

ATTACHMENT TO THE TREE INVENTORY/ PRESERVATION PLAN

SITE VISIT DATE: May 20, 2025

DATE PREPARED: June 4, 2025

TO: Mr. Tim Neeb, Sajecki Planning Inc.

FROM: Chloe Robbins, ISA ON-3312A

SUBJECT: Arborist Report for 50 High Street E, Mississauga, proposed Townhouse Development

PURPOSE: For City of Mississauga as Attachment to Tree Removal/Preservation Plan.

**ARBORIST REPORT**

JDB Landscaping Inc. was retained by Sajecki Planning Inc. to complete an Arborist Report and Tree Inventory/ Preservation Plan in connection with a Zoning By-Law Amendment Application, for proposed development located at 50 High Street, Mississauga.

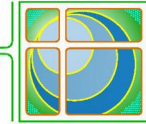
On the 20<sup>th</sup> of May 2025, the trees on and surrounding the proposed site were evaluated to determine their opportunity for preservation as per the City of Mississauga requirements.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigor are constantly changing over time. They are not immune to changes in site conditions or seasonal variations in the weather.

**Scope of Work**

This report provides a general assessment of the trees located in the developable area and min. 6m beyond the boundaries delineated as follows:

- On the North adjacent property by existing stairs and retaining wall.
- On the North-west adjacent property beyond existing chain link fence.
- On the South adjacent property by existing driveway and residential building.
- On the South-east boulevard of the property.



## Summary

- In total, 9 trees have been identified, all of them beyond the property lines. Of the 9 trees, 1 must be removed, 1 must be transplanted and the other 7 are to be preserved.
- 6 trees are located beyond the proposed development at the top of a slope and are to be preserved, unless a letter of consent for their removal or potential impact is signed by the adjacent property owner.
- 1 tree is located on the boulevard, in front of the existing building and is to be removed to accommodate the realignment of the driveway for the proposed development.
- 1 tree is located on the boulevard, in front of the existing building and is to be transplanted due to conflict with the proposed pathway.
- 1 tree is located on the adjacent property's boulevard and is to be conditionally preserved.

## Details of Findings

### *Municipal trees:*

- There are 3 municipal trees adjacent to this development located on the boulevard of existing building.

### *Boundary trees:*

- There are 6 boundary trees adjacent to this development.

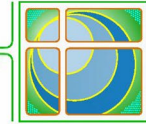
The Tree Removal/Preservation Plan has been completed based on the proposed site plan provided by the Architect and will be coordinated with the engineer's grading and servicing plans, when available.

## Recommendation for preservation

The 6 trees on the North side of the site will need to be protected during construction as per the City of Mississauga requirements. This fence is to be installed at the min. TPZ as indicated on TP-1. Before construction a letter of consent for potential impact to the trees from the adjacent neighbors must be provided.

## Mitigation measures

Because the slope and the parking area at the rear of the ex. building are paved (see photo #2, 3, 5, 6) the extend of the roots of the trees #1-6 (Norway Maples) cannot be assess at this time. It is recommended that before any earth works take place on site, a min. 0.3m wide trench to be dug at the limit of grading using a HVAC; small roots can be clear cut by a certified arborist.



However, avoid cutting large roots, thicker than 2-3cm in the TPZ. If large roots are present, plant beds or a permeable surface to be considered in this area; otherwise, the trees cannot be retained.

## **Details of preservation measures (during and after construction)**

Before construction, a plywood tree preservation barrier (minimum ½” thick) shall be installed as per the City standard Hoarding Detail 02830-6, March 2018 (page 5) for the trees recommended for preservation.

The Tree preservation fence shall remain in place during construction, and it will be removed only after the landscape construction is finalized and authorized by Urban Forestry.

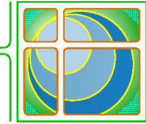
Activities prohibited within the Tree Protection Zone except where authorized by Mississauga Forestry include but are not limited to: constructions activities, storage of materials, storage of equipment, excavation, grade changes, cutting, tearing, or breaking tree’s roots, branches or trunk, dumping, parking, stringing cables/wires.

## **Schedule for site inspection and status reporting to the City Urban Forestry:**

- The Tree Preservation Fence will be installed under the supervision of the JDB Landscaping Arborist.
- After the TP fence installation, the arborist will contact the City Urban Forestry to arrange for an inspection of the site and approval of the tree/site protection requirements. Photographs that clearly show the installed tree/site protection will be provided to the Urban Forestry prior to inspection.
- During construction a site inspection is recommended every year to ensure that there are no injuries to the trees, no encroachments into the tree preservation zone of any kind, including storing of construction materials or debris as outlined in the City Tree Protection Policy.
- A report shall be provided to the City Urban Forestry at the end of construction or any time if injuries to the trees have been noticed.

