

DRAFT OFFICIAL PLAN AMENDMENT

The Corporation of the City of Mississauga

By-law Number _____

A by-law to Adopt Mississauga Official Plan Amendment No. XX

WHEREAS in accordance with the provisions of section 17 or 22 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, Council may adopt an Official Plan or an amendment thereto;

NOW THEREFORE the Council of the Corporation of the City of Mississauga ENACTS as follows:

1. The following explanatory text attached hereto, constituting Amendment No. XX to the Mississauga Official Plan, of the City of Mississauga Planning Area, are hereby adopted.

ENACTED and PASSED this _____ day of _____, 2025.

Signed _____

MAYOR

Signed _____

CLERK

DRAFT OFFICIAL PLAN AMENDMENT

EXPLANATORY NOTE TO PROPOSED OFFICIAL PLAN AMENDMENT NUMBER XX

TO THE MISSISSAUGA OFFICIAL PLAN OF THE CITY OF MISSISSAUGA PLANNING AREA

City of Mississauga File No._____

The Proposed Official Plan Amendment applies to lands located at the south-eastern corner of Dundas Street West and Mississauga Road, in the City of Mississauga. The lands are legally described as PT LT 3 RANGE 1 SDS TORONTO; PT LT 4 RANGE 1 SDS TORONTO AS IN VS177606 CITY OF MISSISSAUGA and PT LT 3 RANGE 1 SDS TORONTO RACEY TRACT, TORONTO TOWNSHIP AS IN RO1011104; S/T DEBTS IN RO827459 CITY OF MISSISSAUGA, and are municipally known as 2935 and 2955 Mississauga Road.

The purpose of the Official Plan Amendment is to redesignate the Subject Lands to Residential High Density and to create a site-specific exception to permit townhouse dwellings and to identify maximum heights.

DRAFT OFFICIAL PLAN AMENDMENT – OCTOBER 2025

AMENDMENT NO. XX TO THE MISSISSAUGA OFFICIAL PLAN

The following text and map designated Schedule “A” attached hereto constitutes Amendment No. XX.

PURPOSE

The purpose of this Amendment is to redesignate the Subject Lands to Residential High Density and to create a site-specific exception to permit townhouse dwellings and identify maximum heights on the Subject Lands, as shown on Schedule “A”.

The Amendment will facilitate the development of one 12-storey residential apartment building and a block of 3-storey stacked townhouses.

LOCATION

The Subject Site is located at the south eastern corner of Dundas Street West and Mississauga Road. The Subject Lands are municipally known as 2935 and 2955 Mississauga Road, located in the Sheridan Neighbourhood in the City of Mississauga.

BASIS

The Subject Site is located within the Sheridan Neighbourhood of the City of Mississauga Official Plan, and is currently designated Greenlands in accordance with Schedule 10 of the Plan. The Greenlands designation does not permit any residential development.

