13) \\ (14) \\ (15) \\ (15) \\ (2) \\ (11) \\ (12) \\ (12) \\ (13) \\ (15) \\ (11) \\ (12) \\ (12) \\ (13) \\ (15) \\ (11) \\ (12) \\ (12) \\ (12) \\ (13) \\ (15) \\ (11) \\ (12$	Night Club Accessory Dwe deleted Motor Vehicle Motor Vehicle Gas Bar Motor Vehicle deleted	ing Station r Station acility ablishment nment Establishment	
Regulation				
8.2.3.67.2	Minin	num setback of ou	tdoor storage to a Resid	ential Zone 30.0 m

8.2.3.68	Exception: E2-68	Map # 33	By-law:			
	In an E2-68 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:					
Uses Not Perm	nitted					
8.2.3.68.1	 Truck Terminal Waste Processing Waste Transfer St Composting Facilit Body-Rub Establi Broadcasting/com lands used for a rig Motor Vehicle Boo 	tation ity shment munication facility i ht-of-way	ncluding any			
Regulations		<u> </u>				
8.2.3.68.2	The regulations of Line 4.0 By-law shall not apply	contained in Table 8.	.2.1 of this			
8.2.3.68.3	Maximum percentage of ac	ccessory uses that are	retail stores 50)%		
8.2.3.68.4	Minimum front yard		6.0) m		
8.2.3.68.5	Minimum exterior side ya	rd	6.0) m		
8.2.3.68.6	Minimum interior side yard 6.0 m					
8.2.3.68.7	Minimum rear yard		6.0) m		
8.2.3.68.8	Minimum setback of any un associated stairwells, ramps			ö m		

8.2.3.69	Exception: E2-69	Map # 49E	By-law:		
In an E2-69 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:					
Regulation					
8.2.3.69.1	Minimum setback to a G	Greenlands Zone	10.0 m		

8.2.3.70	Exception: E2-70	Map # 42E	By-law:			
In an E2-70 zone the applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Permitted Use						
8.2.3.70.1	Lands zoned E2-70 shall only be used for the following:					
	(1) The existing skeet club					
Regulation						
8.2.3.70.2	Enlargement or redevelopment of the existing buildings or structures shall not be permitted					

8.2.3.71	Exception: E2-71	Map # 46E	By-law:				
	In an E2-71 zone the applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Permitted Use							
8.2.3.71.1 Lands zoned E2-71 shall only be used for the following:							
	(1) Essential Eme	ergency Service					

8.2.3.72	Exception: E2-72	Map # 50W	By-law:			
In an E2-72 zone the applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Permitted Use						
8.2.3.72.1 Lands zoned E2-72 shall only be used for the following:						
	(1) Place of Religious	Assembly				

8.2.3.73	Exception: E2-73	Map #	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.74	Exception: E2-74	Map # 54E	By-law: 0325-2008		
	one the permitted uses and a e following uses /regulations		s shall be as specified for an E2 zone		
Uses Not Per	mitted				
8.2.3.74.1	 Truck Terminal Waste Processing Waste Transfer S Composting Faci Body-Rub Estab Adult Entertainm Night Club 	Station ility	t		
Regulations					
8.2.3.74.2	The depth of a landscape be a minimum depth equa	6			
8.2.3.74.3	The lot line abutting Miss front lot line	issauga Road shall b	be deemed to be the		
8.2.3.74.4	Minimum setback to Mississauga Road 25.0 m				
8.2.3.74.5	A maximum of one aisle a of parking shall be permit	•			

8.2.3.75	Exception: E2-75	Map # 54W	By-law:
In an E2-75 zor uses /regulation	11 0	shall be as specified for an E2	zone except that the following
Permitted Use			
8.2.3.75.1	Lands zoned E2-75 shall on	ly be used for the following:	
	(1) Pumping Station		

8.2.3.76	Except	ion: E2-76	Map # 55	By-law:				
In an E2-76 zo:	In an E2-76 zone the permitted uses and applicable regulations shall be as specified for an E2 zone							
Holding Provi	sion							
	The holding symbol H is to be removed from the whole or any part of the lands zoned H-E2-76 by further amendment to Map 55 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:							
	(1)	adequate sanitary se	ements to secure the provision ewer, storm sewer and water acity to service the full develo	services				
	(2)	adequate access to t traffic signals, stree entrances and exits	ements to secure the provision the site including roads, sidev et lighting and the location of to and from the site, to the City's Commissioner of Trans	walks,				
	(3)	satisfactory arrange hydro-electric powe	ements to secure the provision er services of sufficient capac elopment of the site, to the tra Inc.					
	(4)	payment to the City	of all planning, processing a in relation to the development					
	(5)	,	ars of municipal taxes and loc tes for the site; and,	cal				
	(6)	payment of all appl if any, required by Peel or Alectra Inc. levy policies applic those parties, to the	icable development levies or the City, the Regional Munic , in accordance with the deve able to the site, or the approv effect that satisfactory arran ent of any such development	ipality of elopment val of gements				

8.2.3.77	Exception: E2-77	Map # 45W, 46E	By-law:
	one the permitted uses and a e following uses /regulations		l be as specified for an E2 zone
Additional P	ermitted Uses		
8.2.3.77.1	(1) Retail Store(2) Garden Centre		
Uses Not Per	mitted		
8.2.3.77.2	 Truck Terminal Waste Processin Waste Transfer Composting Fac Body-Rub Estat Adult Entertain Night Club 	ng Station Station Sility	

8.2.3.78	Excep	otion: E2-78	Map # 52E	By-law: 0191-2009, 0121-2020/LPAT Order 2021 March 11, 0217-2023			
In an E2-78 z uses /regulation			is shall be as specified for	an E2 zone except that the following			
Permitted U	ses						
8.2.3.78.1	Lands	zoned E2-78 shall o	only be used for the follow	ving:			
	(1) (2) (3) (4)	Restaurant	Convenience Restaurant				
Regulations							
8.2.3.78.2	compl		e 8.2.3.78.1 of this Excep regulations contained in y-law except that:	otion shall			
	(1)	minimum depth or lot line of Derryci	f a landscaped buffer alc rest Drive	ong the 3.0 m			
	(2)	minimum depth or lot line abutting a	f a landscaped buffer alc D zone	ong the 3.0 m			
	(3)		r of courier/messenger ser l to be stored outside	vice delivery 10			
	(4)	deleted					

8.2.3.79	Exception: E2-79	Map # 42E	By-law: 0111-2019/ LPAT Order 2021 March 09, 0217-2023		
	ne the permitted uses and ap following uses /regulations s		ll be as specified for an E2 zone		
Additional Per	rmitted Uses				
8.2.3.79.1	 (1) C3 uses contained in Subsection 6.2.1 of this By-law (2) deleted 				
Uses Not Pern	nitted				
8.2.3.79.2	 Body-Rub Establi Adult Entertainme Adult Video Store Place of Religious Day Care Private School 	ent Establishment			
Regulation					
8.2.3.79.3	Maximum percentage of g for retail stores	ross floor area - non-re	esidential used 50%		

0.0.0.00	E (E 2 90	N. 1150	D. I
8.2.3.80	Exception: E2-80	Map # 59	By-law:
	one the permitted uses and e following uses /regulation		all be as specified for an E2 zone
Uses Not Per	mitted		
8.2.3.80.1	 (1) Body-Rub Esta (2) Adult Entertain (3) Night Club 	blishment nment Establishment	
Regulations			
8.2.3.80.2	Maximum gross floor a medical offices	rea - non-residential for	offices and 0.36 times the lot area
8.2.3.80.3	Minimum depth of a lan abutting Burnhamthorpe	dscaped buffer along the Road West	e lot line 6.0 m
8.2.3.80.4	Minimum depth of a lan abutting Highway 403	dscaped buffer along the	e lot line 7.5 m
8.2.3.80.5	Minimum depth of a lan abutting The Collegewa	dscaped buffer along the y	e lot line 4.5 m
8.2.3.80.6	Minimum setback of all lot line abutting Ridgew	buildings and structures ay Drive	from the 20.0 m
8.2.3.80.7	Maximum setback of all lot line abutting Burnha	buildings and structures mthorpe Road West	s from the 31.0 m
8.2.3.80.8	Maximum setback of all lot line abutting Highwa	buildings and structures ay 403	s from the 35.0 m
8.2.3.80.9	Maximum setback of all lot line abutting The Co	buildings and structures llegeway	s from the 29.0 m
8.2.3.80.10	Minimum setback of all sight triangle	buildings and structures	to any 0.0 m

8.2.3.81	Exception: E2-81	Map # 59	By-law:
	ne the permitted uses and app following uses /regulations sl	plicable regulations shall be as hall apply:	specified for an E2 zone
Additional Per	mitted Uses		
8.2.3.81.1	 Motor Vehicle Boo Contractor's yard an outdoor storage Outdoor Storage 	dy Repair Facility nd/or shops including unlimite	d
Uses Not Perm	iitted		
8.2.3.81.2	 Body-Rub Establis Adult Entertainmet Night Club 		
Regulations			
8.2.3.81.3	Maximum gross floor area and medical offices	- non-residential used for of	fices 0.36 times the lot area
8.2.3.81.4	The provisions contained in shall not apply	Sentence 8.1.5.1.1 of this By-	-law

8.2.3.82	Exception: E2-82	Map # 40W	By-law: 0190-2014
except that th	cone the permitted uses and the following uses /regulation Permitted Uses		hall be as specified for an E2 zone
8.2.3.82.1	 Bingo Hall Retail Store Exhibition Hall 		
Uses Not Per	rmitted		
8.2.3.82.2	 Truck Termina Waste Processin Waste Transfer Composting Fac Body-Rub Estat Broadcasting/co lands used for a state 	ng Station Station cility blishment ommunication facility i:	ncluding any
Regulations			
8.2.3.82.3	Maximum gross floor a store	rea - non-residential us	sed for a retail 215 m^2
8.2.3.82.4	"Retail Store" means a p post office, mail room a		th an accessory
8.2.3.82.5	"Exhibition Hall" means used for the temporary e		

