

51-55 DUNDAS STREET WEST & 60-78 AGNES STREET
MISSISSAUGA, ONTARIO

AUGUST 6, 2025

HERITAGE IMPACT ASSESSMENT

ERA

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CONTENTS

1	SUMMARY STATEMENT & CONSERVATION RECOMMENDATIONS	4
2	INTRODUCTION	5
3	BACKGROUND INFORMATION	6
	3.1 Site History	6
	3.2 Site Description	14
	3.3 Existing Conditions	17
	3.4 Evaluation under Ontario Regulation 9/06	28
4	DESCRIPTION OF PROPOSED DEVELOPMENT	33
5	SITE ALTERATION & MITIGATION	40
	5.1 Policy Context	40
	5.2 Impacts, Rationale, and Mitigation	41
	5.3 Alternative Development Options	44
6	CONSERVATION STRATEGY	45
7	STATEMENT OF PROFESSIONAL OPINION	46
8	QUALIFICATIONS	47
9	APPENDICES	48
	Appendix A: Reference List	
	Appendix B: Ownership Chronology - Lot 10 and Lot 29	
	Appendix C: Listing Information - 51, 55-57 Dundas Street West, 78 Agnes Street, and 47 Dundas Street West (City of Mississauga)	
	Appendix D: Heritage Policy Review	

Refer to architectural drawings prepared by RA Lumbao Architects, dated July 30, 2025

COVER PAGE: Render of proposed development
(RA Lumbao Architects, 2025).

Project #	25-016-02
Prepared by	AP / DE / CS / NM / ZA / CH

1 SUMMARY STATEMENT & CONSERVATION RECOMMENDATIONS

Purpose

ERA Architects Inc. (ERA) has been retained by the applicant to prepare this Heritage Impact Assessment (HIA) for the proposed development at 51-55 Dundas Street West and 60-78 Agnes Street in Mississauga, Ontario (the “Site”). The HIA evaluates the proposed development in relation to cultural heritage resources that may be impacted.

Heritage Status and Cultural Heritage Value

The Site contains two properties listed on the City of Mississauga’s Heritage Register: 51, 55-57 Dundas Street West and 78 Agnes Street. None of the properties within the Site are designated under the Ontario Heritage Act (OHA), and the Site is not located within an approved, proposed, or pending Heritage Conservation District. The Site is adjacent to one listed heritage resource.

ERA has evaluated the properties at 51, 55-57 Dundas Street West and 78 Agnes Street using the provincial Criteria for Determining Cultural Heritage Value or Interest (Ontario Regulation 9/06). ERA found that 51, 55-57 Dundas Street West meets the criteria for cultural heritage value, and 78 Agnes Street does not meet the criteria for cultural heritage value. Refer to Section 2.4.3 for a draft Statement of Significance and list of heritage attributes for 51, 55-57 Dundas Street West.

Overview of Proposed Development, Conservation Strategy, Impact & Mitigation

The proposed development will modify the existing Site to accommodate a new mixed-use development with a residential tower that will integrate the original two-storey building at 51, 55-57 Dundas Street West into the new base building. Other buildings on the Site will be demolished. The proposed dismantling and reconstruction of the north portion of the heritage building is mitigated by the retention in situ of the southern portion of the building, and the reconstruction of the east elevation and north return wall. The ERA-identified heritage attributes of the property are found in the retained building, which will be conserved. The proposed development has been designed to respond and provide a compatible relationship to the cultural heritage value of the existing property and the adjacent heritage resource. The building podium height relates to the height of the heritage resource. New construction will be set back from the heritage building, with the new tower located in the northern portion of the Site. The heritage building will be legible as a distinct building element, and its three-dimensional legibility will be maintained as seen from the street. There are no anticipated heritage impacts associated with the proposed development on the adjacent heritage resource. Refer to Section 3.4 for alternative development options that were explored.

Conclusion

This HIA finds that the proposed development will conserve the integrity and cultural heritage value of the Site. The proposed development responds to the evolution the Site and its surrounding context. The proposed development provides new retail and residential uses, as well as a new open space along Dundas Street West that will act as an amenity to the neighbourhood.

2 INTRODUCTION

2.1 Scope of the Report

ERA Architects Inc. (ERA) has been retained by the applicant to prepare this Heritage Impact Assessment (HIA) as part of a planning application for the proposed development at 51-55 Dundas Street West and 60-78 Agnes Street in Mississauga, Ontario (the “Site”). The purpose of an HIA, as per the City of Mississauga HIA Terms of Reference (2024) is to:

to determine the impacts to known and potential heritage resources within a defined area proposed for future development. The study includes an inventory of all heritage resources within the planning application area. The study results in a report, which identifies all known heritage resources, an evaluation of the significance of the resources, and makes recommendations toward mitigation measures that would minimize negative impacts to those resources.

Multiple sources of data have been collected, sorted and analyzed for this assessment. Both primary and secondary sources have been consulted, including: historical maps, atlases, aerial photographs, previous reports relating to the area, archival images, internet research, and observations from a site visit.

3 BACKGROUND INFORMATION



Figure 1. Aerial photograph with the Site boundary indicated (Google Maps, 2024; annotated by ERA).

3.1 Site History

The following section provides background research and analysis about the Site.

Area History

Indigenous Past, Present, Future

This section of the report was written by non-Indigenous authors from a non-Indigenous perspective to provide a high-level summary primarily using archaeological and written resources. This summary may not reflect or represent the entirety of the rich history of Indigenous peoples in this area.

The area which comprises the City of Mississauga has been occupied by Indigenous Peoples for thousands of years. Throughout this time, communities lived as distinct societies, each with their own territorial boundaries, language, customs and belief systems, governance structures, and identity. The Great Lakes area offered a rich natural environment that supported Indigenous ways of life and incubated cultural practices, all of which sustained communities for millennia.¹

Prior to European contact, the Credit River Valley was inhabited by Iroquois, Algonquin and Ojibwa speaking peoples, and it was considered a crossroads for regional trade. In the late thirteenth to fourteenth-century, an Iroquoian village was established several kilometres northeast of the site. Now known as the Antrex site, the residents settled in houses, held ceremonies in sweat lodges, engaged in trade, and cultivated maize. In the 1700s, the Mississaugas, a sub-group of the Ojibwe (Anishinaabe) Nation, migrated to the areas around the Etobicoke Creek, Credit River, and Burlington Bay. Today, the City of Mississauga is home to many diverse First Nations, Inuit and Métis peoples and the lands remain of historical and contemporary significance for Indigenous Peoples.

¹ Jennifer Bonell, *Reclaiming the Don: An Environmental History of Toronto's Don River Valley* (Toronto: University of Toronto Press, 2014), 10.



Figure 2. 1917 photo of Four Corners in Cooksville (Mississauga Library, Photo Identifier: HA0066).



Figure 3. c. 1930 photo looking east along Agnes Street (Mississauga Library, Photo Identifier: CK0028).

Early Colonization and Settlement

In 1805, representatives of the British Crown and the Mississauga (today's Mississaugas of the Credit First Nation) negotiated a treaty called Treaty 13A, or the Mississauga Purchase. This purchase included over 74,000 acres of land from the waterfront to today's Eglinton Avenue. Two further treaties followed in 1818 and 1820.

The Site is located in the former Toronto Township, within the former Village of Cooksville. In the early 1800s, the Township was sparsely populated, with hamlets and villages primarily growing along Dundas Street and Hurontario Street. Hurontario Street, to the east of the Site, was surveyed in 1818 and became a transportation route for colonial settlers in the region. By 1851, approximately 5,000 people lived in the Township and nearly 40% lived in the villages or hamlets, with others occupying farmlands. By 1859, Hurontario Street connected a number of villages, including Cooksville, Port Credit, Derrywest, and Brampton, supporting regional travel and goods movement with inns, general stores, and post offices. The commercial centre of Cooksville was the intersection of Dundas Street and Hurontario Street, which was known as "The Cooksville Corners" or "Four Corners." Land in the Toronto Township remained predominantly in agricultural use until after the Second World War, when population increase and an investment in road infrastructure led to suburbanization of the area.

In 1968, Cooksville along with other villages of Toronto Township joined to form the Town of Mississauga. In 1974, the Town of Mississauga became the City of Mississauga, following the amalgamation of the town of Mississauga, Streetsville, and Port Credit.

The properties within the Site were historically located in Lots 10 and 29 in the 1877 Plan of Cooksville. Refer to the Appendix for a list of owners for Lots 10 and 29.

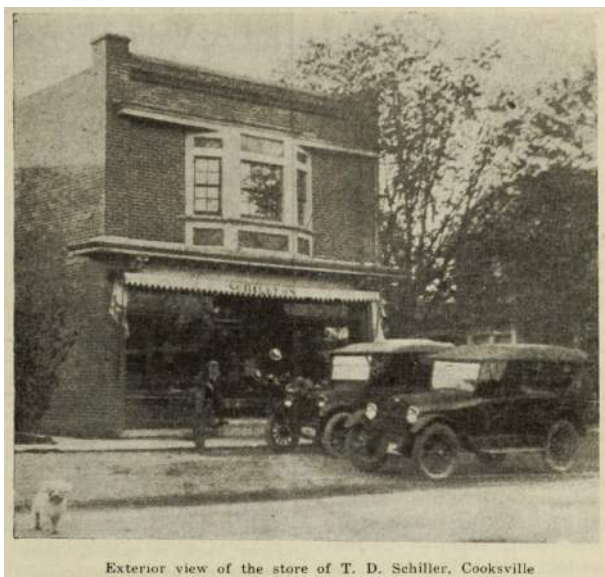


Figure 4. Photo of T.D. Schiller's building in 1921 issue of The Canadian Grocer (University of Toronto).



Figure 5. 1978 photo of 51 Dundas Street West. Note: original image was inverted and manually modified above (Mississauga Library, Photo Identifier: A571).



Figure 6. Excerpt of 1920 article from the Canadian Grocer highlighting how T.D. Schiller's building his customer base (Canadian Grocer, Canadiana).



Figure 7. 1989 photo of 51 Dundas Street West (Mississauga Library, Photo Identifier: PH2278).

Property History - 51, 55-57 Dundas Street

In 1877, David Oscar Schiller opened a flour and seed business in a wood-framed building on the property. The business grew over the years and Schiller expanded the business by constructing a new building in the 1900s. In 1913, a two-storey brick-clad building with an attached one-storey dwelling was constructed on the Site, replacing the existing one-storey general store. The new store included a cement basement for stocking.

David's grandsons Thomas and James Schiller operated the store after their grandfather's death shortly after the store opened. The Schiller store began to offer, in addition to groceries, other items like hardware supplies, medicine, clothing, and automobile parts. Thomas "T.D." Schiller sold the store prior to his death in 1930. A one-storey concrete block commercial addition was constructed after 1939.

Since its construction the building on the property has been used by a number of tenants and there have been various alterations to the building. Refer to Section 2.2 for more detail on the alterations. The building on the property is currently in use as a salon, printing centre, and tax company.



Figure 8. 1978 photo of 78 Agnes Street (Mississauga Library, Photo Identifier: A377).



Figure 9. 1989 photo of 78 Agnes Street (Mississauga Library, Photo Identifier: PH2285).



Figure 10. 1989 photo of 78 Agnes Street (Mississauga Library, Photo Identifier: PH2286).

