

**Stage 1 & 2 Archaeological Assessment for
42-46 Park Street East, and 23 Elizabeth Street,
Lot 8, North Side of Park Street, South Side of Queen Street, East of the
Credit River, Registered Plan PC-2,
Part of Port Credit Town Plot,
Township of Toronto South, Peel County,
City of Mississauga**



Prepared by

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Archaeological Consulting Licence P052
Project Information Number P052-1018-2020

THE ARCHAEOLOGISTS INC.

Original Report
Report Dated: May 7th, 2020

EXECUTIVE SUMMARY

The Archaeologists Inc. was contracted to conduct a Stage 1 & 2 Archaeological Assessment for 42-46 Park Street East, and 23 Elizabeth Street, Lot 8, North Side of Park Street, South Side of Queen Street, East of the Credit River, Registered Plan PC-2, Part of Port Credit Town Plot, Township of Toronto South, Peel County, City of Mississauga. The proponent is seeking to amend the City of Mississauga Zoning By-law and Official Plan to facilitate the redevelopment of the lands to include a 22-storey mixed use building. The archaeological assessment is required as part of the development application process and is being triggered by the Planning Act.

A Stage 1 background study of the subject property was conducted to provide information about the property's geography, history, previous archaeological fieldwork and current land condition in order to evaluate and document in detail the property's archaeological potential and to recommend appropriate strategies for Stage 2 survey. A Stage 2 property assessment was conducted to document all archaeological resources on the property, to determine whether the property contains archaeological resources requiring further assessment, and to recommend next steps. The characteristics of the property dictated that the Stage 2 survey be conducted by test pit survey.

The Stage 1 background study found that the subject property exhibits potential for the recovery of archaeological resources of cultural heritage value and concluded that the property requires a Stage 2 assessment. The Stage 2 property assessment, which consisted of a systematic test pit survey, did not result in the identification of archaeological resources.

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PROJECT PERSONNEL

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INTRODUCTION

The *Ontario Heritage Act*, R.S.O. 1990 c. O.18, requires anyone wishing to carry out archaeological fieldwork in Ontario to have a license from the Ministry of Tourism, Culture & Sport (MTCS). All licensees are to file a report with the MTCS containing details of the fieldwork that has been done for each project. Following standards and guidelines set out by the MTCS is a condition of a licence to conduct archaeological fieldwork in Ontario. *The Archaeologists Inc.* confirms that this report meets ministry report requirements as set out in the *2011 Standards and Guidelines for Consultant Archaeologists*, and is filed in fulfillment of the terms and conditions an archaeological license.

1.0 PROJECT CONTEXT (Section 7.5.5)

This section of the report will provide the context for the archaeological fieldwork, including the development, historical and archaeological context.

1.1 Development Context (Section 7.5.6, Standards 1-3)

Section 7.5.6, Standard 1

The Archaeologists Inc. was contracted to conduct a Stage 1 & 2 Archaeological Assessment for 42-46 Park Street East, and 23 Elizabeth Street, Lot 8, North Side of Park Street, South Side of Queen Street, East of the Credit River, Registered Plan PC-2, Part of Port Credit Town Plot, Township of Toronto South, Peel County, City of Mississauga. The proponent is seeking to amend the City of Mississauga Zoning By-law and Official Plan to facilitate the redevelopment of the lands to include a 22-storey mixed use building. The archaeological assessment is required as part of the development application process and is being triggered by the Planning Act.

Section 7.5.6, Standard 2

There is no additional development-related information relevant to understanding the choice of fieldwork strategy or recommendations made in the report.

Section 7.5.6, Standard 3

Permission to access the study area was given by the landowner and their representative.

1.2 Historical Context (Section 7.5.7, Standards 1-2)

Section 7.5.7, Standard 1

In advance of the Stage 2 assessment, a Stage 1 background study of the subject property was conducted in order to document the property archaeological and land use history and present condition. Several sources were referenced to determine if features or characteristics indicating archaeological potential for pre-contact and post-contact resources exist.



