

STREETSCAPING FEASIBILITY STUDY

69 & 117 JOHN STREET

**CITY OF MISSISSAUGA
REGION OF PEEL**

PREPARED FOR:

CENTRACONDOS DE LA MONTAGNE

PREPARED BY:

**C.F. CROZIER & ASSOCIATES INC.
211 YONGE STREET, SUITE 600
TORONTO, ON M5B 2H1**

OCTOBER 2024

CFCA FILE NO. 2378-6557

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Revision Number	Date	Comments
Rev.0	April 24, 2024	Issued for 1 st OPA & ZBA Submission
Rev.1	October 16, 2024	Issued for 2 nd OPA & ZBA Submission

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LIST OF DRAWINGS

SFS-P: Utility and Streetscape Plan & Sections - Proposed Conditions

LIST OF APPENDICES

- 23-0179:** Subsurface Utility Engineering Investigation (prepared by 4Sight Utility Engineers)
- L2-01:** Landscape Plans (prepared by MSLA)
- LD-01:** Landscape Sections (prepared by MSLA)

1.0 Introduction

C.F. Crozier & Associates Inc. (Crozier) was retained by Centracondos de la Montagne to prepare a Streetscaping Feasibility Study. The study will support the applications for the Official Plan Amendment and Zoning By-Law Amendment required to permit the residential development at 69 & 117 John Street in the City of Mississauga, Region of Peel (the Site).

The subject property is approximately 1.63 ha in total and is currently an undeveloped gravel lot. The site is bounded by the Canadian Pacific Railway to the west, an existing residential neighborhood to the north and east and a commercial storage building to the south. The Streetscaping Feasibility Study has been completed for the site as required by the City of Mississauga and is in accordance with the Streetscape Feasibility Terms of Reference, May 2019. The purpose of the study is to demonstrate that the proposed development can accommodate the appropriate boulevard treatment within the public right-of-way and that the associated building setbacks are adequate on John Street.

Enclosed Drawing SFS-P (Streetscape Feasibility Study: Utility & Streetscape Plan Proposed Conditions) reflecting the existing and proposed Utility Plan and Trench Location Plan in accordance with the City of Mississauga for the proposed design on John Street South.

2.0 Existing Utility Plan

The existing utilities along John Street are shown on the drawings is developed from the Sub-Surface Utility Investigation (SUE) Locates by 4Sight Utility Engineers dated February 23rd, 2024.

Two cross-sections have been prepared along John Street to demonstrate the approximate locations of the existing utilities within the John Street right-of-way and the proposed planting soil areas per the Landscape Architect's design. All sections demonstrate above- and below-grade utilities.

The SUE investigation identified the following services and utilities within the of John Street right-of-way:

- 375mm dia. sanitary sewer
- 500mm dia. and 600mm dia. storm sewers
- 150mm dia. and 200mm dia. watermain
- Hydro Line (Alectra)
- Hydro Line (Street Light)
- 100mm gas main

3.0 Trench Location Plan

Drawings SFS-P and L2-01 reflect the tree and tree trench locations along John Street as per the landscape architectural design by Marton Smith Landscape Architects (MSLA). Refer to the Landscape drawing set prepared by MSLA for additional details.

Building limits (both at-grade and below-grade) along John Street are setback at a minimum 3.0m from the proposed soil trench. The setback provides adequate clearance to the subsurface tree trenches which will allow for future maintenance.

The Landscape Architect is responsible to specify trees that adhere to the above-grade street tree canopy clearances as shown in Figure 1 of the Streetscaping Feasibility Terms of Reference. Refer to the Landscape sections plan LD-01 for cross-sections prepared by the Landscape Architect.

4.0 Conclusions

Based on the Streetscaping Feasibility Study, an appropriate boulevard treatment can be accommodated in the John Street right-of-way in accordance with City's streetscape requirements.

Respectfully submitted,

C.F. CROZIER & ASSOCIATES INC.



Gamsa Sivanantham, P.Eng.
Project Engineer

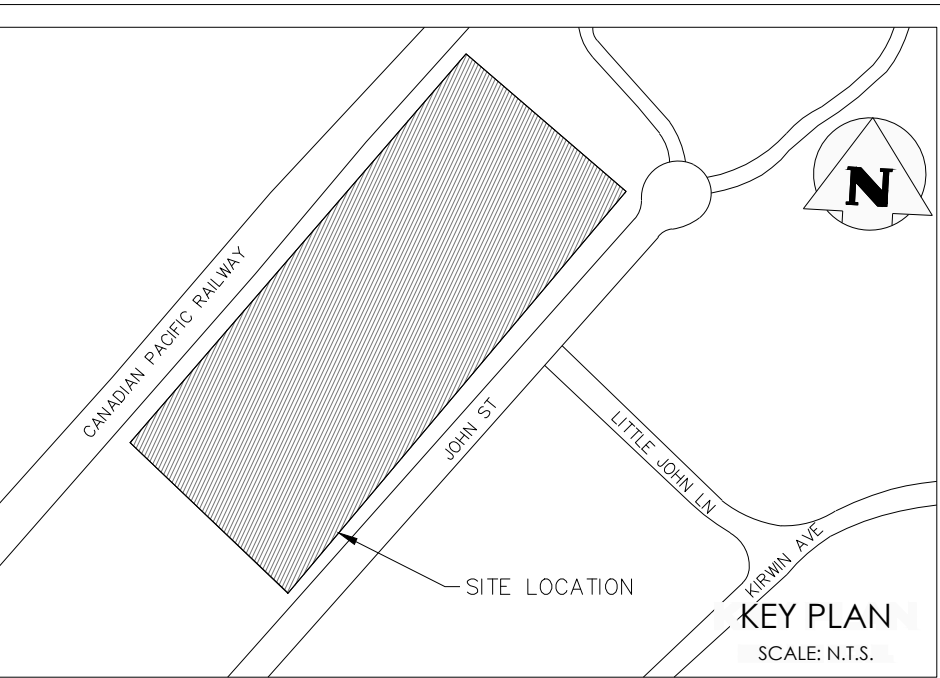
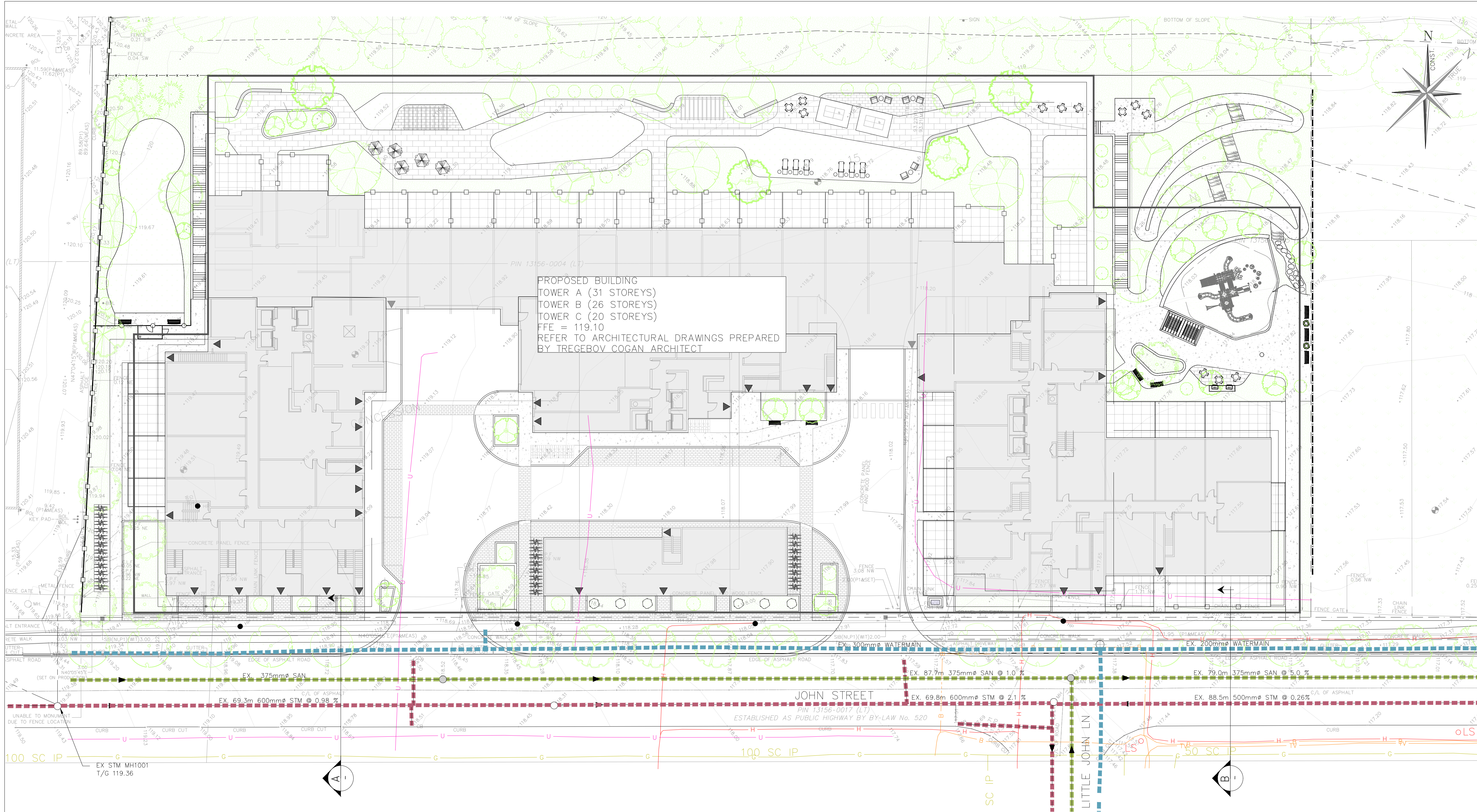
C.F. CROZIER & ASSOCIATES INC.



