

**CLASSIFICATION OF THE BUILDING**

ORC 3.2.2 CLASSIFICATION	GROUP F, DIVISION 2 (MEDIUM HAZARD INDUSTRIAL) - DATA PROCESSING CENTRE
MAJOR OCCUPANCY	GROUP D - OFFICES
SUBSIDIARY OCCUPANCY	GROUP D - OFFICES
BUILDING HEIGHT	2 STOREY
BUILDING AREA	10 945 M <sup>2</sup>
CONSTRUCTION TYPE	NON-COMBUSTIBLE
STRUCTURAL FIRE RATINGS	SECOND FLOOR ASSEMBLY - 2 H EXIT STAIR SHAFTS - 2 H UPA BATTERY RM - 2 H INTERIOR EXIT - 2 H PASSAGEWAY - 1-1/2 H ELEVATOR SHFT - 1-1/2 H ELEVATOR MACHINE RM - 1-1/2 H VERTICAL SERVICE SHAFTS - 1 H ELECTRICAL ROOMS - 1 H (WHERE EQUIPMENT REQUIRED BY ELECTRICAL CODE TO BE IN A SERVICE ROOM) FUEL-FIRED APPLIANCE ROOM MEZANINES (IF ANY) - 1 H (NOT A FIRE SEPARATION) SPRINKLER RM - 0 H ACCESS TO EXIT CORRIDOR - 0 H JANITOR CLOSET - 0 H
SPRINKLER SYSTEM	FULLY SPRINKLED, NFPA 13 - 2019, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS
FIRE ALARM SYSTEM	FULLY SUPERVISED
STANDPIPE	YES
FD ACCESS ROUTE	PROVIDED PER ORC 3.2.5.15

**DATA CENTER SITE PLAN STATISTICS**

A) ZONING (EXISTING): D1 (EMPLOYMENT)
B) ZONING (PROPOSED): E2 (EMPLOYMENT)
C) LOT NUMBER: N/A (NOT APPLICABLE - RESIDENTIAL ONLY)
D) LOT AREA: 40,874.4 M <sup>2</sup> (4.087 HA)
E) WIDTH OF LOT AT STREET LINE: N/A (NOT APPLICABLE - RESIDENTIAL ONLY)
F) FRONTAGE AT 7.5 M: N/A (NOT APPLICABLE - RESIDENTIAL ONLY)
G) COVERAGE - PERMITTED: N/A (NOT APPLICABLE IN E2 ZONE)
H) COVERAGE - PROPOSED: 26.81% (BASED ON LOT AREA AND DATA CENTRE BUILDING, SUBSTITUTION WAS NOT INCLUDED IN FLOOR AREA)
I) FLOOR AREA (BY-LAW 0225-2007 DEFINITION): 10 945 M <sup>2</sup> (DATA CENTRE BUILDING)
J) GROSS FLOOR AREA (GFA) PERMITTED: NO MAXIMUM IN E2 ZONE PROPOSED: 21 224 M <sup>2</sup>
K) LANDSCAPED AREA - REQUIRED: N/A (NOT APPLICABLE IN E2 ZONE)
L) LANDSCAPED AREA - PROPOSED: 16,627.428 M <sup>2</sup>
M) LANDSCAPED BUFFER WIDTH - REQUIRED: 4.5 M
N) LANDSCAPED BUFFER WIDTH - PROPOSED: 4.5 M
O) PAVED AREA - PROPOSED: 14,854.324 M <sup>2</sup> (INCLUDES ASPHALT DRIVING SURFACES, DRIVEWAYS, PARKING AREAS, LOADING AREAS, HARD-SURFACE WALKWAYS, AND CONCRETE PADS)
P) PARKING SPACES - REQUIRED: 636
Q) PARKING SPACES - PROPOSED: 40
R) ACCESSIBLE PARKING - REQUIRED: 2
S) ACCESSIBLE PARKING - PROPOSED: 2
T) LOADING SPACES - REQUIRED: 3
U) LOADING SPACES - PROPOSED: 3
V) SUITE SCHEDULE: N/A
W) SUITE SIZES: N/A