Characteristics indicating archaeological potential include the near-by presence of previously identified archaeological sites, primary and secondary water sources, features indicating past water sources, accessible or inaccessible shoreline, pockets of well-drained sandy soil, distinctive land formations that might have been special or spiritual places, such as waterfalls, rock outcrops, caverns, mounds, and promontories and their bases, resource areas, (including food or medicinal plants, scarce raw materials, early Euro-Canadian industry), areas of early Euro-Canadian settlement, early historical transportation routes, property listed on a municipal register or designated under the *Ontario Heritage Act* or that is a federal, provincial or municipal historic landmark or site, and property that local histories or informants have identified with possible archaeological sites, historical events, activities, or occupations.

Archaeological potential can be determined not to be present for either the entire property or a part of it when the area under consideration has been subject to extensive and deep land alterations that have severely damaged the integrity of any archaeological resources. This is commonly referred to as ‘disturbed’ or ‘disturbance’, and may include: quarrying, major landscaping involving grading below topsoil, building footprints, and sewage and infrastructure development. Archaeological potential is not removed where there is documented potential for deeply buried intact archaeological resources beneath land alterations, or where it cannot be clearly demonstrated through background research and property inspection that there has been complete and intensive disturbance of an area. Where complete disturbance cannot be demonstrated in Stage 1, it will be necessary to undertake Stage 2 assessment.

The background study determined that the following features or characteristics indicate archaeological potential for the subject property.

- The near-by presence of previously identified archaeological sites; while no sites are registered within the study area, 14 archaeological sites are registered within a one-kilometre radius of the subject property.
- The subject property is located in close proximity to the Credit River.
- The subject property is located within the Iroquois Plain physiographic region, which consists of well drained soils, favourable for both precontact and historic occupation.

According to the 1877 Historical Atlas of Peel County, the subject property is located in part of the Port Credit Town Plot, in the former Township of Toronto South. The subject property is located in close proximity to the Credit River, which is illustrated just west of the subject property. The Great Western Railway is located just north of the subject property.



It must be noted that not all features of interest today would have been considered within the scope of the Atlas at the time of publication. Nevertheless, the Atlas is considered one source for the assessment of archaeological potential. It can therefore be concluded based on the above features, that the study area has potential for the identification of potentially significant historical archaeological remains.

In summary, the Stage 1 background study indicates that there is potential for the recovery of pre-contact and post-contact Euro-Canadian archaeological resources within the subject property. As it cannot be clearly demonstrated through the background study that there has been complete and intensive disturbance of the area, archaeological potential is not removed. There are areas within the subject property that have the potential for the recovery of archaeological resources.

Section 7.5.7, Standard 2

The Stage 2 property assessment of the subject property will employ the strategy of test pit survey, following the standards listed in Section 2.1.2 of the *2011 Standards and Guidelines for Consultant Archaeologists*. This is the appropriate strategy based on Stage 1 background study. To our knowledge there are no other reports containing relevant background information related to this development project.

1.3 Archaeological Context (Section 7.5.8, Standards 1-7)

Section 7.5.8, Standard 1

In Ontario, information concerning archaeological sites is stored in the Ontario Archaeological Sites Database (O.A.S.D.), an inventory of the documented archaeological record in Ontario. Information on the known archaeological sites in the vicinity of the study area was obtained from the Ministry of Tourism, Culture & Sport archaeological sites database. According to MTCS, although there are no registered sites within the subject property, but there are 14 registered archaeological sites within a minimum one km distance. These are summarized in Table 1 below.