Property History - 78 Agnes Street

In 1927, a one-storey concrete block structure was built on the property for the Cooksville members of the Orange Order. The members had previously met at other locations in Cooksville, and in 1927 they bought the property to build what one source identifies as a 35 foot by 60 foot structure using volunteer labour. In 1928, the building formally opened as the Cooksville Orange Hall (also referred to as the Loyal Orange Lodge) at which point it was attended by over 200 members of the order. The structure cost between \$5,000 and \$6,000 to build, and at the time, approximately 2,000 Loyal Orange lodges existed throughout Canada. The building served as a gathering location for members of the lodge, and it also housed performances, auctions, ceremonies, and parties that were publicly advertised in newspapers. The Orange Order presumably ceased occupation of the hall towards the end of the twentieth century (one source notes the lodge closed in 1967), and the building began operating as a child care centre in 2002.

The Orange Order

The Orange Order is a political and religious fraternal organization founded in Ireland and propagated to Canada through Irish-born Protestant immigrants and soldiers in the early nineteenth century. Many prominent Canadian historic figures were members of the Orange Order, known as “Orangemen.” It is worth noting that based on this research, the Orange Order has had anti-Catholic sentiment. It is unclear if this exclusionary thinking was applied to other facets of contemporary activities. Further research is required to better understand the views of the Orange Order. Approximately a third of the lodges in Canada

were constructed between 1854 and 1869. After 1945, the Canadian Orange Order declined in membership and political influence. In 2000, 134 Orange Lodges remained in Ontario. At the time of writing this report, there are no active lodges listed in Mississauga on the Grand Orange Lodges of Ontario website; a few lodges remain in nearby Toronto (4), Brampton (1) and Hamilton (3).

Based on research and ERA's review, Canadian Orange Order lodges do not have a consistent architectural style or form. Some lodges have design expression, such as the former Orange lodge at 47 Queen Street South in Mississauga, while others, such as the building at 78 Agnes, are built through modest and conventional construction techniques. Many former lodge buildings have been repurposed.

Visual Resources



Figure 11. 1859 George Tremaine Map of Peel County (Albion Bolton Historical Society; annotated by ERA).



Figure 12. 1877 Historical Atlas of Peel County - Plan of Cookville. The Site boundary is within Lots 10 and 29 (University of Toronto; annotated by ERA).

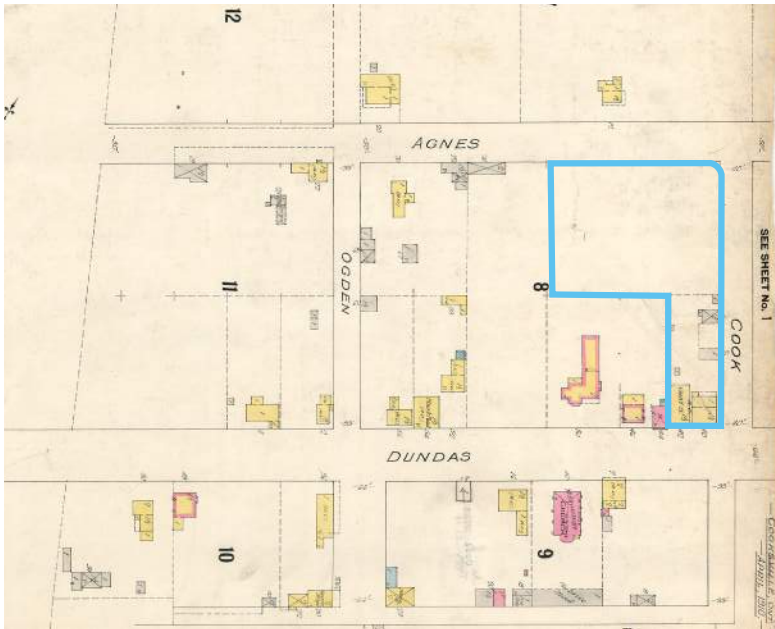


Figure 13. 1910 Fire Insurance Plan of Cookville, Ontario (Library and Archives Canada; annotated by ERA).

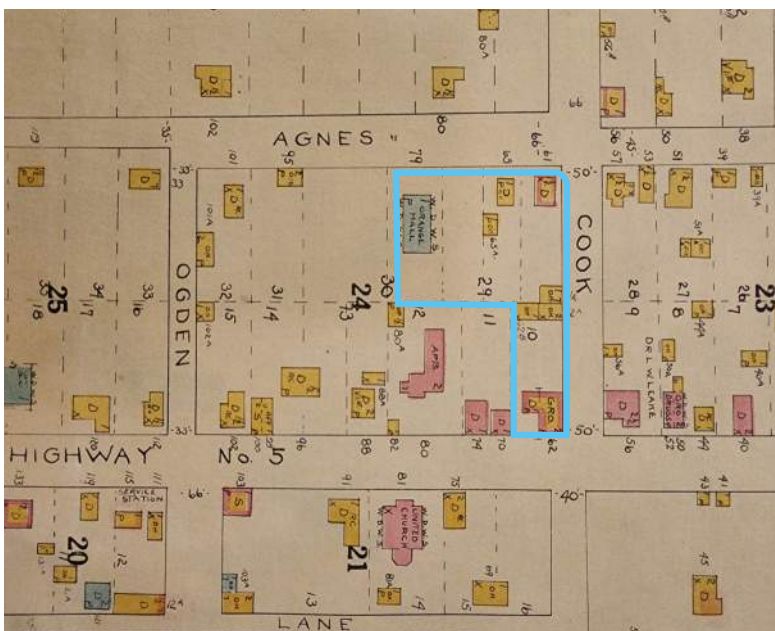


Figure 14. 1939 Fire Insurance Plan of Cookville, Ontario (University of Toronto; annotated by ERA).



Figure 15. 1968 aerial photo (City of Mississauga; annotated by ERA).



Figure 16. 1971 aerial photo (City of Mississauga; annotated by ERA).



Figure 17. 2000 aerial photo (City of Mississauga; annotated by ERA).



Figure 18. 2010 aerial photo (City of Mississauga; annotated by ERA).



Figure 19. Aerial photo looking northeast with the approximate Site boundary indicated (Google Maps, 2024; annotated by ERA).

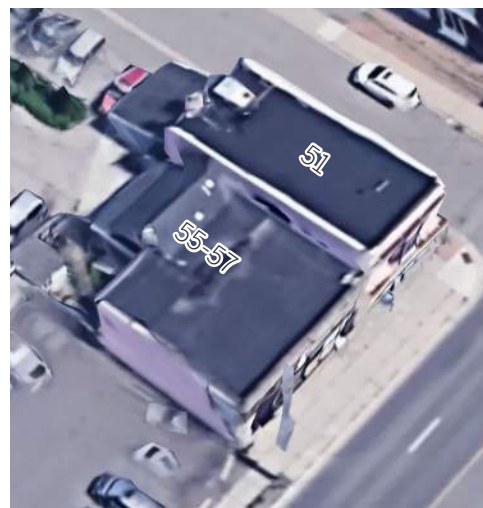


Figure 20. Detail of aerial photo of 51, 55-57 Dundas Street West (Google Maps, 2024; annotated by ERA).

3.2 Site Description

The Site is located on the west side of Cook Street, north of Dundas Street West in the Downtown Cooksville area of the City of Mississauga. The Site contains five structures. Fronting Dundas Street West is 51, 55-57 Dundas Street West, which contains a two-storey building with one-storey rear and side additions and a surface parking lot. Fronting onto Agnes Street is 78 Agnes Street, a one-storey building, and three detached houseform buildings: 60 Agnes Street, a two-storey brick building, 66 Agnes Street, a one-storey stucco building, and 70 Agnes Street, a one-storey building with siding.

The area to the west of the Site includes a low-rise retail plaza and a high-rise building under construction beyond. Directly north of the Site are low-rise residential buildings and a secondary school beyond. To the east of the Site are several houseform buildings and low-rise retail fronting onto Dundas Street West and surface parking lots beyond. To the south of the Site is low-rise retail and a mid-rise office building further south.

Other Studies

As part of Metrolinx's preliminary design work for a Bus Rapid Transit project which includes road widening along Dundas Street West, an Environmental Assessment (EA) was undertaken which explores the potential heritage value and impacts on the Site. Refer to EA for more information.



Figure 21. City of Mississauga Heritage Properties map (left) and Zoning By-law map (right) with the heritage properties on and adjacent to the Site indicated. According to the legend of the Zoning By-Law, the northern portion of the Site is zoned Development - Existing Use (D1) and the southern portion is zoned Mainstreet Commercial (C4) (City of Mississauga; annotated by ERA).

Heritage Status

The Site contains two properties listed on the Heritage Register.

- 51, 55-57 Dundas Street West is comprised of a two-storey wood-framed building clad in brick with a low-sloped roof. The building has an attached one-storey wood-framed houseform building, with a gable roof, both constructed in 1913. A one-storey concrete block addition with a low-sloped roof was constructed after 1939. A surface parking lot is located at the rear of the property.
- 78 Agnes Street is a one-storey concrete block building with a gable roof, which began construction in 1927 and opened in 1928. A surface parking lot is located at the front of the property.

Adjacent Heritage Resources

The Site is adjacent to 47 Dundas Street West, which is listed on the Heritage Register. As noted in the listing information, the property was the location of the first post office in Cooksville. After the two-storey brick houseform building was constructed in 1914, the post-office continued to operate out of the building until 1917. A commercial addition was later added to the east of the building.



Figure 22. Detail of survey of the Site with the approximate building evolution of 51, 55-57 indicated (Tarasick McMillan Kubiki Limited, 2024; annotated by ERA).

Alterations

51, 55-57 Dundas Street West

ERA received building records from the City of Mississauga for 51, 55-57 Dundas Street West. Available building records for the property show the following:

- 1984 - Interior alterations including interior partition removal and new counters within the two-storey portion of the building.
- 1994 - Alterations related to heating and ductwork.
- 1996 - Interior partition removal and additions. Removal of a part of the west wall of the two-storey portion at ground level to adjoin the interior space with that of the one-storey addition.
- 2001 - Alterations related to plumbing.

Additional alterations based on research and site observations include the following:

- The two-storey portion of the building was originally clad in rough red brick. Portions of the east, west, and north elevations have since been clad in stucco. All exterior walls, including the attached houseform portion have been painted. Other alterations include: the addition of signage and stone cladding on the south and east elevations, metal over-cladding on the cornice on the south elevation, modifying the height and composition of the brick parapet on the south elevation, and altering the storefront entrance. Windows have been replaced. The one-storey commercial portion to the west is a later addition.

78 Agnes Street

ERA received building records from the City of Mississauga for 78 Agnes Street. Available building records for the property show the following:

- 2001 - Alterations to support a daycare use, including alterations to plumbing, HVAC, lighting, interior partitions and wall assemblies, as well as new stairs and alterations to the flat roof of the rear addition. Property modifications include new paving, trees, and fencing.

3.3 Existing Conditions

Site Photos



Figure 23. Context photo looking east along Dundas Street West (ERA, 2025).



Figure 24. Context photo looking west along Dundas Street West (ERA, 2025).



Figure 25. Context photo looking east along Agnes Street (ERA, 2025).



Figure 26. Context photo looking west along Agnes Street (ERA, 2025).



Figure 27. Context photo looking south along Cook Street with 51,55-57 Dundas Street West and 60 Agnes Street visible (ERA, 2025).



Figure 28. Photo of south elevation of 51, 55-57 Dundas Street West (ERA, 2025).



Figure 29. Photo of east elevation of 51, 55-57 Dundas Street West (ERA, 2025).



Figure 30. Photo of west elevation of 51, 55-57 Dundas Street West (ERA, 2025).



Figure 31. Photo of north elevation of 51, 55-57 Dundas Street West (ERA, 2025).



Figure 32. Photo of east elevation of 60 Agnes Street (ERA, 2025).