## **Methodology**

- The trees were assessed with guidelines established by the International Society of Arboriculture and Mississauga “Tree Preservation & Protection Standards” July 2019. The health assessments were performed without excavation or internal examination such as coring or drilling.
- The location of the trees has been provided by KRCMAR Surveyors LTD. in combination with triangulation and measurements taken by our company (TP-1).



- The following information was obtained for the inventoried trees in the development area (tree list on page 5):
  - tree species
  - size range diameter at breast height (DBH)
  - average canopy height
  - average canopy diameter
  - overall general tree condition (structure and vigor)
    - good – dead branches less than 10%; signs of good compartmentalization of any wounds, no structural defects;
    - fair – 10-30% dead branches, minor wounds of some concern, minor structural defects;
    - poor–more than 30% dead branches, weak compartmentalization, major structural defects.

## Limits

Unless expressed otherwise, information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection, and the inspection is limited to visual examination of accessible items without further dissection, excavation, probing, or coring.

Loss or alteration of any part of a report invalidates the entire report.

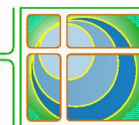
There is no warranty or guarantee expressed or implied that problems or deficiencies of the trees in question may not arise in the future.

The report and conclusions expressed herein represent the opinion of *JDB Landscaping Inc.*. Our fee is no way contingent upon any specified value, a result or occurrence of a subsequent event, or upon any finding to be reported.

Chloe Robbins

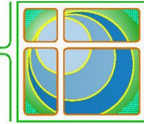
Landscape Architectural Intern, Certified Arborist

OALA, ISA ON-3312A



## 50 High Street Mississauga - May 2025

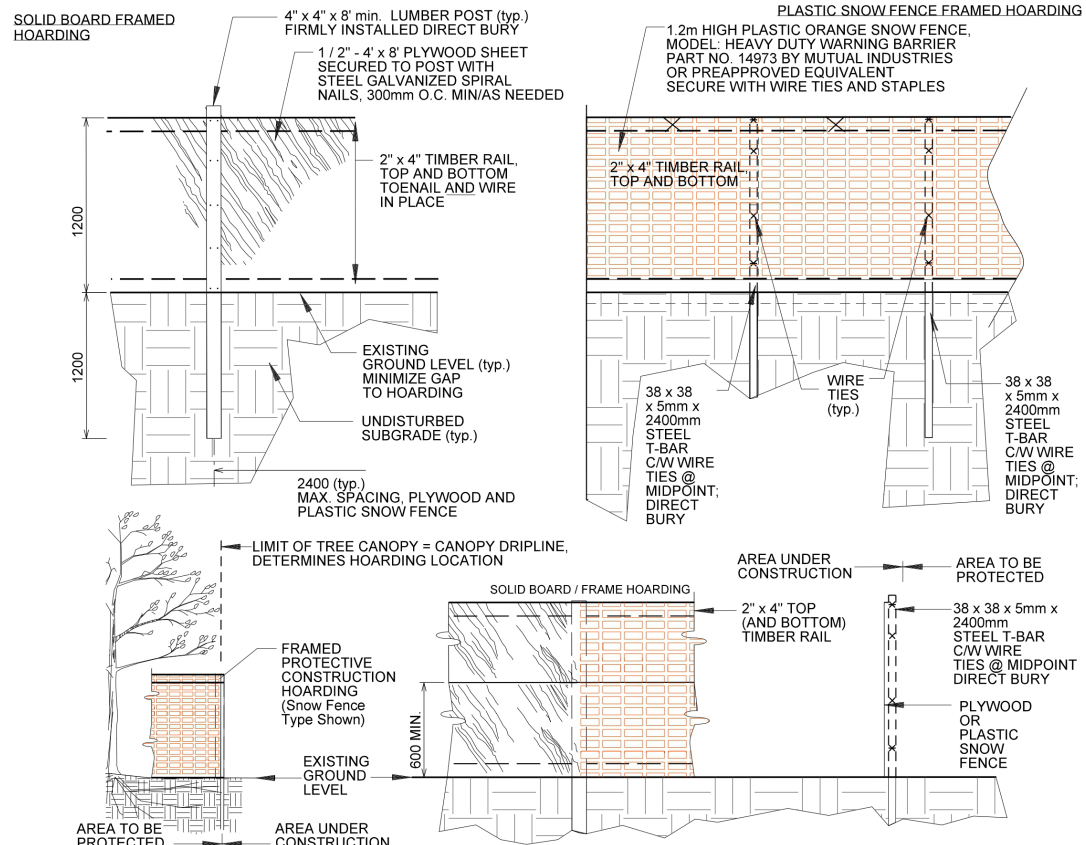
Tree #	Botanical Name	Common name	DBH cm	Height m	Crown O (m)	Maturity	Health conditions	Minimum TPZ	Ownership	Proposed Action	Comments
1	<i>Acer platanoides</i> 'Crimson King'	Norway Maple 'Crimson King'	32 + 28	20	12	Mature	Fair	2.4m	Neighbour	Preserve	Forked at 0.3m, dieback on top
2	<i>Acer platanoides</i> 'Crimson King'	Norway Maple 'Crimson King'	33	20	14	Mature	Good	2.4m	Neighbour	Preserve	Good
3	<i>Acer platanoides</i> 'Crimson King'	Norway Maple 'Crimson King'	58	6	18	Mature	Fair	3.6m	Neighbour	Preserve	Bark injury
4	<i>Acer platanoides</i>	Norway Maple	15	12	8	Mature	Fair/Good	1.8m	Neighbour	Preserve	
5	<i>Acer platanoides</i>	Norway Maple	9	12	8	Mature	Fair/Good	1.2m	Neighbour	Preserve	
6	<i>Acer platanoides</i>	Norway Maple	60	25	10	Mature	Fair	4.2m	Neighbour	Preserve	
7	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	3.5	3	2	Immature	Fair	N/A	City	Remove	Newly planted deciduous tree
8	<i>Gleditsia triacanthos</i>	Honey Locust	5.5	4	3	Immature	Fair	1.2m	City	Transplant	Newly planted deciduous tree
9	<i>Gleditsia triacanthos</i>	Honey Locust	4	4	2	Immature	Fair	1.2m	City	Preserve	Newly planted deciduous tree



