

**Stage 3 Site-Specific Archaeological Assessment for  
42 – 46 Park Street, and 23 Elizabeth Street,  
Lot 8, North Side of Park Street,  
South Side of Queen Street, East of the Credit River,  
Registered Plan PC-2, Part of Port Credit Town Plot,  
Township of Toronto South, Peel County, City of Mississauga**



Prepared by

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Archaeological Consulting Licence P124  
Project Information Number P124-0148-2022

**THE ARCHAEOLOGISTS INC.**

Original Report  
Report Dated: September 19<sup>th</sup>, 2022

## EXECUTIVE SUMMARY

The Archaeologists Inc. was contracted to conduct a Stage 3 Site-Specific Archaeological Assessment for 42 – 46 Park Street, and 23 Elizabeth Street, Lot 8, North Side of Park Street, South Side of Queen Street, East of the Credit River, Registered Plan PC-2, Part of Port Credit Town Plot, Township of Toronto South, Peel County, City of Mississauga. The proponent is seeking to amend the City of Mississauga Zoning By-law to facilitate the redevelopment of the lands to include a 22-storey mixed use building. The archaeological assessment is required as part of the development application process and is being triggered by the Planning Act.

The Stage 1 background study found that the subject property exhibits potential for the recovery of archaeological resources of cultural heritage value and concluded that the property requires a Stage 2 assessment. The Stage 2 property assessment, which consisted of a systematic test pit survey, did not result in the identification of archaeological resources. However, a large concrete pad is located in front of and between 44 and 46 Park Street East. Given that this is in the historic area of Port Credit, there is potential for deeply buried resources under the concrete pad. Therefore, the report recommended that a Stage 3 assessment, consisting of a single test trench, be conducted in the area of the concrete pad on the subject property.

The Stage 3 archaeological assessment consisted of the excavation of a single test trench measuring 4 metres north/south and 1.5 metres in width. No archaeological resources were identified. Therefore, the report recommends that no further archaeological assessment of the property is required.

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## PROJECT PERSONNEL

Project/Field Director:

Mr. Norbert Stanchly

Field Archaeologists

Mr. T. Keith Powers (P052)

Mr. Barclay Powers

Mr. John Ellis

Mr. Sam Felipe

Report Preparation:

Mrs. Susan Dyer

Mr. Norbert Stanchly

Graphics

Mrs. Karen Powers

## **INTRODUCTION**

The *Ontario Heritage Act*, R.S.O. 1990 c. O.18, requires anyone wishing to carry out archaeological fieldwork in Ontario to have a license from the Ministry of Tourism, Culture & Sport (MTCS). All licensees are to file a report with the MTCS containing details of the fieldwork that has been done for each project. Following standards and guidelines set out by the MTCS is a condition of a licence to conduct archaeological fieldwork in Ontario. *The Archaeologists Inc.* confirms that this report meets ministry report requirements as set out in the *2011 Standards and Guidelines for Consultant Archaeologists* and is filed in fulfillment of the terms and conditions an archaeological license.

### **1.0 PROJECT CONTEXT**

This section of the report will provide the context for the archaeological fieldwork, including the development, historical and archaeological context.

#### **1.1 Development Context**

##### ***Section 7.5.6, Standard 1***

The Archaeologists Inc. was contracted to conduct a Stage 3 Site-Specific Archaeological Assessment for 42 – 46 Park Street, and 23 Elizabeth Street, Lot 8, North Side of Park Street, South Side of Queen Street, East of the Credit River, Registered Plan PC-2, Part of Port Credit Town Plot, Township of Toronto South, Peel County, City of Mississauga. The proponent is seeking to amend the City of Mississauga Zoning By-law to facilitate the redevelopment of the lands to include a 22-storey mixed use building. The archaeological assessment is required as part of the development application process and is being triggered by the Planning Act.

##### ***Section 7.5.6, Standard 2***

There is no additional development-related information relevant to understanding the choice of fieldwork strategy or recommendations made in the report.

##### ***Section 7.5.6, Standard 3***

Permission to access the study area was given by the landowner and their representative. However, no property inspection was undertaken.

#### **1.2 Historical Context**

##### ***Section 7.5.7, Standard 1***

In advance of the Stage 3 assessment, a Stage 1 background study of the subject property was conducted in order to document the property archaeological and land use history and present condition. Several sources were referenced to determine if features or

characteristics indicating archaeological potential for pre-contact and post-contact resources exist.

Characteristics indicating archaeological potential include the near-by presence of previously identified archaeological sites, primary and secondary water sources, features indicating past water sources, accessible or inaccessible shoreline, pockets of well-drained sandy soil, distinctive land formations that might have been special or spiritual places, such as waterfalls, rock outcrops, caverns, mounds, and promontories and their bases, resource areas, (including food or medicinal plants, scarce raw materials, early Euro-Canadian industry), areas of early Euro-Canadian settlement, early historical transportation routes, property listed on a municipal register or designated under the *Ontario Heritage Act* or that is a federal, provincial or municipal historic landmark or site, and property that local histories or informants have identified with possible archaeological sites, historical events, activities, or occupations.