Figure 33. Photo of north elevations of 60 and 66 Agnes Street (ERA, 2025).



Figure 34. Photo of north and east elevations of 78 Agnes Street (ERA, 2025).



Figure 35. Photo of north elevation of 78 Agnes Street (ERA, 2025).



Figure 36. Photo of north and west elevations of 78 Agnes Street (ERA, 2025).

3.3.1 Condition Assessment

ERA visited the Site on March 18, 2025, and conducted a visual inspection of 51, 55-57 Dundas Street and 78 Agnes Street to briefly assess the physical condition of the buildings. The assessment was carried out from grade and an elevated lift platform. ERA also conducted a brief review of the building interiors. At the time of the review destructive investigations were performed at 51, 55-57 Dundas Street West by Arcana Restoration Ltd. (Canadian Association of Heritage Professionals), whereby overcladding (stucco and sheet metal) was removed to expose representative areas of the substrate on the south and east façade exterior for ERA's review. The finishes were reinstated to match existing following the review.

ERA evaluated the building components using the following assessment system:

Good: Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.

Fair: Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.

Poor: Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.

Defective: Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.



Figure 37. Left to right: 51 Dundas Street West detail photos of brick found beneath stucco of east elevation; underside of the lower storefront cornice woodwork at south elevation; and the woodwork found beneath the metal cladding of the upper cornice at south elevation (ERA, 2025).

51, 55-57 Dundas Street West

The building at 51, 55-57 Dundas Street East is generally in fair condition, with areas in poor or defective condition.

Two-Storey Portion

- Brick cladding on the south elevation is painted, concealing the underlying condition. At the parapet level on the south elevation, the brick is in poor condition, exhibiting step cracking.
- At the east elevation, the brick is overclad with stucco. Areas of investigation indicate the stucco is firmly bonded, and it was not possible to remove the stucco without damaging the underlying brick, rendering the brick in defective condition. Brick exposed at the parapet level of the east elevation, beneath the flashing, was in poor condition, showing erosion of the mortar joints.
- The condition of the stuccoed wall at the west elevation, exposed to the exterior above the roof of the adjacent building, is assumed to be similar to the east. At the interior, there is a large opening in the west wall to allow passage between the southern portion and the attached one-storey commercial space, which are combined under one tenancy.

- At the north elevation, the wall is concealed at the ground floor level by a one-storey wood and stucco clad addition. The wall above is overlaid with stucco.
- Woodwork at the parapet level cornice on the south elevation was exposed by Arcana, removing prefinished metal overcladding. The cornice woodwork is in poor condition, with loss of finish, separation of components, and water damage visible.
- Wood brackets and soffit were visible without any destructive investigation. The woodwork is exposed beneath the signage band located above the storefront on the south and east elevations. The wood soffit and brackets are painted, concealing their underlying condition.
- The retrofit vinyl or metal windows are in fair condition. The retrofit vinyl or metal doors are in poor condition. The metal storefront assembly at south elevation in poor condition. The framing of the bay window at the south elevation is clad in prefinished metal and in fair condition. The exposed wood panels are in poor condition, where loss of paint finish and potential water damage is visible.
- The low slope roof was not accessed for this condition assessment.



Figure 38. Left to right: 55-55 Dundas Street West detail photos of west elevation; wood soffit at north elevation; interior view looking north at the junction between the houseform building and the addition to the south (ERA, 2025).

One-Storey Portions

- At the interior, the junction between the two attached structures on the lot is indicated by a change in floor level. The former exterior south facing wall of the houseform building has been overlaid. Access to the interior area of the houseform portion of the building was limited. The interior of the houseform building has been modified to support commercial use on the property.
- Exterior brick masonry on the houseform building visible at the west gable appears intact although it is painted, thereby concealing the underlying condition. All other exterior walls are either overlaid with stucco or concealed by abutting construction.
- Woodwork at the houseform building, including gable fascia, soffit and wood cladding, is in poor or defective condition.
- The retrofit metal windows are in fair condition, and the wood window at west gable is in poor condition. The retrofit metal door at north elevation is in poor condition. The metal storefront assembly at south elevation of the one-storey commercial addition is in poor condition.
- The asphalt shingle roof of the houseform building is in fair condition. The roof of the one-storey commercial addition was not accessed for this assessment.



Figure 39. Left to right: 78 Agnes Street detail photos of woodwork at eave of east elevation; concrete buttress at east elevation; and concrete masonry at east elevation (ERA, 2025).

78 Agnes Street

The building at 78 Agnes Street is generally in fair condition, with areas in poor or defective condition.

- The concrete block is generally in fair condition, although areas of poor and defective condition are visible towards the south of the building, where significant step cracking and loss of mortar is present.
- The east and west exterior walls have monolithic concrete buttresses along the concrete block walls. The buttresses are of crude construction and are in poor or defective condition, with spalling and severe cracking visible.
- Brick masonry at chimneys on the south and west elevations is in poor condition, exhibiting severe loss of mortar and incompatible repairs.
- Exterior woodwork is generally in poor condition, with loss of finish and water damage visible.
- The retrofit vinyl windows are in fair condition. The retrofit vinyl or metal clad doors are in fair condition.
- The asphalt shingle roof is in fair condition.

Measured Drawings of Existing Buildings

A survey of the Site is included below.

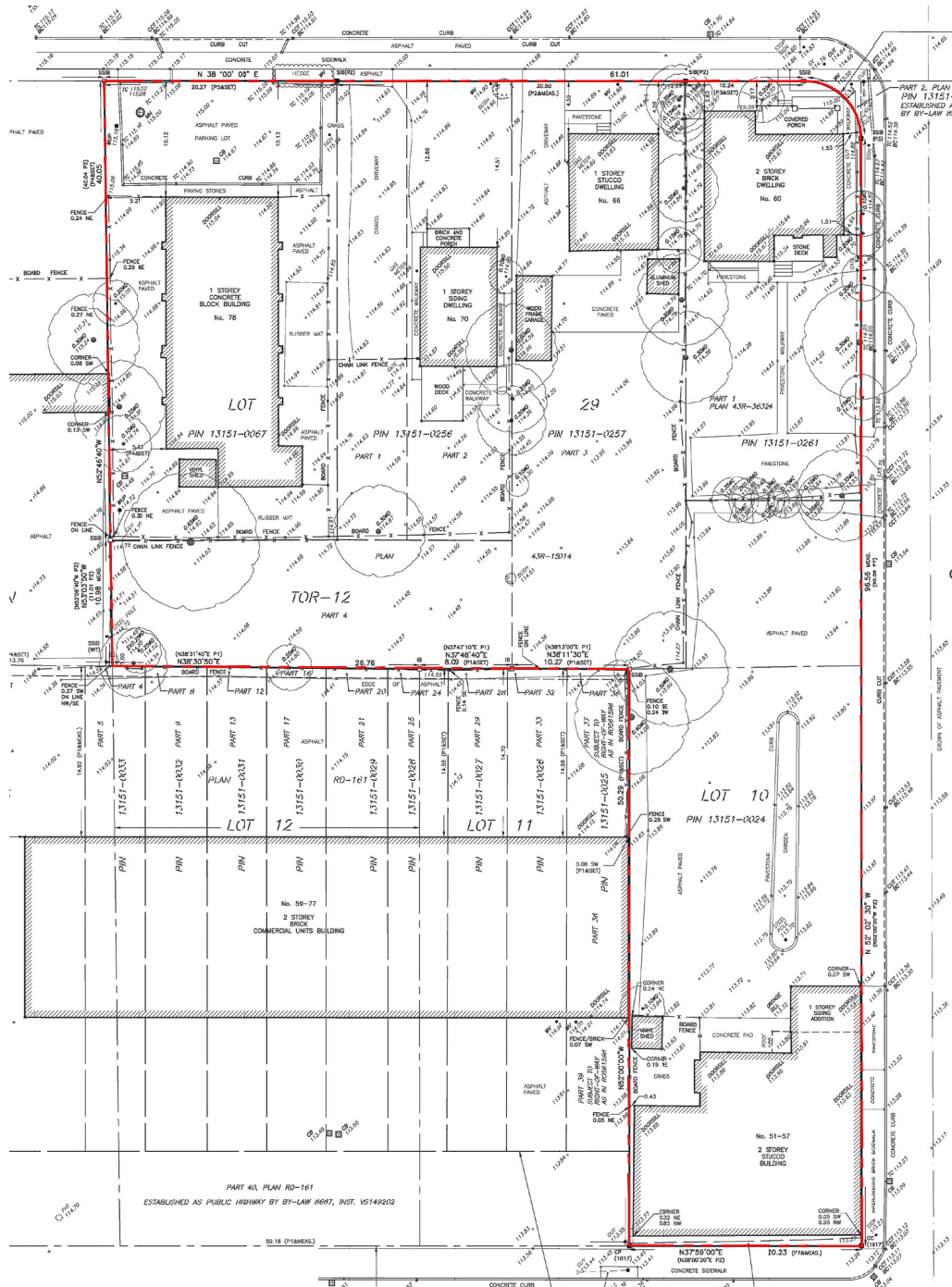


Figure 40. Survey of the Site (Tarasick McMillan Kubiki Limited, 2024; annotated by RA Lumbao Architects, 2025).

3.4 Evaluation under Ontario Regulation 9/06

3.4.1 Cultural Heritage Value

Ontario Regulation 9/06 (“O.Reg. 9/06”) sets out Criteria for Determining Cultural Heritage Value or Interest, for the purpose of determining candidacy for designation under Part IV, Section 29 of the OHA. The OHA requires that properties must meet two or more criteria out of the nine criteria under O.Reg. 9/06 to be eligible for designation under Part IV of the Act.

51, 55-57 Dundas Street West and 78 Agnes Street are listed on the Heritage Register. ERA has evaluated the properties using the criteria prescribed under O. Reg. 9/06. Our assessment is summarized in the following pages.

AECOM previously prepared a CHER for the 51, 55-57 Dundas Street West property dated February 2022 (the “2022 CHER”) and determined that it meets the criteria for cultural heritage value or interest, excluding the one-storey commercial addition. While ERA has reviewed and accepted much of the background research of the Site and surrounding area as provided in the 2022 CHER, ERA conducted additional research as well as destructive investigation and an integrity assessment of the property that have informed the evaluation.

51, 55-57 Dundas Street West

CRITERION	Y/N	COMMENTS
1) The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	Y	The two-storey portion of the building is a representative example of a commercial building with a storefront constructed in the village of Cooksville in the early twentieth century. The attached one-storey houseform portion constructed at the same time has been altered and subsumed by the later one-storey commercial addition to the south. The one-storey houseform portion contains limited design or physical value and does not contribute to the overall design value of the property. The commercial addition does not contribute to the design value of the property.
2) The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N	The building does not display craftsmanship or artistic merit in a greater than normal quality or at an intensity well above industry standards.
3) The property has design value or physical value because it demonstrates a high degree of scientific or technical achievement.	N	The building was constructed using conventional construction techniques and does not demonstrate a high degree of technical or scientific achievement.
4) The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	N	The property hosted a number of occupants, including David Schiller who opened a store in 1877 that expanded and led to the construction of the two-storey building on the property, later operated by Schiller's grandsons. Research did not uncover evidence of a person being significant to a community. There is no direct association with a theme, event, belief, activity, organization or institution that is significant to a community.
5) The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	N	Based on the research conducted, the building does not appear to offer new knowledge or information that contributes to an understanding of a community or culture. The City of Mississauga is currently undertaking an Archaeological Management Plan which will identify areas of archaeological potential.
6) The property has historical value or associative value because it demonstrates, or reflects the work or ideas of an architect, builder, designer or theorist who is significant to a community.	N	Neither an architect nor builder was identified for the property. The property is not known to directly demonstrate or reflect the work or ideas of an architect, artist, builder, or theorist who is significant to a community.
7) The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	N	The building is not important in defining, maintaining, or supporting the character of the area. While the building dates back to the Village of Cooksville's early commercial development, the surrounding area has undergone changes and there is limited discernible character remaining from this time.
8) The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	Y	The building is visually and historically linked to the Village of Cooksville's early commercial development. Built in the same period as the adjacent building at 47 Dundas Street West, the building provides a sense of early commercial development along Dundas Street West, albeit as different forms that are not visually cohesive. The building on the property is not physically or functionally linked to its surroundings as it is a standalone building that operated independently on the property.
9) The property has contextual value because it is a landmark.	N	The building is not a landmark. With its small scale and lack of prominent physical characteristics, the building is not an easily recognizable and understood marker. Research does not indicate that the structure serves as an orientation guide or attraction.