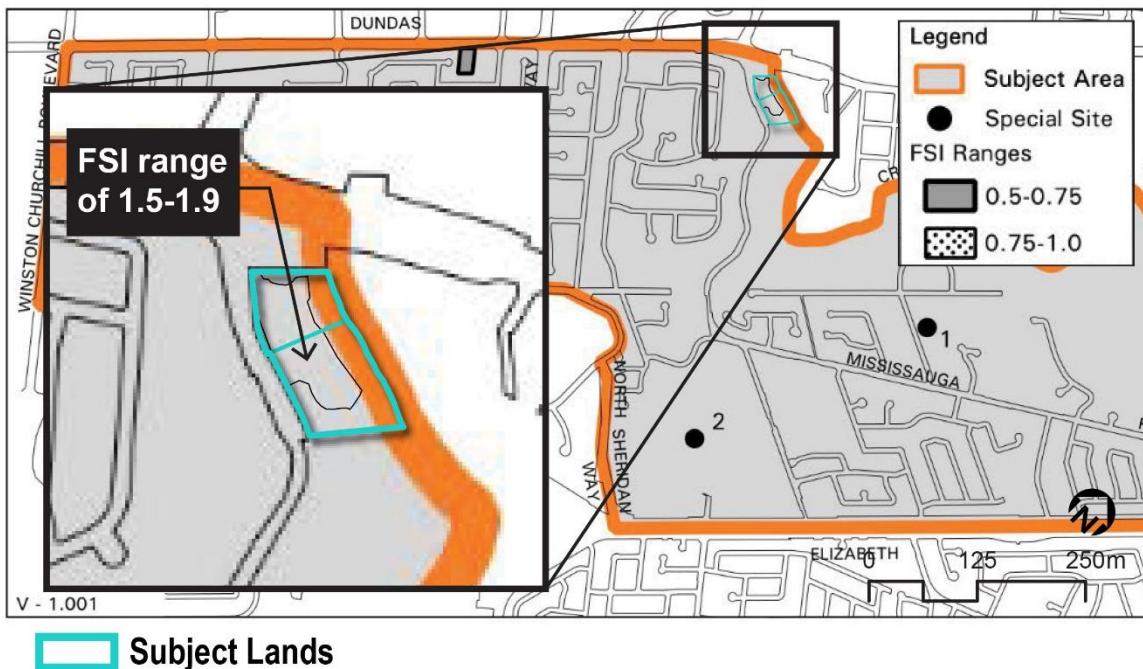
The proposed development for the Subject Site consists of one 12-storey residential apartment building and one block of 3-storey stacked townhouses. The proposed development includes indoor and outdoor amenity spaces, at-grade landscaping, vehicular and bicycle parking spaces.

To facilitate the proposed development, the Official Plan Amendment seeks to redesignate the lands from Greenlands to Residential High Density, and to introduce site-specific policies permitting increased building height and the inclusion of standalone townhouse dwellings. The proposed Official Plan Amendment is appropriate from a planning standpoint, and should be approved for the following reasons:

1. The proposed amendment is supportive of the policy framework provided in the Provincial Planning Statement 2024 and the Region of Peel Official Plan (now a component of the Mississauga Official Plan), which both promote a range and mix of housing options as well as the redevelopment of underutilized lands within the existing built-up area that are served by transit and infrastructure.
2. The policies and objectives of the Region of Peel Official Plan (now a component of the Mississauga Official Plan) are supported by the proposal as it contributes to achieving an urban structure, form, and densities which are pedestrian-friendly and transit-supportive. The proposal is located in proximity to existing and future transit service and infrastructure, and provides for transit- supportive densities which contribute to the Region's goals of achieving intensification of residential development along corridors and mobility hubs to support a higher level of transit service.
3. The policies and objectives of the Mississauga Official Plan are supported by this proposal as it contributes to the range of housing types, sizes, and built form. The proposal provides for residential growth through the intensification of a currently underutilized site in proximity to transit, contributing to a complete and accessible community.