Archaeological potential can be determined not to be present for either the entire property or a part of it when the area under consideration has been subject to extensive and deep land alterations that have severely damaged the integrity of any archaeological resources. This is commonly referred to as ‘disturbed’ or ‘disturbance’, and may include: quarrying, major landscaping involving grading below topsoil, building footprints, and sewage and infrastructure development. Archaeological potential is not removed where there is documented potential for deeply buried intact archaeological resources beneath land alterations, or where it cannot be clearly demonstrated through background research and property inspection that there has been complete and intensive disturbance of an area. Where complete disturbance cannot be demonstrated in Stage 1, it will be necessary to undertake Stage 2 assessment.

The background study determined that the following features or characteristics indicate archaeological potential for the subject property.

- The near-by presence of previously identified archaeological sites; while no sites are registered within the study area, 15 archaeological sites are registered within a one-kilometre radius of the subject property.
- The subject property is located in close proximity to the Credit River.
- The subject property is located within the Iroquois Plain physiographic region, which consists of well drained soils, favourable for both precontact and historic occupation.

According to the 1877 Historical Atlas of Peel County, the subject property is located in part of the Port Credit Town Plot, in the former Township of Toronto South. The subject property is located in close proximity to the Credit River, which is illustrated just west of the subject property. The Great Western Railway is located just north of the subject property.

It must be noted that not all features of interest today would have been considered within the scope of the Atlas at the time of publication. Nevertheless, the Atlas is considered one source for the assessment of archaeological potential. It can therefore be concluded based on the above features, that the study area has potential for the identification of potentially significant historical archaeological remains.

### ***Section 7.5.7, Standard 2***

The Stage 3 archaeological assessment of the subject property will employ the strategy of trench excavation survey, following the standards listed in Section 3.3.3 of the *2011 Standards and Guidelines for Consultant Archaeologists*. This is the appropriate strategy based on Stage 1 and 2 background study and archaeological assessment. To our knowledge there are no other reports containing relevant background information related to this development project with the exception of the Stage 1-2 assessment report completed by The Archaeologists Inc.

## **1.3 Archaeological Context (Section 7.5.8, Standards 1-7)**

### ***Section 7.5.8, Standard 1***

In Ontario, information concerning archaeological sites is stored in the Ontario Archaeological Sites Database (O.A.S.D.), an inventory of the documented archaeological record in Ontario. Information on the known archaeological sites in the vicinity of the study area was obtained from the Ministry of Tourism, Culture & Sport archaeological sites database. According to MTCS, although there are no registered sites within the subject property, but there are 15 registered archaeological sites within a minimum one km distance. These are summarized in Table 1 below.

<b>Table 1: List of Registered Archaeological Sites Within 1 km of the Subject Area</b>			
<b>Borden #</b>	<b>Site Name</b>	<b>Cultural Affiliation</b>	<b>Site Type</b>
AjGv-95	Tall Oaks	Pre-Contact	Scatter
AjGv-9	Avonbridge	Archaic	Other-camp/campsite
AjGv-84	Kane	Post-Contact, Woodland	Unknown
AjGv-83	AjGv-083	Archaic, Late, Archaic, Middle, Woodland	Camp/campsite
AjGv-8	Eley	Archaic	Other-camp/campsite
AjGv-73	AjGv-73	Pre-Contact, Woodland, Middle	Scatter
AjGv-71	James Taylor		
AjGv-57		Other	Other-burial
AjGv-5	Glenburny	Pre-Contact	Other-camp/campsite
AjGv-32	Scott-O'Brien	Archaic, Middle, Woodland, Early, Woodland, Middle	
AjGv-13	Fort Toronto	Post-Contact	Village
AjGv-12	Pinewood Trail		
AjGv-11	Port Street		
AjGv-10	Stavebank		

AjGv-1	Hare	Archaic, Woodland, Middle	Other-camp/campsite
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### ***Section 7.5.8, Standard 2***

The subject property is located at municipal address 42 – 46 Park Street, and 23 Elizabeth Street. It is bound on the southeast by Park Street East, on the southwest by Elizabeth Street North, and on the northeast and northwest by residential apartment buildings. The subject property currently consists of multiple standing structures, areas of tarmac or concrete, and grassed and treed areas.

The subject property is located within the Iroquois Plain physiographic region. The Iroquois Plain physiographic region is the former bed of glacial Lake Iroquois (Chapman and Putnam 1984). In the Toronto area, the Lake Iroquois strand is situated approximately 4.5 km inland from the current Lake Ontario shore. Below the strand, the quaternary sediments are dominated by outwash sands typical of nearshore deposits. The balance of the plain, towards the modern lake shore, is dominated by fine sediments of silt and clay, typical of off-shore deposits, overlying till (Chapman and Putnam 1984).

### ***Section 7.5.8, Standard 3***

The Stage 3 archaeological fieldwork of the subject property was undertaken between July 28<sup>th</sup> and July 29<sup>th</sup>, 2022 under favourable conditions for the assessment.

### ***Section 7.5.8, Standard 4***

No previous archaeological fieldwork has taken place within the limits of the project area with the exception of the Stage 1-2 archaeological assessment undertaken by The Archaeologists Inc. and reported on in the archaeological assessment report entitled:

*“Stage 1 & 2 Archaeological Assessment for 42-46 Park Street East, and 23 Elizabeth Street, Lot 8, North Side of Park Street, South Side of Queen Street, East of the Credit River, Registered Plan PC-2, Part of Port Credit Town Plot, Township of Toronto South, Peel, County, City of Mississauga” (P052-1018-2020).*

The Stage 2 assessment consisted of a test pit survey of the study area and no archaeological resources were identified. However, one portion of the study area was recommended for additional testing through the excavation of a single trench using machinery to conduct a site-specific Stage 3 archaeological assessment.