ERA has evaluated the property using the prescribed criteria under O.Reg 9/06. This evaluation finds the property meets the criteria. A draft statement of significance and draft heritage attributes have been prepared.

78 Agnes Street

CRITERION	Y/N	COMMENTS
1) The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N	The one-storey concrete-block building was constructed in 1927 to be used as a lodge by the Orange Order. The building is not a rare or unique example as it was built at a time when there were many lodges throughout Canada, and a number of lodges remain in Southern Ontario. The building is not representative as there is no distinct architectural style or form used for lodges. It is not an early example as other lodges were constructed in the mid-nineteenth century. The building uses conventional construction techniques, and is not a rare, unique, representative or early example of a style, expression, material or construction method.
2) The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N	The building was constructed economically using conventional materials and common craftsmanship. It does not display a high degree of craftsmanship or artistic merit.
3) The property has design value or physical value because it demonstrates a high degree of scientific or technical achievement.	N	The building was constructed using conventional construction techniques and does not demonstrate a high degree of technical or scientific achievement.
4) The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	N	The building was one of many lodges constructed for meetings and gatherings associated with the Orange Order. Although the building is associated with the Orange Order, research does not suggest that it is presently significant to that group. The building presently has a new use. Orange Order membership has declined significantly in past decades, and there are no longer active lodges in Mississauga. It is worth noting that the Orange Order has had anti-Catholic sentiment. It is unclear if this exclusionary thinking was applied to other facets of contemporary activities. Further research is required to better understand the views of the Orange Order.
5) The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	N	Based on the research conducted, the building does not appear to offer new knowledge or information that contributes to an understanding of a community or culture. The City of Mississauga is currently undertaking an Archaeological Management Plan which will identify areas of archaeological potential.
6) The property has historical value or associative value because it demonstrates, or reflects the work or ideas of an architect, builder, designer or theorist who is significant to a community.	N	The building was volunteer built. Research does not indicate that the property known to directly demonstrate or reflect the work or ideas of an architect, artist, builder, or theorist who is significant to a community.
7) The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	N	The building on the property is not important in defining, maintaining, or supporting the character of the area. This section of Agnes Street does not have a readily discernible or cohesive character.
8) The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	N	The building does not have a physical or functional link to its surroundings as it is a standalone building that operated independently from its surroundings. The building is not visually connected to its surroundings as the area has changed over the years and has no discernable character. The building is not historically linked to its surroundings as it is a modest building located on a single mid-block lot.
9) The property has contextual value because it is a landmark.	N	The building is not a landmark. With its small scale and lack of prominent physical characteristics, the building is not an easily recognizable and understood marker. Research does not indicate that the structure serves as an orientation guide or attraction.

ERA has evaluated the property using the prescribed criteria under O.Reg 9/06. This evaluation finds the property does not meet the criteria and does not warrant conservation. A draft statement of significance and draft heritage attributes have not been prepared.

3.4.2 Integrity Analysis of Existing Buildings

The following section provides an overall assessment of the level of integrity for properties when there is a question of cultural heritage value. This includes properties where the evaluation of cultural heritage value determined that the value was marginal but there is a possibility that the property can meet 9/06 criteria, or where the property was determined to meet 9/06 criteria but it may not have sufficient integrity to express its cultural heritage value. The Ontario Heritage Toolkit's guidance on how to assess integrity (Heritage Property Evaluation, Section 5.3) was relied upon to assess the property at 51, 55-57 Dundas Street West, in particular the one-storey houseform portion.

The existing one-storey houseform portion of the building at 51, 55-57 Dundas Street West is in a degraded state and was not found to meet the threshold. The structure has been altered, and the southern portion of the structure has been subsumed by the later south commercial addition. The former exterior south facing wall has been overclad, with concealed conditions. The north elevation has been overclad with stucco and is painted, with concealed conditions. The west elevation brick has been painted, with concealed conditions. Woodwork is in poor or defective condition. Interior modifications have been made to support the current commercial use. For a detailed description of existing conditions, refer to Section 2.3.1.

3.4.3 Draft Statement of Significance

Description of Building

The building at 51, 55-57 Dundas Street West is an evolved two-storey wood-framed building clad in brick, built in 1913. It is located north of Dundas Street West and west of Cook Street.

Draft Statement of Cultural Heritage Value

The two-storey structure is a representative example of a commercial building with a storefront constructed in the village of Cooksville in the early twentieth century. The building is visually and historically linked to the Village of Cooksville's early commercial development. Built in the same period as the adjacent building at 47 Dundas Street West, the building provides a sense of early commercial development along Dundas Street West, albeit as different forms that are not visually cohesive.

Draft Heritage Attributes

ERA has prepared a list of draft heritage attributes for 51, 55-57 Dundas Street West. The following relate to the building's design or physical value:

- The central bay window on the second floor of the south elevation;
- The brick parapet with dogtooth brick pattern on the south elevation;
- The wood cornice on the second floor of the south elevation; and
- The wood cornice with wood brackets above the ground floor of the south elevation.

The one-storey houseform portion and later south addition are excluded.

Note the existing storefront on the south elevation does not contain heritage fabric. Refer to the conservation strategy in Section 3.5 which proposes a new storefront assembly to be included based on archival documentation.

4 DESCRIPTION OF PROPOSED DEVELOPMENT

The proposed development will modify the existing Site to accommodate a new mixed-use development with a residential tower that will integrate the south portion of the building at 51, 55-57 Dundas Street West into the new base building. Other buildings on the Site will be demolished. The new tower will be setback from the heritage building and located in the northern portion of the Site.

The proposed development is set back from the property lines, and includes a seven-storey podium north of the retained heritage building, with a stepback above level two that aligns with the height of the heritage building. The northern portion of the building includes stepbacks above levels seven and eight, with a tower above. Underground parking and loading spaces will be accessed through an east-west drive aisle, located roughly midway along Cook Street. The ground floor of the proposed development will include two-storey commercial units, fronting onto Cook Street, south of the drive aisle. North of the drive aisle of the proposed development will include indoor amenity and residential lobby space, a daycare along the north elevation fronting onto Agnes Street, and outdoor space along the west elevation. A pedestrian walkway is included along the west elevation of the new podium. The second floor level will include residential units, and indoor and outdoor amenity. Floor levels three through seven will include residential units. Floor level eight will include residential units, indoor amenity space and rooftop outdoor amenity spaces, with residential units above. The area west of the retained heritage building will include a landscaped open space.

Select plans and elevations from the architectural package by RA Lumbao Architects are provided over the following pages to illustrate the proposed development.

4.1 Architectural Drawings

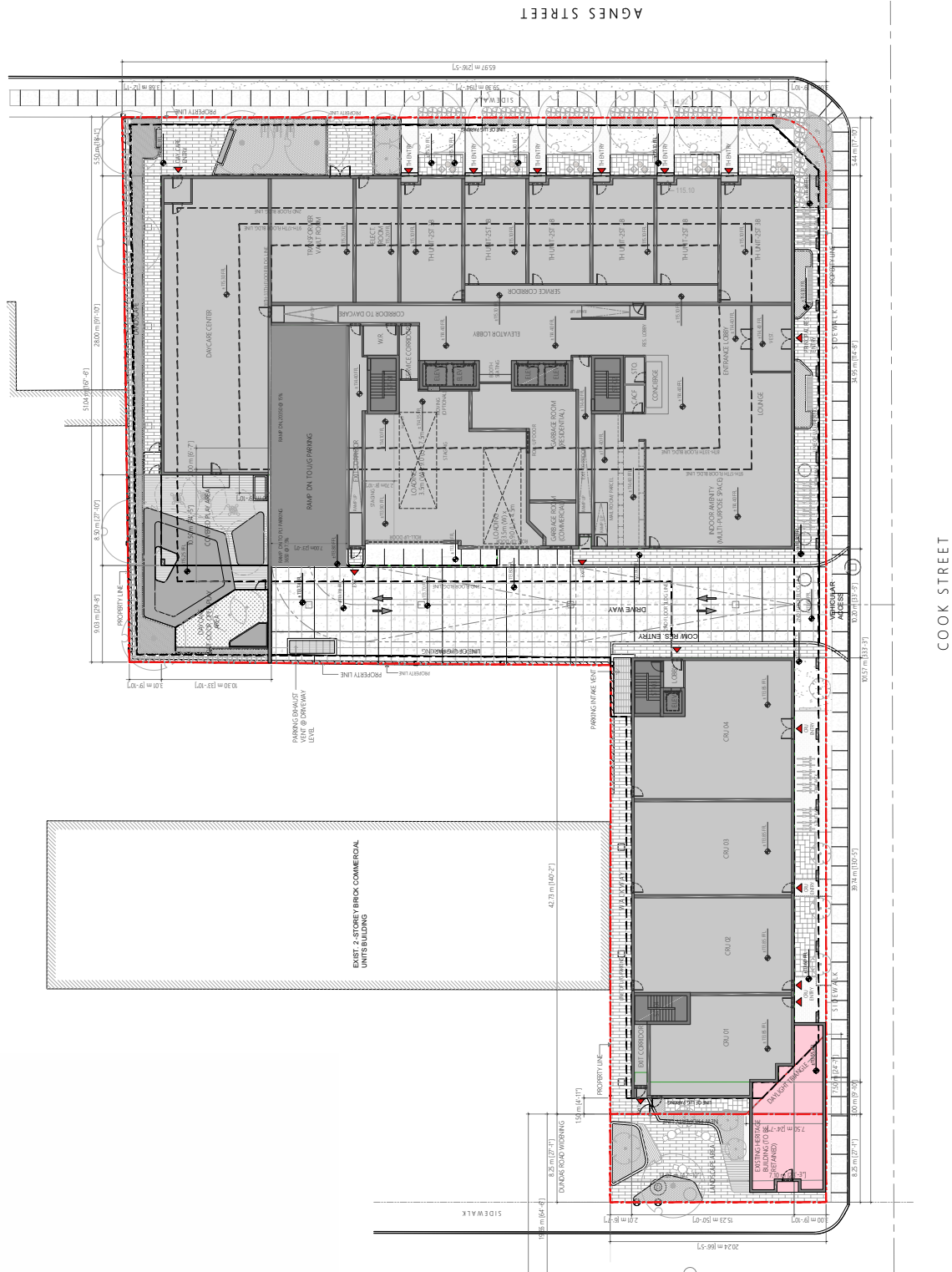


Figure 41. Proposed site plan (RA Lumbao Architects, 2025).