Mena Iskander, P.Eng.
Project Engineer

"J:\2300\2378 - Centracondos de la Montagne\6557 - 69 & 117 John Street, Mississauga\Reports\SFS\6557_Streetscaping Feasibility Study.docx"

DRAWINGS



LEGEND	
	PROPERTY LINE
	EXISTING WATERMAIN & GATE VALVE
	EXISTING STORM SEWER & MANHOLE
	EXISTING SINGLE / DOUBLE CATCHBASIN
	EXISTING SANITARY SEWER & MANHOLE
	EXISTING BELL TELECOMMUNICATION
	EXISTING ROGERS COAXIAL
	EXISTING GAS
	EXISTING HYDRO
	EXISTING UNKNOWN CONDUCTIVE SIGNAL
	PROPOSED WATERMAIN & GATE VALVE
	PROPOSED FIRE HYDRANT & GATE VALVE
	PROPOSED SIAMESE CONNECTION
	PROPOSED STORM SEWER & MANHOLE
	PROPOSED SINGLE / DOUBLE CATCHBASIN
	PROPOSED SANITARY SEWER & MANHOLE
	PROPOSED FIRE HYDRANT & GATE VALVE
	PROPOSED SIAMESE (FIRE DEPT.) CONNECTION
	PLANTING SOIL PER LANDSCAPING SPECIFICATION



1	ISSUED FOR 2nd ZBA/OPA SUBMISSION	2024/OCT/16
0	ISSUED FOR 1st ZBA/OPA SUBMISSION	2024/APR/24
No.	ISSUE / REVISION	YYYY/MM/DD

BENCHMARK NOTE:
ELEVATIONS ARE REFERRED TO THE CITY OF MISSISSAUGA BENCHMARK No. 703. ELEVATION OF 117.744m AND BENCHMARK No. 1007, ELEVATION OF 128.278m.

SURVEY NOTES:
SURVEY COMPLETED BY J.D. BARNES LIMITED. (2022/NOV/19)
BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF ARCYLE ROAD AS SHOWN ON PLAN E-23 HAVING A BEARING OF N46°19'00"W

SITE PLAN NOTES:
DESIGN ELEMENTS ARE BASED ON SITE PLAN BY TREGEBOV COGAN ARCHITECTS.
DRAWING No.: A1.0 (2024/AUG/22)
PROJECT No.: 1101

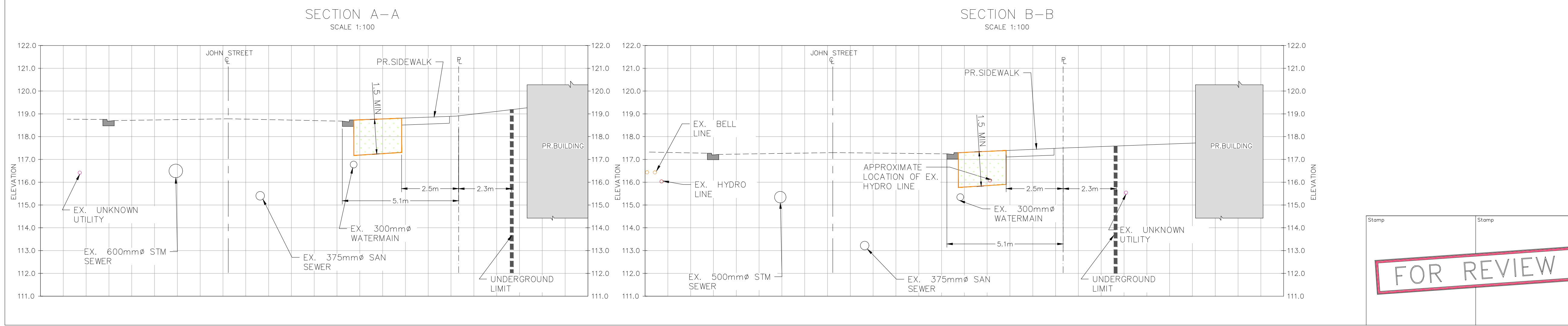
DRAWING NOTES:
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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.
THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING.
ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

Project

69 & 117 JOHN STREET,
CITY OF MISSISSAUGA
PEEL REGION

Drawing

STREETSCAPE FEASIBILITY STUDY:
UTILITY & STREETSCAPE PLAN
PROPOSED CONDITIONS



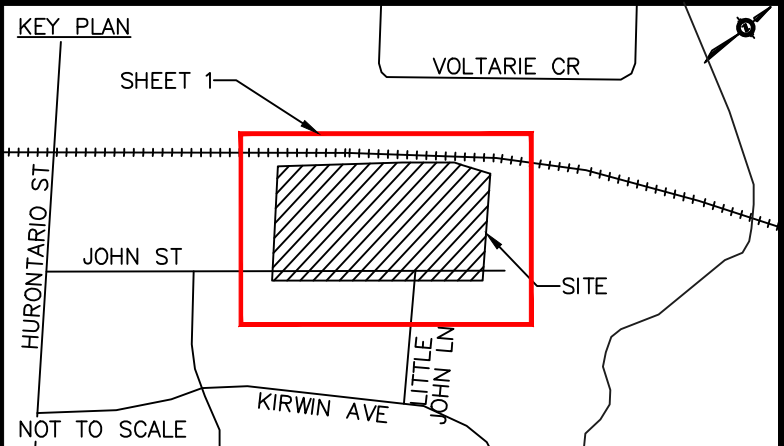
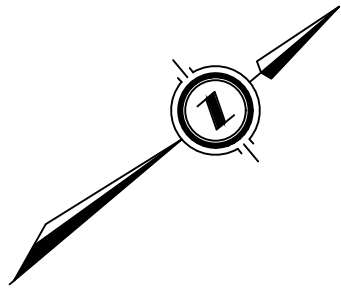
FOR REVIEW

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WWW.CFCROZIER.CA
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Drawn	G.S./S.T.T.	Design	G.S.	Project No.	2378-6557
Check	M.I.	Check	M.I.	Scale	1:500
				Dwg.	SFS-P

APPENDICES

BELL RECORDS NOT RECEIVED AT TIME OF INVESTIGATION. BELL WAS NOTIFIED MULTIPLE TIMES FOR REQUEST OF RECORD INFO WITHIN THESE LIMITS. BELL PLANT SHOWN AS FIELD VERIFIED.



- GENERAL NOTES
1. THE FIELD INVESTIGATION WAS COMPLETED IN JAN. 2024.
 2. THE LIMITS OF THE INVESTIGATION ARE AS PER SHOWN ON THE DRAWING.
 3. THE BASE PLAN FOR THIS DRAWING WAS PROVIDED BY THE CLIENT AND 4SIGHT IS NOT RESPONSIBLE FOR ITS ACCURACY.
 4. UTILITY SIZES AND MATERIALS ARE SHOWN IF AVAILABLE FROM RECORD INFORMATION.
 5. KNOWN UTILITY OWNERS IDENTIFIED WITHIN PUBLIC RIGHT OF WAY INCLUDE:
 - a. WATER & SANITARY - REGION OF PEEL
 - b. STORM - CITY OF MISSISSAUGA
 - c. ELECTRICAL - ALECTRA
 - d. TELECOM - BELL & ROGERS
 - e. GAS - ENBRIDGE
 6. SEE PROJECT REPORT FOR ADDITIONAL DETAILS.

- LEGEND
- B BELL TELECOMMUNICATIONS
 - TV ROGERS COAXIAL
 - C PRIVATE COMMUNICATIONS
 - FO FIBER OPTIC
 - BF BELL FIBER OPTIC
 - RF ROGERS FIBER OPTIC
 - CF COGECO FIBER OPTIC
 - ZF ZAYO FIBER OPTIC
 - H HYDRO
 - SL STREETLIGHT
 - TL TRAFFIC LIGHT
 - E PRIVATE ELECTRICAL
 - G GAS
 - FL PIPELINE
 - W WATER
 - WS WATER SERVICE
 - SA SANITARY SEWER
 - FM SANITARY FORCEMAIN
 - ST STORM SEWER
 - U UNKNOWN CONDUCTIVE SIGNAL
 - QUALITY LEVEL "B"
 - QUALITY LEVEL "C"
 - QUALITY LEVEL "D"
 - LIMIT

- CONTINUES OUT OF LIMITS
- FLOW ARROW
- END CAP
- LOCATION BASED ON RECORD INFO
- LOCATION BASED ON FIELD OBSERVATION
- LOSS OF SIGNAL
- STORM MAINTENANCE HOLE
- SANITARY MAINTENANCE HOLE
- CATCH BASIN
- WATER CHAMBER
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- UTILITY POLE
- LIGHT STANDARD
- HAND WELL
- HYDRO MAINTENANCE HOLE
- HYDRO VAULT / TRANSFORMER
- TELECOM PEDESTAL
- FLUSH-TO-GRADE
- BELL MAINTENANCE HOLE
- ROGERS MAINTENANCE HOLE
- UNKNOWN MAINTENANCE HOLE
- TEST HOLE

ASCE QUALITY LEVELS

- THE UTILITY INFORMATION SHOWN ON THIS DRAWING WAS COLLECTED IN ACCORDANCE TO ASCE STANDARD 38-22. THE INFORMATION IS SHOWN BY QUALITY LEVEL WHICH INDICATES THE LEVEL OF EFFORT USED TO DETERMINE THE LOCATION OF THE DATA.
- QUALITY LEVEL "D" - INFORMATION DERIVED FROM EXISTING RECORDS OR VERBAL RECOLLECTIONS.
- QUALITY LEVEL "C" - INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO THE QUALITY LEVEL "D" INFORMATION.
- QUALITY LEVEL "B" - INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF THE UTILITIES.
- QUALITY LEVEL "A" - PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY THE ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENT OF SUBSURFACE UTILITIES.