The Stage 1 and 2 archaeological assessment report indicated the following:

*“The Stage 1 background study found that the subject property exhibits potential for the recovery of archaeological resources of cultural heritage value and concluded that the property requires a Stage 2 assessment. The Stage 2 property assessment, which consisted of a systematic test pit survey, did not result in the identification of archaeological resources. However, a large concrete pad it*



*located in front of and between 44 and 46 Park Street East. Given that this is in the historic area of Port Credit, there is potential for deeply buried resources under the concrete pad. Therefore, the report recommends that a Stage 3 assessment, consisting of a single trench, be conducted in the area of the concrete pad on the subject property.”*

Furthermore, the Stage 2 report (TAI 2020) recommended the following:

*“The Stage 2 survey did not identify any archaeological sites requiring further assessment or mitigation of impacts. However, a large concrete pad is located in front of an between 44 and 46 Park Street East. Given that this is in the historic area of Port Credit, there is potential for deeply buried resources under the concrete pad. Therefore, the report recommended that a Stage 3 assessment, consisting of a single test trench, be conducted in the area of the concrete pad on the subject property. This should consist of a single test trench, excavated using a backhoe equipped with a smooth bucket, following the relevant standards in Section 2.1.7 of the 2011 Standards and Guidelines for Consultant Archaeologists.*

- 1. A single trench, measuring approximately 4 metres by 1.5 metres, will be placed in a section of the driveway between the two properties that were previously test pitted. Since the distance between the two properties is over 5 metres in length, a trench will be placed 5 metres from the curb, and between the two properties so that there is less than 5 metres distance between the two already surveyed lawns.*
- 2. If trenching does not make a conclusive determination regarding the presence of deeply buried archaeological resources, a consultant archaeologists must monitor excavation and the removal of fill as per Section 2.1.7, Standards 4 and 5. More specifically, the consultant archaeologist must:*
  - a. Conduct on-site monitoring where and when is proceeding in areas where archaeological sites are predicted to exist, or where construction excavation is extending to a depth that warrants concern.*
  - b. Prepare, in consultation with the proponent and contractors, a contingency plan outlining procedures, documentation and time requirements in the event that archaeological resources are exposed.*
  - c. Recover all diagnostic artifacts related to the archaeological site of cultural heritage value or interest that are exposed during monitoring. Do no recover diagnostic artifacts related to “fill”.*
  - d. If an archaeological site is uncovered or affected, construction and monitoring activities must cease in that location.*

There are no differences in the current Stage 3 work from the previously recommended work. The Stage 3 assessment of the site follows the relevant standards as per in Sections 3.3.3 of the 2011 Standards and Guidelines for Consultant Archaeologists.

***Section 7.5.8, Standard 5***

We are unaware of previous findings and recommendations relevant to the current stage of work with the exception of the report discussed above.

***Section 7.5.8, Standard 6***

There are no unusual physical features that may have affected fieldwork strategy decisions or the identification of artifacts or cultural features.

***Section 7.5.8, Standard 7***

There is no additional archaeological information that may be relevant to understanding the choice of fieldwork techniques or the recommendations of this report.

## **2.0 FIELD METHODS (Section 7.9.1, Standards 1-5)**

This section of the report addresses Section 7.9.1 of the 2011 Standards and Guidelines for Consultant Archaeologists.

### ***Section 7.9.1, Standard 1***

All Stage 3 fieldwork was conducted according to the archaeological fieldwork standards and guidelines as per Sections 3.2 and 3.3.3 of the *2011 Standards and Guidelines for Consultant Archaeologists*.

- Section 3.2, S1 – All relevant reports of previous fieldwork within the property were reviewed prior to the Stage 3 assessment. The relevant Stage 1 and 2 archaeological assessment report is discussed in greater detail above.
- Section 3.2, S2 – The archaeological site assessment was conducted when weather and lighting conditions permitted good visibility of all parts of the archaeological site. No fieldwork was carried when weather and lighting conditions (e.g., snow cover, frozen ground, excessive rain or drought, heavy fog) reduced the ability to identify and document any part of the archaeological site. As indicated in Section 1.3 of this report, and Section 8.0, the fieldwork was conducted in favourable weather conditions consisting of partly cloudy to sunny skies with warm temperatures. No fieldwork was conducted in adverse conditions such as rain or poor visibility.
- Section 3.2, S3a&b – The Global Positioning System (GPS) was not used to record a central datum within the study area as the Stage 3 trench unit excavations indicated that there were no deeply buried archaeological resources or sites within the Study Area.
- Section 3.2, S4 – Representative photographs of all field conditions have been provided in the Images section of this report.
- Section 3.3.3, S1 – Not applicable
- Section 3.3.3, S2 – We used heavy excavating machinery with a smooth bucket to excavate the test trenches.
- Section 3.3.3, S3 – Not applicable as no archaeological resources were encountered within the trenches.
- Section 3.3.3, S4 – Not applicable.
- Section 3.3.3, S5 – Not applicable.