8.2.3.83	Excep	otion: E2-83	Map # 13	By-law: 0229-2018	
In an E2-83 zo	one the p	permitted uses and app	plicable regulations sha	ll be as specified for an E2 zone	
except that the	e followi	ing uses/regulations sl	hall apply:		
Additional Po	ermitted	l Uses			
8.2.3.83.1	(1)	Warehousing and p	rocessing of fruits and/	or vegetables	
	. /		with accessory bulk sale		
			h accessory sales of wir		
			e building or structure	or	
	(2)	canopied areas			
	(2)	date of passing of the	nanufacturing legally e	xisting on the	
	(3)		ring legally existing on	the date of	
	(\mathbf{J})	passing of this By-l			
	(4)		ne processing and by-pr	oduct	
		•	lly existing on the date		
		this By-law	• 0		
	(5)		l based coatings, solven		
			, and natural or syntheti		
			lly existing on the date	of passing of	
	this By-law(6) Petroleum and coal refining and by-product				
	(6)		lly existing on the date		
		of this By-law	iny existing on the date	or passing	
	(7)		ur products and manufa	cturing legally	
		existing on the date of passing of this By-law			
	(8)		y operations legally exis	sting on the	
		date of passing of this By-law Solvent manufacturing legally existing on the date of			
	(9)			the date of	
	(10)	passing of this By-l	aw sting on the date of pas	sing of	
	(10)	this By-law	sting on the date of pas	sing of	
	(11)		nufacturing legally exis	ting on the	
		date of passing of the	5		
	(12)		y legally existing on th	e date of	
	(13)	passing of this By-l	aw king yard legally existi	ng on the data	
	(13)	of passing of this B		ng on the date	
Uses Not Per	mitted		-		
8.2.3.83.1A	(1)	Asbestos Products 1	Manufacturing		
	(2)	Cement Manufactur	e		
	(3)	Gypsum or limestor	ne processing and by-pr	oduct	
		manufacturing			
	(4)	-	l based coatings, solven		
			, and natural or syntheti	c rubber	
	(5)	manufacturing Petroleum and coal	refining and by-produc	t	
	(J)	manufacturing	remning and by-produc	·	
	(6)	•	ur products and manufa	cturing	
	(7)	Smelting or Foundr		5	
	(8)	Solvent Manufactur			
	(9)	Tannery	_		
	(10)	Tar and Asphalt Ma			
	(11)	Composting Facili			
	(12)	Motor Vehicle Wre	CKIIIg I alu		

Exception E2-83 continued on next page

8.2.3.83	Exception: E2-83	Map # 13	By-law: 022	29-2018		
Exception E	2-83 continued from previ	ous page				
Regulations						
8.2.3.83.2 Maximum gross floor area - non-residential used for the uses 1 260 m ² contained in Sentence 8.2.3.83.1 of this Exception						
8.2.3.83.3	Motor vehicle parking and loading shall be provided in accordance with Part 3 of this By-law, at the industrial/manufacturing facility (single-occupancy building) rate for the uses contained in Sentence 8.2.3.83.1 of this Exception					
8.2.3.83.4	"Accessory Bulk Sales of sales of unpackaged fruit non-processed form, in q other containers	ts and vegetables, eithe	r in processed or			

8.2.3.84	Exception: E2-84	Map # 35W	By-law: 03	379-2009			
In an E2-84 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:							
Regulations							
8.2.3.84.1	Minimum lot frontage - co wash facility - restricted	orner lot used for a motor	vehicle	70.0 m			
8.2.3.84.2	Minimum lot frontage - in wash facility - restricted	terior lot used for a or mo	otor vehicle	60.0 m			
8.2.3.84.3	Maximum gross floor area convenience retail and se		or a	340 m ²			
8.2.3.84.4	Maximum gross floor area accessory take-out restau		or an	70 m ²			
8.2.3.84.5	Maximum number of conv all lands zoned E2-84	enience retail and service	e kiosks on	1			
8.2.3.84.6	The lot line abutting Britar the front lot line	nnia Road East shall be dee	emed to be				
8.2.3.84.7	Minimum front yard			16.0 m			
8.2.3.84.8	Minimum exterior side ya	rd		7.5 m			
8.2.3.84.9	Minimum interior side ya	rd		5.0 m			
8.2.3.84.10	Minimum rear yard			10.5 m			

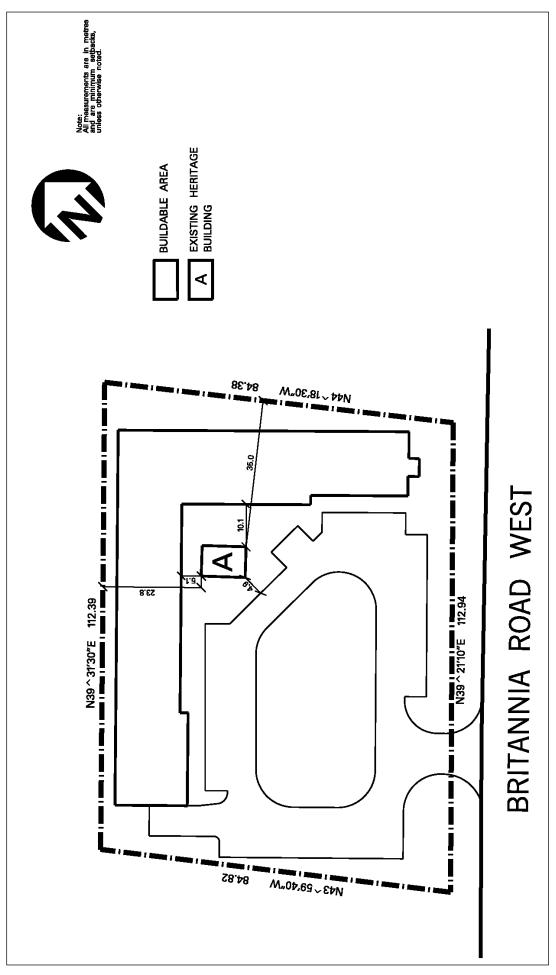
8.2.3.85	Exception: E2-85	Map # 50W	By-law:			
	zone the permitted uses and the following uses /regulation		all be as specified for an E2 z	zone		
Additional F	Permitted Uses					
8.2.3.85.1	automatic banki showers for use	 Accessory commercial building which includes an automatic banking machine, restaurant, laundromat, showers for use of cardlock fuel dispensing customers only and convenience store 				
Regulations						
8.2.3.85.2	Maximum gross floor a commercial building	rea - non-residential for	an accessory 375	m ²		
8.2.3.85.3	Minimum depth of a landscaped buffer along the entire length6.0 mof the lot lines abutting Dixie Road and the northern propertyline					
8.2.3.85.4	Minimum setback of an accessory commercial building to 6.0 Dixie Road					
8.2.3.85.5	Minimum setback of an accessory commercial building to 5.0 m Drew Road					
8.2.3.85.6	Maximum setback of an Dixie Road and Drew R	uilding to 11.0	m			
8.2.3.85.7	No buildings or structures shall be situated closer than 19.0 m to the rear lot line or 80.0 m to the interior or exterior side lot lines					
8.2.3.85.8	Driveways, parking spaces, aisles or loading areas shall not be located between any building or structure and the Dixie Road and Drew Road lot lines					
8.2.3.85.9	-	rking spaces per 100 m ² used for an accessory con	0	1		

8.2.3.86	Exception: E2-86	Map # 27	By-law: 0229-2012				
	In an E2-86 zone the applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Permitted Use	S						
8.2.3.86.1	Lands zoned E2-86 shall on	ly be used for the following:					
	 Restaurant Convenience Restaurant Take-out Restaurant 						
Regulations							
8.2.3.86.2	The regulations contained in shall not apply	n Subsection 3.1.5 of this By-l	aw				
8.2.3.86.3	Minimum number of stacking	ng lane parking spaces	12				
8.2.3.86.4	Minimum distance between parking space and the close	the last required stacking land est entry driveway	e 16.0 m				
8.2.3.86.5	Minimum width of the stac	king lane	4.0 m				
8.2.3.86.6	Minimum centreline radius	of the stacking lane	6.5 m on any curve				

8.2.3.87	Exception: E2-87	Map # 23, 49W	By-law:				
	In an E2-87 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
8.2.3.87.1	 (1) Salvage Yard (2) E3 uses contained except: 	l in Subsection 8.2.1 of the Generating Facility	is By-law,				
Regulations							
8.2.3.87.2	The provisions contained in Sentence 8.1.5.1.1 of this By-law shall not apply						
8.2.3.87.3	A salvage yard operation shall be conducted within an enclosed building or structure or within an area surrounded by a rigid fence						
8.2.3.87.4	Storage of materials outside within enclosed containers will not be permitted						
8.2.3.87.5	Minimum height of fence 1.8 m						
8.2.3.87.6	Maximum height of scrap metal and salvage stored on site 6.0 m						
8.2.3.87.7							

8.2.3.88	Excep	otion: E2-88	Map # 35E	By-law: 0325-2008		
	In an E2-88 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:					
Use Not Peri	Use Not Permitted					
8.2.3.88.1	(1)	Motel				
Regulation						
8.2.3.88.2	For the purposes of this By-law, all lands zoned E2-88 shall be considered one lot					

8.2.3.89	Exception: E2-89	Map # 46E	By-law: 0065-2010, 0297-2013, 0111-2019/ LPAT Order 2021 March 09	
	zone the permitted uses and the following uses /regulation		hall be as specified for an E2 zone	
Additional H	ermitted Uses			
8.2.3.89.1		shment sales, leasing and/or ren ading an accessory moto		
Uses Not Per	rmitted			
8.2.3.89.2	(9) Animal Boardi (10) Body-Rub Esta	al ing Station r Station acility tice Shop ore nment Establishment ing Establishment ablishment spensing Facility		
Regulations 8.2.3.89.3	Movimum gross floor a	waa nan wasidantial	2 841 m ²	
8.2.3.89.4	8	irea - non-residential us shment, or any combinati	ted for a retail 995 m^2	
8.2.3.89.5	Minimum interior side	yard	3.18 m	
8.2.3.89.6	Minimum rear yard		3.15 m	
8.2.3.89.7	In addition to the regulation of Line 24.0 contained in Table 3.1.2.2 of this By-law, parking for a retail store , a service establishment , or any combination thereof will be provided in accordance with the applicable regulations contained in Table 3.1.2.2 of this By-law			
8.2.3.89.8	Enlargement of the existing Heritage Building identified as 'A' on Schedule E2-89 of this Exception shall not be permitted			
8.2.3.89.9	All site development pla this Exception	ans shall comply with Scl	hedule E2-89 of	