Table 1: List of Registered Archaeological Sites Within 1 km of the Subject Area			
Borden #	Site Name	Cultural Affiliation	Site Type
AjGv-9	Avonbridge	Archaic	Other-camp/campsite
AjGv-84	Kane	Post-Contact, Woodland	Unknown
AjGv-83	AjGv-083	Archaic, Late, Archaic, Middle, Woodland	Camp/campsite
AjGv-8	Eley	Archaic	Other-camp/campsite
AjGv-73	AjGv-73	Pre-Contact, Woodland, Middle	Scatter
AjGv-71	James Taylor		
AjGv-57		Other	Other-burial
AjGv-5	Glenburny	Pre-Contact	Other-camp/campsite



AjGv-32	Scott-O'Brien	Archaic, Middle, Woodland, Early, Woodland, Middle	
AjGv-13	Fort Toronto	Post-Contact	Village
AjGv-12	Pinewood Trail		
AjGv-11	Port Street		
AjGv-10	Stavebank		
AjGv-1	Hare	Archaic, Woodland, Middle	Other-camp/campsite

Section 7.5.8, Standard 2

The subject property is located at municipal addresses 42-46 Park Street East, and 23 Elizabeth Street. It is bound on the southeast by Part Street East, on the southwest by Elizabeth Street North, and on the northeast and northwest by residential apartment buildings. The subject property currently consists of multiple standing structures, areas of tarmac or concrete, and grassed and treed areas.

The subject property is located within the Iroquois Plain physiographic region. The Iroquois Plain physiographic region is the former bed of glacial Lake Iroquois (Chapman and Putnam 1984). In the Toronto area, the Lake Iroquois strand is situated approximately 4.5 km inland from the current Lake Ontario shore. Below the strand, the quaternary sediments are dominated by outwash sands typical of nearshore deposits. The balance of the plain, towards the modern lake shore, is dominated by fine sediments of silt and clay, typical of off-shore deposits, overlying till (Chapman and Putnam 1984).

Section 7.5.8, Standard 3

The Stage 2 archaeological fieldwork of the subject property was undertaken on April 17th, 2020 under favourable conditions for the assessment.

Section 7.5.8, Standard 4

No previous archaeological fieldwork has taken place within the limits of the project area. The Archaeologists Inc. is unaware of any previous archaeological fieldwork carried out immediately adjacent to the project area.

Section 7.5.8, Standard 5

We are unaware of previous findings and recommendations relevant to the current stage of work.

Section 7.5.8, Standard 6

There are no unusual physical features that may have affected fieldwork strategy decisions or the identification of artifacts or cultural features.

Section 7.5.8, Standard 7

There is no additional archaeological information that may be relevant to understanding the choice of fieldwork techniques or the recommendations of this report.



2.0 FIELD METHODS (Section 7.8.1, Standards 1-3)

This section of the report addresses Section 7.8.1 of the 2011 Standards and Guidelines for Consultant Archaeologists. It does not address Section 7.7.2 because no property inspection was done as a separate Stage 1.

Section 7.8.1, Standard 1

Portions of the property were not surveyed because of features of no or low archaeological potential due to previous disturbances. These disturbed areas, as discussed above, included the existing standing structures and the areas of tarmac or concrete. There are no other exemptions.

Section 7.8.1, Standard 2

As relevant, we provide detailed and explicit descriptions addressing Standards 2a and b.

Section 7.8.1, Standard 2a - The general standards for property survey under Section 2.1 of the 2011 Standards and Guidelines for Consultant Archaeologists were addressed as follows:

- Section 2.1, S1 – All of the subject property was assessed and surveyed (excluding the above noted exemptions), include lands immediately adjacent to built structures.
- Section 2.1, S2a (land of no or low potential due to physical features such as permanently wet areas, exposed bedrock, and steep slopes) – n/a
- Section 2.1, S2b (no or low potential due to extensive and deep land alterations) – As noted above, those areas including the existing structures and the areas of tarmac or concrete, were not surveyed as they were assessed as disturbed.
- Section 2.1, S2c (lands recommended not to require Stage 2 assessment by a previous Stage 1 report where the ministry has accepted that Stage 1 into the register) - n/a
- Section 2.1, S2d (lands designated for forest management activity w/o potential for impacts to archaeological sites, as determined through Stage 1 forest management plans process) - n/a
- Section 2.1, S2e (lands formally prohibited from alterations) - n/a
- Section 2.1, S2f (lands confirmed to be transferred to a public land holding body, etc) - n/a
- Section 2.1, S3 - The Stage 2 survey was conducted when weather and lighting conditions permitted excellent visibility of features.
- Section 2.1, S4 - No GPS recordings were taken as no artifacts were found during the Stage 2 assessment.
- Section 2.1, S5 - All field activities were mapped in reference to either fixed landmarks, survey stakes and development markers as appropriate. See report section 9.0 *Maps*.