### ***Section 7.9.1, Standard 2***

As relevant, we provide detailed and explicit descriptions addressing how each standard was addressed.

Using a smooth-edged bucket attached to a backhoe, we excavated one single trench measuring 4 metres north/south and 1.5 metres in width. The placement of the trench was done to make sure that an area that had a greater distance than 5 metres was surveyed. Placing the trench too close to the existing house was unnecessary as this area would have been disturbed by the basements excavated for house constructions. The trench had a 2-inch later of tarmac over it, then a layer of gravel. Under the gravel was what we would consider the B-Horizon and this soil was screened. This lay varied in size but was approximately 10-15 cm thick. Beneath that layer was sterile subsoil. The

trench however had a trench running through it filled with debris. This trench was clearly disturbed and represented the construction of the main drain of the house running to the street sewer system. The excavation of the trench was at approximately 60 cm in depth. There was no reason to dig further as we had subsoil in the trench and we did not want to expose the main drain any further. The soil excavated from the trench (the medium brown layer) was screened for artifacts and none were found. All excavations were supervised and monitored by the field director.

***Section 7.9.1, Standard 3***

No GPS coordinates are provided of a datum location as no datum was established since no archaeological resources were encountered during the Stage 3 assessment.

***Section 7.9.1, Standard 4 - not applicable***

***Section 7.9.1, Standard 5***

The test trench was excavated to subsoil and the excavations met the standards as per Section 3.3.3.

### **3.0 RECORD OF FINDS**

This section documents all finds discovered as a result of the Stage 1 and 2 archaeological assessment of the subject property.

No archaeological resources or sites were identified in the Stage 2.

An inventory of the documentary record generated in the field is provided in Table 2.

<b>Table 2: Inventory of Documentary Record</b>	
<b>Document Type</b>	<b>Description</b>
Field Notes	<ul style="list-style-type: none"><li>• This report constitutes the field notes for this project</li></ul>
Photographs	<ul style="list-style-type: none"><li>• 13 digital photographs</li></ul>
Maps	<ul style="list-style-type: none"><li>• Figures in this report represent all the maps generated in the field.</li></ul>

Information detailing exact site locations on the property is not submitted because no sites or archaeological resources were identified in the Stage 2 assessment.

### **4.0 ANALYSIS AND CONCLUSIONS**

No archaeological sites were identified. Trench excavation did not reveal any evidence of cultural features or foundations associated with any structures.

### **5.0 RECOMMENDATIONS**

The Stage 3 archaeological assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is recommended that no further archaeological assessment of the property be required.

## **6.0 ADVICE ON COMPLIANCE WITH LEGISLATION (Section 7.5.9, Standards 1-2)**

### ***Section 7.5.9, Standard 1a***

This report is submitted to the Minister of Tourism and Culture as a condition of licensing in accordance with Part VI of the *Ontario Heritage Act*, R.S.O. 1990, c 0.18. The report is reviewed to ensure that it complies with the standards and guidelines that are issued by the Minister, and that the archaeological fieldwork and report recommendations ensure the conservation, protection and preservation of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the Ministry of Tourism and Culture, a letter will be issued by the ministry stating that there are no further concerns with regard to alterations to archaeological sites by the proposed development.

### ***Section 7.5.9, Standard 1b***

It is an offence under Sections 48 and 69 of the *Ontario Heritage Act* for any party other than a licensed archaeologist to make any alteration to a known archaeological site or to remove any artifact or other physical evidence of past human use or activity from the site, until such time as a licensed archaeologist has completed archaeological fieldwork on the site, submitted a report to the Minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeological Reports referred to in Section 65.1 of the *Ontario Heritage Act*.

### ***Section 7.5.9, Standard 1c***

Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and therefore subject to Section 48 (1) of the *Ontario Heritage Act*. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed consultant archaeologist to carry out archaeological fieldwork, in compliance with Section 48 (1) of the *Ontario Heritage Act*.

### ***Section 7.5.9, Standard 1d***

The *Cemeteries Act*, R.S.O. 1990 c. C.4 and the *Funeral, Burial and Cremation Services Act*, 2002, S.O. 2002, c.33 (when proclaimed in force) require that any person discovering human remains must notify the police or coroner and the Registrar of Cemeteries at the Ministry of Consumer Services.

### ***Section 7.5.9, Standard 2***

Not applicable

## **7.0 BIBLIOGRAPHY AND SOURCES (Section 7.5.10, Standards 1)**

The Archaeologists Inc.

- 2020 Stage 1 & 2 Archaeological Assessment for 42-46 Park Street East, and 23 Elizabeth Street, Lot 8, North Side of Park Street, South Side of Queen Street, East of the Credit River, Registered Plan PC-2, Part of Port Credit Town Plot, Township of Toronto South, Peel County, City of Mississauga (PIF# P052-1018-2020)

Chapman, L.J. and F. Putnam

- 1984 *The Physiography of Southern Ontario, Ontario Geological Survey Special Volume 2*. Toronto: Government of Ontario, Ministry of Natural Resources.

Ministry of Tourism and Culture

- 2011 Standards and Guidelines for Consultant Archaeologists.

Walker and Miles

- 1877 Historical Atlas of Peel County. Published by Walker and Miles, Toronto.