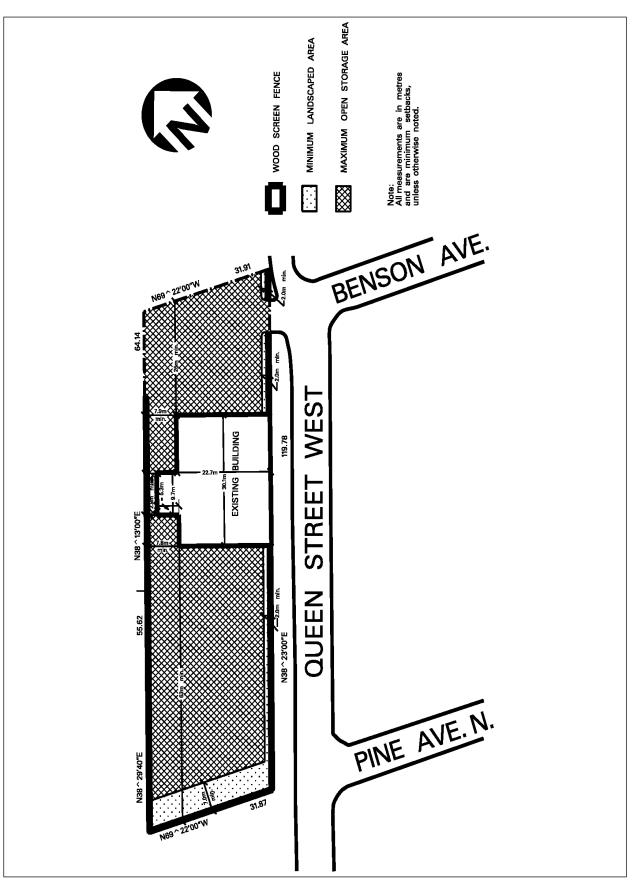


Schedule E2-89 Map 46E

8.2.3.90	Exception: E2-90	Map # 49W	By-law: 0212-2015, 0217-2023		
	one the permitted uses and appendix of the permitted uses and appendix of the permitted uses and appendix of the permitted uses and appendix of the permitted uses and appendix of the pe	plicable regulations shall be as hall apply:	s specified for an E2 zone		
Additional Pe	ermitted Use				
8.2.3.90.1	deleted				
Regulations					
8.2.3.90.2	Maximum gross floor area - non-residential used for all230 m²restaurants, take-out restaurants and convenience restaurants230 m²				
8.2.3.90.3	Maximum area used for an convenience restaurant, sl gross floor area of the con				
8.2.3.90.4		oss floor area - non-resident vehicle parts within a warehou r vehicle parts			

8.2.3.91	Excep	otion: E2-91	Map # 23, 27	By-law:		
In an E2-91 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Additional P	Additional Permitted Use					
8.2.3.91.1	(1)	Garden Centre				
Uses Not Per	rmitted					
8.2.3.91.2	(1) (2)	Adult Entertainme Body-Rub Establis				
	(3)	Night Club				

8.2.3.92	Exception: E2-92	Map # 08	By-law:				
	In an E2-92 zone the applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:						
Permitted Use	2						
8.2.3.92.1	Lands zoned E2-92 shall or	nly be used for the following:					
	(1) Building Restoratio	n Operation					
Regulations							
8.2.3.92.2	Maximum gross floor area restoration operation	- non-residential used for a	building	790 m ²			
8.2.3.92.3	Maximum height			6.0 m			
8.2.3.92.4	Maximum height of all ma	terials stored on site		1.8 m			
8.2.3.92.5	Minimum height of fence			1.8 m			
8.2.3.92.6	Required parking spaces			13			
8.2.3.92.7	Required loading spaces			1			
8.2.3.92.8	structures used for the stor and materials used in the re industrial and commercial b	ation" means lands, building age and maintenance of equip storation and reconstruction or buildings , masonry cleaning a oration, but may include ware offices	oment of und				
8.2.3.92.9	All site development plans this Exception	shall comply with Schedule E	22-92 of				



Schedule E2-92 Map 08

· · · · · · · · · · · · · · · · · · ·					
8.2.3.93	Exception: E2-93	Map # 59	By-law:		
In an E2-93 zor uses /regulation		shall be as specified for an E2	2 zone except that the following		
Permitted Use	S				
8.2.3.93.1	Lands zoned E2-93 shall on	ly be used for the following:			
	 Active Recreational Use Cemetery 				
Regulation					
8.2.3.93.2	A cemetery shall comply w contained in Subsection 9.2	vith the OS3 zone regulations .1 of this By-law			

8.2.3.94	Exception: E2-94	Map # 45W	By-law:
		s and applicable regulations s lations shall apply:	shall be as specified for an E2 zone
Additional Per	mitted Use		
8.2.3.94.1	(1) Private Sc	hool	
Regulation			
8.2.3.94.2	Maximum number	of classrooms in a private so	chool 4

8.2.3.95	Exception: E2-95	Map # 52E	By-law:
In an E2-95 zor uses /regulations		shall be as specified for an E2	zone except that the following
Permitted Use			
8.2.3.95.1	Lands zoned E2-95 shall or	ly be used for the following:	
	(1) Office		

8.2.3.96	Exception: E2-96 Map # 36W By-law: 0379-2009			
	following uses /regulations sl	blicable regulations shall be as hall apply:	s specified for an E2 zone	
 8.2.3.96.1 (1) E3 uses contained in Subsection 8.2.1 of this By-law, except: (1.1) Power Generating Facility (1.2) Motor Vehicle Body Repair Facility (1.3) Motor Vehicle Body Repair Facility - Commercial Motor Vehicle 				
Regulations				
8.2.3.96.2	The provisions contained in shall not apply	Sentence 8.1.5.1.1 of this By	-law	
8.2.3.96.3		e	nd	

8.2.3.97	Exception: E2-97	Map # 27	By-law: 0358-2007
	ne the permitted uses and app following uses /regulations sh	blicable regulations shall be as nall apply:	s specified for an E2 zone
Additional Per	rmitted Use		
8.2.3.97.1	(1) Vehicle Pound Fac	cility	
Regulations			
8.2.3.97.2	A vehicle pound facility sh regulations contained in Sul this By-law	hall comply with the E3 zone bsections 8.1.7 and 8.2.1 of	
8.2.3.97.3	around the perimeter of the for a vehicle pound facility	height of 1.8 m shall be required area to be used for outdoor start, but in no event shall the fence line than any portion of the n	torage ce be

8.2.3.98	Exception: E2-98	Map # 46E	By-law: 0364-2007, 0379-2009, 0217-2023		
	ne the permitted uses and app following uses /regulations sl	plicable regulations shall be as hall apply:	specified for an E2 zone		
Additional Per	rmitted Use				
8.2.3.98.1	deleted				
Uses Not Perm	nitted				
8.2.3.98.2	(6) Broadcasting/Com				
Regulations					
8.2.3.98.3	The regulations of Line 5.1 By-law shall not apply	contained in Table 8.2.1 of th	is		
8.2.3.98.4	Minimum depth of a lands abutting Britannia Road We	caped buffer along the lot lin e	e 15.0 m		
8.2.3.98.5	Minimum depth of a landscaped buffer along the lot line 4.5 m abutting Millcreek Drive				
8.2.3.98.6	Minimum depth of a lands abutting any other street	caped buffer along the lot line	e 3.0 m		
8.2.3.98.7		rea used for outdoor storage t inds east of Millcreek Drive	o 100.0 m		
8.2.3.98.8	Minimum setback of a load for lands east of Millcreek l	ling space to Britannia Road V Drive	West, 50.0 m		

8.2.3.99	Exception: E2-99	Map # 46E		0364-2007, 009, 0217-2023
	one the permitted uses and app e following uses /regulations sh		e as specifie	d for an E2 zone
Additional P	ermitted Use			
8.2.3.99.1	deleted			
Uses Not Per	mitted			
8.2.3.99.2	(6) Broadcasting/Com			
Regulations				
8.2.3.99.3	The regulations of Line 5.1 By-law shall not apply	contained in Table 8.2.1 c	of this	
8.2.3.99.4	Maximum area used for out on the same lot	t door storage that shall be	e located	the lesser of 10% of the lot area or 20% of the gross floor area - non-residential of the building, structure or part thereof
8.2.3.99.5	Minimum depth of a landscaped buffer along the lot line abutting Britannia Road West			20.0 m
8.2.3.99.6	Minimum depth of a landscaped buffer along the lot line abutting Millcreek Drive			4.5 m
8.2.3.99.7	Minimum depth of a landscaped buffer along the lot line 15.0 m abutting lands zoned E2-100			
8.2.3.99.8	Minimum depth of a landscaped and tree preservation buffer15.0 malong the lot line abutting Erin Mills Parkway			
8.2.3.99.9	Minimum depth of a landsc abutting any other street	caped buffer along the lot	line	3.0 m
8.2.3.99.10	"Landscaped and Tree Prese intended to allow for the ret forest cover to attain a self-s natural vegetative screen wh any kind other than for lot l	ention and remediation of sustaining forest ecosyster here no buildings or struc	ground and n and tures of	

8.2.3.100	Excep	ption: E2-100	Map # 46E	By-law: 0364-2007, 0217-2023
	s/regula	e applicable regulatior tions shall apply:	ns shall be as specified	d for an E2 zone except that the
8.2.3.100.1	Land	s zoned E2-100 shall	only be used for the f	following:
	(1) (2) (3) (4) (5) (6) (7)	Motor Vehicle Sei	ash Facility - Restric aurant	
Regulations				
8.2.3.100.2	-	provisions contained in not apply	n Subsection 2.1.14 o	f this By-law
8.2.3.100.3	Minii	mum front yard		4.5 m
8.2.3.100.4	Minii	num <mark>exterior side ya</mark>	rd	4.5 m
8.2.3.100.5	Minii	mum interior side ya	rd	0.0 m
8.2.3.100.6	Minii	mum rear yard		0.0 m

8.2.3.101	Exception: E2-101	Map # 18	By-law: 0248-2009, 0097-2016/OMB Order 2016 December 01
In an E2-101 zo uses /regulation		s shall be as specified for a E	2 zone except that the following
Permitted Use	s		
8.2.3.101.1	 Office Broadcasting/Com Science and Techn Restaurant Take-out Restaura Commercial School Financial Institution Banquet Hall/Config Overnight Accommendation Active Recreational Estate Private Club Parking Lot University/College Courier/Messenger 	ant on ference Centre/Convention nodation al Use olishment Service	
Regulations	(16) Education and Tra	aining Facility	
8.2.3.101.2	The provisions contained in not apply	Subsection 8.1.4 of this By-I	aw shall
8.2.3.101.3	For the purposes of this By- consider one lot	-law, all lands zoned E2-101 s	shall be
8.2.3.101.4	Maximum floor space inde and overnight accommoda	ex - non-residential used for a non-residential used for a non-residential used for a non-residential used for a	office 0.7