- Section 2.1, S6 - See report section 8.0 *Images* for photo documentation of examples of field conditions encountered.
- Section 2.1, S7 - n/a

Section 7.8.1, Standard 2b -The subject property was subject to a systematic test pit survey appropriate to the characteristics of the property, except for those portions assessed as disturbed, as noted above. Disturbed areas were not surveyed due to no or low archaeological potential.

The test pit survey of the property followed the standards within Section 2.1.2 of the *2011 Standards and Guidelines for Consultant Archaeologists*. Test pit survey was only conducted where ploughing was not possible or viable, as per Standard 1. Test pits were spaced at maximum intervals of five metres and to within one metre of built structures, when present, or until test pits show evidence of recent ground disturbance. All test pits were at least 30 cm in diameter. Each test pit was excavated by hand, into the first five cm of subsoil and examined for stratigraphy, cultural features, or evidence of fill. No stratigraphy or cultural features were noted. Soils were screened through 6mm mesh. All test pits were backfilled.

Section 7.8.1, Standard 2c - All areas of the subject property exhibiting moderate to high archaeological potential were surveyed at five metre intervals.

Section 7.8.1, Standard 3

A total of approximately 50% of the subject property was subject to a systematic test pit survey at 5 metre intervals. The remaining approximately 50% was assessed as disturbed and was not surveyed.



3.0 RECORD OF FINDS (Section 7.8.2, Standards 1-3)

This section documents all finds discovered as a result of the Stage 1 and 2 archaeological assessment of the subject property.

Section 7.8.2, Standard 1

No archaeological resources or sites were identified in the Stage 2.

Section 7.8.2, Standard 2

An inventory of the documentary record generated in the field is provided in Table 2.

Table 2: Inventory of Documentary Record	
Document Type	Description
Field Notes	<ul style="list-style-type: none">• This report constitutes the field notes for this project
Photographs	<ul style="list-style-type: none">• 13 digital photographs
Maps	<ul style="list-style-type: none">• Figures in this report represent all the maps generated in the field.

Section 7.8.2, Standard 3

Information detailing exact site locations on the property is not submitted because no sites or archaeological resources were identified in the Stage 2 assessment.

4.0 ANALYSIS AND CONCLUSIONS (Section 7.8.3, Standards 1-2)

Section 7.8.3, Standard 1

No archaeological sites were identified. Standard 2 is not addressed because no sites were identified.



5.0 RECOMMENDATIONS (Section 7.8.4, Standards 1-3)

Section 7.8.4, Standard 1

This standard is not applicable as no sites were identified.

Section 7.8.4, Standard 2

The report makes recommendations only regarding archaeological matters.

Section 7.8.4, Standard 3

The Stage 2 survey did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is recommended that no further archaeological assessment of the property be required.



6.0 ADVICE ON COMPLIANCE WITH LEGISLATION (Section 7.5.9, Standards 1-2)

Section 7.5.9, Standard 1a

This report is submitted to the Minister of Tourism and Culture as a condition of licensing in accordance with Part VI of the *Ontario Heritage Act*, R.S.O. 1990, c 0.18. The report is reviewed to ensure that it complies with the standards and guidelines that are issued by the Minister, and that the archaeological fieldwork and report recommendations ensure the conservation, protection and preservation of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the Ministry of Tourism and Culture, a letter will be issued by the ministry stating that there are no further concerns with regard to alterations to archaeological sites by the proposed development.