Geo. M. Tremaine

- 1859 Tremaine Map of the County of Peel, Canada West

Websites

- <http://www.mississauga.ca/portal/discover/heritagedesignatedproperties>

## **8.0 IMAGES (Sections 7.5.11, 7.8.5)**



*Plate 1 Shows Stage 3 trench excavation - east side of trench.*



*Plate 2 Shows Stage 3 trench excavation - east side of trench.*





Plate 3 Shows Stage 3 trench excavation.

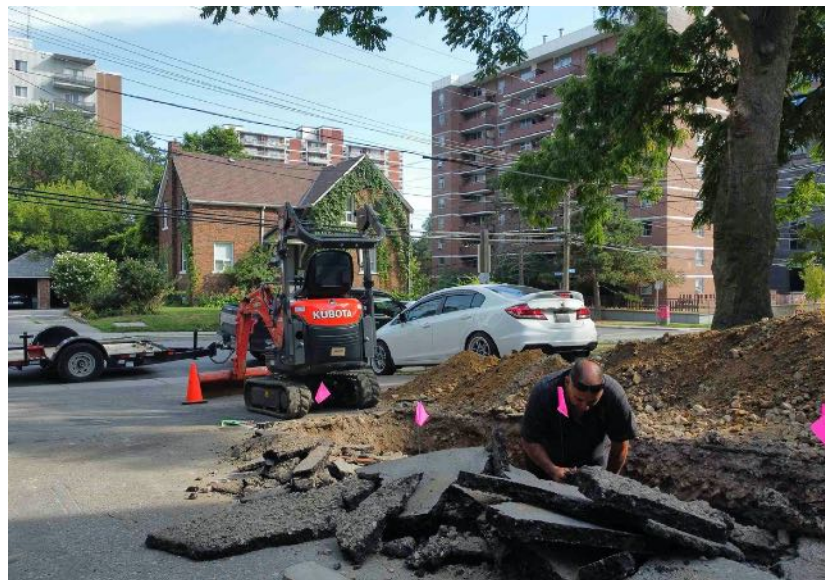


Plate 4 Shows Stage 3 trench excavation.



*Plate 5 Shows Stage 3 trench excavation - main drain.*



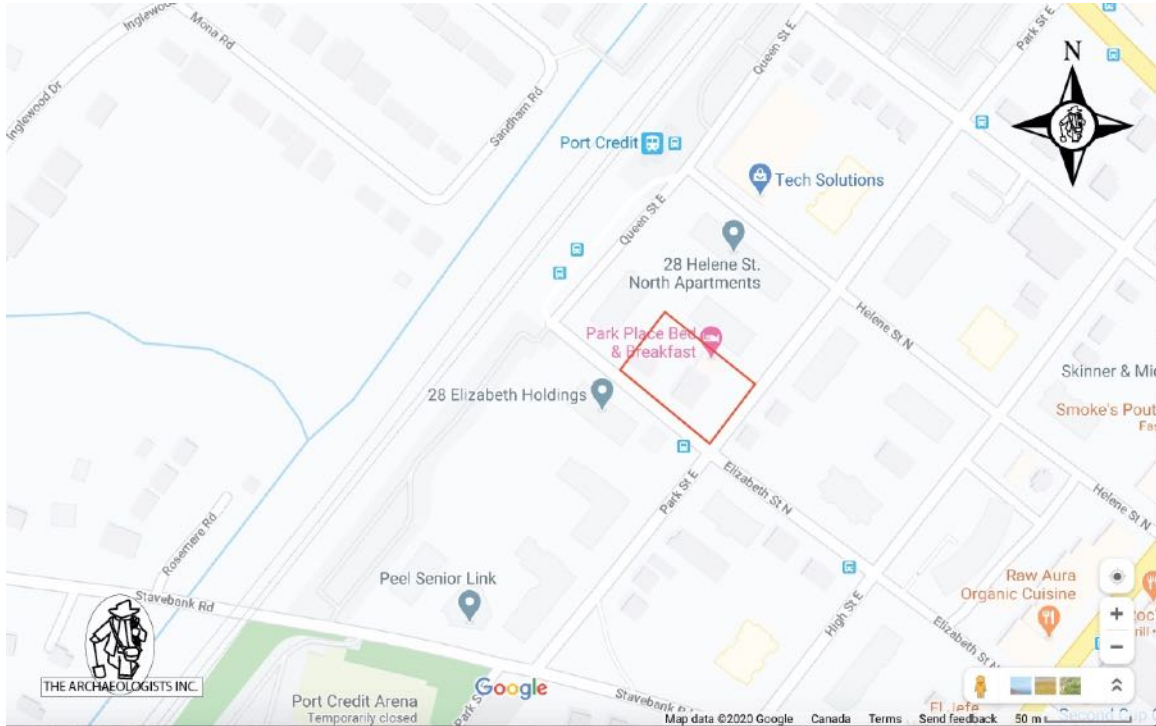
*Plate 6 Shows Stage 3 trench excavation - north side of trench.*