Exception E2-101 continued on next page

8.2.3.101	Exception: E2-101	Map # 18	0097-20	0248-2009, 16/OMB Order ecember 01
Exception E2	2-101 continued from pro	evious page		
8.2.3.101.5	Minimum landscaped area			30% of the lot area
8.2.3.101.6	The lot line abutting N the front lot line			
8.2.3.101.7	Maximum height			5 storeys
8.2.3.101.8	Minimum depth of a landscaped buffer measured from a lot line that abuts a Residential Zone			4.5 m

8.2.3.102	Excep	tion: E2-102	Map # 58		By-law: 0109-2008
		permitted uses and ng uses /regulations		ns shall be a	as specified for an E2 zone
Additional Pe	ermitted	l Use			
8.2.3.102.1	(1)	Public School			
Regulations					

8.2.3.102.2	The provisions contained in Subsection 1.1.4 of this By-law shall not apply to a public school
8.2.3.102.3	The provisions contained in Article 2.1.9.1 of this By-law shall apply to a public school

8.2.3.103	Exception: E2-103	Map #	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.104	Exception: E2-104	Map #	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.105	Exception: E2-105	Map #	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.106	Exception: E2-106	Map #	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.107	Exception: E2-107	Map #	By-law: 0191-2009, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.108	Exception: E2-	-108	Map # 04, 11	By-law: 0396-2009/ OMB Order 2010 May 17, 0297-2013, 0265-2016				
except that the	In an E2-108 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:							
Additional Per	rmitted Use							
8.2.3.108.1	(1) Use le By-lav	•••	g on the date of passin	g of this				
Uses Not Perm	nitted							
8.2.3.108.2	 (2) Truc (3) Wast (4) Wast (5) Comp (6) Contr (7) Adult (8) Body 	-Rub Estab	g Station Station lity e Shop nent Establishment					
Regulation								
8.2.3.108.3	Outdoor storage of particulate materials such as but not limited to salt and shall be within enclosed containers, a structure with a minimum of three sides and a roof, or otherwise covered							

8.2.3.109	Exception: E2-109	Map # 04	By-law: 0396-2009/ OMB Order 2010 May 17, 0297-2013		
	zone the permitted uses and following uses /regulation		ns shall be as specified for an E2 zone		
Additional Pe	ermitted Uses				
8.2.3.109.1	(1) Use legally exis By-law	ting on the date of pas	sing of this		
	(2) Gas Processing	Operation			
Uses Not Peri	nitted				
8.2.3.109.2	(8) Body-Rub Est	al ing Station r Station acility rice Shop nment Establishment			
Regulations					
8.2.3.109.3	Outdoor storage of particulate materials such as but not limited to salt and shall be within enclosed containers, a structure with a minimum of three sides and a roof, or otherwise covered				
8.2.3.109.4	Minimum number of p a GFA - non-residential				

	1		Γ					
8.2.3.110	Exceptio	n: E2-110	Map # 04	By-law: 0396-2009/ OMB Order 2010 May 17, 0297-2013				
	In an E2-110 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:							
Permitted Use	!							
8.2.3.110.1	(1) U	Use legally existing	g on the date of passing of	of this By-law				
Uses Not Perm	nitted							
8.2.3.110.2	$\begin{array}{c} (2) \\ (3) \\ (4) \\ (5) \\ (6) \\ (7) \\ (8) \end{array}$	Transportation Facility Truck Terminal Waste Processing Station Waste Transfer Station Composting Facility Contractor Service Shop Adult Entertainment Establishment Body-Rub Establishment Truck Fuel Dispensing Facility						
Regulation								
8.2.3.110.3	Outdoor storage of particulate materials such as but not limited to salt and shall be within enclosed containers, a structure with a minimum of three sides and a roof, or otherwise covered							

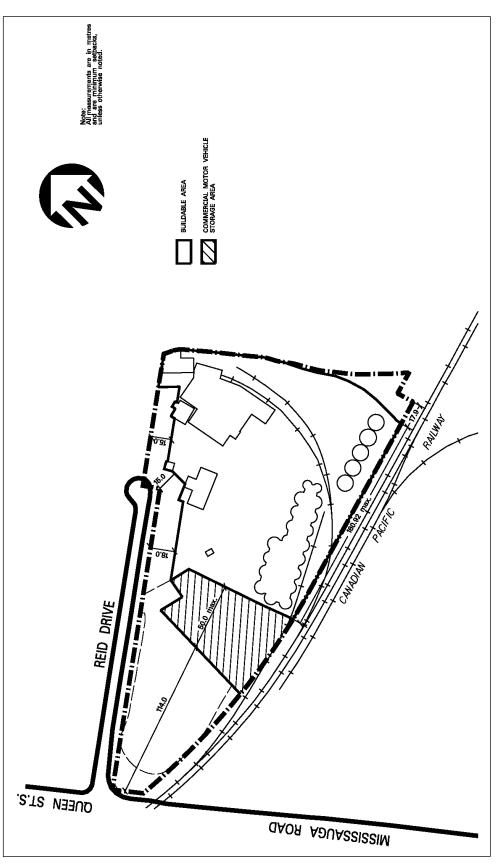
8.2.3.111	Excep	tion: E2-111	Map # 55	By-law: 0406-2008, 0379-2009, 0297-2013
except that the	e followi	ng uses /regulations sl		s shall be as specified for an E2 zone
Additional Po	ermitted	l Use		
8.2.3.111.1	(1)	Day care accessory	to a place of religi	ous assembly
Uses Not Per	mitted			
8.2.3.111.2	(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20)	Transportation Fa Truck Terminal Waste Processing Waste Transfer St Composting Facilit Self Storage Facilit Contractor's Service deleted Motor Vehicle Rep Motor Vehicle Rep deleted Motor Vehicle Rep deleted Motor Vehicle Rep deleted Motor Vehicle Sala Gas Bar Motor Vehicle Sala Commercial Moto Adult Video Store Adult Entertainme Body-Rub Establis Truck Fuel Dispen Parking Lot	Station cation ity y e Shop pair Facility - Restrintal Facility wice Station es, Leasing and/or r Vehicles ent Establishment shment	cted

8.2.3.112	Excep	tion: E2-112	Map # 44E	By-law: 0168-2015		
following use	s/regulat	applicable regulations shall apply:	ons shall be as specifi	ed for an E2 zone except that the		
Permitted Us	ses					
8.2.3.112.1	Lands	zoned E2-112 shall	l only be used for the	following:		
	(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14)	Medical Office Office Restaurant Convenience Res Take-out Restau Commercial Sche Financial Institut Veterinary Clinic Animal Care Est Banquet Hall/Co Animal Boarding Entertainment E Recreational Est Private Club	rant ool tion c ablishment onference Centre/Co g Establishment stablishment	nvention Centre		
Regulation						
8.2.3.112.2	access	Minimum separation distance from the outdoor facilities100.0 maccessory to an animal boarding establishment to the closest100.0 m lot line of a Residential Zone100.0 m				

8.2.3.113	Exception: E2-113	Map # 38W	By-law: OMB Order 2009 October 07, 0208-2022		
	one the applicable regulations regulations shall apply:	s shall be as specified for an E	E2 zone except that the		
Permitted Use	s				
8.2.3.113.1	Lands zoned E2-113 shall o	nly be used for the following	:		
	 Grain processing and grain milling facility Outdoor storage accessory to grain processing and grain milling facility Required parking for lands zoned G1-13 				
Regulations					
8.2.3.113.2	The provisions contained in Sentence 8.1.5.1.1, of this E				
8.2.3.113.3	The provisions contained in Subsection 1.1.4, Article 2.1.17.1 and the regulations of Lines 12.1, 12.2 and 12.5 contained in Table 8.2.1 of this By-law shall not apply				
8.2.3.113.4	Outdoor storage shall only be permitted within the buildable area identified on Schedule E2-113 of this Exception except that the temporary on-site storage of commercial motor vehicles (ie. trucks, tractors and/or trailers) for freight handling including pick-up, delivery and transitory storage of goods directly related to the permitted use shall also be permitted within the Commercial Motor Vehicle Storage Area identified on Schedule E2-113 of this Exception				

Exception E2-113 continued on next page

8.2.3.113	Exception: E2-113	Map # 38W	By-law: OMB Order 2009 October 07, 0208-2022
Exception E2	2-113 continued from previous	s page	
8.2.3.113.5 Notwithstanding Sentence 8.2.3.113.7 of this Exception, a security building with a maximum gross floor area - non-residential of 20 m ² shall be permitted outside the buildable area identified on Schedule E2-113 of this Exception			
8.2.3.113.6	113.6Minimum number of parking spaces per 100 m² gross floor1.6area - non-residential1.6		
8.2.3.113.7	All site development plans shall comply with Schedule E2-113 of this Exception		



Schedule E2-113 Map 38W

8.2.3.114	Exception: E2-114	Map # 59	By-law: 0265-2015				
In an E2-114 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:							
Additional Pe	rmitted Use						
8.2.3.114.1	(1) Self Storage Facility						
Regulations							
8.2.3.114.2	The provisions contained ir shall not apply	n Sentence 3.1.1.8.1 of th	is By-law				
8.2.3.114.3	Minimum number of parki area - non-residential for a		oss floor 0.11				

8.2.3.115	Exception: E2-115	Map # 43W	By-law: 0379-2009
In an E2-115	zone the applicable regi	ulations shall be as specified	l for an E2 zone except that the
	es/regulations shall apply		
Permitted U	ses		
8.2.3.115.1	Lands zoned E2-115	shall only be used for the fo	ollowing:
1			
	(1) Gas Bar		