**SITE PLAN NOTES**

- PROPERTY LINE.
- PEDESTRIAN PORTAL/BIKE GATE
- BI-FOLDING GATES
- PREFAB GUARD HOUSE
- OUTDOOR GENERATOR YARD EQUIPMENT ON CONCRETE PADS, SEE ELECTRICAL
- AMERISTAR SECURITY FENCE
- PEDESTRIAN CONCRETE WALKWAY
- AUTOMATED K-RATED BARRIER ARM BAR
- GARBAGE BIN ENCLOSURE
- LOADING SPACES
- MAIL BOX
- EV PARKING SIGNAGE
- 2.85m WIDE X 6.0m WIDE MIN. PARKING SPACE, PAINTED STRIPING PER MUNICIPAL STANDARDS
- ACCESSIBLE PARKING SPACE PAINTED STRIPING PER MUNICIPAL STANDARDS
- ACCESSIBLE PARKING SIGN, SIGNS AT TYPE A TO INCLUDE VAN ACCESSIBLE DESIGNATION
- ACCESSIBLE CURB RAMP TYPICAL REFER TO DETAIL 3/A100-4
- 8' CHAIN LINK FENCE
- MONUMENT SIGN
- DIRECTIONAL SIGNAGE
- SCREEN WALL AT GENERATOR YARD
- SIAMESE CONNECTION
- 2.2m MIN. WIDE SIDEWALK TYPICAL U.N.O.
- LANDSCAPED AREA SEE LANDSCAPE DRAWINGS
- PEDESTRIAN WALKWAY, PAINTED STRIPING PER MUNICIPAL STANDARDS
- 0.15m HIGH CONCRETE CURB
- 6.0m MIN WIDE FIRE ACCESS ROUTE W/ 12.0m MIN. TURNING RADIUS
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT, TYPICAL FOR ALL AREAS ALONG FIRE ACCESS
- ROUTE OR TRUCK ACCESS. SEE CIVIL DRAWINGS
- SHORT TERM BICYCLE PARKING SPACES. SEE LANDSCAPE DRAWINGS.
- EMPLOYEE AMENITY AREA. SEE LANDSCAPE DRAWINGS FOR SITE FURNITURE
- LONG TERM BICYCLE PARKING SPACES.
- RETAINING WALL; REFER TO STRUCTURAL & CIVIL DRAWINGS

**LEGAL DESCRIPTION**

FOR LEGAL SURVEY INFORMATION REFER TO: PART OF LOT 14 CONCESSION 10, NEW SURVEY GEOGRAPHIC TOWNSHIP OF TRAFALGAR CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL PREPARED BY GENESIS LAND SURVEYING INC., 10 FOUR SEASONS PLACE, 10TH FLOOR, TORONTO, ON M9B 6H7 DATED OCTOBER 16, 2024.

SITE SPECIFIC ZONING TO BE VERIFIED UPON CONSULTATION WITH CITY OF MISSISSAUGA. LAYOUT IS SUBJECT TO IMPLEMENTATION OF ENVIRONMENTAL, STORM WATER MANAGEMENT, ETC. REQUIREMENTS UPON CONSULTATION WITH AUTHORITIES HAVING JURISDICTION

**ADDITIONAL SITE WORKS**

NOTE: FOR LANDSCAPE AND SITE FURNITURE INFORMATION, REFER TO DRAWINGS BY MHC LANDSCAPE.

FOR GRADING AND SERVICING INFORMATION, REFER TO DRAWINGS BY MTE CONSULTANTS.

FOR SITE PHOTOMETRIC AND ELECTRICAL INFORMATION, REFER TO DRAWINGS BY HAMMERSCHLAG & JOFFE.

FOR TRAFFIC SIGNAGE AND DESIGN REFER TO DRAWINGS BY TYLIN.

NOTE: FIRE ACCESS ROUTE TO BE DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11.363 KG PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M.

ROUTE TO BE DESIGNATED AS PER BYLAW 1036-81 AS AMENDED

**SITE PLAN - DATA CENTRE**  
Scale 1 : 500

I, the undersigned, hereby certify that this drawing confirms in all respects to the site development plans. Include Architect or Engineer's Signature (if applicable) and Professional Seal.

ARCHITECT OR ENGINEER'S SIGNATURE (IF APPLICABLE) AND PROFESSIONAL SEAL.

The City of Mississauga requires that all working drawings submitted to the Building Division as part of an application for the issuance of a building permit shall be certified by the architect or engineer as being in conformity with the site development plan as approved by the City of Mississauga.

All exterior lighting shall be directed onto the site and will not infringe upon the adjacent properties.

All rooftop mechanical units shall be screened from view by the applicant.

Parking spaces reserved for people with disabilities must be identified by a sign, installed at the applicant's expense, in accordance with the By-law Requirements and Building Code Requirements.

The applicant will be responsible for ensuring that all development, except for detached and semi-detached dwellings within 60 m of a residentially zoned property and must conform to the Engineer's Certified Lighting Plan.