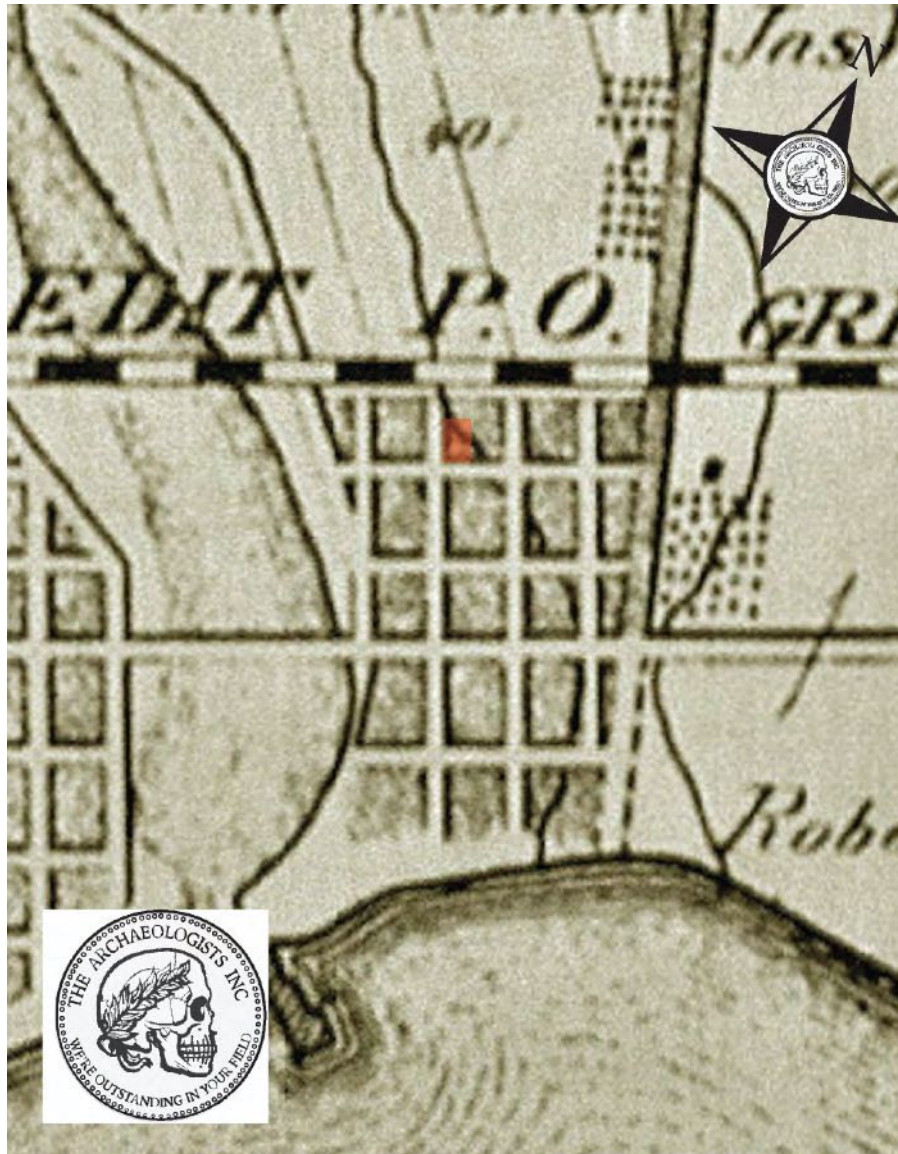


*Plate 7 Shows conditions for Stage 3 trench excavation.*

## 9.0 MAPS (Section 7.5.12, 7.8.6)

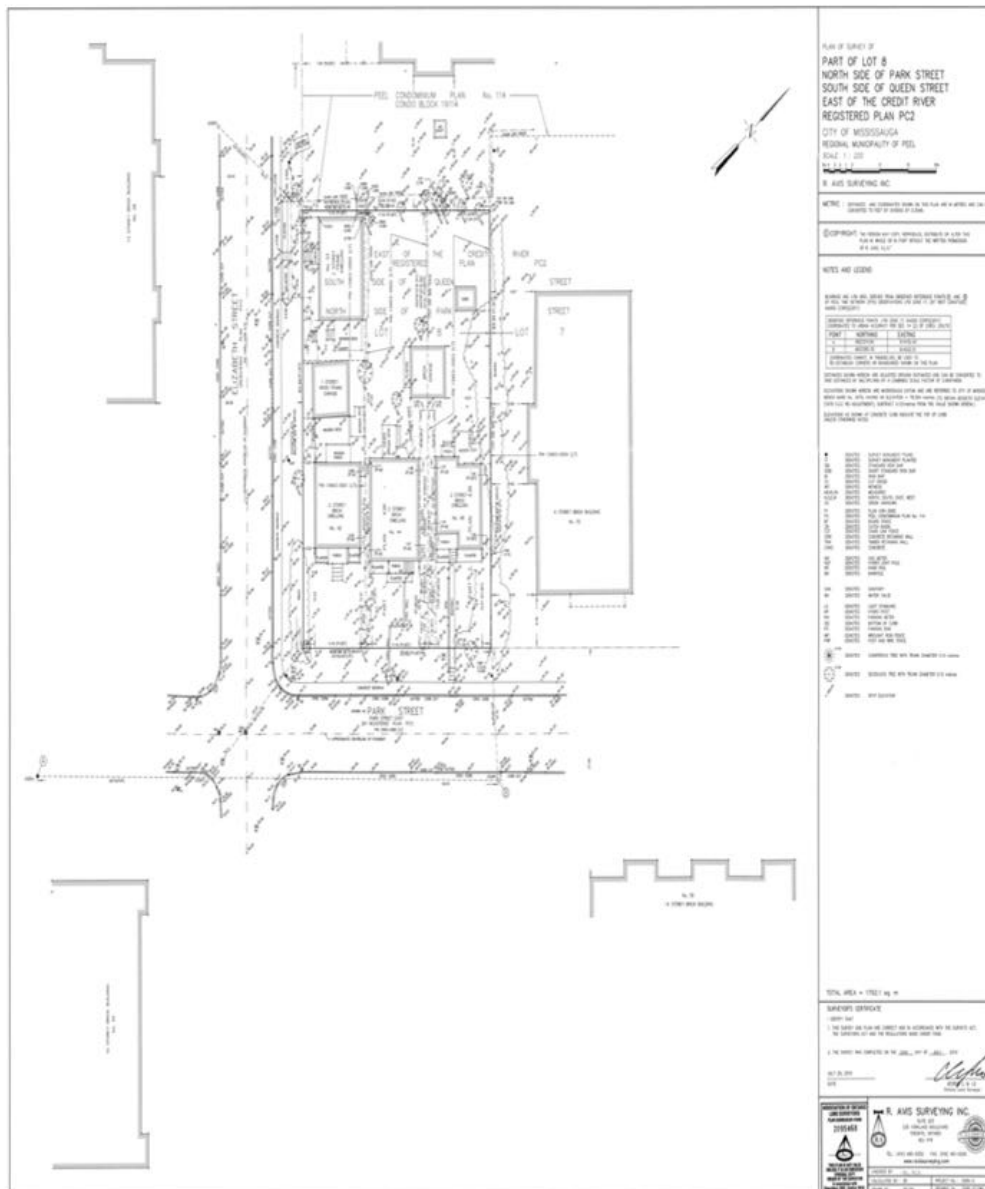


*Map 1* General location of subject property.



Map 2 Approximate location of subject property (overlaid in red) on 1877 Illustrated Atlas.