8.2.3.116	Excep	otion: E2-116	Map # 46E	By-law: 0250-2011, 0297-2013, 0111-2019/ LPAT Order 2021 March 09			
		applicable regulatitions shall apply:	ons shall be as specifie	d for an E2 zone except that the			
Permitted U	ses						
8.2.3.116.1	Lands	s zoned E2-116 shal	l only be used for the f	ollowing:			
	(1) (2)	Place of religious assembly, private school and day care, or E2 uses contained in Subsection 8.2.1 of this By-law					
Uses Not Per		E2 uses contained	I III Subsection 8.2.1 0	i uns by-law			
8.2.3.116.2	(1) (2)	Transportation Facility Truck Terminal					
	(2) (3)	Waste Processing Station					
	. ,	Waste Transfer Station					
	(4) (5)	Composting Facility					
	(6)	Motor Vehicle Repair Facility - Restricted					
	(0)	Motor Vehicle Rental Facility					
	(7) (8)	Motor Vehicle Wash Facility - Restricted					
	(9)	Gas Bar					
	(10)		ervice Station				
	(10) (11)	Motor Vehicle Service Station Motor Vehicle Sales, Leasing and/or Rental Facility -					
	(11)	Commercial Mo					
	(12)	Night Club					
	(12) (13)	Overnight Accommodation					
	(12) (14)	Adult Video Store					
	(15)		ment Establishment				
	(16)	Body-Rub Estab					
	(17)	deleted					
	(18)	Truck Fuel Disp	ensing Facility				
	(19)	-	Entertainment Establishment				

Exception E2-116 continued on next page

8.2.3.116	Exception: E2-116	A	By-law: 0250-2011,	
			0297-2013, 0111-2019/	
		I	LPAT Order 2021 March 09	
Exception E2	-116 continued from previo	us page		
Regulations				
8.2.3.116.3	The provisions contained in Subsection 8.1.5 and 8.1.6 of this By-law shall not apply			
8.2.3.116.4	Total number of parking spaces required for place of religious147assembly including all accessory uses, private school and47day care147			
8.2.3.116.5	Maximum gross floor area worship area	a - non-residential used for	360 m ²	
8.2.3.116.6	Maximum encroachment of landscaped buffer between	f a play structure into the n a building and Argentia Road	2.33 m	

8.2.3.117	Excep	otion: E2-117	Map # 55	By-law: 0025-2011, 0297-2013, 0047-2014	
In an E2-117 :	zone the	permitted uses and a	applicable regulation	ns shall be as specified for an E2 zone	
		ing uses /regulations		1	
Uses Not Per		<u> </u>			
8.2.3.117.1	(1)	Truck Terminal			
0.2.0.11,	(1) (2)	Waste Processing	2 Station		
	$(3)^{(-)}$	Waste Transfer S			
	(4)	Composting Faci	lity		
	(5)	Contractor Service			
	(6)	· · · · · · · · · · · · · · · · · · ·			
	(7) Motor Vehicle Rental Facility				
	(8)	Motor Vehicle W	ash Facility - Restr	ricted	
	(9)	Gas Bar			
	(10)	Motor Vehicle Se			
	(11)		ales, Leasing and/or	r Rental Facility -	
		Commercial Mot			
	(12)	Overnight Accon			
	(13)	Adult Video Stor			
	(14)		nent Establishment	t	
	(15)	Body-Rub Establ			
	(16)	Truck Fuel Dispe	ensing Facility		
	(17)	Parking Lot			
	(18)	University/College	e		
Regulations					
8.2.3.117.2		rovision of Line 2.0 w shall not apply	contained in Table 2	2.1.17.1 of this	
8.2.3.117.3		num setback of all b Canada Pipeline righ	6	ures to the 7.5 m	

8.2.3.118	Exception: E2-118	Map # 45W	By-law: 0259-2010			
	zone the permitted uses and e following uses /regulations		shall be as specified for an E2 zone			
Additional P	ermitted Use					
8.2.3.118.1	(1) Motor Vehicle S Restricted					
Uses Not Per	mitted					
8.2.3.118.2	 Truck Terminal Waste Processin Waste Transfer Composting Fac Body-Rub Estat Adult Entertain Night Club 	g Station Station sility				
Regulations						
8.2.3.118.3	The regulation of Line 5. By-law shall not apply to rental facility - restricte	a motor vehicle sales,				
8.2.3.118.4	For the purposes of this I considered one lot	By-law, all lands zoned	E2-118 shall be			
8.2.3.118.5		Minimum depth of a landscaped buffer along the lot line 1.0 m abutting the railway right-of-way				
8.2.3.118.6	The lot line abutting Mississauga Road shall be deemed to be the front lot line					
8.2.3.118.7	Maximum front yard		7.5 m			
8.2.3.118.8	Motor vehicle display an sales, leasing and/or reprinted between a wall	ntal facility - restricted	shall not be			

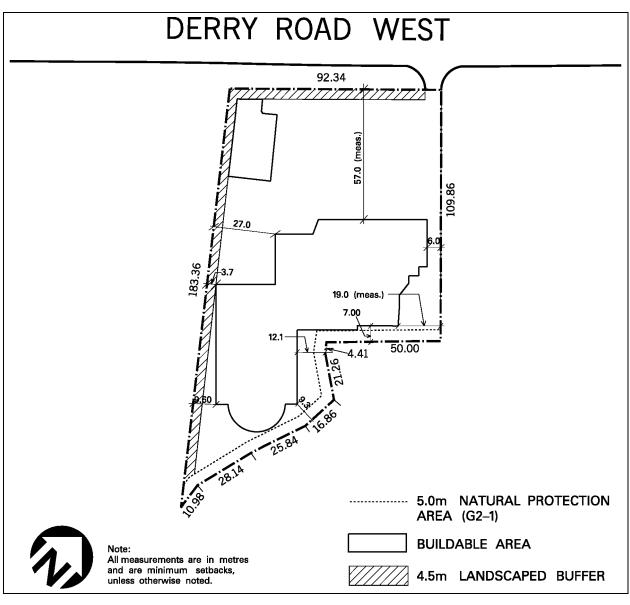
8.2.3.119	Exception: E2-119	Map #	By-law: 0222-2011, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.120	Exception: E2-120	Map #	By-law: 0222-2011, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.121	Exception: E2-121	Map #	By-law: 0222-2011, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.122	Excep	tion: E2-122	Map # 54W	By-law: 0257-2012		
		permitted uses and ng uses /regulations		s shall be as specified for an E2 zone		
Uses Not Per	mitted					
8.2.3.122.1	$(1) \\ (2) \\ (3) \\ (4) \\ (5) \\ (6) \\ (7) \\ (8) \\ (9) \\ (10) \\ (11) \\ (11)$	Night Club Motor Vehicle F Gas Bar Motor Vehicle S	ng Station Station Sility Dishment ment Establishment Rental Facility	icted		
Regulations						
8.2.3.122.2	-	The provisions contained in Subsection 8.1.4 of this By-law shall not apply				
8.2.3.122.3	this E	e 1	visions contained in Su utdoor storage shall 1 y 401, 403 or 410			

8.2.3.123	Exception: E2-123	Map # 44E	By-law: OMB Order 2014 October 20/ 2015 February 15, 0208-2022, 0217-2023		
	zone the applicable regulations shall apply:	ons shall be as specified	for an E2 zone except that the		
Permitted Us	es				
8.2.3.123.1	Lands zoned E2-123 shal	l only be used for the fo	llowing:		
	(3) Restaurant	nmodation onference Centre/Conv sessory to an overnight			
Regulations					
8.2.3.123.2	The provisions contained By-law shall not apply	in Subsections 2.1.14 and	nd 2.1.17 of this		
8.2.3.123.3	Minimum rear yard to la	unds zoned G2-1	0.0 m		
8.2.3.123.4	Maximum gross floor ar hall/conference centre/c conference rooms, recreat and other commercial fac accommodation	onvention centre , and r tional facilities, dining a	neeting rooms, nd lounge area		
8.2.3.123.5	Maximum number of gue	st rooms	125		
8.2.3.123.6	Maximum gross floor are	a - restaurant	474 m ²		
8.2.3.123.7	Maximum height - overn	ight accommodation	6 storeys		
8.2.3.123.8	Minimum landscaped ar	ea	25%		
8.2.3.123.9	Minimum number of par gross floor area - restaura		9.5		
8.2.3.123.10	An accessible pedestrian landscaped buffer along		a the		
8.2.3.123.11	I "Gross Floor Area (GFA) - Restaurant" means the sum of the areas of each storey above or below established grade of a restaurant, measured from the exterior of outside walls or from the midpoint of common walls, but excluding storage areas below established grade, any enclosed area used for the collection or storage of disposable or recyclable waste generated within the building or structure or part thereof; and motor vehicle parking				
8.2.3.123.12	A canopy and stairs may identified on Schedule E2	lable area			
8.2.3.123.13	All site development plan of this Exception	edule E2-123			



Schedule E2-123 Map 44E

8.2.3.124	Excep	tion: E2-124	Map # 49E	By-law: 0253-2013			
In an E2-124	zone the	permitted uses and a	pplicable regulations shall be	as specified for an E2 zone			
except that the	e followi	ng uses /regulations sl	hall apply:				
Uses Not Per	mitted						
8.2.3.124.1	(1)	Waste Processing	Station				
	(2)	Waste Transfer St					
	(3)	Composting Facili	ty				
	(4) Adult Entertainment Establishment						
	(5)	Body-Rub Establis	shment				
	(6)	Broadcasting/Com	munication Facility				

8.2.3.125	Exception: E2-125	Map #	By-law: OMB Order 2014 November 04, deleted by 0121-2020/LPAT Order 2021 March 11

8.2.3.126	Exception: E2-126	Map # 44E	By-law: 0242-2014, 0102-2016, 0165-2017, 0133-2018, 0189-2018, 0111-2019/LPAT Order 2021 March 09, 0121-2020/ LPAT Order 2021 March 11
	one the permitted uses and a following uses /regulations s	pplicable regulations shall be hall apply:	as specified for an E2 zone
Uses Not Peri	nitted		
8.2.3.126.1	 (10) Motor Vehicle Rei (11) Motor Vehicle Wa (12) Gas Bar (13) Motor Vehicle Ser 	Station tation ity y Shop aurant pair Facility - Restricted ntal Facility osh Facility - Restricted vice Station es, Leasing and/or Rental F or Vehicles ent Establishment Establishment shment	acility -
Regulations			
8.2.3.126.2	The lot line abutting Marit front lot line	z Drive shall be deemed to be	e the
8.2.3.126.3	Minimum front yard		4.5 m
8.2.3.126.4	Minimum exterior side ya	rd	4.5 m
8.2.3.126.5		eption, a commercial school t shall include a music school l and tutoring	
Holding Prov	ision		
	part of the lands zoned H-E Map 44E of Schedule B co amended, upon satisfaction	be removed from the whole 22-126 by further amendment ntained in Part 13 of this By- of the following requirement	to law, as ts:
	 reports including a circulation, goods and phasing of dev functional servicing servicing plans; dr archaeological ass Transportation Stu Mississauga and th delivery of execute Agreements in a for addresses any issu clause (1); require purposes to the ab Street; gratuitous of the extension of A 	utstanding technical plans, stu a concept plan which deals wi movement, pedestrian connect velopment, amongst other may ag report with drainage, gradin aft reference plan; stage I and essment; and an updated dy to the satisfaction of the C ne Region of Peel; ed Development and Servicin form satisfactory to the City, w es that may be identified thro d easement for servicing and utting property at 6710 Huror dedication to the City of the la mbassador Drive; any additio sh contribution and insurance	th traffic etions tters; a ng and d II City of g vhich ugh access ntario ands for onal

