

A By-law to amend By-law 0225-2007, as amended.

WHEREAS pursuant to section 34 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, the Council may amend a Zoning By-law;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. By-law 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

4.15.1.XX	Exception: RA3-XX	Map # 10	By-law:
In a RA3-XX zone the permitted uses and applicable regulations shall be as specified for a RA3 Zone except that the following uses /regulations shall apply:			
Additional Permitted Uses			
4.15.1.XX.1	(1) townhouse (2) back to back townhouse (3) office (4) medical office (5) retail store (6) financial institution (7) personal service establishment (8) restaurant (9) take out restaurant (10) veterinary clinic		
Regulations			
4.15.1.XX.2	The regulations of Subsection 2.1.14, Article 2.1.30.1 and Lines 13.2 and 15.2 contained in Table 4.15.1 of this By-law shall not apply		
4.15.1.XX.3	Maximum floor space index – apartment zone	3.6	
4.15.1.XX.4	Minimum number of resident parking spaces per dwelling unit	0.4	
4.15.1.XX.5	Minimum number of visitor parking spaces per dwelling unit	0.1	
4.15.1.XX.6	All site development plans shall comply with Schedule RA3-XX of this Exception		

2. Map Number 10 of Schedule “B” to By-law 0225-2007, as amended, being the City of Mississauga Zoning By-law, is amended by changing thereon from “C3” to ““RA3-XX” PROVIDED HOWEVER THAT the “RA3-XX” zoning shall only apply to the lands which are shown on the attached Schedule “A” outlined in the heaviest broken line with the “RA3-XX” zoning indicated thereon.

ENACTED and PASSED this _____ day of _____ 2026.

Mayor

Clerk

APPENDIX “A” TO BY-LAW NO. _____

Explanation of the Purpose and Effect of the By-law

The purpose of this By-law is to permit thirty four back to back townhouse units fronting onto a condominium road and Dundix Road and a twelve storey apartment building fronting onto Dundas Street East.

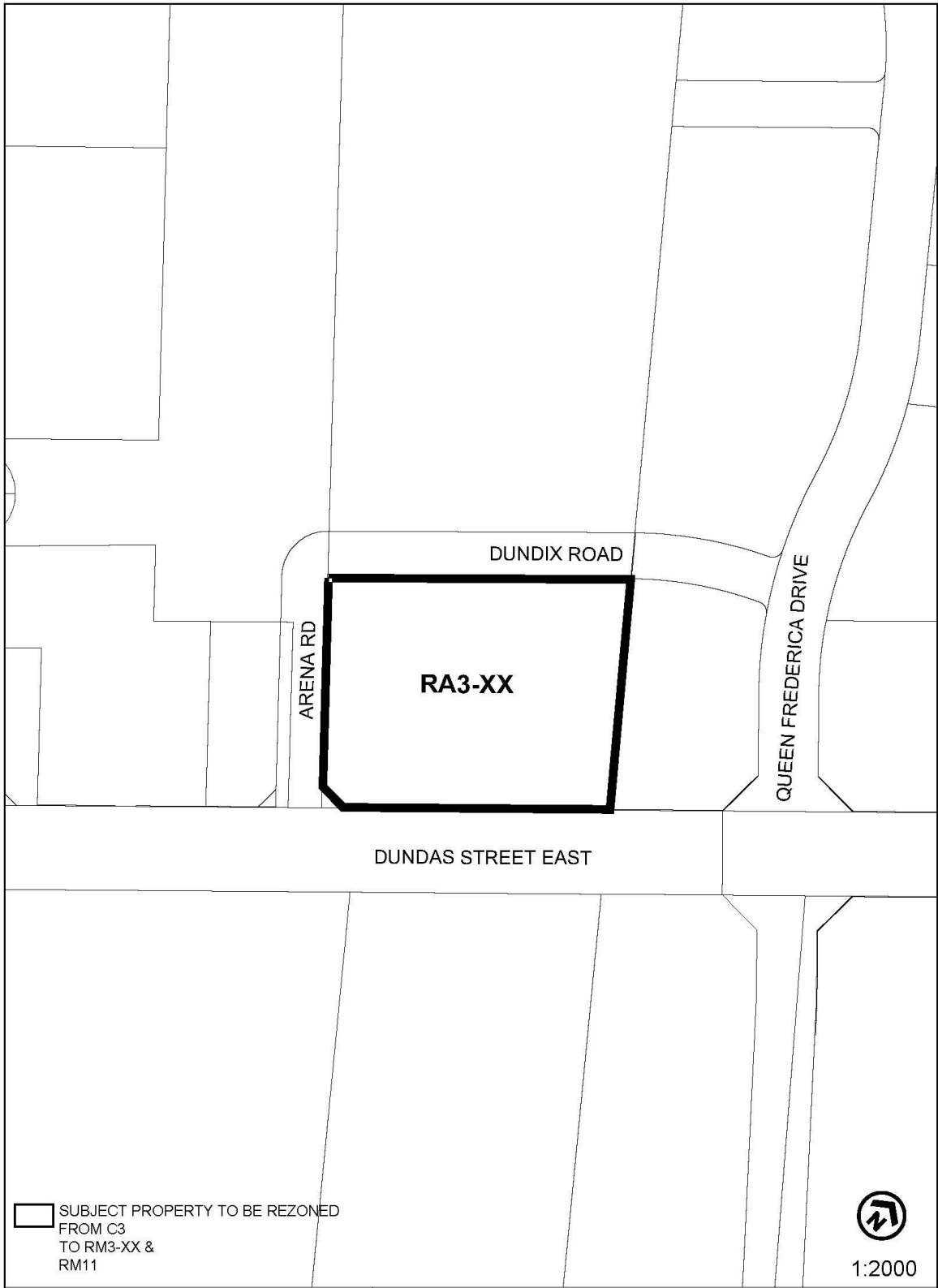
This By-law amends the zoning of the property outlined on the attached Schedule “A” from “C3” to “RA3-XX”.

The “RA3-XX” zone a twelve storey apartment building fronting onto Dundas Street East with a maximum floor space index of 3.75, subject to regulations with respect to uses, height, setbacks, parking, and landscaping.

Location of Lands Affected

Property on the north east corner of Arena Road and Dundas Street East as shown on the attached Map designated as Schedule “A”.

Further information regarding this By-law may be obtained from XXXXXX of the City Planning and Building Staff at (905) 615-3200 x XXXX.



LOCATION:
 1225 DUNDAS STREET EAST,
 CITY OF MISSISSAUGA,
 REGIONAL MUNICIPALITY OF PEEL

THIS IS SCHEDULE 'A'
TO BY-LAW AMENDMENT _____
 PASSED THE ___ DAY OF ____, 2022.

SIGNING OFFICERS

 MAYOR

 CLERK