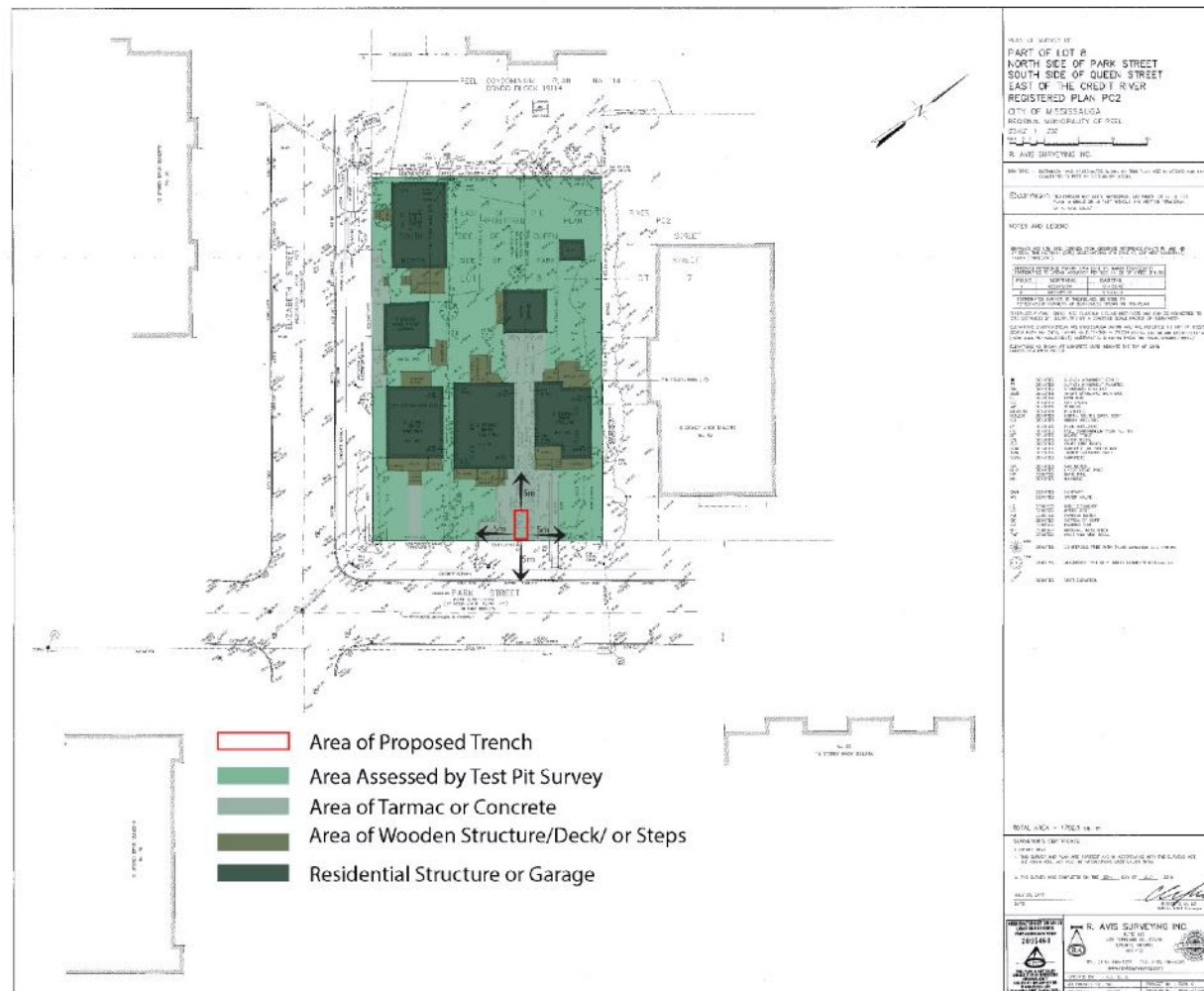
*Stage 3 Site-Specific Archaeological Assessment for 42 – 46 Park Street, and 23 Elizabeth Street, Lot 8, North Side of Park Street, South Side of Queen Street, East of the Credit River, Registered Plan PC-2, Part of Port Credit Town Plot, Township of Toronto South, Peel County, City of Mississauga*