8.2.3.127	Exception: E2-127	Map # 04	By-law: 0195-2016
	zone the permitted uses a e following uses /regulation		s shall be as specified for an E2 zone
Uses Not Per	mitted		
8.2.3.127.1	 Truck Termin Waste Process Waste Transf Composting I Power Generation Overnight Action Adult Video State 	sing Station er Station Facility ating Facility commodation	

8.2.3.128	Exception: E2-128	Map # 27	By-law: 0226-2017
	one the permitted uses and ap following uses /regulations sl	pplicable regulations shall be a hall apply:	as specified for an E2 zone
Regulations			
8.2.3.128.1	8.2.3.128.1 Minimum setback of a building , structure or part thereof, and a 10.0 r parking area to a Greenlands and Development Zone		
8.2.3.128.2 Minimum depth of a landscaped buffer measured from a lot line that abuts a Greenlands and Development Zone			a 6.5 m
8.2.3.128.3	Maximum number of park	ing spaces	463
8.2.3.128.4	Required number of loadin	g spaces	1

8.2.3.129	Exception: E2-129	Map # 27	By-law: 0226-2017	
In an E2-129 zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following uses /regulations shall apply:				
Regulations				
8.2.3.129.1	The lot line abutting the we shall be deemed to be the f	esterly portion of Winchester I ront lot line	Drive	
8.2.3.129.2	Minimum interior side yar	rd	3.0 m	
8.2.3.129.3	Minimum depth of a landscaped buffer measured from a1.8 mlot line that is a street line			

8.2.3.130	Excep	otion: E2-130	Map # 44W	By-law: 0	177-2018	
		permitted uses and ing uses /regulations		s shall be as specified	for an E2 zone	
Additional P	ermitted	l Uses				
8.2.3.130.1	 (1) (2) (3) 	to a motor vehic Outdoor display o motor vehicle re	e of motor vehicles ac le repair facility - res of motor vehicles acc pair facility - restric ehicles accessory to a restricted	stricted essory to a ted		
Uses Not Per	mitted	× •				
8.2.3.130.2	(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11)	Gas Bar Motor Vehicle S Night Club	g Station Station ility ental Facility Vash Facility - Restri ervice Station ment Establishment	icted		
Regulations						
8.2.3.130.3	-	rovisions contained w shall not apply	in Subsections 2.1.14	4 and 8.1.4 of this		
8.2.3.130.4		ne purposes of this E dered one corner lo	By-law, all lands zone t	d E2-130 shall be		
8.2.3.130.5		The lot line abutting Cantay Road shall be deemed to be the front lot line				
8.2.3.130.6		ssory outdoor stora ng Highway 401	ige shall not be permit	tted in a yard		
8.2.3.130.7		motor vehicle repa ving additional regu	hir facility - restricted lations shall apply:	d use, the		
	(1)	the provisions con By-law shall not a	ntained in Sentence 8. apply	1.3.1.1 of this		
	(2)	parking shall not and an exterior lo	be permitted between o t line	a building		
	(3)	minimum setback an exterior lot li n	k between a parking s ne	space and	14.0 m	
	(4)		c of a building or stru ne within 100.0 m of		15.0 m	
	(5)	minimum depth o front and exterio	f a landscaped buffe r lot lines	r along the	3.0 m	
	(6)	building that may accessory to a m o	tage of the total gross by be used for sales of n otor vehicle repair fa or area used for moto	motor vehicles cility - restricted	40%	
	(7)	vehicles shall not	or storage and display be permitted beyond cont, exterior side and	the face of a		
	(8)	U	and display of motor within 60.0 m of the e			

8.2.3.131	Excep	tion: E2-131	Map # 12, 13, 14	By-law: 0229-2018		
0.2.0.101	Lineep		1140 / 12, 15, 11	25 14.1. 0225 2010		
		permitted uses and a ng uses /regulations s		all be as specified for an E2 zone		
Additional Pe	ermitted	l Uses				
8.2.3.131.1 (1) Asbestos products manufacturing legally existing on the			xisting on the			
0.2.3.131.1	(1)	date of passing of t				
	(2)	Cement manufacturing legally existing on the date of				
	()	passing of this By-				
	(3)	Gypsum or limesto	ne processing and by-pi	oduct		
		manufacturing lega	ally existing on the date	of passing of		
		this By-law				
	(4)		l based coatings, solver			
			, and natural or synthet			
			ally existing on the date	of passing of		
	(5)	this By-law	refining and by-produc	+		
	(5)		illy existing on the date			
		this By-law	iny caising on the date	of passing of		
	(6)	this By-law Phosphate or sulphur products and manufacturing legally				
	(0)	existing on the date of passing of this By-law				
	(7)	Smelting or foundry operations legally existing on the				
		date of passing of this By-law				
	(8)		ring legally existing on	the date of		
		passing of this By-				
	(9)		isting on the date of pas	sing of		
	(10)	this By-law	0	<i>a a</i>		
	(10)	Tar and asphalt manufacturing legally existing on the				
	(11)	date of passing of this By-law Composting facility legally existing on the date of				
	(11)	passing of this By-		e date of		
	(12)		king yard legally existi	ng on the date		
	()	of passing of this B				
Uses Not Perr	nitted	1 0 2	٠			
8.2.3.131.2		Ashestas Braduata	Manufacturing			
0.2.3.131.2	(1) (2)	Asbestos Products				
	(2) (3)	Cement Manufacturing Gypsum or limestone processing and by-product				
	(\mathbf{J})	manufacturing	ne processing and by pr			
	(4)	•	l based coatings, solven	t based		
			, and natural or synthet			
		manufacturing				
	(5)		refining and by-produc	t		
		manufacturing	. ·			
	(6)		ur products and manufa	cturing		
	(7)	Smelting or Found				
	(8)	Solvent Manufactur	rıng			
	(9) (10)	Tannery Tar and Asphalt M	anufacturing			
	(10) (11)	Composting Facili				
	(11) (12)	Motor Vehicle Wre				
	(14)					

8.2.3.132	Excep	tion: E2-132	Map # 19	By-law: 0229-2018
In an E2-132 z	zone the	permitted uses and a	pplicable regulations	shall be as specified for an E2 zone
except that the	followi	ng uses /regulations s	hall apply:	
Additional Pe	rmitted	Uses		
8.2.3.132.1			manufacturing legally	avisting on the
0.2.3.132.1	(1)	date of passing of t		existing on the
	(2)		ring legally existing of	on the date of
	(-)	passing of this By-l		
	(3)		ne processing and by-	-product
			lly existing on the da	te of passing of
		this By-law		
	(4)		l based coatings, solv	
			, and natural or synth	
		this By-law	lly existing on the da	te of passing of
	(5)	2	refining and by-prod	uct
			lly existing on the da	
		this By-law		1 0
	(6)	Phosphate or sulph	ur products and manu	
		0	e of passing of this By	
	(7)		y operations legally e	xisting on the
	(0)	date of passing of this By-law		
	(8)		ring legally existing c	on the date of
	(9)	passing of this By-law Tannery legally existing on the date of passing of		
	(\mathcal{I})	this By-law		
	(10)	•	nufacturing legally ex	tisting on the
		date of passing of this By-law		
	(11)		ty legally existing on	the date of
	(10)	passing of this By-l		<i>a a</i>
	(12)		king yard legally exis	sting on the
		date of passing of t	nis By-law	
Uses Not Perr	nitted			
8.2.3.132.2	(1)	Asbestos Products I	Manufacturing	
	(2)	Cement Manufactur		
	(3)	• •	ne processing and by-	product
	(4)	manufacturing	11	
	(4)		l based coatings, solv , and natural or synth	
		manufacturing	, and natural of Synth	ene rubber
	(5)		refining and by-prod	uct
	(0)	manufacturing	i i i i i i i i i i i i i i i i i i i	
	(6)		ur products and manu	facturing
	(7)	Smelting or Found	y Operations	
	(8)	Solvent Manufactur	ring	
	(9)	Tannery	6 4 1	
	(10)	Tar and Asphalt Ma	anutacturing	
	(11) (12)	Truck Terminal Waste Processing	Station	
	(12) (13)	Waste Transfer St		
	(13) (14)	Composting Facili		
	(15)	Motor Vehicle Wre		
	(16)	Night Club	č	
	(17)	Adult Entertainm		
	(18)	Body-Rub Establi	shment	

8.2.3.133	Excep	otion: E2-133	Map # 12, 23	By-law: 0229-2018	
		•			
		permitted uses and ing uses /regulation		s shall be as specified for an E2 zone	
Additional P	ermitted	l Uses			
8.2.3.133.1	(1)		ts manufacturing legall	y existing on the	
	(2)	date of passing o	f this By-law cturing legally existing	on the date of	
		passing of this B	y-law		
	(3)		stone processing and by		
		of this By-law	egally existing on the d	ate of passing	
	(4)		oil based coatings, sol		
			sin, and natural or synt gally existing on the d		
		of this By-law			
	(5)		pal refining and by-pro egally existing on the d		
		of this By-law	gaily existing on the d		
	(6)	. .	phur products and man		
	(7)	existing on the date of passing of this By-law Smelting or foundry operations legally existing on the			
		date of passing of this By-law			
	(8)	Solvent manufacturing legally existing on the date of passing of this By-law			
	(9)	Tannery legally existing on the date of passing of			
	(10)	this By-law Tar and asphalt manufacturing legally existing on the			
	(10)	date of passing o		existing on the	
	(11)		ility legally existing or	n the date of	
	(12)	passing of this B Motor vehicle wi	y-law recking yard legally ex	isting on the date	
		of passing of this			
Uses Not Per	mitted				
8.2.3.133.2	(1)		ts Manufacturing		
	(2) (3)	Cement Manufac	cturing stone processing and by	v- pr oduct	
	(\mathbf{J})	manufacturing	stone processing and 0	y-product	
	(4)	•	oil based coatings, sol	vent based	
	. ,		sin, and natural or synt	hetic rubber	
	(5)	manufacturing Petroleum and co	oal refining and by-pro	duct	
		manufacturing			
	(6)		phur products and man	ufacturing	
	(7) (8)	Smelting or Four Solvent Manufac			
	(8)	Tannery	luing		
	(10)	Tar and Asphalt	Manufacturing		
	(10) (11)	Composting Fac			
	(12)	Motor Vehicle W			
	(13)	Night Club	C		
	(14)	-	ment Establishment		
	(15)	Body-Rub Estal	blishment		

