

22 May 2026

SmartCentres REIT  
3200 Highway 7, Vaughan, ON, L4K5Z5  
Attn: Daniel Orellana

**1225 Dundas Street E (CPP#18913)**  
Pedestrian Wind Assessment – Letter of Opinion

## Project Background

Cermak Peterka Petersen (CPP) was requested by SmartCentres REIT to provide our professional opinion regarding the impact of the updated design of the proposed 1225 Dundas Street E in Mississauga, Ontario to support the forthcoming OPA / ZBA application.

CPP's Letter of Opinion is informed by the results of the two previous quantitative wind tunnel studies undertaken by CPP (findings summarized in the Pedestrian Wind Assessment reports dated 15 December 2022 and 15 March 2024) and supplements the previous Mitigation Opinion Letter issued 16 July 2025 which outlined several positive wind mitigation features incorporated by the design team.

It is CPP's understanding that the project design has been revised since the previous wind tunnel assessments and opinion letter, including a reduction in overall building height relative to the most recently tested scheme, resulting in a 16-storey development atop a shared 10-storey podium. The current project configuration is lower than the latest tested iteration but remains taller than the earlier scheme, and therefore represents an intermediate configuration between the two. Figure 2 provides a comparison of the three different massing options.

## Wind Tunnel Test Results

The wind tunnel assessments (Pedestrian Wind Assessment reports dated 28 June 2022 and 27 September 2024) identified areas of elevated wind activity at several locations surrounding the project site, particularly associated with the taller building scheme which resulted in several localized areas predicted to exceed the wind safety criterion. These conditions are primarily driven by downwash and corner acceleration effects associated with the building geometry and relatively exposed project location.

Although areas of increased wind activity are anticipated (relative to the existing site), the predicted wind conditions are consistent with the wind climate for the Mississauga area where conditions categorized Uncomfortable are not uncommon during the winter.

## Description of Updated Building Design

The updated building design reflects a refinement of the previously assessed schemes, with modifications primarily related to overall building height. However, the latest design has also incorporated several wind mitigation features including:

- A series of integrated overhead canopies along Dundas Street;
- A large canopy on the west side of the main corridor where the main entrances are located;
- A large canopy along the north façade;
- Corner-wrapping canopies above the western and southern building corners;
- Wind screens between the Townhome units; and,
- Wind screens within the central corridor near the main entrances.

These features are identified in the latest site plan provided to CPP on 15 May 2026 and are highlighted below for reference purposes, where screens are shown in red and canopies are shown in purple.