CANADIAN PACIFIC RAILWAY

CENTURY LINK RECORDS INDICATE A PLANT IN A NORTH EAST/SOUTH WEST ALIGNMENT AT THIS LOCATION. PLANT OUTSIDE OF LIMITS.

ENBRIDGE RECORDS INDICATE GAS MAIN PRESENT IN THIS APPROXIMATE LOCATION.

PRIVATE ELECTRICAL ENDS AT A BOX

HYDRO DIP ON THIS POLE

ENBRIDGE RECORDS INDICATE GAS MAIN ENDS IN THIS APPROXIMATE LOCATION.

CB1009A 116.92 SE INV 115.73 250 CON (1.19m) SHARED CHAMBER WITH CB1009B

CB1009B 116.92 SHARED CHAMBER WITH CB1009A

SAMH2003 117.14 E OBV 110.52 375 CON (3.62m) SW OBV 110.74 375 CON (3.40m)

STMH1010 116.96 NE INV 115.34 300 CON (1.62m) SW OBV 115.80 525 CON (1.16m)

CB1008A 116.92 NW OBV 115.90 300 CON (1.02m) SHARED CHAMBER WITH CB1008B

CB1008B 116.92 SHARED CHAMBER WITH CB1008A UNABLE TO OPEN CHAMBER DUE TO CAR PARKED ON CB.

FIELD FIELD FOUND UNKNOWN SIGNAL IN THIS AREA. ALECTRA RECORDS SHOW HYDRO LINE IN THE SAME LOCATION. LINE SHOWN AS HYDRO AT QLB ON DRAWING.

FIELD VERIFIED AN UNKNOWN CONDUCTIVE SIGNAL ALONG THIS ALIGNMENT. UNABLE TO DETERMINE OWNERSHIP/TYPE OF PLANT AT TIME OF INVESTIGATION. IF CRITICAL, FURTHER INVESTIGATION (TEST HOLES) MAY BE REQUIRED. POSSIBLE OLD STREET LIGHT.

CB1008 117.58 SE INV 116.04 200 CON (1.54m)

WC3001 117.52 TOP OF PIPE 116.11 (1.41m) BOTTOM OF CHAMBER 115.67 (1.85m) FIELD OBSERVED CHAMBER FULL OF WATER.

STMH1007 117.52 NE INV 115.04 525 CON (2.48m) SE OBV 114.88 (2.61m) SW OBV 115.02 600 CON (2.47m) UNABLE TO MEASURE SIZE OF SOUTH EAST PIPE DUE TO CHAMBER CONFIGURATION (PIPE TOO OFFSET).

SAMH2002 117.48 NE OBV 114.49 375 CON (2.99m) SE OBV 114.96 300 CON (2.96m) SW OBV 114.53 375 CON (2.95m) FIELD OBSERVED SOUTH EAST PIPE APPEARS TO BE CAPPED.

STMH1004 118.31 NE INV 115.89 600 CON (2.42m) SW INV 115.92 500 CON (2.39m)

FIELD VERIFIED AN UNKNOWN CONDUCTIVE SIGNAL ALONG THIS ALIGNMENT. UNABLE TO DETERMINE OWNERSHIP/TYPE OF PLANT AT TIME OF INVESTIGATION. IF CRITICAL, FURTHER INVESTIGATION (TEST HOLES) MAY BE REQUIRED. POSSIBLE WATER SERVICE AS BLUE PAINT WAS OBSERVED ON FENCE AT THIS LOCATION.

FIELD VERIFIED AN UNKNOWN CONDUCTIVE SIGNAL ALONG THIS ALIGNMENT. UNABLE TO DETERMINE OWNERSHIP/TYPE OF PLANT AT TIME OF INVESTIGATION. IF CRITICAL, FURTHER INVESTIGATION (TEST HOLES) MAY BE REQUIRED. POSSIBLE GAS SERVICE.

FIELD OBSERVED HYDRO POLE WITH LIGHT AND 2 EMPTY VISIBLE CONDUITS.

FIELD VERIFIED AN UNKNOWN CONDUCTIVE SIGNAL ALONG THIS ALIGNMENT. UNABLE TO DETERMINE OWNERSHIP/TYPE OF PLANT AT TIME OF INVESTIGATION. IF CRITICAL, FURTHER INVESTIGATION (TEST HOLES) MAY BE REQUIRED.

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PREPARED BY:



REVISIONS

DISCLAIMER.

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DRAWN M. KAZI 01/26/24

CHECKED A. MCDERMOTT 02/16/24

APPROVED L. ARCAD 02/23/24

SCALE 1:250

DATE (MM/DD/YY)

THE ENGINEER'S SEAL HEREON IS TO CERTIFY THAT THE UTILITIES SHOWN HAVE BEEN INVESTIGATED IN ACCORDANCE WITH STANDARD SUE INDUSTRY PRACTICES. ALL OTHER INFORMATION HEREON HAS BEEN PROVIDED BY OTHERS AND IS NOT A PART OF THIS CERTIFICATION.



PROJECT:

69 & 117 JOHN STREET MISSISSAUGA, ON

DRAWING:

SUBSURFACE UTILITY ENGINEERING INVESTIGATION

CLIENT:

CROZIER CONSULTING ENGINEERS

PROJECT NO.

23-0179

SHEET NO.

01 OF 01

Proposed Plant Material List

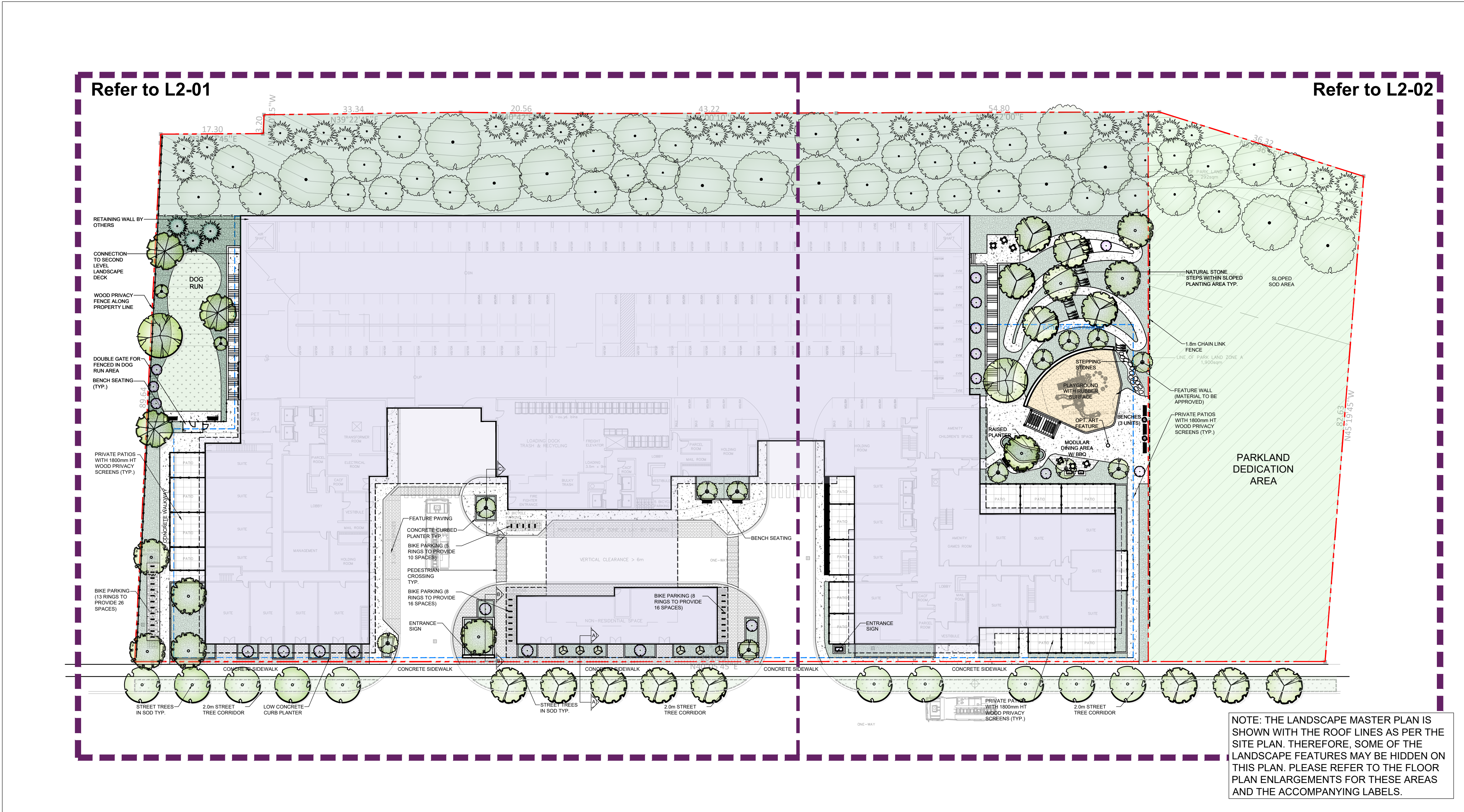
KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
DECIDUOUS TREES									
ARS		Acer rubrum 'Autumn Spire'	Autumn Spire Maple	70 mm		B.&B.	High	Yes	Full Form
AXF		Acer x freemanii 'Jeffersred'	Jeffersred Freeman Maple	70 mm		B.&B.	High	Hybrid	Full Form
GSS		Gleditsia triacanthos var. inermis 'Draves'	Street Keeper Honey-Locust (Clump)	60 mm		B.&B.	High	Cultivar	Tree Form Multi Stem
PCC		Pyrus calleryana 'Chanticleer'	Chanticleer Pear	70 mm		B.&B.	High	No	Full Form
QRB		Quercus rubra	Red Oak	70 mm		B.&B.	Med.	Yes	Full Form
TAB		Tilia Americana 'Redmond'	Redmond Basswood	70 mm		B.&B.	High	Yes	Full Form
SPECIMEN MULTISTEM DECIDUOUS SHRUBS									
ACB		Amelancier canadensis 'Ballerina'	Ballerina Serviceberry	200 cm		B.&B.	High	Yes	Multi Stem
CCA		Cercis canadensis 'Multi Stem'	Eastern Red Bud	180 cm	pink/pur	B.&B.	High	Yes	Multi Stem
CAL		Cornus alternifolia	Pagoda Dogwood	150 cm		B.&B.	High	Yes	Multi Stem
GRASSES									
CAC		Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass			5 Gal.	High	No	Full Form
DEC		Deschampsia cespitosa	Tufted Hairgrass			2 Gal.	High	Yes	Full Form
PAL		Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass			2 Gal.	High	No	Full Form