Section 7.5.9, Standard 1b

It is an offence under Sections 48 and 69 of the *Ontario Heritage Act* for any party other than a licensed archaeologist to make any alteration to a known archaeological site or to remove any artifact or other physical evidence of past human use or activity from the site, until such time as a licensed archaeologist has completed archaeological fieldwork on the site, submitted a report to the Minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeological Reports referred to in Section 65.1 of the *Ontario Heritage Act*.

Section 7.5.9, Standard 1c

Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and therefore subject to Section 48 (1) of the *Ontario Heritage Act*. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed consultant archaeologist to carry out archaeological fieldwork, in compliance with Section 48 (1) of the *Ontario Heritage Act*.

Section 7.5.9, Standard 1d

The *Cemeteries Act*, R.S.O. 1990 c. C.4 and the *Funeral, Burial and Cremation Services Act*, 2002, S.O. 2002, c.33 (when proclaimed in force) require that any person discovering human remains must notify the police or coroner and the Registrar of Cemeteries at the Ministry of Consumer Services.

Section 7.5.9, Standard 2

Not applicable



7.0 BIBLIOGRAPHY AND SOURCES (Section 7.5.10, Standards 1)

Chapman, L.J. and F. Putnam

1984 *The Physiography of Southern Ontario, Ontario Geological Survey Special Volume 2*. Toronto: Government of Ontario, Ministry of Natural Resources.

Ministry of Tourism and Culture

2011 Standards and Guidelines for Consultant Archaeologists.

Walker and Miles

1877 *Historical Atlas of Peel County*. Published by Walker and Miles, Toronto.

Websites

<http://www.mississauga.ca/portal/discover/heritagedesignatedproperties>



8.0 IMAGES (Sections 7.5.11, 7.8.5)



Plate 1 Shows conditions for test pit survey.



Plate 2 Shows conditions for test pit survey.



Plate 3 Shows conditions for test pit survey



Plate 4 Shows area of tarmac or concrete and standing structures.





Plate 5 Shows conditions of subject property.



Plate 6 Shows conditions for test pit survey.





Plate 7 Shows conditions of subject property.



Plate 8 Shows area of tarmac and standing structures.





Plate 9 Shows area of subject property.



Plate 10 Shows area of subject property.



Plate 11 Shows area of tarmac or concrete and standing structure.



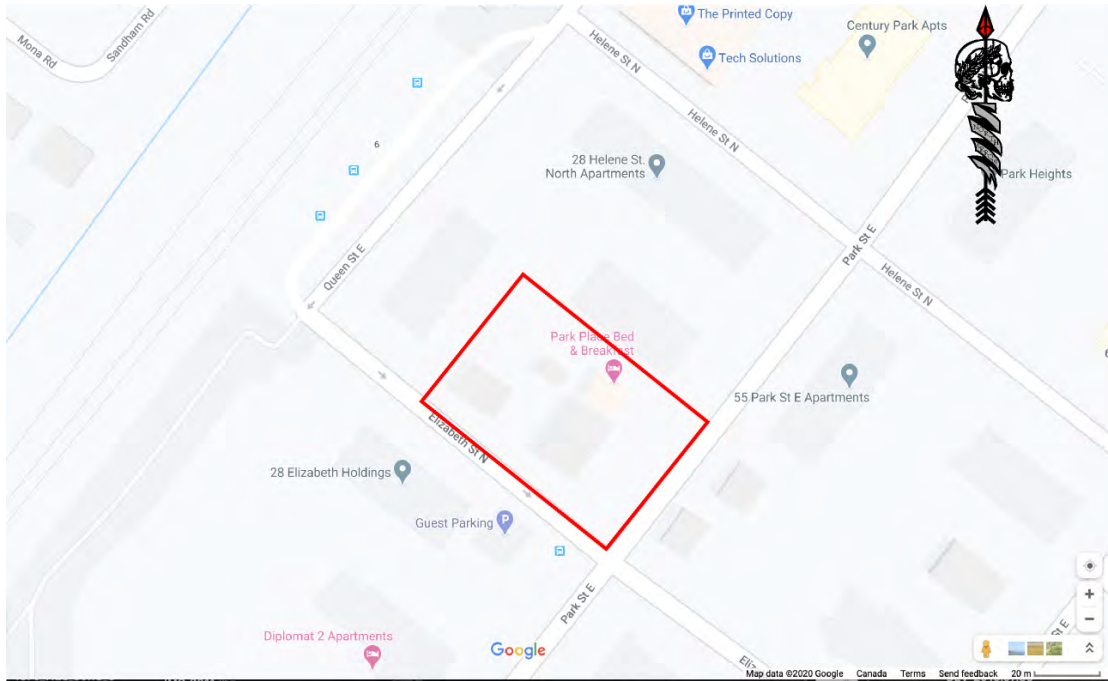
Plate 12 Shows conditions of subject property.