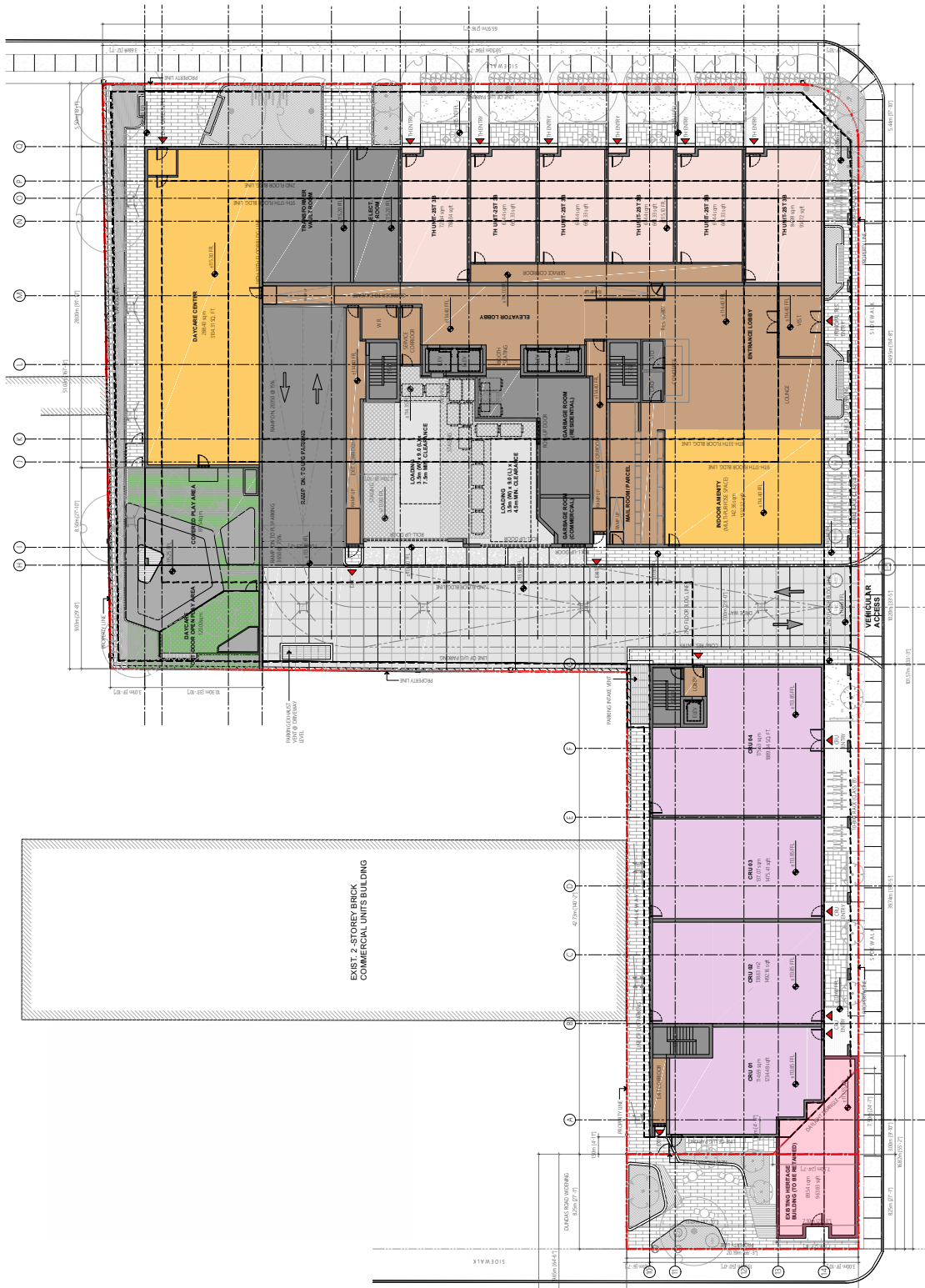


Figure 42. Proposed ground floor plan (RA Lumbao Architects, 2025).

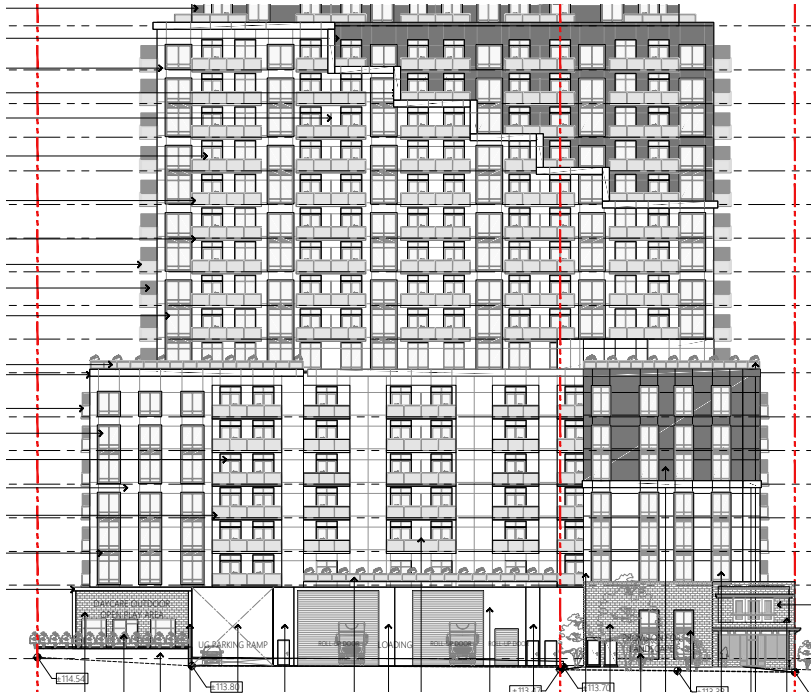


Figure 43. Excerpt of proposed south elevation (RA Lumbao Architects, 2025).

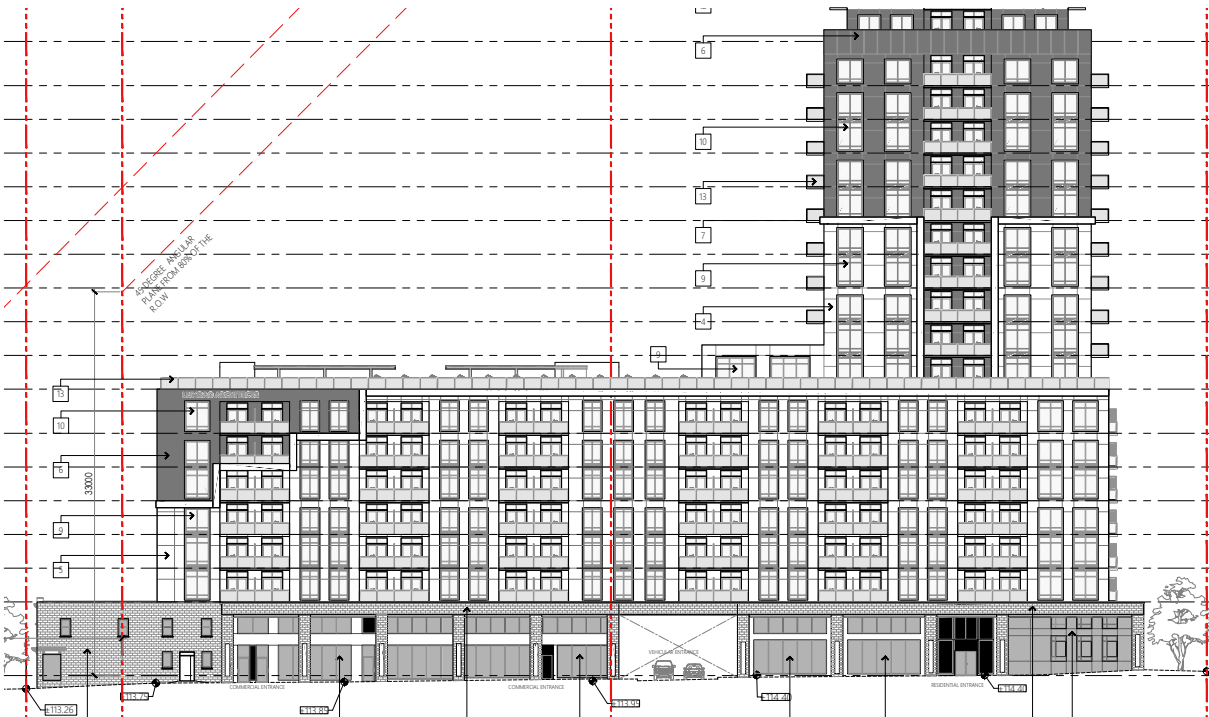


Figure 44. Excerpt of proposed east elevation (RA Lumbao Architects, 2025).

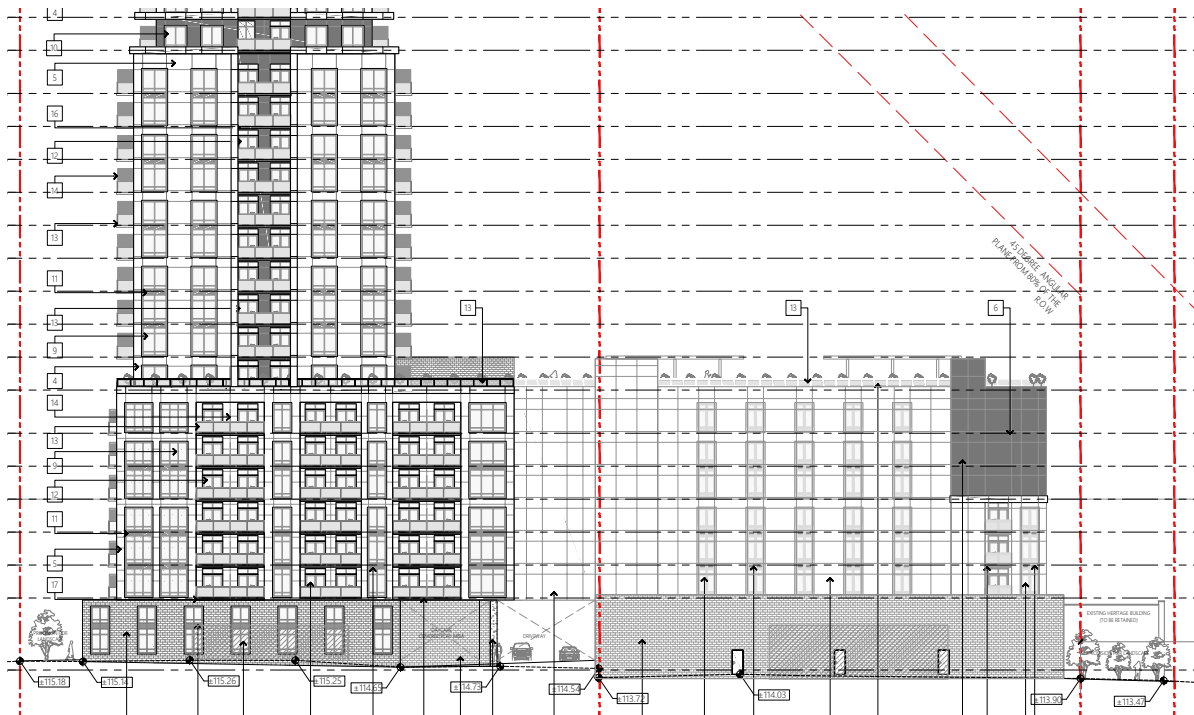


Figure 46. Excerpt of proposed west elevation (RA Lumbao Architects, 2025).



Figure 47. Rendering of proposed development looking northwest along Cook Street (RA Lumbao Architects, 2025).