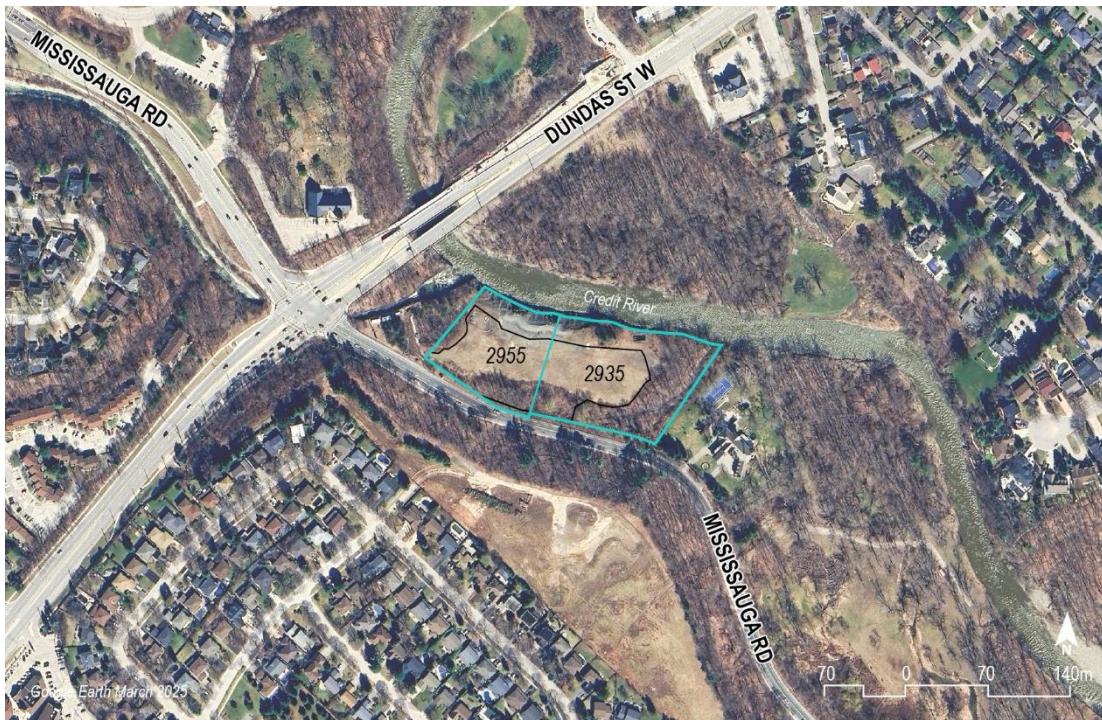
DETAILS OF THE AMENDMENT AND POLICIES RELATIVE THERETO

- 1 . Schedule 10 – Land Use Designations of the Mississauga Official Plan is hereby amended by redesignating the Subject Lands to Residential High Density and Greenlands with a Natural Hazards overlay, as per Schedule A of this Amendment.
2. Schedule 1 – Urban System of the Mississauga Official Plan is hereby amended by adjusting the Green System overlay, as per Schedule B of this Amendment.
3. Schedule 1a – Urban System – Green System of the Mississauga Official Plan is hereby amended by adjusting the Green System, as per Schedule C of this Amendment.
4. Schedule 4 – Parks and Open Spaces of the Mississauga Official Plan is hereby amended by adjusting the Public and Private Open Spaces designation, as per Schedule D of this Amendment.
5. Section 16.23 of the Mississauga Official Plan is hereby amended by deleting and replacing Map 16-23: Sheridan Neighbourhood Character Area with the following:



6. Section 16.23.2 of the Mississauga Official Plan, regarding the Sheridan Neighbourhood Special Site Policies, is hereby amended by adding the following key map and text as Special Site XX:

16.23.2.X.XX Site XX



■ Subject Lands: 2955 and 2935 Mississauga Rd, Mississauga

16.23.2.X.XX The lands identified as Special Site XX are located at southeast corner of Dundas Street West and Mississauga Road.

- a) Notwithstanding the provisions of the Residential High Density designation, uses will be limited to the following:
 - apartment dwellings with a maximum height of 12 storeys; and,
 - townhouse dwellings with a maximum height of 4 storeys.

IMPLEMENTATION

Upon the approval of this Amendment by the Council of the Corporation of the City of Mississauga, the Mississauga Official Plan and the Zoning By-law applicable to the Subject Site will be amended to the appropriate classification, in accordance with the intent of this Amendment.

Provisions will be made through the rezoning and site development plan approval process of the lands subject to the Amendment, for development to occur subject to the approved site development plan, to ensure that development occurs in accordance with the intent of the Amendment.