# 02830-6

## Hoarding Framed Protective Construction Hoarding Solid Board- Plastic Snow Fence

**NOTE:**  
TO BE USED AS A GUIDELINE ONLY.  
NOT TO SCALE. REMOVE CITY TITLE BLOCK  
AND REDRAW TO REPRESENT SITE SPECIFIC  
CONDITIONS. ALL SITE SPECIFIC CONDITIONS  
ARE TO BE CONFIRMED BY THE PROJECT  
CONSULTANT.



- NOTES:
1. HOARDING LOCATION AS PER DRAWINGS. HOARDING INSTALLATIONS ARE TO INCLUDE WOVEN GEOTEXTILE FABRIC FOR SEDIMENT CONTROL.
  2. NO MOBILIZATION OR CONSTRUCTION WORK TO OCCUR UNTIL HOARDING HAS BEEN INSPECTED AND APPROVED BY COMMUNITY SERVICES PROJECT MANAGER (CSPM). CONTRACTOR TO ARRANGE FOR A HOARDING INSPECTION WITH (CSPM), 48 HOUR NOTICE REQUIRED.
  3. HOARDING TO BE SUPPLIED, INSTALLED AND MAINTAINED BY THE CONTRACTOR THROUGH ALL PHASES OF WORK ON SITE.
  4. THE CONTRACTOR IS TO REMOVE AND DISPOSE THE HOARDING OFF SITE WHEN DIRECTED BY THE (CSPM).
  5. ALL WOOD PRODUCTS TO BE NEW AND LUMBER KILN DRIED SPF.
  6. ALL FASTENERS TO BE NEW GALVANIZED STEEL AND SECURELY INSTALLED. WIRE TIES MIN 3.5mm DIA. GALVANIZED STEEL.
  7. DO NOT ALLOW WATER TO COLLECT AND/OR POND ON EITHER SIDE OF THE HOARDING.
  8. WHEN INSTALLING DIRECT BURY TIMBER POSTS AND T-BARS, TAKE CARE TO AVOID VISIBLE AND ASCERTAINABLE TREE ROOTS.
  9. PLACE HOARDING AT LIMIT OF TREE CANOPY DRIP LINE OR BEYOND (E.G. FURTHER AWAY FROM TRUNK) OF TREE.
  10. HOARDED OFF AREA TO REMAIN UNDISTURBED. NO STOCKPILING, STAGING OR MOVEMENT OF VEHICLES TO OCCUR WITHIN PROTECTED AREA.
  11. FOR PROTECTION OF TREE'S AND ROOT SYSTEM, CONTRACTOR MAY BE REQUIRED TO PROVIDE WATERING, MULCHING, FERTILIZING, PRUNING OR OTHER ACTIVITIES TO ENSURE THE HEALTH OF THE TREE(S).
  12. ALL MEASUREMENTS IN MILLIMETRES UNLESS NOTED OTHERWISE (E.G. DIMENSIONAL LUMBER).
  13. CONTRACTOR RESPONSIBLE FOR LOCATES

N.T.S.