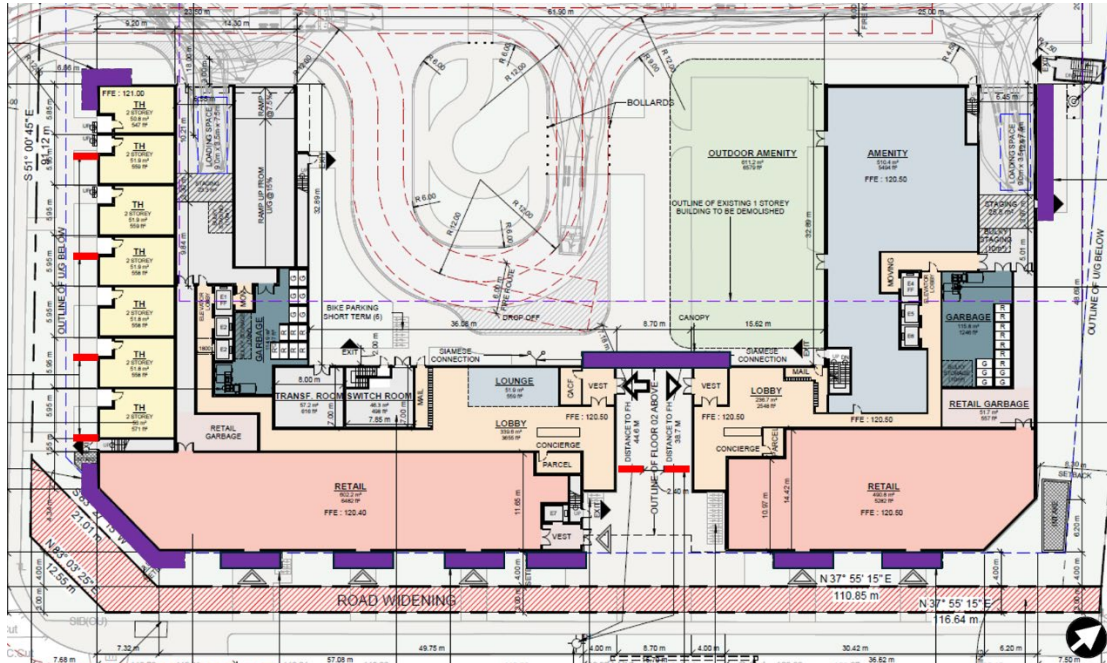


Figure 1: Latest site plan provided to CPP on 15 May 2026 (Drawing A151)

From a massing perspective, the updated design is understood to fall between the two tested schemes in terms of overall height and scale. The 2022 study evaluated a shorter building form (12-storey), while the subsequent 2024 study considered a taller configuration (18-storey). The current proposal adopts an intermediate height at 16-storeys.

Aside from the adjustment in height, the overall building footprint and street-level interface are understood to remain generally consistent with the previously tested configurations. As such, the primary distinction between the schemes is the relative change in building height, with the current scheme additionally incorporating several targeted wind mitigation measures.

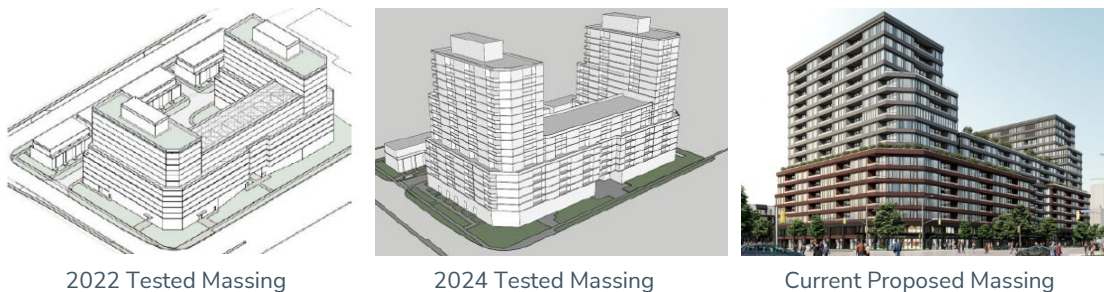


Figure 2: Comparison of previously tested and updated building massing configurations, illustrating the relative differences in overall height and form

## Anticipated Wind Conditions

Based on the results of the previously completed wind tunnel studies and CPP's experience, the pedestrian-level wind conditions associated with the updated building design are expected to generally fall between those predicted for the two previously assessed configurations. While the current massing is taller than the original scheme, it remains lower than the most recently tested configuration and incorporates several additional wind mitigation features that are expected to provide localized improvements to wind conditions near sensitive pedestrian areas.

## Closing

It is CPP's opinion that, based on the results of the previous wind tunnel studies and our experience, the updated 16-storey building design is not expected to materially alter pedestrian-level wind conditions from those previously assessed. However, since the last round of wind tunnel testing, the design team has implemented several positive wind mitigation features to address areas of high wind activity which are expected to improve wind conditions.

Additional wind tunnel testing will be conducted during the Site Plan Approval (SPA) and detailed design stages to validate and optimize the effectiveness of the wind mitigation strategies.

We trust this satisfies your requirements for the project. Should you have any questions or require additional information, please do not hesitate to contact us.

With best regards,



Chris Oreskovic, M.E.Sc., P.Eng.  
Senior Engineer



Timothy Wiechers, M.Sc.  
Senior Scientist