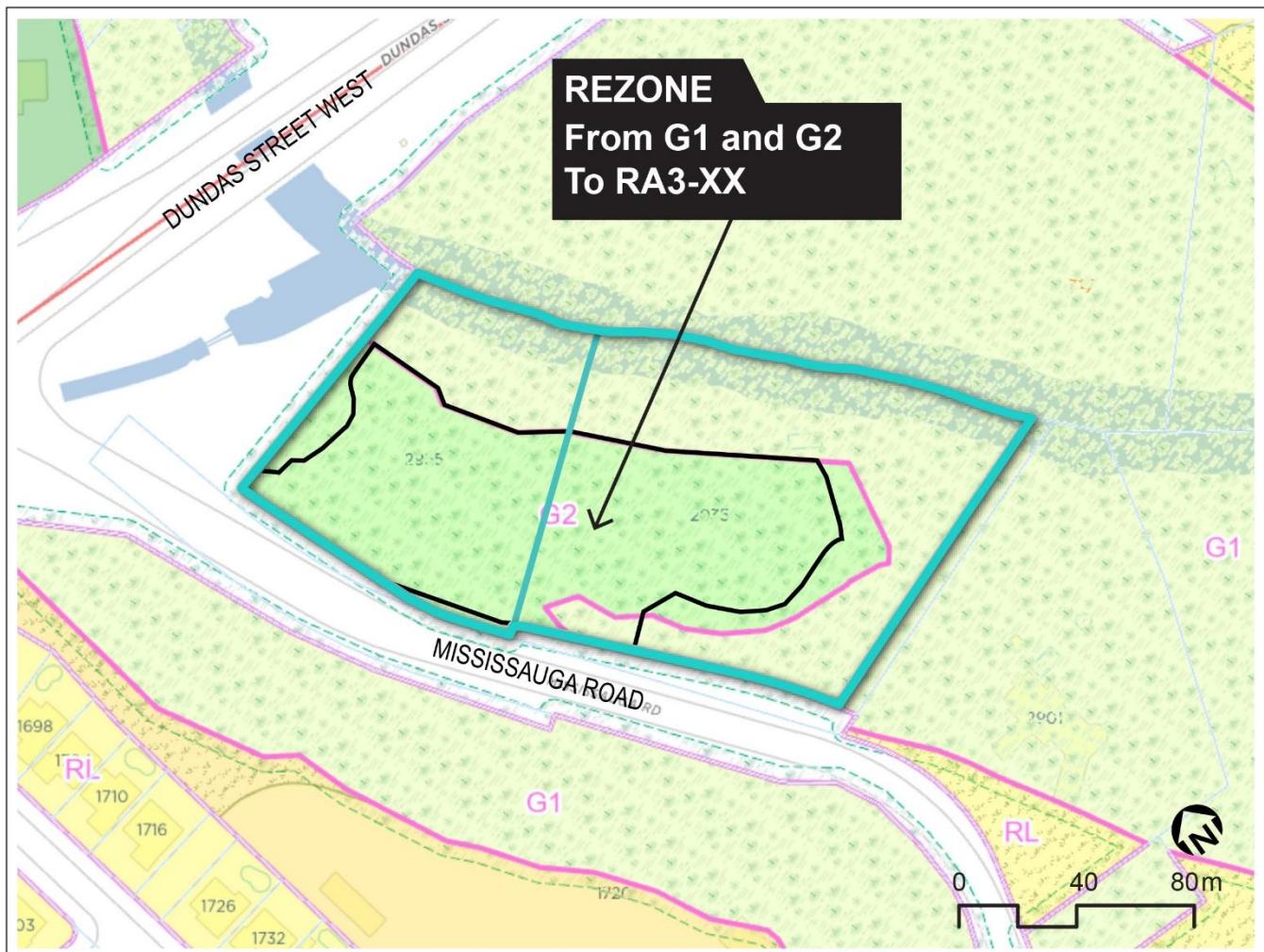
Provisions will be made through the rezoning of the lands subject to this Amendment, for development to occur subject to approved site development, architectural and landscape plans, to ensure that site access, buildings, parking and landscaping are satisfactorily located and designed.

INTERPRETATION

The provisions of the Mississauga Official Plan, as amended from time to time regarding the interpretation of that Plan, shall apply in regard to this Amendment.