NOTE: ALL QUANTITIES IN THE LIST OF PLANT MATERIALS ARE TO BE CHECKED BY THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT. THE QUANTITIES INDICATED ON THE DRAWINGS SUPERCEDE THE TOTAL QUANTITIES

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
CONIFEROUS SHRUBS									
JCG		Juniperus chinensis 'Gold Coast'	Gold Coast Juniper	50 cm		C.G.	Med.	No	Full Form
TCF		Taxus x media 'Fairview'	Fairview Yew		65 cm	C.G.	Med.	No	Full Form
DECIDUOUS SHRUBS									
CNS		Cornus sericea	Red Osier Dogwood	80 cm		C.G.	High	Yes	Full Form
HPB		Hydrangea paniculata 'Bombshell'	Dwarf Bombshell Hydrangea	60 cm		5 gal.	High	No	Full Form
POD		Physocarpus opulifolius 'Diablo'	Diablo Purpleleaf Ninebark	80 cm		C.G.	High	Yes	Full Form
RHG		Rhus aromatica 'Gro-Low'	'Gro-Low' Fragrant Sumac	60 cm		C.G.	High	Yes	Full Form
SJL		Spirea japonica 'Little Princess'	Dwarf Red Spirea	60 cm		C.G.	High	No	Full Form
SMP		Syringa meyeri 'Palibin'	Purple Dwarf Korean Lilac	60 cm		C.G.	High	No	Full Form
PERENNIALS									
GER		Geranium 'Rozanne'	Hardy Cranesbill Geranium			2 Gal.	High	Yes	Full Form
ECH		Echinacea purpurea	Purple Cone Flower			2 Gal.	High	Yes	Full Form
HSD		Hemerocallis 'Stella D'oro'	Stella D'oro (Yellow) Daylilies			2 Gal.	High	No	Full Form
PLS		Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage			2 Gal.	High	No	Full Form
RUD		Rudbeckia fulgida var. sullivantii 'Goldsturm'	Black Eyed Susan			2 Gal.	High	Cultivar	Full Form



Key Map



Legend

	Proposed Deciduous Tree		Prop. Planting Area
	Proposed Coniferous Tree		Proposed Sodded Area
	Proposed Shrub/Perennial		Prop. Concrete Paving Typ.
	Property Line		Prop. Unit Paving Type 1
	Prop. Wood Privacy Fence		Prop. Chain Link Fence
	Detail Reference Key		Proposed Bike Ring
	Plant Material Reference Key		

Owner's Note

WE AGREE TO IMPLEMENT THE APPROVED SITE AND LANDSCAPE PLANS WITHIN 18 MONTHS AFTER THE EXECUTION OF THE SITE PLAN UNDERTAKING AND WILL RETAIN THE LANDSCAPE ARCHITECT TO MAKE PERIODIC SITE INSPECTIONS. UPON COMPLETION OF THE WORKS WE WILL FORWARD TO THE CITY OF MISSISSAUGA A COPY OF THE COMPLETION NOTIFICATION CERTIFICATE FROM THE LANDSCAPE ARCHITECT AND THE APPLICABLE INSPECTION FEE.

ANY REVISIONS TO THE SITE AND LANDSCAPE PLANS WILL BE SUBMITTED TO THE PLANNING AND BUILDING DEPARTMENT, CITY OF MISSISSAUGA FOR REVIEW AND APPROVAL, PRIOR TO COMMENCEMENT OF THE WORKS.

WE HEREBY AUTHORIZE THE CITY, ITS AUTHORIZED AGENTS, SERVANTS, OR EMPLOYEES TO ENTER UPON OUR LAND TO CARRY OUT INSPECTIONS FROM TIME TO TIME AND AGREE TO INDEMNIFY THE CITY AND ITS AUTHORIZED AGENTS AND SAVE THEM HARMLESS FROM ANY AND ALL ACTIONS ARISING OUT OF THE EXERCISE BY THE CITY, ITS AUTHORIZED AGENTS, SERVANTS OR EMPLOYEES OF THE RIGHTS HEREBY GIVEN TO THEM. WE UNDERTAKE TO NOTIFY THE CITY FORTHWITH OF ANY CHANGE OF OWNERSHIP OF THE SAID LANDS.

Signature of Owner _____

Name of Owner _____

Address _____

Existing Tree Preservation

The applicant is responsible for ensuring that tree protection hoarding is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Department. No materials (building materials, soil, etc.) May be stockpiled within the area of hoarding. Failure to maintain the hoarding as originally approved or the storage of materials within the hoarding will be cause for the tree preservation Letter of Credit to be held for two (2) years following completion of all site works.

Owner's Signature: _____

Sign By-Law

SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF SIGN BY-LAW 0054-2002, AS AMENDED AND A SEPERATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.

Grading Note

I HEREBY CERTIFY THAT THIS LANDSCAPE PLAN CONFORMS TO THE SITE GRADING AND DRAINAGE PLAN (BY OTHERS) FOR THIS APPLICATION

Signature of Landscape Architect: _____

Date: _____


MARTON SMITH LANDSCAPE ARCHITECTS
170 The Donway W Suite 206
Toronto, Ontario, Canada. M3C 2G3
tel. 416.492.9966 | email. info@msla.ca

Architect:

TREGEBOV COGAN ARCHITECTURE
40 St. Clair Avenue East, Suite 303
Toronto, ON M4T 1M9
office@tcarchitecture.ca
647-352-3350

Client/Owner:

Municipality:

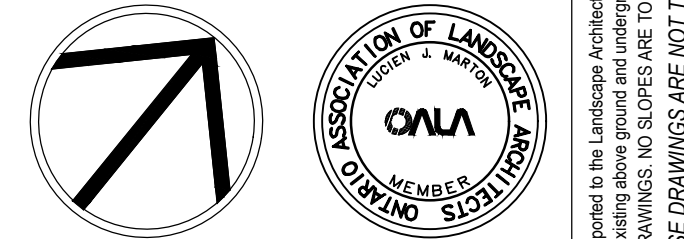
MISSISSAUGA

Notes:

11	Issued for ZBA Sub 3	08/20/24
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No. Revision Date

North: Stamp:



Project:
Proposed Residential Development
69 & 117 John Street
Mississauga, Ontario