8.2.3.134	Excep	tion: E2-134	Map # 12, 13, 23	By-law: 0229-2018		
In an E2-134	zone the	permitted uses and	applicable regulations sh	all be as specified for an E2 zone		
except that th	e followi	ng uses/regulations	shall apply:			
Additional P	ermitted	l Uses				
8.2.3.134.1	(1)	E3 uses contained	in Subsection 8.2.1 of th	nis By-law,		
		except:				
		(1.1) Power G	enerating Facility			
	(2)	Asbestos products date of passing of	manufacturing legally end this By-law	xisting on the		
	(3)	Cement manufactu	uring legally existing on	the date of		
		passing of this By		1 .		
	(4)		one processing and by-pr			
		this By-law	ally existing on the date	of passing of		
	(5)	•	oil based coatings, solven	t based		
	(\mathbf{J})		n, and natural or syntheti			
			ally existing on the date			
		this By-law		1 0		
	(6)		al refining and by-produc	t		
			ally existing on the date	of passing of		
	()	this By-law				
	(7)	Phosphate or sulphur products and manufacturing legally existing on the date of passing of this By-law				
	(9)					
	(8)		ry operations legally existing this By law	sting on the		
	(9)	date of passing of this By-law Solvent manufacturing legally existing on the date of passing of this By-law				
	(10)		xisting on the date of pas	sing of		
	(11)	•	anufacturing legally exis this By-law	ting on the		
	(12)		ity legally existing on th	e date of		
	(13)		cking yard legally existi	ng on the date		
	()	of passing of this	e. e.			
Uses Not Per	mitted					
8.2.3.134.2	(1)	Asbestos Products	Manufacturing			
	(2)	Cement Manufact	uring			
	(3)		one processing and by-pr	oduct		
		manufacturing				
	(4)		oil based coatings, solven			
			n, and natural or syntheti	ic rubber		
	(5)	manufacturing	al refining and by-produc	t		
	(\mathbf{J})	manufacturing	and by-produc	n.		
	(6)		hur products and manufa	cturing		
	(7)	Smelting or Found		6		
	(8)	Solvent Manufact				
	(9)	Tannery	-			
	(10)	Tar and Asphalt M				
	(11)	Composting Faci				
	(12)	Motor Vehicle Wi	ecking Yard			

8.2.3.135	Excep	tion: E2-135	Map # 23	By-law: 0229-2018
0.2.3.135	Likeep		101up // 25	By 1411. 0229 2010
In an F2-135 :	zone the	permitted uses and a	nnlicable regulations	shall be as specified for an E2 zone
		ng uses /regulations s		shan be as specified for an L2 zone
Additional Pe		0 0	11 5	
-				
8.2.3.135.1	(1) (2)	Day Care	manufacturing legally	v existing on
	(2)	the date of passing		y existing on
	(3)		ring legally existing	on the date of
		passing of this By-	law	
	(4)		ne processing and by	
		of this By-law	ally existing on the da	ate of passing
	(5)		il based coatings, solv	vent based
	(5)		n, and natural or synth	
		manufacturing lega	ally existing on the data	
		of this By-law		
	(6)		l refining and by-proc ally existing on the da	
		of this By-law	any existing on the da	ate of passing
	(7)		ur products and manu	ufacturing
			the date of passing o	
	(8)		y operations legally	existing on the
	(9)	date of passing of t		on the data of
	(9)	passing of this By-	ring legally existing law	on the date of
	(10)		isting on the date of 1	passing of
		this By-law		
	(11)		nufacturing legally e	xisting on the
	(12)	date of passing of t	ty legally existing on	the date of
	(12)	passing of this By-		
	(13)	Motor vehicle wree	cking yard legally exi	sting on the
		date of passing of t	his By-law	
Uses Not Peri	mitted			
8.2.3.135.2	(1)	Asbestos Products	Manufacturing	
	(2)	Cement Manufactu	iring	
	(3)		one processing and by	r-product
	(A)	manufacturing	il based coatings, solv	vent based
	(4)		n, and natural or synth	
		manufacturing	.,	
	(5)	Petroleum and coal	l refining and by-proc	luct
		manufacturing	1 / 1	
	(6) (7)	Phosphate or sulph Smelting or Found	ur products and manu	utacturing
	(7) (8)	Solvent Manufactu		
	(9)	Tannery	-0	
	(10)	Tar and Asphalt M	anufacturing	
	(11)	Truck Terminal	St. 4.	
	(12) (13)	Waste Processing Waste Transfer S		
	(13) (14)	Composting Facil		
	(14) (15)	Motor Vehicle Wr	-	
	(16)	Night Club	C	
	(17)		ent Establishment	
	(18)	Body-Rub Establi	snment	

8.2.3.136	Exception: E2-136	Map # 44E	By-law: 0079-2019, 0157-2021	
	zone the permitted uses and a e following uses /regulations		e as specified for an E2 zone	
Regulations				
8.2.3.136.1	The provisions contained is shall not apply	in Subsection 2.1.17 of this B	By-law	
8.2.3.136.2	Minimum interior side y a	Minimum interior side yard		
8.2.3.136.3	Minimum rear yard	3.5 m		
8.2.3.136.4	Minimum depth of a land lot line where the lot line	n a 3.5 m		
8.2.3.136.5	Minimum depth of a landscaped buffer measured from a side lot line		n a 2.5 m	
8.2.3.136.6	Minimum aisle width		6.8 m	
8.2.3.136.7	Required number of nark i	ing spaces for a self storage f	facility 21	

8.2.3.137	Exception: E2-137	Map # 54W	By-law: 0067-2019	
	following uses /regulations sl	pplicable regulations shall be a hall apply:	as specified for an E2 zone	
8.2.3.137.1	 8.2.3.137.1 (1) E3 uses contained in Subsection 8.2.1 of this By-law, except: (1.1) Waste Processing Station (1.2) Waste Transfer Station (1.3) Composting Facility (1.4) Power Generating Facility 			
Regulations				
8.2.3.137.2	The provisions contained in shall not apply	Sentence 8.1.5.1.1 of this By	-law	
8.2.3.137.3		-		

8.2.3.138	Excep	tion: E2-138	Map # 49E	By-law: 0005-2020, 0111-2019/LPAT Order 2021 March 09
		permitted uses and ng uses /regulations		s shall be as specified for an E2 zone
Additional P	ermitted	l Uses		
8.2.3.138.1	(1) (2)	Retail store less t non-residential Service Establish	than or equal to 600 m	² GFA -
Uses Not Per				
8.2.3.138.2	(1) (2) (3) (4) (5) (6) (7) (8) (9) (11) (12) (13) (14) (15) (16) (17) (18)	Truck Fuel Disp Truck Terminal Waste Processing Waste Transfer S Composting Fact Contractor Servic Medicinal Produ Medicinal Produ Restricted Convenience Res Motor Vehicle R Motor Vehicle W Gas Bar Motor Vehicle Se Motor Vehicle Se Motor Vehicle Se Commercial Motor	g Station Station Station ility e Shop let Manufacturing Fa staurant epair Facility - Restri- vash Facility - Restri- ervice Station ales, Leasing and/or 1 tor Vehicles nent Establishment g Establishment	ncility acility - ricted cted
Regulations				
8.2.3.138.3	that m comm establ servic	hay be used for an an inercial school, finan lishment, medical of the establishment, ro	total gross floor area nimal care establishm ncial institution, func office, motor vehicle estaurant, retail store linic, or any combinat	nent, eral rental facility, e, take-out
8.2.3.138.4	area - institu	• non-residential fo	king spaces per 100 n r a commercial schoo blishment, medical of erinary clinic	ol, financial

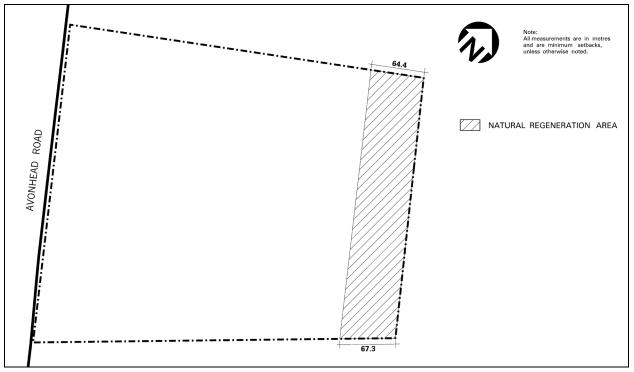
8.2.3.139	Excep	otion: E2-139	Map # 42W	By-law: 0025-2020			
In an E2-139 zone the permitted uses and applicable regulations shall be as specified for an E2 zone							
Holding Prov	vision						
	part o Map 4	of the lands zoned H-H 42W of Schedule B co	b be removed from the w E2-139 by further amend ontained in Part 13 of the ion of the following requ	ment to s By-law,			
	(1)	access have been m	atisfactory arrangements hade with the Region of I City of Mississauga ("C	Peel			
	(2)						
	(3)	including Municipa satisfactory to the C development. This including, but not 1 matters such as mu construction and re fencing, noise mitig issues, such as cash charges), land dedu securities, or letters	uted Development Agree al Infrastructure Schedule City or Region prior to an agreement may deal with imited to, the following: nicipal services, road wi construction, signals, gra gation, and warning clau n contributions, levies (do cations or reserves, easen s of credit; planning matt development plan and lan ervation.	es in a form hy h matters engineering denings, ading, ses; financial evelopment ments, ers such as			