Detail: 02830-6

ORIGINAL DATE: Mar 08/18  
REVISION DATE: Mar 08/18



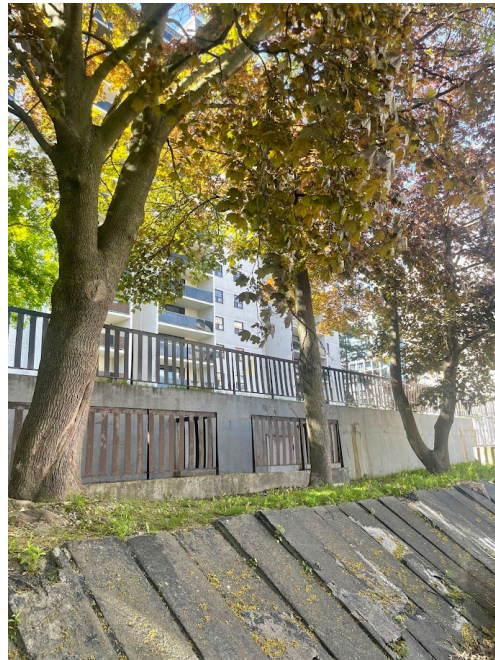




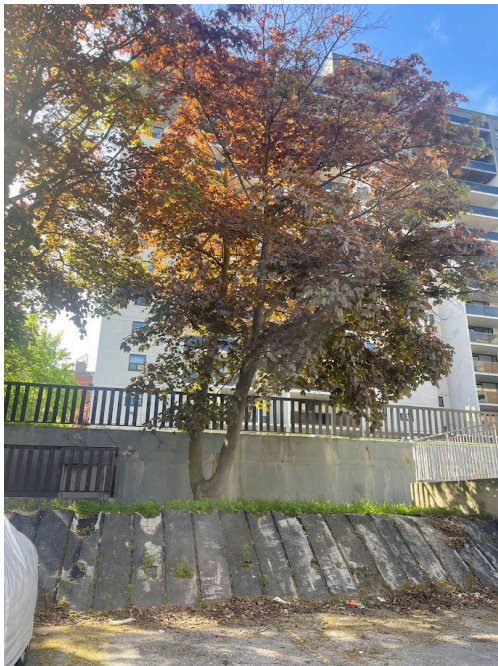
## Photos of existing trees



**Photo 1** Location of the Proposed Townhouse development.



**Photo 2:** Trees #1-3 (numbered right to left) on top of slope at rear of property.



**Photo 3:** Tree #1

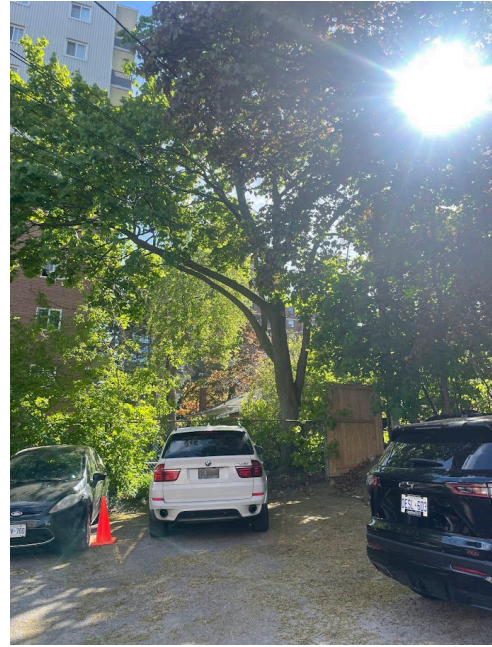


**Photos 4:** Tree #1 on top of slope at rear of property showing dieback on select top branches.





**Photo 5:** Trees #4-5 atop slope at rear of property.



**Photo 6:** Tree #6 beyond chain-link fence on neighbor's side.



**Photo 7:** Tree #7, newly planted deciduous tree to be removed and replaced.



**Photo 8:** Tree #8 to be transplanted





**Photo 9:** Tree #9 on adjacent property, to be preserved.