Scale: **1:400** Date: **April 2023**

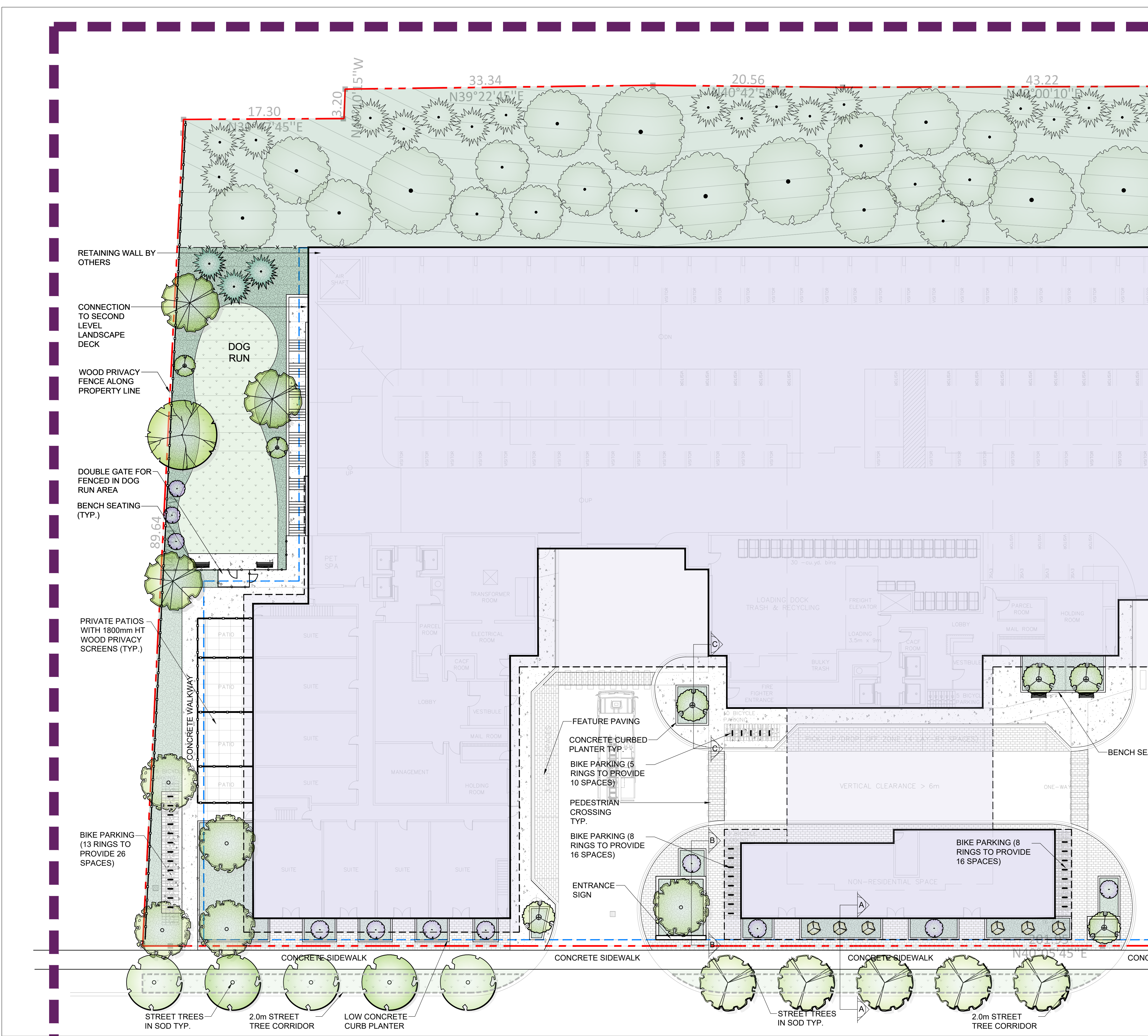
Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:

Landscape Master Plan

Project No. **23120** Sheet No. **L1-01**

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Legend

	Proposed Deciduous Tree		Prop. Planting Area
	Proposed Coniferous Tree		Proposed Sodded Area
	Proposed Shrub/Perennial		Prop. Concrete Paving Typ.
	Property Line		Prop. Unit Paving Type 1
	Prop. Wood Privacy Fence		Prop. Chain Link Fence
	Detail Reference Key		Proposed Bike Ring
			Plant Material Reference Key

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Name of Owner _____

Address _____

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Owner's Signature: _____

Sign By-Law

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Grading Note

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Signature of Landscape Architect: _____

Date: _____

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Project: **Proposed Residential Development**
69 & 117 John Street
Mississauga, Ontario

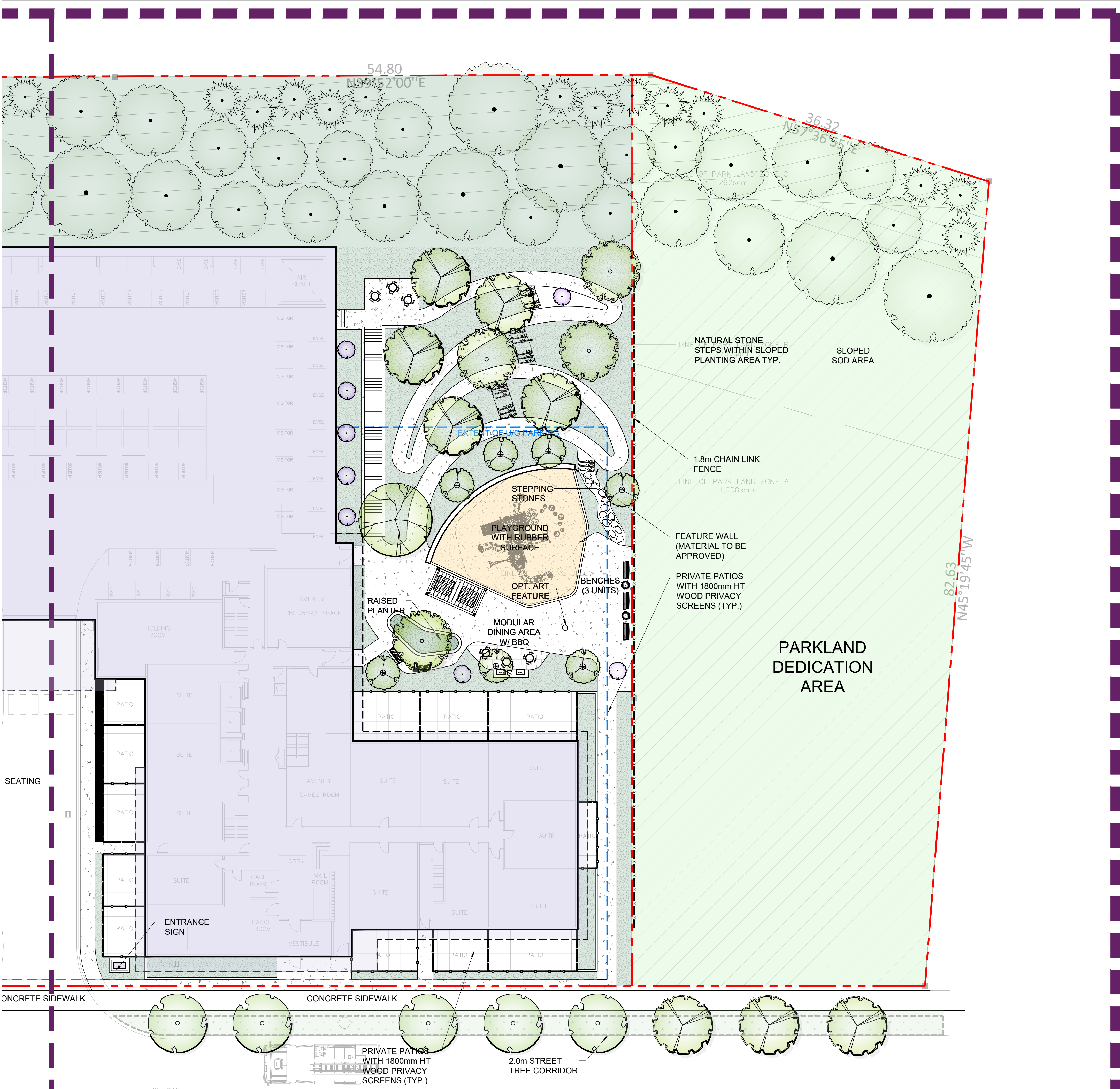
Scale: **1:200** Date: **April 2023**

Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title: **Ground Floor Enlargement 'A'**

Project No. **23120** Sheet No. **L2-01**

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Legend

	Proposed Deciduous Tree		Prop. Planting Area
	Proposed Coniferous Tree		Proposed Sodded Area
	Proposed Shrub/Perennial		Prop. Concrete Paving Typ.
	Property Line		Prop. Unit Paving Type 1
	Prop. Wood Privacy Fence		Prop. Chain Link Fence
	Detail Reference Key		Proposed Bike Ring
			Plant Material Reference Key

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Sign By-Law

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North:

Stamp:

Project:

Proposed Residential Development

69 & 117 John Street
Mississauga, Ontario

Scale: **1:200** Date: **April 2023**

Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:

Ground Floor Enlargement 'B'

Project No. **23120** Sheet No. **L2-01**

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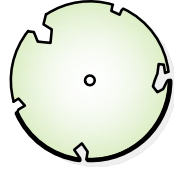
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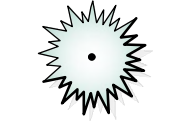
Signature of Landscape Architect: _____

Date: _____

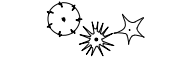
Legend




Proposed Deciduous Tree



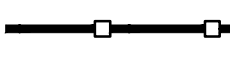
Proposed Coniferous Tree




Proposed Shrub/Perennial




Property Line




Prop. Wood Privacy Fence



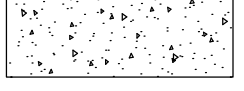
Detail Reference Key



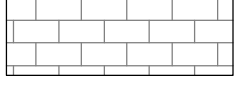
Prop. Planting Area



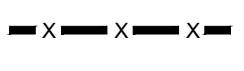
Proposed Sodded Area




Prop. Concrete Paving Typ.