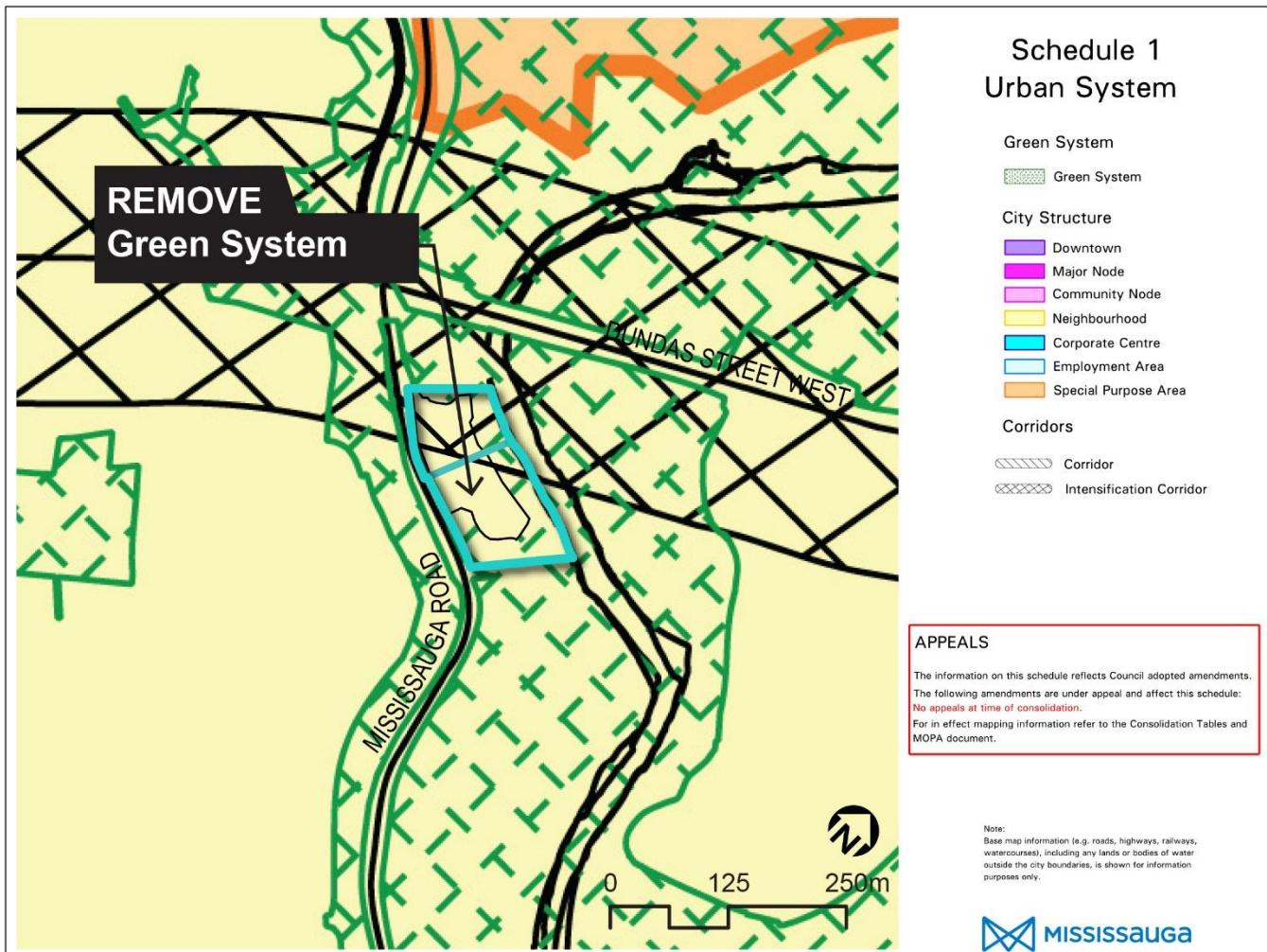
Upon approval of this Amendment, Section 16.23.2 of the Mississauga Official Plan will be amended in accordance with the intent of this Amendment.