8.2.4 E3 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

8.2.4.1	Excep	otion: E3-1	Map # 03, 04	By-law: 0396-2009/ OMB Order 2010 May 17, 0297-2013		
		ermitted uses and appl s/regulations shall app		be as specified for an E3 zone except		
Additional I	Permitted	l Use				
8.2.4.1.1	(1)	Use legally existing	g on the date of passing	of this By-law		
Uses Not Pe	rmitted					
8.2.4.1.2	(1)	Transportation Fa	cility			
	(2)	Truck Terminal	·			
	(3)	Waste Processing	Station			
	(4)	Waste Transfer Station				
	(5)	Composting Facili	tv			
	(6)	Outdoor Storage	J			
	(7)	Contractor Service	Shop			
	(8)	Contractor's Yard	1			
	(9)	Vehicle Pound Fac	eility			
	(10)	Motor Vehicle Boo				
	(11)		ly Repair Facility - Co	mmercial		
	. ,	Motor Vehicle				
	(12)	Adult Entertainme	ent Establishment			
	(13)	Body-Rub Establis	shment			
	(14)	Truck Fuel Dispen	sing Facility			
Regulation						
8.2.4.1.3	Acces	sory outdoor storage	e of particulate materials	s such as but		
	not lir	nited to salt and sand	shall be within enclosed	l containers,		
	a stru	cture with a minimur	n of three sides and a ro	oof, or		
	otherv	vise covered				

8.2.4.2	Exception: E3-2	Map # 04	By-law: 0396-2009/ OMB Order 2010 May 17, 0297-2013, <i>deleted by</i> 0195-2016, 0191-2022				
	In an E3-2 zone the permitted uses and applicable regulations shall be as specified for an E3 zone except that the following uses /regulations shall apply:						
Uses Not Perm	nitted						
8.2.4.2.1	 Transportation Facility Truck Terminal Waste Processing Station Waste Transfer Station 						
Regulations							
8.2.4.2.2	Minimum depth of a lands lot line where the lot line al	caped buffer measured from a buts a Greenlands Zone	a 0.0 m				
8.2.4.2.3	Notwithstanding Article 2.1.1.2 of this By-law, on, within or below the natural regeneration area identified on Schedule E3-2 of this Exception, only vegetation, lot line fencing and infrastructure required for the wetland feature shall be permitted						
8.2.4.2.4	All site development plans shall comply with Schedule E3-2 of this Exception						





8.2.4.3	Exceptio	on: E3-3	Map # 40W	By-law: 0111-2019/ LPAT Order 2021 March 09			
that the follow	In an E3-3 zone the permitted uses and applicable regulations shall be as specified for an E3 zone except that the following uses /regulations shall apply: Additional Permitted Uses						
8.2.4.3.1	(2) 7	Service Establis Fravel Agency Photo Studio	shment				

8.2.4.4	Exception: E3-4	Map # 42E	By-law:				
	In an E3-4 zone the permitted uses and applicable regulations shall be as specified for an E3 zone except that the following uses /regulations shall apply:						
Additional P	ermitted Use						
8.2.4.4.1	(1) Salvage Yard	(1) Salvage Yard					
Regulations							
8.2.4.4.2		on shall be conducted wit r within an area surround					
8.2.4.4.3	8.2.4.4.3 Storage of materials outside within enclosed containers will not be permitted						
8.2.4.4.4	Minimum height of fend	ce		1.8 m			
8.2.4.4.5	Maximum height of scr	ap metal and salvage stor	red on site	6.0 m			

8.2.4.5	Exception: E3-5	Map # 50W	By-law:			
	In an E3-5 zone the permitted uses and applicable regulations shall be as specified for an E3 zone except that the following uses /regulations shall apply:					
Uses Not Perm	itted					
8.2.4.5.1	(1) Adult Entertainme(2) Body-Rub Establis					
Regulation						
8.2.4.5.2	Minimum setback of a buil extension of Drew Road	ding or structure to the future	e 7.5 m			

8.2.4.6	Exception: E3-6	Map # 04	By-law: 0396-2009/ OMB Order 2010 May 17		
	one the permitted uses and owing uses /regulations shal		hall be as specified for an E3 zone except		
Additional	Permitted Uses				
8.2.4.6.1	(1) 10000000 20000	Resource Extraction Use legally existing on the date of passing of this By-law			
Uses Not Pe	ermitted				
8.2.4.6.2	 Transportatio Truck Termin Waste Process Waste Transfé Composting F 	al sing Station er Station			

8.2.4.7	Except	tion: E3-7	Map # 46E	By-law:			
In an E3-7 zone the permitted uses and applicable regulations shall be as specified for an E3 zone except that the following uses /regulations shall apply:							
Additional Permitted Use							
8.2.4.7.1	(1)	Rail Yard					

8.2.4.8	Exception: E3-8	Map # 43E	By-law:			
In an E3-8 zone the permitted uses and applicable regulations shall be as specified for an E3 zone except that the following uses /regulations shall apply:						
Additional Permitted Use						
8.2.4.8.1 (1) Outdoor display and storage of tractor trailers						

8.2.4.9	Exception: E3-9	Map # 46E	By-law:			
In an E3-9 zone the permitted uses and applicable regulations shall be as specified for an E3 zone except that the following uses /regulations shall apply:						
Uses Not Per	mitted					
8.2.4.9.1	(1) Truck Terminal					
	 (2) Waste Processing (3) Waste Transfer St 					
	(4) Composting Facili					
	(5) Body-Rub Establishment					
		,				
	(7) Night Club					

8.2.4.10	Exception: E3-10	Map # 42W	By-law: 0358-2007			
In an E3-10 zone the permitted uses and applicable regulations shall be as specified for an E3 zone except that the following uses /regulations shall apply:						
Regulation	Regulation					
8.2.4.10.1	A fence having a minimum height of 2.1 m shall be required around the perimeter of the area to be used for outdoor storage for a vehicle pound facility , but in no event shall the fence be situated closer to any street line than any portion of the main building					

8.2.4.11	Exception: E3-11	Map # 04	By-law: 0396-2009/ OMB Order 2010 May 17		
	In an E3-11 zone the applicable regulations shall be as specified for an E3 zone except that the following uses /regulations shall apply:				
Permitted Use					
8.2.4.11.1	Lands zoned E3-11 shall only be used for the following:				
	 Land farming accessory to the existing lubricants centre located at 385 Southdown Road zoned E3-1 				
Regulation	Regulation				
8.2.4.11.2	11.2 "Land Farming" means the biodegradation of petroleum refining wastes by naturally occurring soil bacteria by means of controlled application of the wastes to land followed by periodic tilling.				

8.2.4.12	Exception: E3-12	Map # 04	By-law: 0396-2009/ OMB Order 2010 May 17, 0191-2022
	ne the permitted uses and ap following uses /regulations s	plicable regulations shall be as hall apply:	s specified for an E3 zone
Additional Per	mitted Use		
8.2.4.12.1	(1) Use legally existing	g on the date of passing of this	By-law
Uses Not Perm	nitted		
8.2.4.12.2	 Transportation Fa Truck Terminal Waste Processing Waste Transfer St Composting Facility 	Station tation	
Regulation			
8.2.4.12.3	Outdoor storage of particulate materials such as but not limited to salt and sand shall be within enclosed containers, a structure with a minimum of three sides and a roof, or otherwise covered		

8.2.4.13	Excep	otion: E3-13	Map # 03	By-law: 0396-2009/ OMB Order 2010 May 17, 0297-2013
		permitted uses and ing uses /regulation		shall be as specified for an E3 zone
Additional Po	ermitted	l Use		
8.2.4.13.1	(1)	Truck Fuel D	ispensing Facility	
Uses Not Per	mitted			
8.2.4.13.2	$(1) \\ (2) \\ (3) \\ (4) \\ (5) \\ (6) \\ (7) \\ (8) \\ (9) \\ (10) \\ (11) \\ (12) \\ (13) \\ (13) \\ (2) \\ (13) \\ (2) \\ (3) \\ (1) $	Motor Vehicle Motor Vehicle	al sing Station er Station acility age vice Shop ard I Facility e Body Repair Facility e Body Repair Facility	- Commercial
Regulations				
8.2.4.13.3	apply		ed in Subsection 8.1.5 o for outdoor storage acc	•
8.2.4.13.4	Accessory outdoor storage of particulate materials such as but not limited to salt and sand shall be within enclosed containers, a structure with a minimum of three sides and a roof, or otherwise covered			

8.2.4.14	Excep	otion: E3-14	Map # 04	By-law: 0396-2009/OMB Order 2010 November 30, 0297-2013
		permitted uses an ing uses /regulation		shall be as specified for an E3 zone
Additional P	ermitted	l Use		
8.2.4.14.1	(1)	Use legally exi	sting on the date of pass	ing of this By-law
Uses Not Per	rmitted			
8.2.4.14.2	(1) (2) (3) (4) (5) (6) (7) (8) (9) (11) (12) (13) (14)	Motor Vehicle Motor Vehicle Adult Enterta Body-Rub Est	al ing Station er Station acility age vice Shop ard I Facility Body Repair Facility Body Repair Facility -	Commercial
Regulations				
8.2.4.14.3	not lir a stru	Accessory outdoor storage of particulate materials such as but not limited to salt and sand shall be within enclosed containers, a structure with a minimum of three sides and a roof, or otherwise covered		
8.2.4.14.4		Minimum setback of all buildings and structures to all lands 5.0 m zoned G1-16		

8.2.4.15	Exceptio	n: E3-15	Map # 04	By-law: 0008-2016
		nitted uses and uses /regulatior		s shall be as specified for an E3 zone
Uses Not Per	mitted			
8.2.4.15.1	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	Aotor Vehicle Commercial M	l ng Station r Station cility Facility Body Repair Facility Body Repair Facility otor Vehicle nment Establishment	-
Regulation				
8.2.4.15.2	to salt an	d sand shall be	ticulate materials such within enclosed conta e sides and a roof, or o	iners, a structure

8.2.4.16	Exception: E3-16	Map # 04	By-law: 0195-2016
except that the	ne following uses/regulation		shall be as specified for an E3 zone
Uses Not Per 8.2.4.16.1	rmitted(1)Transportation(2)Truck Termina(3)Waste Processi(4)Waste Transfe(5)Composting Fa(6)Power General	al Ing Station r Station acility	
Regulation			
8.2.4.16.2	Particulate materials such as but not limited to salt and sand shall be stored within enclosed containers or a structure with a minimum of three sides and a roof		
Holding Pro	vision		
	Only the following use the holding symbol H:	shall be permitted prior	to the removal of
	(1) stormwater ma	magement facility	
	The holding symbol H is part of the lands zoned Map 04 of Schedule B of amended, upon satisfact	H-E3-16 by further ame contained in Part 13 of t	endment to this By-law, as
	implemented an	down Master Drainage d the corresponding me sfaction of the City and	easures are in