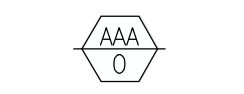
Prop. Unit Paving Type 1



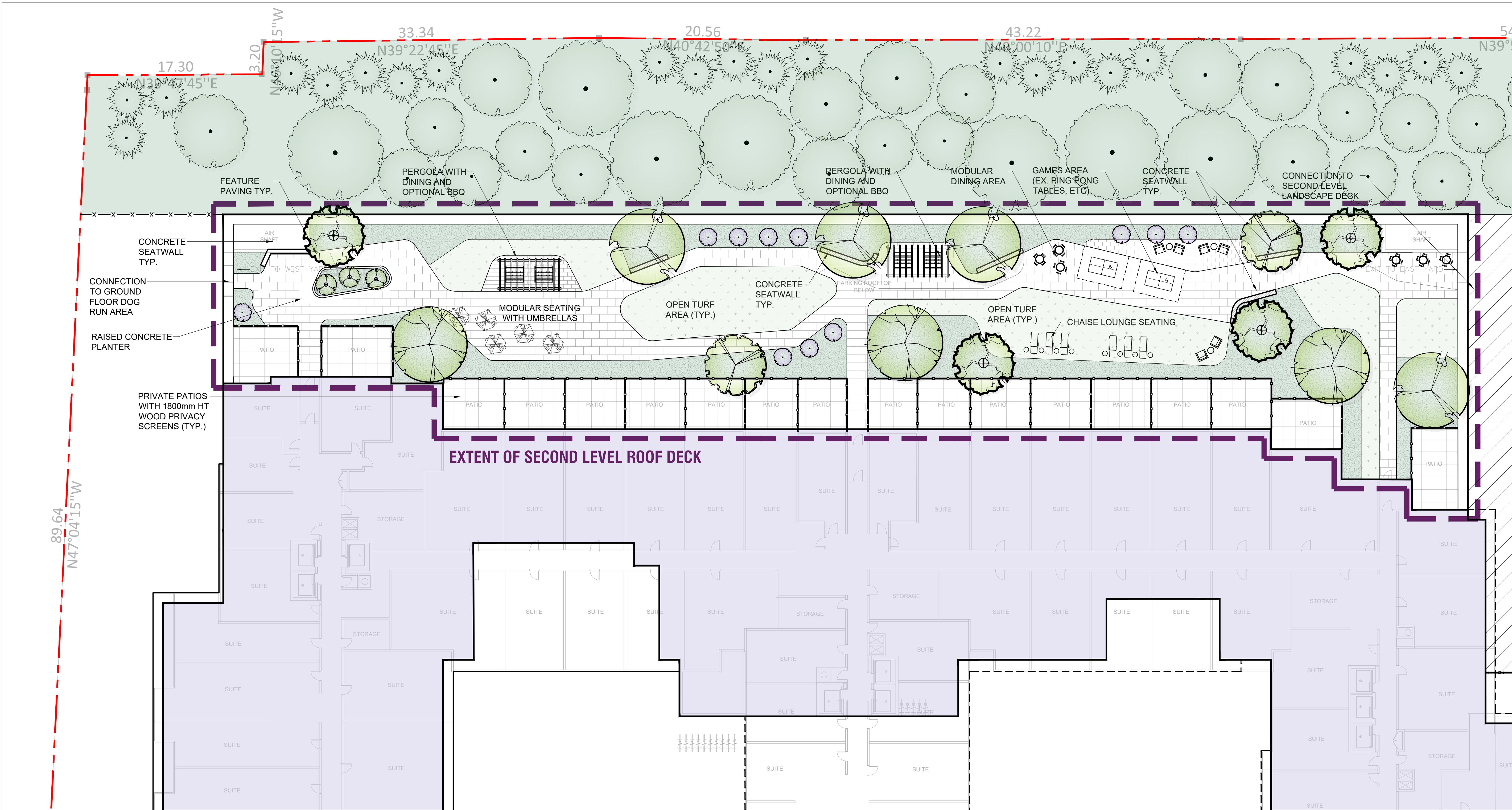
Prop. Chain Link Fence



Proposed Bike Ring



Plant Material Reference Key





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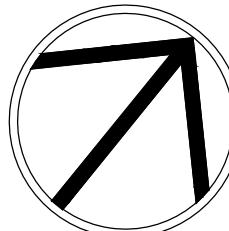
Municipality:




MISSISSAUGA

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North: 

Stamp: 

Project: **Proposed Residential Development**
69 & 117 John Street
Mississauga, Ontario

Scale: **1:200** Date: **April 2023**

Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title: **Second Level Landscape Deck**

Project No. **23120** Sheet No. **L3-01**

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Sign By-Law

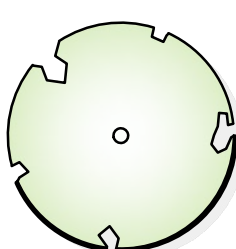
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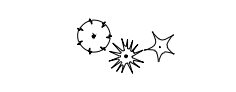
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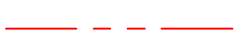
Legend



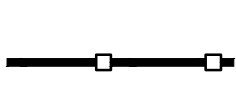
Proposed Deciduous Tree




Proposed Shrub/Perennial




Property Line




Prop. Wood Privacy Fence



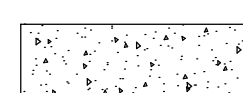
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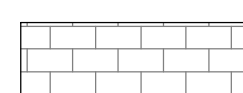
Prop. Planting Area



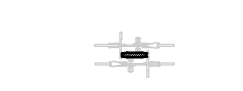
Proposed Sodded Area



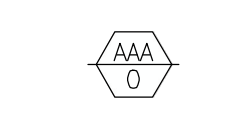
Prop. Concrete Paving Typ.