Figure 48. Rendering of proposed development looking northeast along Dundas Street West (RA Lumbao Architects, 2025).



Figure 49. Elevations of the proposed development within the streetscape as shown along (top to bottom) Dundas Street West, Cook Street, and Agnes Street (RA Lumbao Architects, 2025).

5 SITE ALTERATION & MITIGATION

5.1 Policy Context

Relevant legislation, policies and guidelines have been applied when considering the impact and mitigation for proposed alterations affecting the cultural heritage value of the Site. The following were among the policies reviewed in preparing this report:

Legislation

- The Ontario Heritage Act (R.S.O. 1990)
- The Planning Act (R.S.O. 1990)

Land Use Policy

- The Provincial Policy Statement (2024)
- The Peel Region Official Plan (2022)
- City of Mississauga Official Plan (Consolidated 2025)

Heritage Registers

- City of Mississauga Heritage Register

Guidelines

- Standards and Guidelines for the Conservation of Historic Places in Canada

A review of the above noted policies that are applicable and relevant to this HIA is included in the Appendix.

5.2 Impacts, Rationale, and Mitigation



☐ Retained

 Dismantled and reconstructed

 Removed

Figure 50. Photo of the west and partial north elevations with approximate overlays showing the general conservation approach for 51, 55-57 Dundas Street West (ERA, 2025).

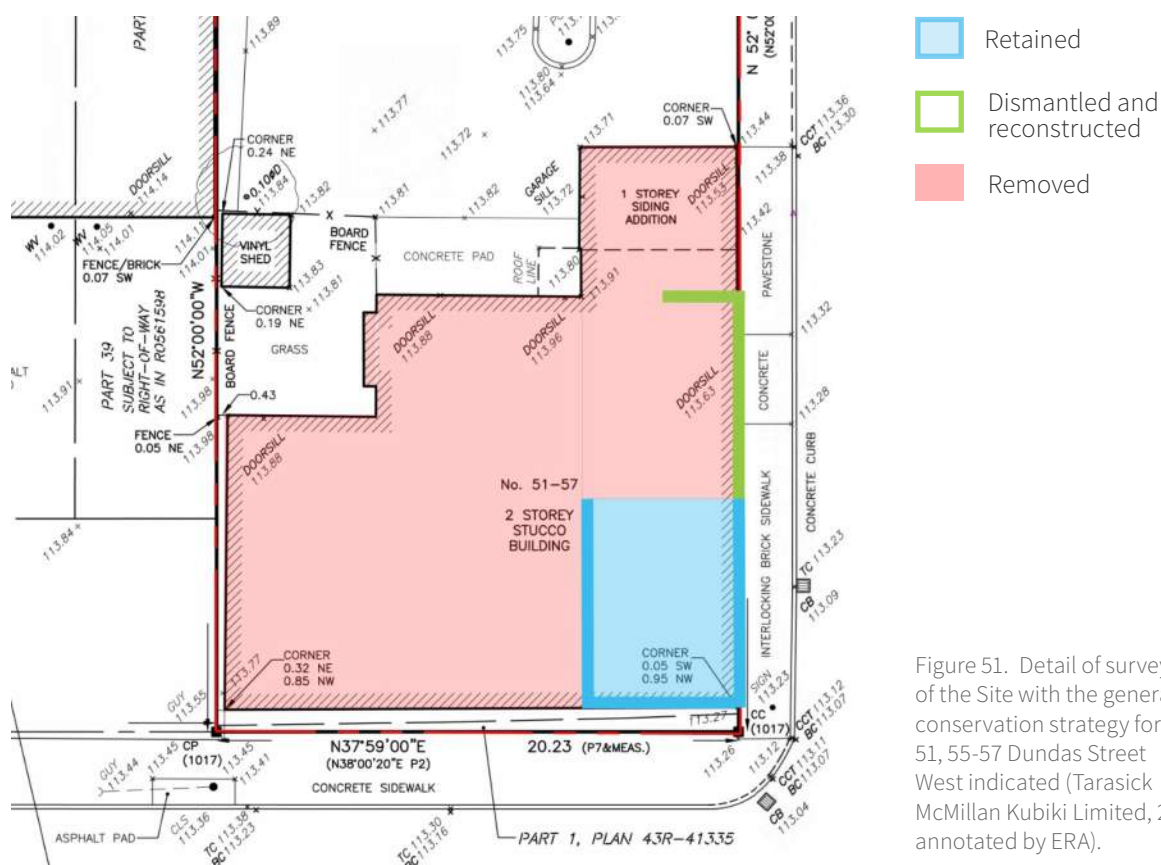


Figure 51. Detail of survey of the Site with the general conservation strategy for 51, 55-57 Dundas Street West indicated (Tarasick McMillan Kubiki Limited, 2024; annotated by ERA).

Impact: Dismantling and partial reconstruction of the northern portion of the original two-storey building.

Rationale and Mitigation: The northern portion of the original two-storey building will be dismantled in order to construct the new mixed-use development. The 1913 one-storey houseform structure, post-1939 one-storey addition to the west and one-storey addition to the north will be demolished.

The dismantling of the northern portion of the original two-storey building will be mitigated by the in-situ retention and conservation of the southern portion of the building to a depth of approximately 8 metres, which will maintain the presence of the building in the streetscape. The ERA-identified heritage attributes of the Site are found on the south elevation and will be retained in situ.

The north portion of the east elevation, as well as a portion of the north return wall will be reconstructed to contribute to the three-dimensional legibility of the resource and help reinstate the original appearance of the building. Existing material from the northern portion will be salvaged for use in the conservation of the southern portion. Conservation work across the retained elements will extend the longevity of the resource. Refer to the conservation strategy summary for more detail.



Figure 52. Photo of T.D. Schiller's building in 1921 issue of The Canadian Grocer (University of Toronto).



Figure 53. Photo of south elevation of 1913 portion of 51, 55-57 Dundas Street West (ERA, 2025).

Impact: Demolish existing storefront and stone cladding at the ground floor level on the south elevation of the original two-storey building

Rationale and Mitigation: The storefront at the ground floor of the south elevation will be replaced by a new historically-appropriate storefront configuration. The angel stone will be removed from the exterior masonry walls, exposing the original brick walls.

Impact: Select modifications to the retained two-storey building and reconstructed facades.

Rationale and Mitigation: Select modifications will be made to reinstate historic conditions according to available historic documentation and as required to accommodate needs for the future tenant.

Visual Impacts of New Construction

ERA has evaluated the visual impact of the design of the new development on the heritage value and ERA-identified heritage attributes. The proposed development has been designed to respond and provide a compatible relationship to the cultural heritage value of the existing property. There is a considerable stepback from the south elevation of the retained building to the new construction, with the new tower located in the northern portion of the Site. The height of the podium on the south and east elevations responds to the height of the heritage building. The podium is set back from the heritage building faces along Dundas and Cook Streets, creating an open space west of the heritage building along Dundas Street West and an increased sidewalk area north of the heritage building along Cook Street. The heritage building will be legible as a distinct building element, and its three-dimensional legibility will be maintained as seen from the street. The use of contemporary cladding materials on the new construction will ensure distinction between new and old elements. The materials on the first two storeys of the new podium help reinforce a pedestrian-oriented scale.

Adjacent Heritage Properties

There are no anticipated heritage impacts from the proposed development on the adjacent heritage property. The building at 47 Dundas Street West is located east of the Site across Cook Street, which provides a physical and visual buffer. Conservation work on the historic building will restore the legibility of its brick material palette that is more consistent with that of the adjacent building.

Integrity Analysis

The following section provides an overall assessment of the impact of the proposed development on the integrity of the Site.

The proposed redevelopment maintains the integrity of the Site. The southern portion of the building will be retained in-situ. The impact of dismantling and partially reconstructing the northern portion of the building will be mitigated. One way that the Site conveys its value is through its ERA-identified heritage attributes. Given that the ERA-identified heritage attributes are concentrated on the southern portion of the building and this portion will be maintained in situ, their ability to convey their value will persist. As such, the proposed development generally maintains the elements that characterize the Site.

5.3 Alternative Development Options

The following alternative options were considered in developing the proposal.

An earlier design concept considered the removal of all buildings on the Site. This option was not pursued as it would remove elements that contribute to the Site's cultural heritage value.

Another option considered the retention of the one-storey houseform structure located at the northern portion of the building. This option was not pursued due to the structure's poor condition and lack of integrity, and due to the lack of archival information available to understand the original appearance and form of the one-storey houseform structure, thereby limiting the ability to reconstruct the structure based on historical documentation.

Another option contemplated the retention of two-storey portion of the building as presented in the current configuration, however it included an exterior canopy at the ground floor of the new construction immediately to the west of the heritage building. This option was not pursued in order to maintain the full three dimensional legibility of the west elevation of the heritage building.

Preferred Strategy

The preferred and selected option as presented in this report includes the retention of the two-storey portion of the building with abutting new construction that does not include a projecting canopy. In addition to providing three dimensional legibility of the heritage building within the proposed development, the selected strategy provides a conservation strategy informed by available historic documentation.



Figure 54. Rendering of proposed development option without heritage building (RA Lumbao Architects, 2025).



Figure 55. Rendering of proposed development option with houseform attachment (RA Lumbao Architects, 2025).



Figure 56. Rendering of proposed development option with exterior canopy (RA Lumbao Architects, 2025).



Figure 57. Rendering of the preferred strategy (RA Lumbao Architects, 2025).

6 CONSERVATION STRATEGY

The Site will be conserved and maintained in a manner consistent with *The Standards and Guidelines for the Conservation of Historic Places in Canada*, prepared by Parks Canada. The conservation approach for the proposed Site strategy will be **rehabilitation**, defined by Parks Canada (Chapter 2) as:

The action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

Overall, the conservation strategy for the Site will rehabilitate the retained elements and allow for the new construction. The reason for selecting rehabilitation as the primary conservation approach is to allow for the adaptation of the Site to evolve for new and continued uses, while ensuring that the elements that define the Site's cultural heritage value are conserved.

A summary of the general conservation strategy for 51, 55-57 Dundas Street West is included below. A Conservation Plan setting out a detailed scope of conservation work to be undertaken will be submitted at a later date. Additional investigations will be required to determine if the stucco on the retained building can be removed or replaced. The conservation strategy will be refined based on findings.

- In-situ retention of the southern portion of the original two-storey building to a depth of approximately 8 metres with modifications;
- Reconstruction of partial east and north elevations, using salvaged masonry or new to match existing;
- Dismantle the north and partial east and west elevations;
- Salvage sound heritage fabric from the northern portion of the building for repairs to the retained building and reconstructed facades. Work will use salvaged material where possible and supplement with new material where needed;
- Reinstall brick parapet and capstones on south elevations based on archival documentation;
- Infill ground floor level openings at west elevation;
- New historically-appropriate windows throughout;
- New storefront assembly with recessed entrance, based on archival documentation; and
- Conservation work to the retained portion of the building will be implemented in order to address existing conditions and bring the retained building into a state of good repair. Work includes:
 - General masonry repair and cleaning;
 - Selective masonry replacement using salvaged material in sound condition or new to match existing;
 - Repair or replace woodwork where needed; and
 - New metal flashings throughout.

Additional modifications to the east elevation or west elevation may be required to accommodate needs for the future tenant.

New Construction

- The new construction will be setback from the street-facing heritage elements to maintain their prominence in the streetscape; and
- A contemporary design for the new construction that is of its time to help distinguish between old and new.