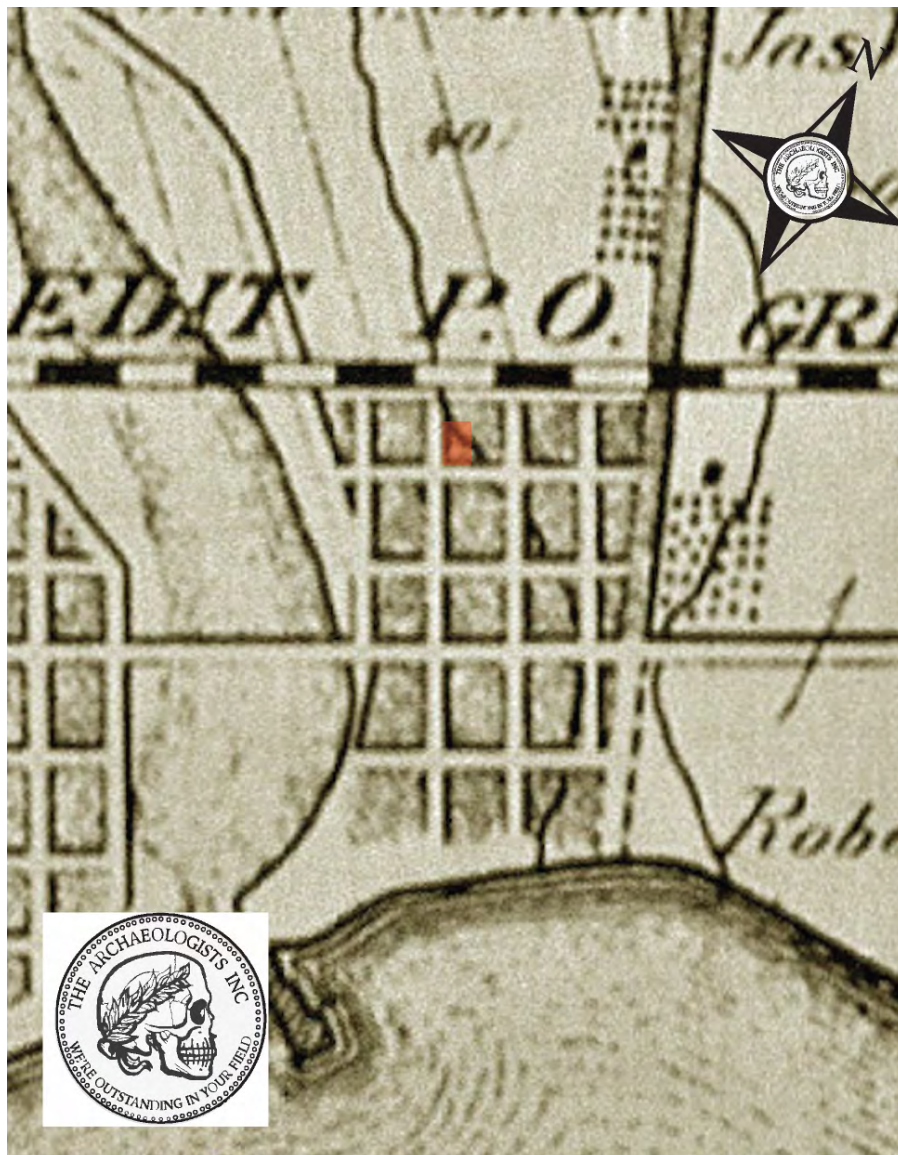
Plate 13 Shows conditions for test pit survey.