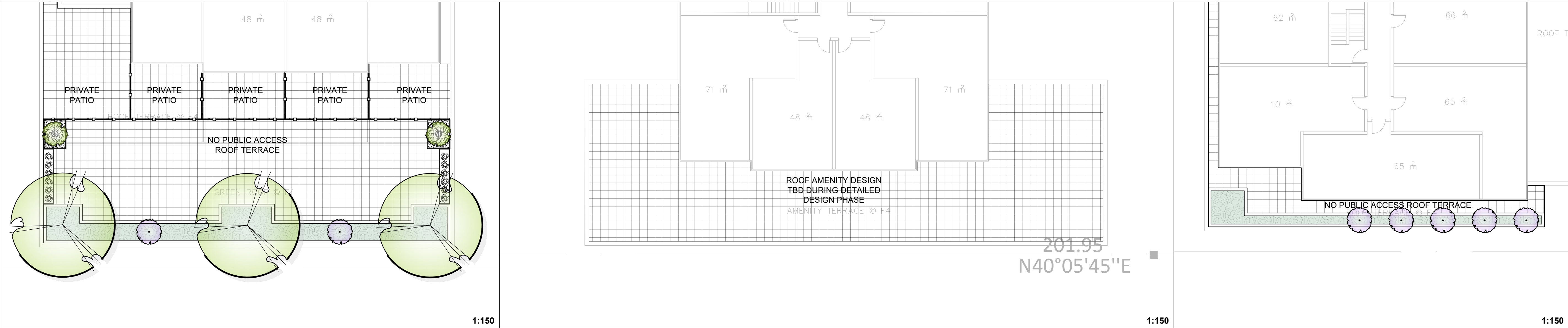
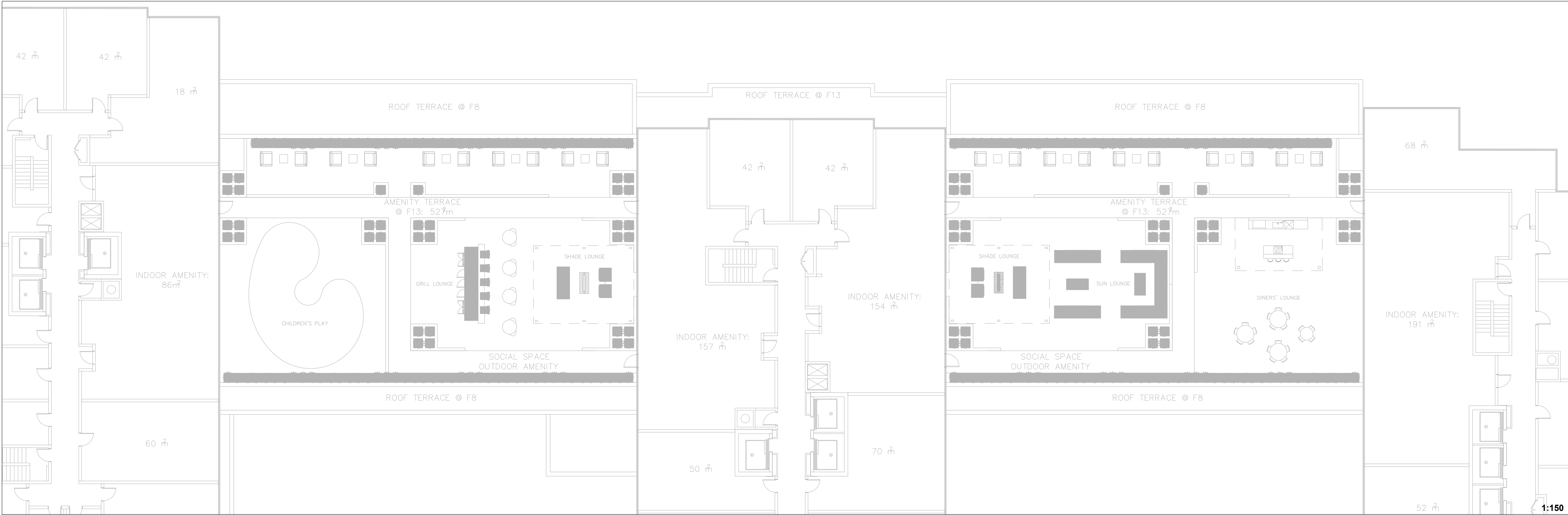
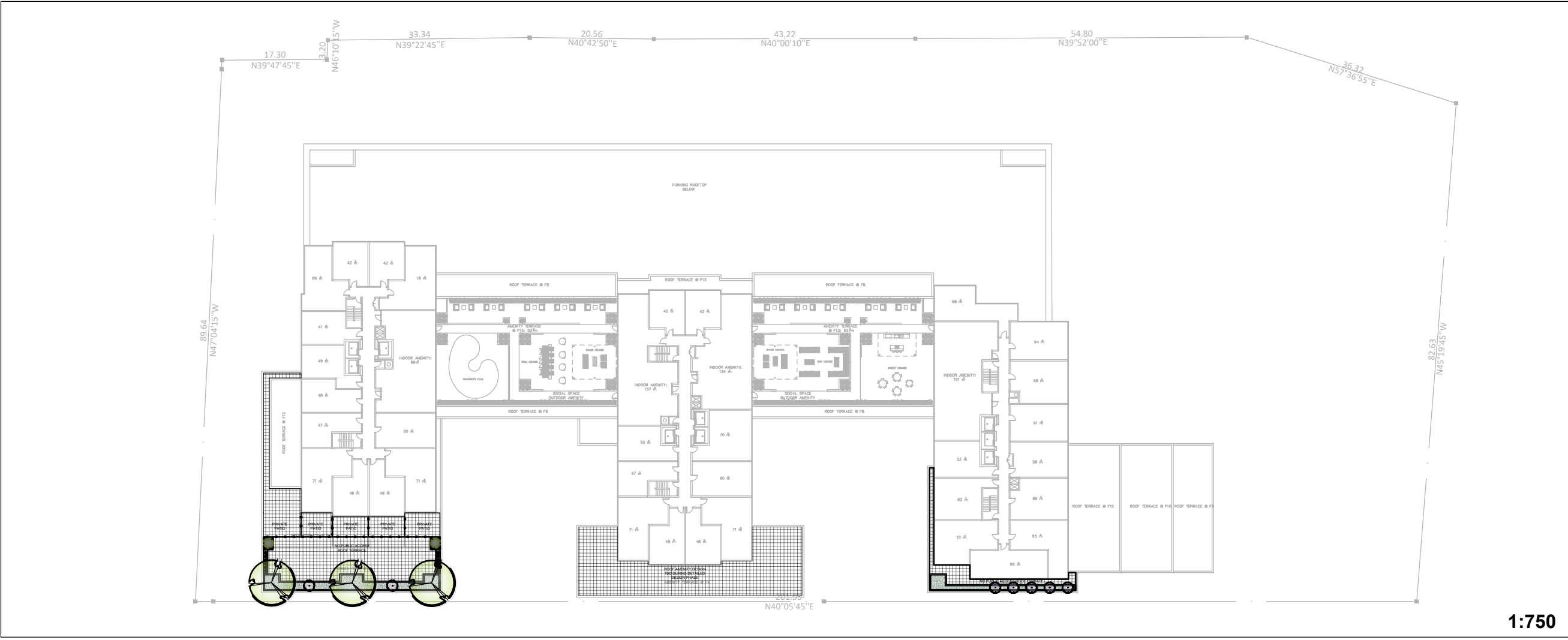
Prop. Unit Paving Type 2




Proposed Bike Ring



Plant Material Reference Key





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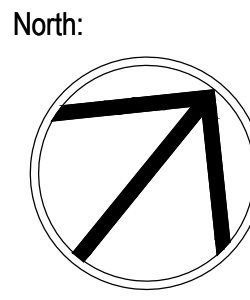


MISSISSAUGA

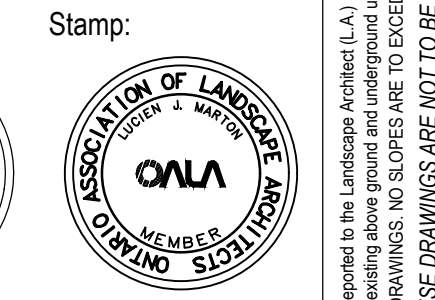
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Scale: **As Shown** Date: **April 2023**

Drawn By: **D.R.** Checked By: **L.M.**

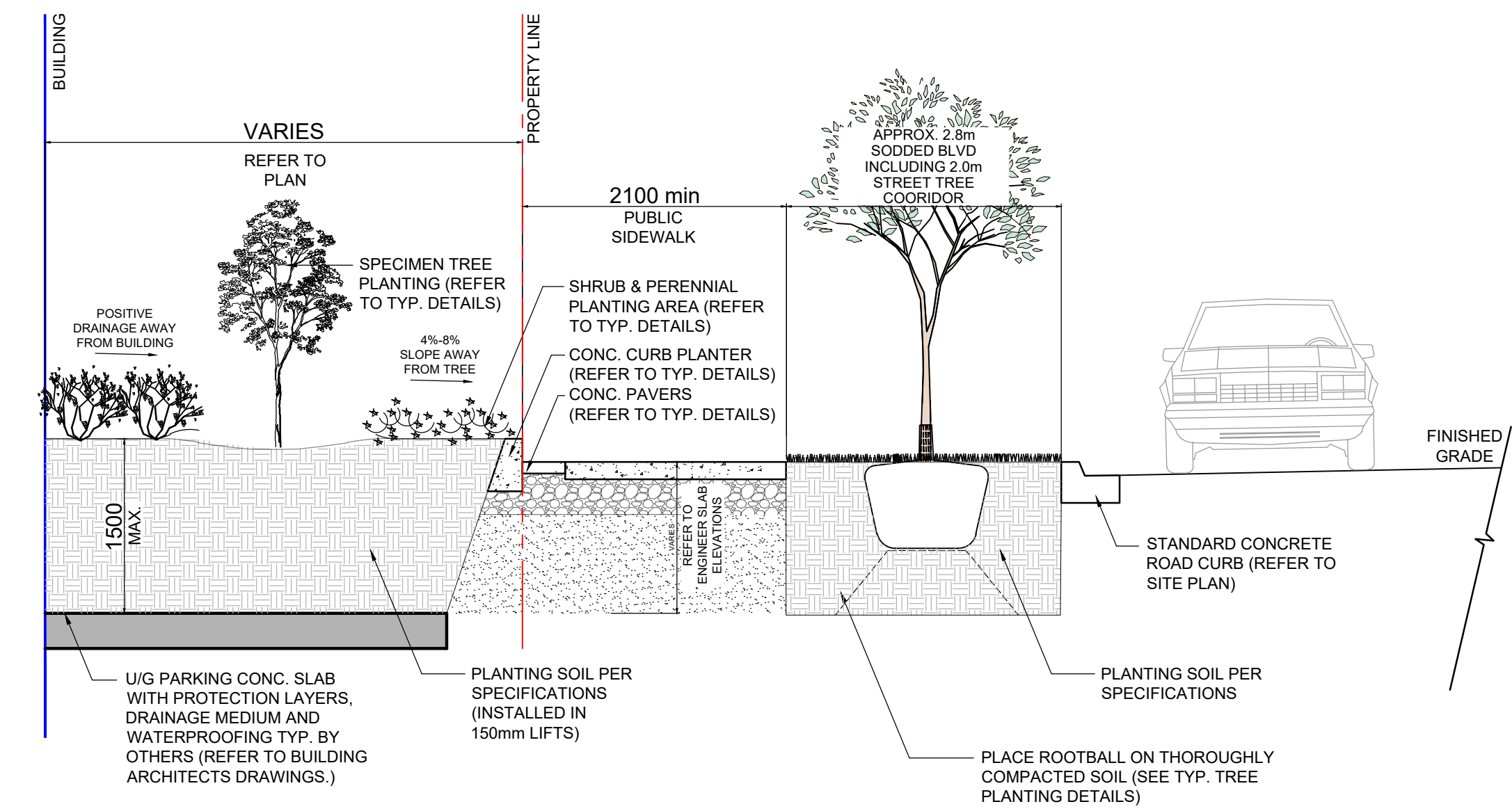
Drawing Title:

F4 & F13 Roof Amenity Concepts

Project No. **23120** Sheet No. **L4-01**

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REFER TO PLAN FOR LOCATION

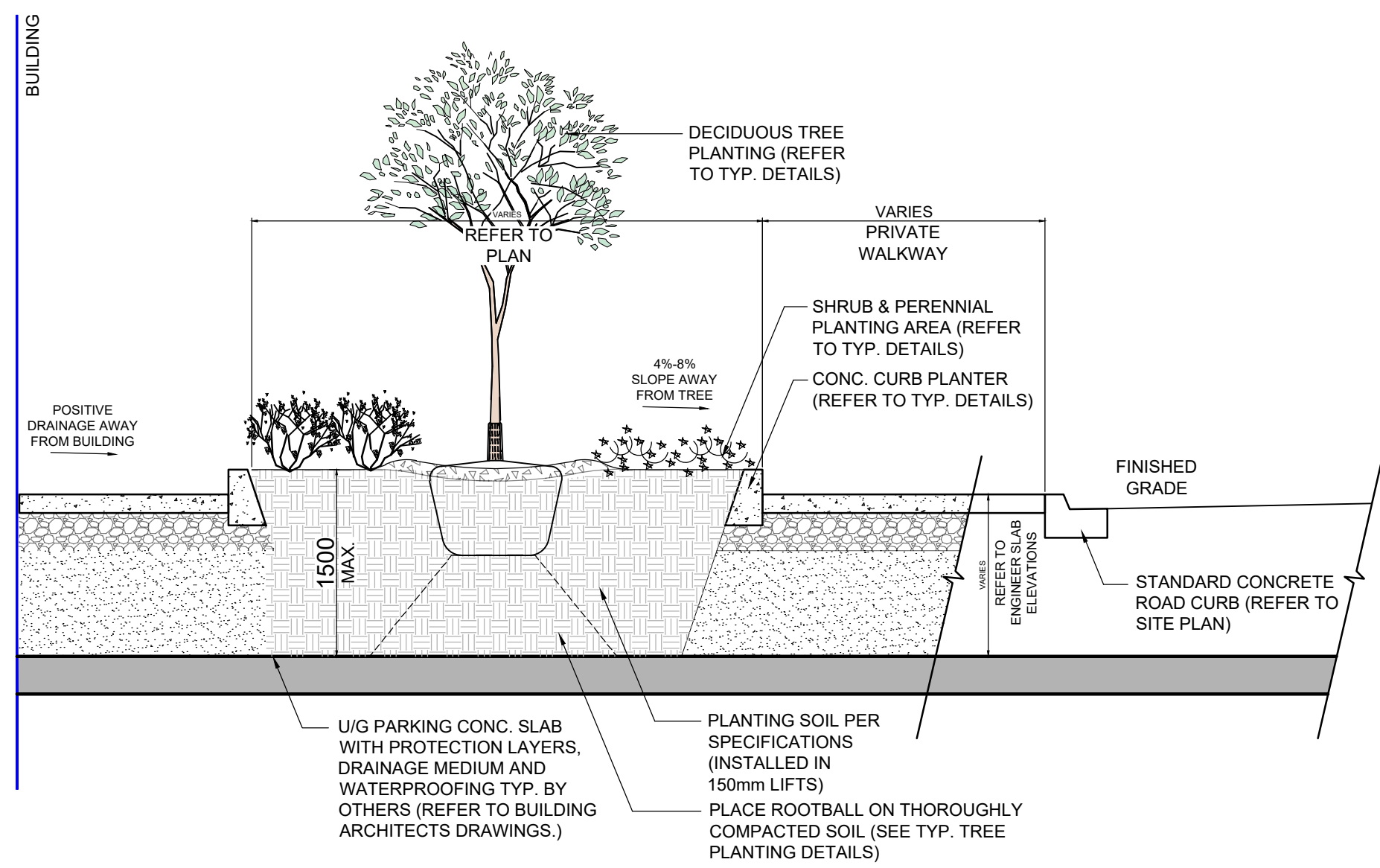


PLANTING SECTION - TYPICAL TREE PLANTING IN CURBED PLANTER, ADJACENT BUILDING, ON-SLAB

DATE:

A
LS-01

REFER TO PLAN FOR LOCATION

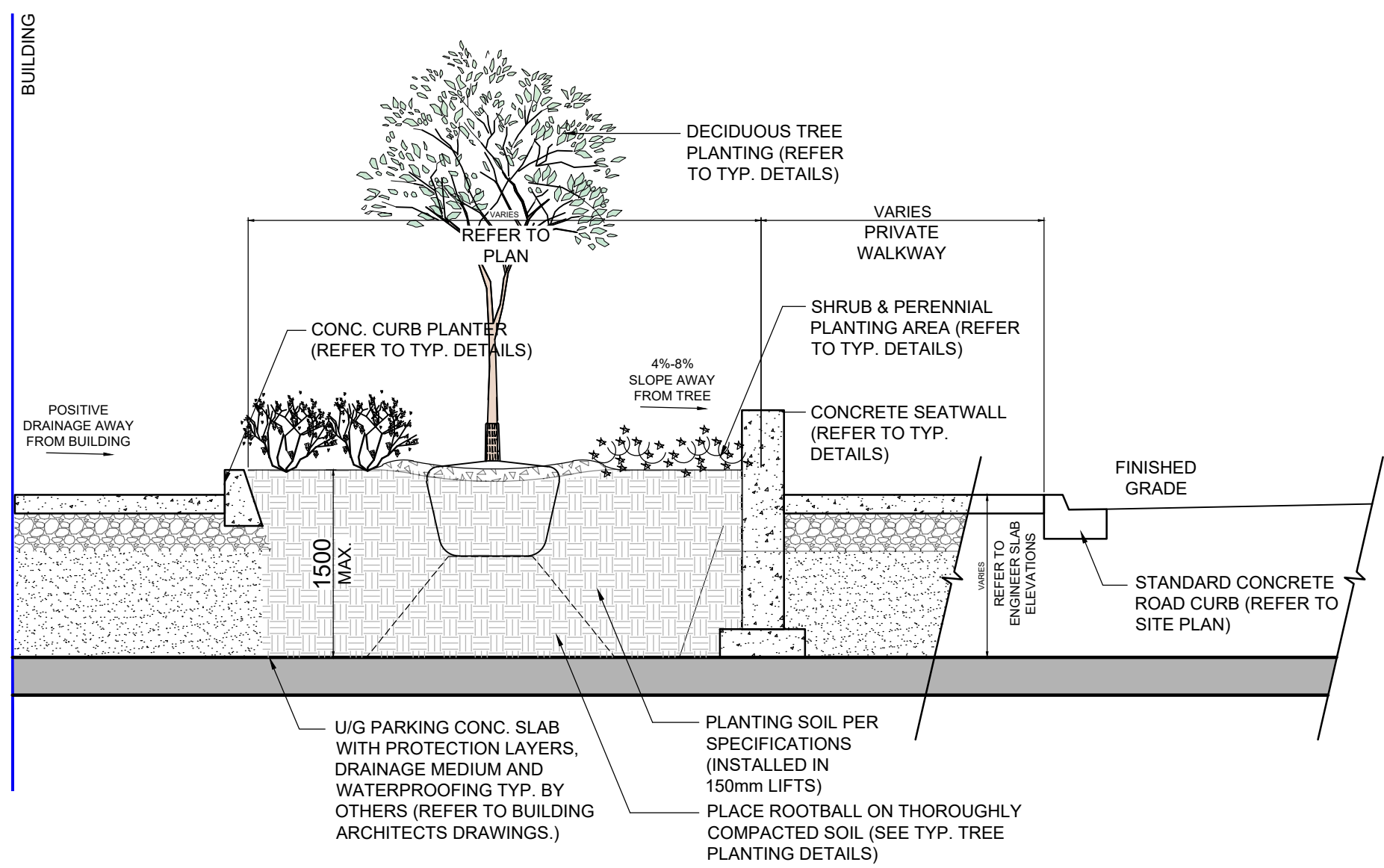


PLANTING SECTION - TYPICAL TREE PLANTING IN CURBED PLANTER, ON-SLAB

DATE:

B
LS-01

REFER TO PLAN FOR LOCATION



PLANTING SECTION - TYPICAL TREE PLANTING IN CURBED PLANTER, W/ SEATWALL, ON-SLAB

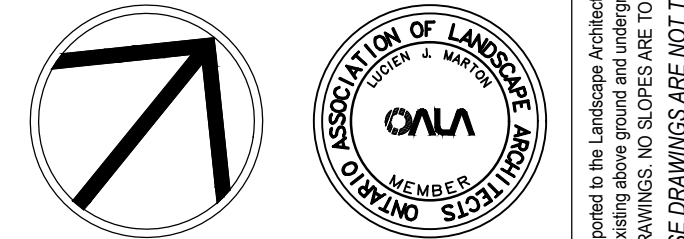
DATE:

C
LS-01

11	Issued for ZBA Sub 3	09/23/24
10	Issued for Review	08/20/24
09	Issued for Resubmission	04/26/24
08	Issued for Coordination	03/20/24
07	Issued for Coordination	02/06/24
06	Issued for Coordination	02/06/24
05	Issued for Resubmission	09/13/23
04	Issued for Coordination	08/17/23
03	Issued for ZBA Submission	06/27/23
02	Rev. per New Site Plan	06/19/23
01	Issued for Coordination	04/24/23

No. Revision Date

North: Stamp:



Project:
Proposed Residential Development
69 & 117 John Street
Mississauga, Ontario

Scale: 1:200 Date: April 2023

Drawn By: D.R. Checked By: L.M.

Drawing Title:

Draft Landscape Sections

Project No. 23120 Sheet No. LD-01

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