7 STATEMENT OF PROFESSIONAL OPINION

This HIA considers the heritage impacts of the proposed development in relation to the cultural heritage resources that may be impacted. ERA has evaluated the properties at 51, 55-57 Dundas Street West and 78 Agnes Street and identified 51, 55-57 Dundas Street West as meeting the criteria under O.Reg 9/06.

The proposed development will modify the existing Site to accommodate a new mixed-use development with a residential tower that will integrate the original two-storey building at 51, 55-57 Dundas Street West into the new base building. Other buildings on the Site will be demolished. The conservation strategy for the proposed development includes the in-situ retention of the southern portion of the building, and the reconstruction of the east elevation and north return wall. Salvaged elements from the northern portion of the building will be used for the repairs on the retained elements. The heritage building will be legible as a distinct building element, and its three-dimensional legibility will be maintained as seen from the street.

Based on the findings of this HIA, the proposed development conserves the integrity and cultural heritage value of the Site. There are no anticipated heritage impacts associated with the proposed development on the adjacent heritage resource. The proposed development responds to the evolution the Site and its surrounding context. The proposed development provides new retail and residential uses, as well as a new open space along Dundas Street West that will act as an amenity to the neighbourhood.

8 QUALIFICATIONS

ERA Architects Inc. (“ERA”) specializes in heritage conservation, architecture, planning and landscape as they relate to historical places. This work is driven by our core interest in connecting heritage issues to a wider considerations of urban design and city building, and a broader set of cultural values that provide perspective to our work at different scales. In our 30 years of work, we’ve provided the highest level of professional services to our clients in both the public and private sector out of offices in Toronto, Montreal and Ottawa. We have a staff of more than 100, and our Principals and Associates are members of associations that include: the Ontario Association of Architects (“OAA”), the Ontario Professional Planner’s Institute (“OPPI”), the Canadian Association of Heritage Professionals (“CAHP”) and the Royal Architectural Institute of Canada (“RAIC”). Personnel involved in the production of this HIA are listed below.

Andrew Pruss is a Principal with ERA. He is a member of the Royal Architectural Institute of Canada and has over 30 years of experience in the field of architecture, specializing in heritage architecture for the last 20 years. He has previously been qualified by the Ontario Land Tribunal (“OLT”), the Conservation Review Board (now continued as the OLT), and the Toronto Local Appeal Body in the field of heritage planning and architecture.

Dan Eylon is a Senior Associate and Planner with ERA Architects. He is a Registered Professional Planner in Ontario and member of the Canadian Institute of Planners. He received his Master of Arts in Planning from the University of Waterloo after completing a Bachelor of Fine Art at the Ontario College of Art & Design. Dan is a professional member of CAHP.

Clara Shipman is a Senior Project Manager and Architect and Planner with ERA. She received her Master of Science in Planning from the University of Toronto after completing a Master of Architecture from McGill University. She is a candidate member of OPPI.

Noah McGillivray is a Senior Project Manager and Architect with ERA. He received his Master of Architecture degree from the University of Toronto, where he was named RAIC Honours graduate. His prior experience includes structural drafting and residential design/build.

Zeina Ahmed is a Planner at ERA. She is a Registered Professional Planner in Ontario and member of the Canadian Institute of Planners. Zeina received her Master of Science in Planning from the University of Toronto and her undergraduate degree in Urban and Environmental Planning from the University of Virginia.

Camilla Minh Hoang is a design research intern at ERA with a Bachelor’s of Arts in Architectural Studies from the University of Toronto, specializing in the Design of Architecture, Landscape and Urbanism stream.

9 APPENDICES

Appendix A: Reference List

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Mississauga Library. Historic Images Gallery. Identifier: HA0066 - Four Corners, Cooksville. <https://www.mississauga.ca/apps/mediagallery/#/agency/Library>.

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Appendix B: Ownership Chronology - Lot 10 and Lot 29

The following table notes the ownership chronology of the entirety of Lot 10 and Lot 29 (unless otherwise noted) from the 1877 Plan of Cooksville as available from land abstracts from the Land Registry Office of Ontario.

Lot 10

Year	Lot Ownership
1877	W.W. Colwell et al grants all the lot to Elizabeth Colwell for \$1.00.
1879	Elizabeth Colwell et al grants all the lot to David Schiller for \$550.00. David Schiller grants all the lot to Elizabeth Colwell for \$400.00.
1890	Wm. H. McFadden et al grants part of the lot to Edwin O. Runions for \$1.00. The Methodist Church (P) grants part of the lot to E. O. Runions. The Methodist Church grants part of the lot to Edwin O. Runions for \$400.00. E. O. Runions. et ux grants part of the lot to Andrew W. Aikins for \$1285.00.
1897	Andrew W. Aikins (unmarried) grants part of the lot to Wm. John Franks (Trustee) for \$15,325.00.
1901	Malcom S. Mercer (Exr. Of Andrew W. Aikins) grants part of the lot to Reginald E. Murray for \$2,500.00.
1902	The Toronto Gen. Trust Corp discharged part of the lot to Malcom S. Mercer.
1920	James G. Schiller grants part of the lot to Thos. D. Schiller for \$1.00.
1923	Pearl E. Schiller grants part of the lot to Thos. D. Schiller for \$1.00. Can Cr. Mens Ass'n grants part of the lot to Pearl E. Schiller for \$7,000.00. Thomas D. Schiller et ux grants part of the lot to Margaret Teressa Kumpff for \$500.00.
1924	Margaret Teressa Kumpff grants part of the lot to John Cunningham for \$11,000.00.
1946	Annie E. Cunningham (Extr. John Cunningham Est. et al) grants all the lot to Carson R. Crothers (Nancy E. Crothers as joint tenants) for \$10,000.00.
1947	Harriet E. Pringle grants part of the lot to Emily J. Garbutt & Clarence A. Garbutt as joint tenants \$1,200.00
1972	Carson R. Crothers & Nancy C. Crothers grants all of the lot to J. G. Steadman Real Estate Limited for \$2.00.
1974	J. G. Steadman Real Estate Limited grants all of the lot to Kronas Real Estate Limited for \$1.00.
1980	Kronas Real Estate Limited and J. G. Steadman Real Estate Limited grants all of the lot to Cecile Erich (1/2 int.), Phyllis Korman (1/4 int.), Elain H. Handelman (1/4 int.) as tenants in common for \$1.00.
1981	Cecile Erlich, Phyllis Korman and Elain H. Handelman grants all the lot to Laroian Corp. Inc. for \$2.00.
1989	Laroian Corp. Inc. grants part of the lot to the Royal Bank of Canada for \$400,000.00.

Lot 29


Year	Lot Ownership
1886	W. H. McFadden et al grants all the lot to E. O. Runions for \$1.00.
1890	The Methodist Church (P) grants all the lot to E. O. Runions (Deft). The Methodist Church grants all the lot to E. O. Runions for \$0.00. E. O. Runions et ux grants all the lot to A. W. Aikins for \$1,285.00.
1897	Andrew W. Aikins (unmarried) grants all the lot to Wm. John Franks (Trustee) for \$15,325.00.
1901	Malcom S. Mercer (Extr. of Adrew W. Aikins Est.) grants all the lot to Reginald E. Murray for \$2,500.00.
1902	The Toronto Gen. Trust Corp discharged part of the lot to Malcom S. Mercer.
1920	Anne A. Murray grants all the lot to Robert S. Whaley for \$1.00.
1921	Robert S. Whaley et ux grants part of the lot to Samuel E. Harris for \$1,400.00.
1922	Robert S. Whaley et ux grants part of the lot to Joseph Allen for \$500.00. Robert S. Whaley et ux grants part of the lot to George W. A. Morris for \$1,700.00.
1925	George W. A. Morris et ux grants part of the lot to Trustees L. O. L. No. 1181 Cooksville for \$700.00. George W. A. Morris grants part of the lot to Trustees L. O. L. No. 1181 Cooksville for \$1.00. R. S. Whaley et ux grants part of the lot to Edmund J. Pallett et al Trustees L. O. L. No. 1181 Cooksville for \$50.00.
1928	Edmund J. Pallett et al Trustees L. O. L. No. 1181 grants part of the lot to Cooksville Hall Corp. for \$1.00 & C.
1932	George W. A. Morris et ux grants part of the lot to William Curry for \$600.00.
1937	Joseph Allen et ux grants part of the lot to James Newman for \$4,000.00.
1946	George W. A. Morris et ux grants part of the lot to Charles H. Whaley for \$600.00.
1947	Robert S. Whaley et ux grants part of the lot to Charles H. Whaley for \$3,285.00. Emerson S. Harris et al (Exrs. Samuel E. Harris) grants part of the lot to Charles H. Whaley for \$1.00 & C.
1956	James Newman et ux grants part of the lot to Carson R. Crothers & Nancy E. Crothers as joint tenants for \$2.00 & C.
1961	William Curry grants part of the lot to Elgin Curry.
1963	Carson R. Crothers & Nancy E. Crothers grants part of the lot to Giuseppe Talarico & Gaetano Fazio as tenants in common. Charles H. Whaley et ux grants part of the lot to Donald A. McCuaig, Edgar A. Philp, and George E. Robson as tenants in common for \$2.00 & C. Robert S. Whaley grants part of the lot to Carson R. Crothers & Nancy E. Crothers for \$2.00.
1964	Giuseppe Talarico et ux & Gaetano Fazio et ux grants part of the lot to Gaetano Fazio & Michelina Fazio as joint tenants for \$2.00 & C.
1966	Charles H. Whaley et ux grants part of the lot to Henry Viersen & Lenny Viersen as joint tenants for \$2.00 & C. Donald A. McCuaig et ux & Edgar A. Philp et ux & George E. Robson et ux. grants part of the lot to Claudis Construction Co. Limited for \$2.00 & C.
1967	Treasure's Consent Robert N. Carr Estate. Henry Viersen & Renny Viersen grants part of the lot to Lorenzo Curitti & Carmelina Curitti as joint tenants for \$2.00 & C.
1969	Claudius Construction Co. Limited grants part of the lot to Dianne Construction Limited & Majael Investments as tenants in common for \$2.00 & C. Dianne Construction Limited & Majael Investments Limited grants part of the lot to Dersi Construction Limited.
1972	Carson R. Crothers & Nancy E. Crothers grants part of the lot to J. G. Steadman Real Estate Limited for \$2.00 & C.
1974	J. G. Steadman Real Estate Limited grants part of the land to Kronas Real Estate Limited for \$1.00 & C.

Year	Lot Ownership
1976	Dersi Construction Limited grants part of the lot to Gino Pavan & Rosaria Pava as joint tenants for \$2.00 & C.
1979	Lorenzo Curitti & Carmelina Curitti grants part of the lot to Arnold Sosek (in trust) for \$2.00 & C.
1980	Elgin Curry, Rosemary Curry (third part) grants part of the lot to Heinz H. Melzer for \$2.00 & C. Kronas Real Estate Limited & J. G. Steadman Real Estate Limited (third part) grants part of the lot to Cecile Erlich (1/2), Phylis Korman (1/4), Elain H. Handleman (1/4) as tenants in common for \$1.00 & C. Arnold Sosek (in trust) grants part of the lot to Dominique Bourcy for \$2.00 & C.
1981	Cecile Erlich, Phylis Korman, Elain Handleman grants part of the lot to Laroian Corp. Inc. for \$2.00.
1986	Lou Battagin (in trust) grants part of the lot to Henry Helzer. Lou Battagin (in trust) grants part of the lot to Dominique Bourcy. Heinz H. Melzer grants part of the lot to 661170 Ontario Ltd.
1987	Dominique Bourcy grants part of the lot to 661170 Ontario Ltd. 661170 Ontario Ltd. grants part of the lot to Lino Stradiotto and Carlotta Stradiotto for \$52,000.00. Gino Pavan and Rosaria Pavan grants part of the lot to 661170 Ontario Ltd. 661170 Ontario Ltd. grants part of the lot to Gino Pavan and Rosaria Pavan. Gino Pavan and Rosaria Pavan grants part of the lot to the Royal Bank of Canada.
1988	Gaetano Fazio and Michelina Fazio grants part of the lot to Mira Saric.
1989	Laroian Corp. Inc. grants part of the lot to grants part of the land to the Royal Bank of Canada for \$400,000.00. Gino Pavan and Rosaria Pavan grants part of the lot to the Royal Bank of Canada. 661170 Ontario Ltd. grants part of the lot to Lino Stradiotto and Carlotta Stradiotto on joint account for \$30,000.00.
1990	661170 Ontario Ltd. grants part of the lot to Lino Stradiotto and Carlotta Stradiotto on joint account for \$43,000.00. Mira Saric grants part of the land to the Toronto Dominion Bank for \$240,000.00.