9.0 MAPS (Section 7.5.12, 7.8.6)



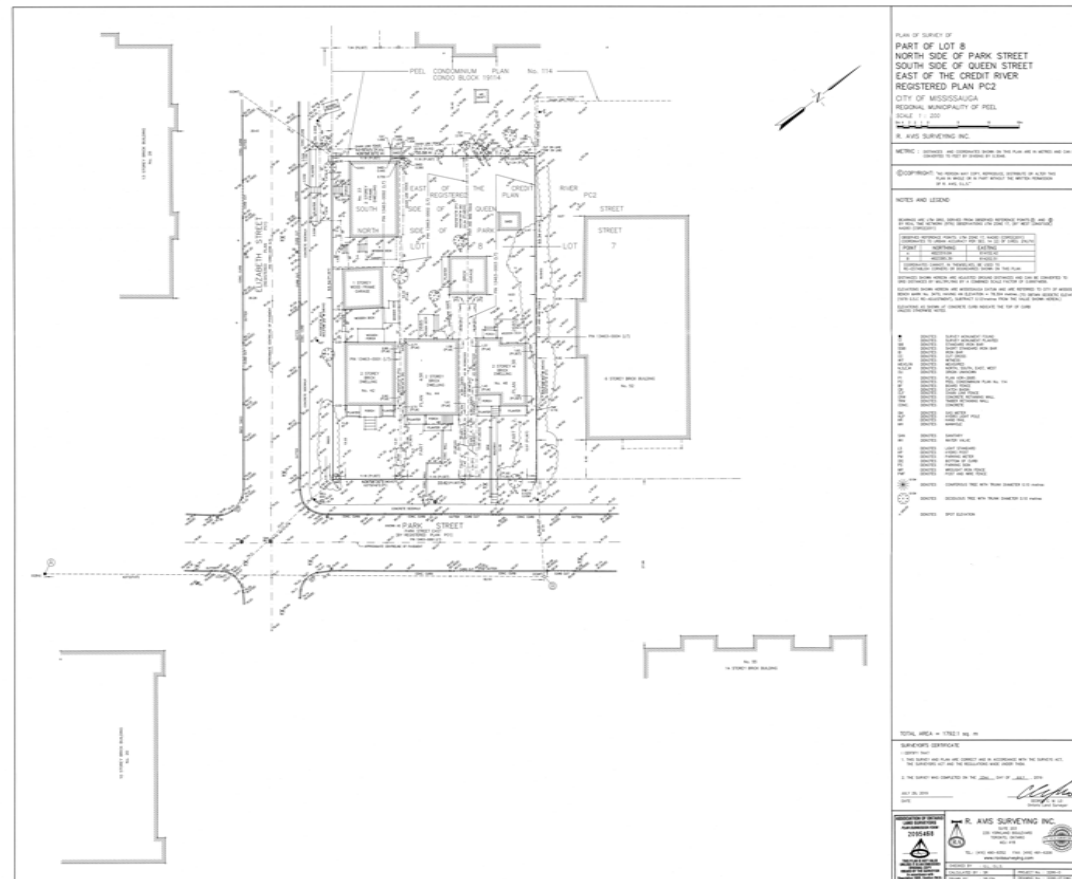
Map 1 General location of subject property.





Map 2 Approximate location of subject property (overlaid in red) on 1877 Illustrated Atlas.





Map 3 Clear copy of mapping provided by proponent.