Map 3 Clear copy of mapping provided by proponent.



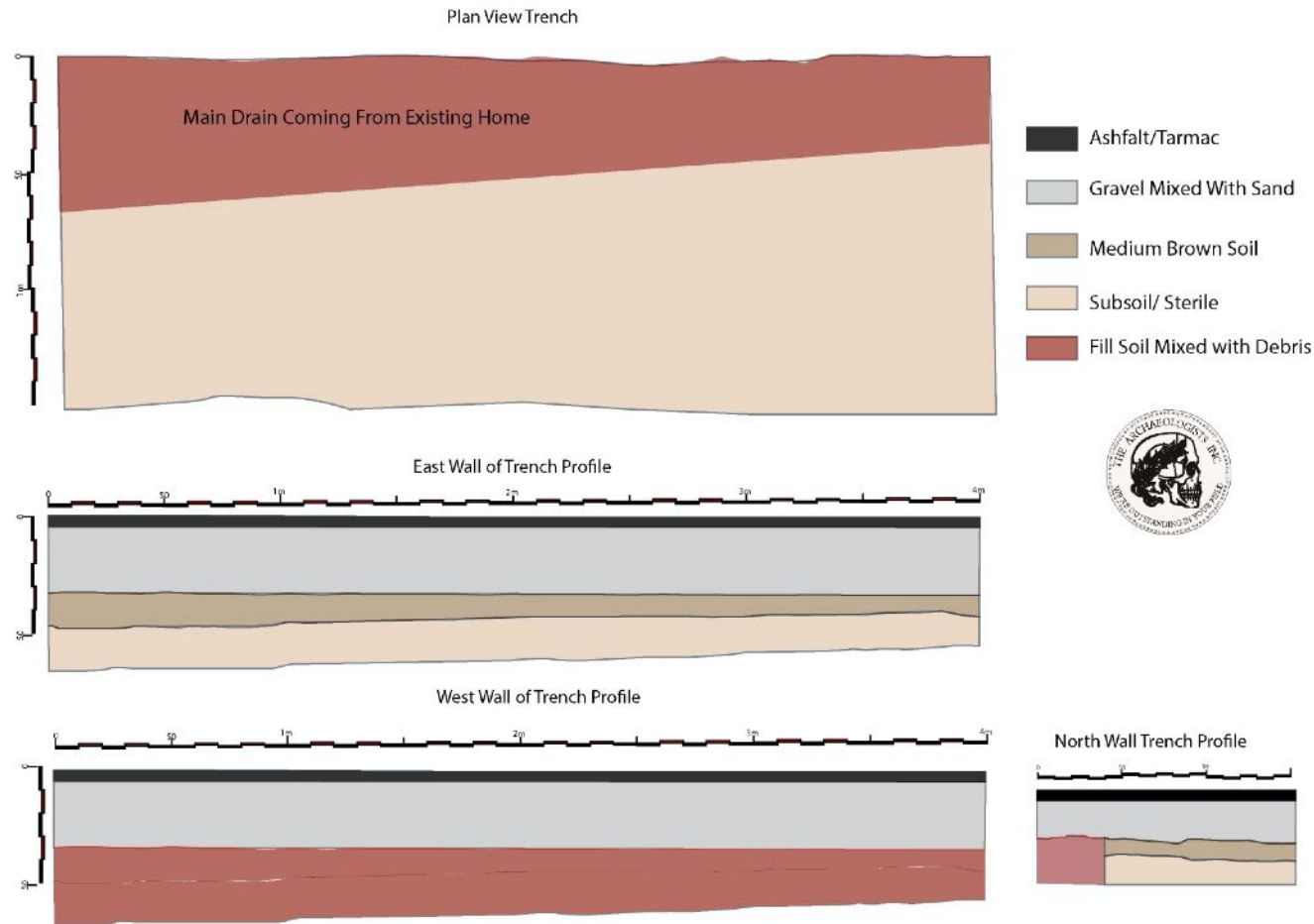
*Stage 3 Site-Specific Archaeological Assessment for 42 – 46 Park Street, and 23 Elizabeth Street, Lot 8, North Side of Park Street, South Side of Queen Street, East of the Credit River, Registered Plan PC-2, Part of Port Credit Town Plot, Township of Toronto South, Peel County, City of Mississauga*



Map 4 Results of Stage 2 archaeological assessment.







Map 6 Representative profiles of Trench 1-3.