Appendix C: Listing Information - 51, 55-57 Dundas Street West, 78 Agnes Street, and 47 Dundas Street West (City of Mississauga)

[Choose another property](#)

Property information

 51 DUNDAS ST W
Roll number: 05-04-0-141-10100-0000
Legal description: PLAN TOR12 LOT 10 PT LOT 29

[View Map](#)[Property details](#)[Zoning information](#)[Building permits](#)[Development applications](#)[Committee of Adjustment](#)[Heritage](#)

Heritage



Heritage properties can include historic houses or bridges, heritage conservation districts, cultural heritage landscapes and archaeological resources.

If this property has heritage status, the details will be listed below.

Learn more about Mississauga's [heritage properties](#).

Heritage status

Status	LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED
Conservation district	-
ByLaw	-
ByLaw date	-

Designation statement

There is no designation statement related to the selected property.

Inventory item

Inventory No.	Property name	Decade	Constructed	Demolished/Year
270	LARAIN CORPORATION INC.	1920		N



51 DUNDAS ST W

Type: RESIDENTIAL

Style: COMMERCIAL

Area: COOKSVILLE

Reason: ARCHITECTURAL

Close X

Photos



History

This is a two storey commercial structure occupied by "Mosto Portugues" (tenant). The building is constructed of brick with stone facing on the ground floor. The roof is flat and there is a three bay south facade. The windows are fixed pane picture windows and there is a decorative brickwork cornice. There are brackets under projection marking the first and second storeys. Noted features of the structure include angel stone, a front first storey and modern plate windows.

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Property information

 78 AGNES ST
Roll number: 05-04-0-142-04400-0000
Legal description: LT W PT 29 PL COS

[View Map](#)[Property details](#)[Zoning information](#)[Building permits](#)[Development applications](#)[Committee of Adjustment](#)[Heritage](#)

Heritage



Heritage properties can include historic houses or bridges, heritage conservation districts, cultural heritage landscapes and archaeological resources.

If this property has heritage status, the details will be listed below.

Learn more about Mississauga's [heritage properties](#).

Heritage status

Status	LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED
Conservation district	-
ByLaw	-
ByLaw date	-

Designation statement

There is no designation statement related to the selected property.

Inventory item

Inventory No.	Property name	Decade	Constructed	Demolished/Year
272	COOKSVILLE HALL CORPORATION	1910		N



78 AGNES ST

Type: RESIDENTIAL

Style: VERNACULAR

Area: COOKSVILLE

Reason: ARCHITECTURAL

Close X

Photos



History

This is a one storey meeting hall featuring molded cinder blocks with concrete buttresses. There is a gable roof with asphalt shingles and a symmetrical three bay northern facade. The windows are double hung sash six over one with concrete sills and lintels. There are exterior brick chimneys on the east and west sides. There is a small square cinder block extension on the south east. According to Kathleen Hicks, the building opened March 1928.

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Property information

 47 DUNDAS ST W
Roll number: 05-04-0-141-10000-0000
Legal description: PLAN TOR 12 LOT 9

[View Map](#)[Property details](#)[Zoning information](#)[Building permits](#)[Development applications](#)[Committee of Adjustment](#)[Heritage](#)

Heritage



Heritage properties can include historic houses or bridges, heritage conservation districts, cultural heritage landscapes and archaeological resources.

If this property has heritage status, the details will be listed below.

Learn more about Mississauga's [heritage properties](#).

Heritage status

Status	LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED
Conservation district	-
ByLaw	-
ByLaw date	-

Designation statement

There is no designation statement related to the selected property.

Inventory item

Inventory No.	Property name	Decade	Constructed	Demolished/Year
274	COOKSVILLE POST OFFICE	1910	1914	N



47 DUNDAS ST W

Type: RESIDENTIAL

Style: VERNACULAR - FARM HOUSE

Area: COOKSVILLE

Reason: ARCHITECTURAL

Close X

Photos



History

On this site, at the corner of Cook and Dundas Streets, Herbert Henry Shaver, who was appointed postmaster October 16, 1898, operated the post office out of his house. The first post office in Cooksville may have been opened about 1837 with J. H. Savigny as the first postmaster. Frank Morley became postmaster in 1839 and the post office was located in Jacob's Hotel, but moved, after the fire of 1852, to the Walter House Hotel. Morley was postmaster till 1867 and was succeeded by John Peaker, who remained in the position till his death in 1873 whereupon his widow, Hannah, took over till 1877. Others in charge of the post office included T. G. Goulding, Charles Schiller and Sir Melville Parker, until Shaver took over the post in 1898. In 1914 Shaver had his house demolished and a new house was built, a 2 storey red brick structure with a gable roof and the post office continued its operation in this building until 1917 when Hugh Bowden took over and moved the post office to his Cooksville Pharmacy. This is a two and one half storey commercial structure. The property adds to the Cooksville streetscape and is constructed of red brick with a gable roof and asphalt shingles. There is an asymmetrical four bay facade on the south end of the building, while the windows are double hung sash four over one on the front bay window. "Fishscale" shingles are featured on the south gable. There is an addition on the east side with a false facade and brick detailing. The property was originally residential, but now is used for office space.

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Appendix D: Heritage Policy Review

Legislation

The Ontario Heritage Act (R.S.O. 1990)

The Ontario Heritage Act is the statutory legal foundation for heritage conservation in Ontario.

Part IV, Section 29 of the OHA authorizes municipalities to enact by-laws to designate properties to protect their cultural heritage value. Ontario Regulation 9/06 was passed under the OHA to identify provincially-mandated Criteria for Determining Cultural Heritage Value or Interest. O. Reg 9/06 sets out nine criteria for determining cultural heritage value or interest. The OHA requires that properties meet two or more criteria under O.Reg. 9/06 to be eligible for designation under Part IV of the Act.

The Planning Act (R.S.O. 1990)

The Planning Act is Ontario's provincial legislation that sets out the rules and regulations for planning. Section 3 of the Planning Act provides for the Province to issue policy statements on matters relating to municipal planning that are of provincial interest.

Section 2 of the Planning Act provides that:

The Minister, the council of a municipality, a local board, a planning board, and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as:

(d) The conservation of features of significant architectural, cultural, historical, archaeological, or scientific interest;

Land Use Policy

The Provincial Policy Statement (2024)

The Provincial Planning Statement, 2024 is a province-wide land use planning policy framework that replaces the Provincial Policy Statement, 2020 and A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019. The Provincial Planning Statement contains policies relating to the conservation of heritage resources.

Under Section 4.6 Cultural Heritage and Archaeology, Policy 4.6.1 states:

Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.

Policy 4.6.3 states:

Planning authorities shall not permit *development and site alteration on adjacent lands to protected heritage property* unless the *heritage attributes* of the *protected heritage property* will be conserved.

Peel Region Official Plan (2022)

In 2024, Peel Region was designated an “upper-tier municipality without planning responsibilities” The Cities of Brampton and Mississauga and the Town of Caledon are now the land use planning authorities responsible for implementing and enforcing the Region of Peel Official Plan.

Chapter 3, subsection 3.6 of the Official Plan contains policies pertaining to cultural heritage.

Policy 3.6.6 states:

Direct the local municipalities to include policies in their official plans for the identification, conservation and protection of *significant cultural heritage resources*, including *significant built heritage resources* and *significant cultural heritage landscapes* as required in cooperation with *the Region*, the conservation authorities, other agencies and Indigenous communities, *as appropriate*.

City of Mississauga Official Plan (Consolidated 2025)

Chapter 7, subsection 7.5 of the Official Plan contains policies related to heritage planning.

Policy 7.5.1.1 states:

The heritage policies are based on two principles:

- a. heritage planning will be an integral part of the planning process; and
- b. cultural heritage resources of significant value will be identified, protected, and preserved.

Policy 7.5.1.2 states:

Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources.

Policy 7.5.1.3 states:

Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.

Policy 7.5.1.5 states:

Mississauga will encourage private and public support and the allocation of financial resources for the preservation and rehabilitation of cultural heritage resources.

Policy 7.5.1.7 states:

Mississauga will maintain a Heritage Register of property, including structures and cultural landscapes that should be preserved as cultural heritage resources. The cultural heritage resources in the Heritage Register will be assessed based on their design or physical value, historical or associative value, contextual value and archaeological significance including the aggregation of both natural and cultural heritage resources.

Policy 7.5.1.9 states:

Character Area policies may identify means of protecting cultural heritage resources of major significance by prohibiting uses or development that would have a deleterious effect on the cultural heritage resource, and encouraging uses and development that preserve, maintain and enhance the cultural heritage resource.

Policy 7.5.1.10 states:

Applications for development involving cultural heritage resources will be required to include a *Heritage Impact Assessment* prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

Policy 7.5.1.11 states:

Cultural heritage resources designated under the *Ontario Heritage Act*, will be required to preserve the heritage attributes and not detract or destroy any of the heritage attributes in keeping with the *Ontario Heritage Tool Kit*, the Ontario Ministry of Culture, and the *Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada*.

Policy 7.5.1.12 states:

The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a *Heritage Impact Assessment*, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

Policy 7.5.1.13 states:

Cultural heritage resources must be maintained in situ and in a manner that prevents deterioration and protects the heritage qualities of the resource.

Policy 7.5.1.14 states:

Cultural heritage resources will be integrated with development proposals.

Policy 7.5.1.15 states:

Mississauga will regulate use and other matters, as appropriate, for heritage preservation through zoning by-laws.

Policy 7.5.1.16 states:

Mississauga will acquire *heritage easements*, apply restrictive covenants, and enter into development agreements, as appropriate, for the preservation of cultural heritage resources.

Policy 7.5.2.2 states:

Prior to the demolition or alteration of a cultural heritage resource, documentation will be required of the property to the satisfaction of the City, and any appropriate advisory committee. This documentation may be in the form of a *Heritage Impact Assessment*.

Policy 7.5.2.3 states:

Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.

Heritage Registers

City of Mississauga Heritage Register

Under the *Ontario Heritage Act*, municipalities are required to maintain a register of properties that are of cultural heritage value or interest. The City of Mississauga Heritage Register is a publicly-accessible register of properties. The Register includes properties that are designated under Part IV or V of the *Ontario Heritage Act*, or have been Listed by the municipality.

Guidelines

Standards and Guidelines for the Conservation of Historic Places in Canada

The Standards and Guidelines for the Conservation of Historic Places in Canada (the “Standards and Guidelines”) is a pan-Canadian document published by Parks Canada as a tool to help users decide how to conserve historic places. The Standards and Guidelines establishes the guiding principles for the conservation of built heritage resources.