Schedule A



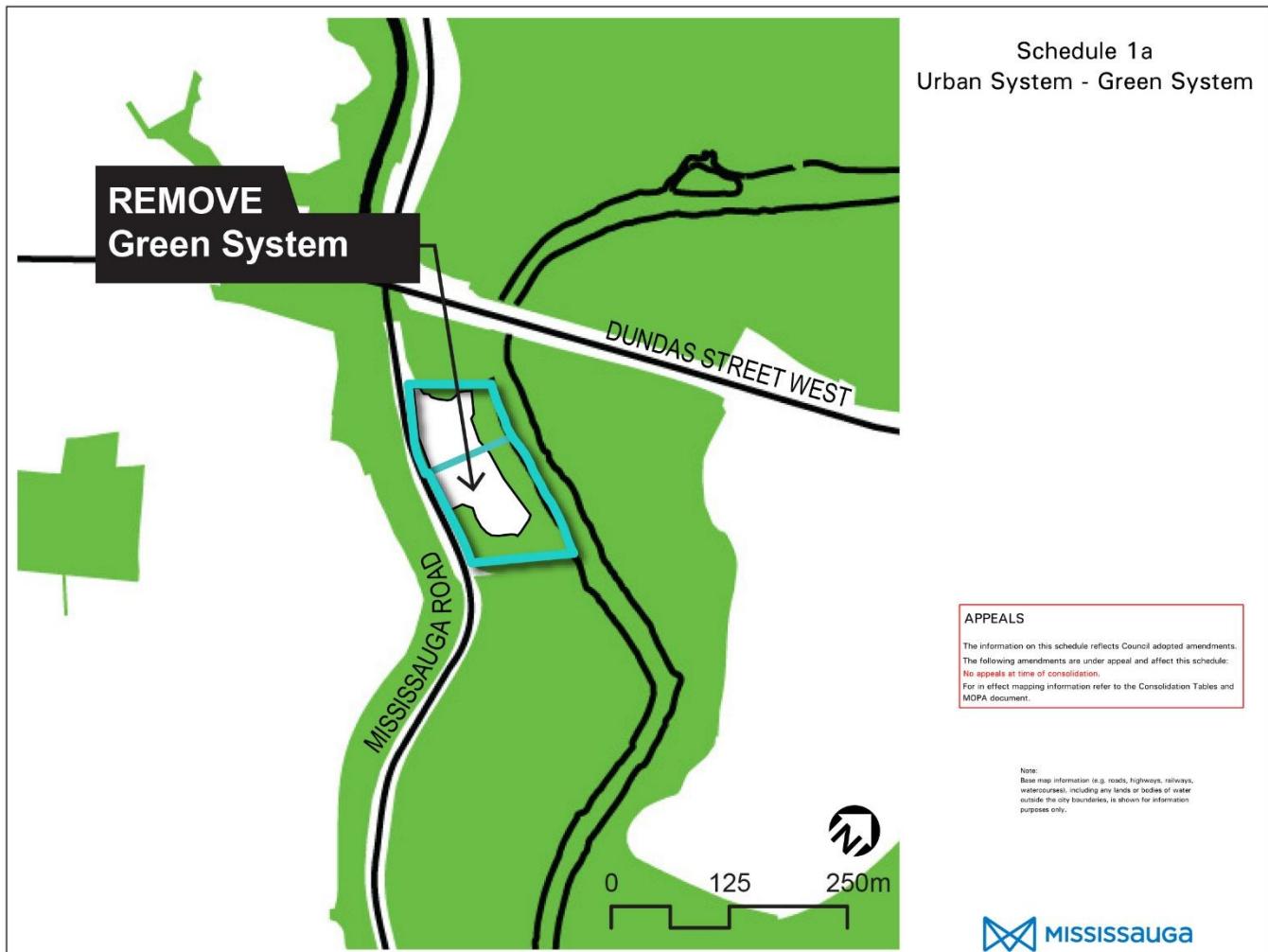
 **Subject Lands**

Schedule B



Subject Lands

Schedule C



Schedule D