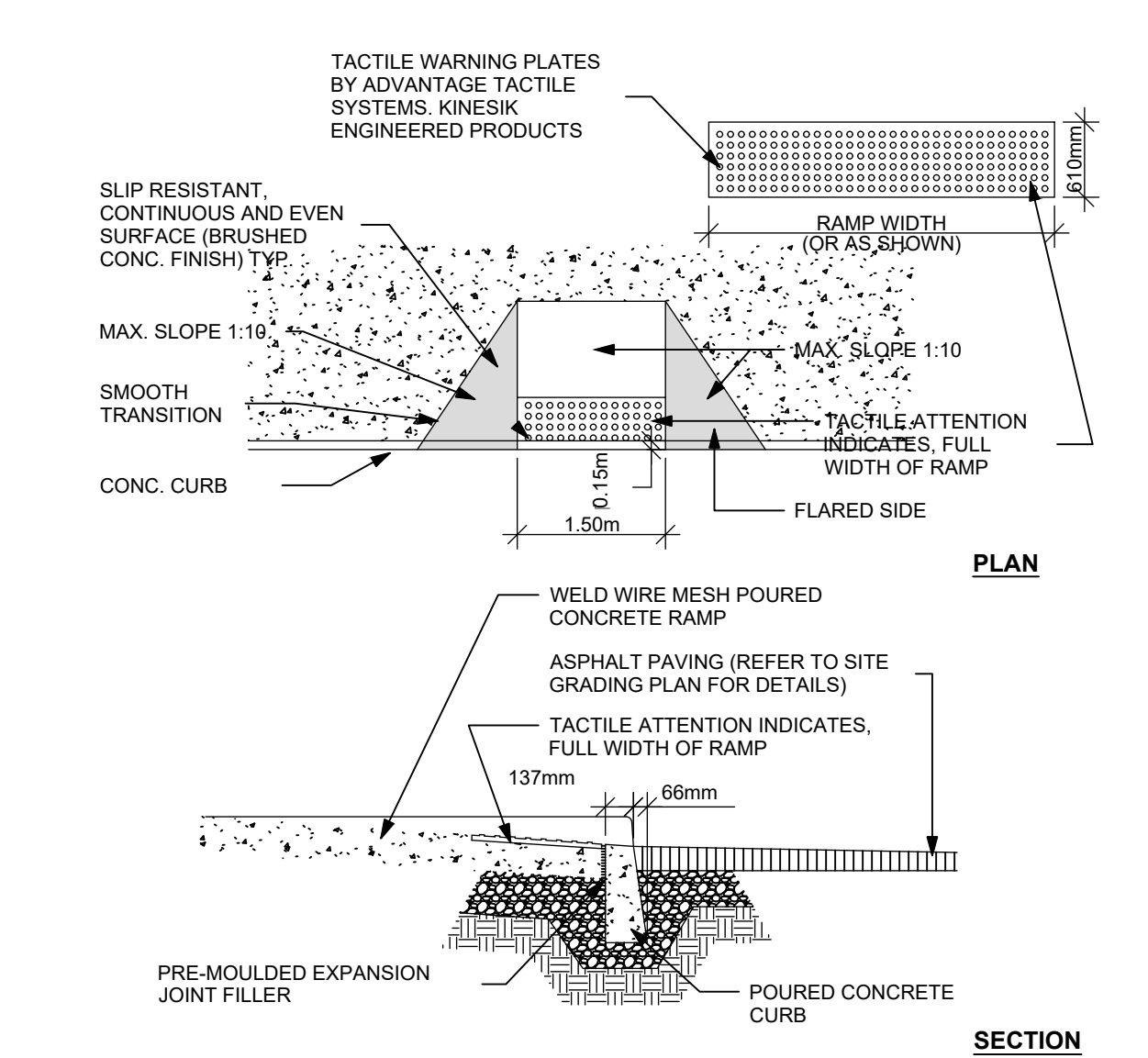
Where planting is to be located in landscaped areas on top of an underground parking structure, it is the responsibility of the applicant to arrange the coordination of the design of the underground parking structure with the Landscape Architect and the Consulting Engineer. Underground parking structures with landscaping area is to be capable of supporting the following loads:

- 15 cm of drainage gravel plus 40 cm topsoil for sod
- 15 cm of drainage gravel plus 60 cm topsoil for shrubs
- 15 cm of drainage gravel plus 90 cm for trees
- Prefabricated sheet drain system with a compressive strength of 1003 Kpa plus 40 cm topsoil for sod
- Prefabricated sheet drain system with a compressive strength of 1003 Kpa plus 60 cm topsoil for shrubs
- Prefabricated sheet drain system with a compressive strength of 1003 Kpa plus 90 cm topsoil for trees

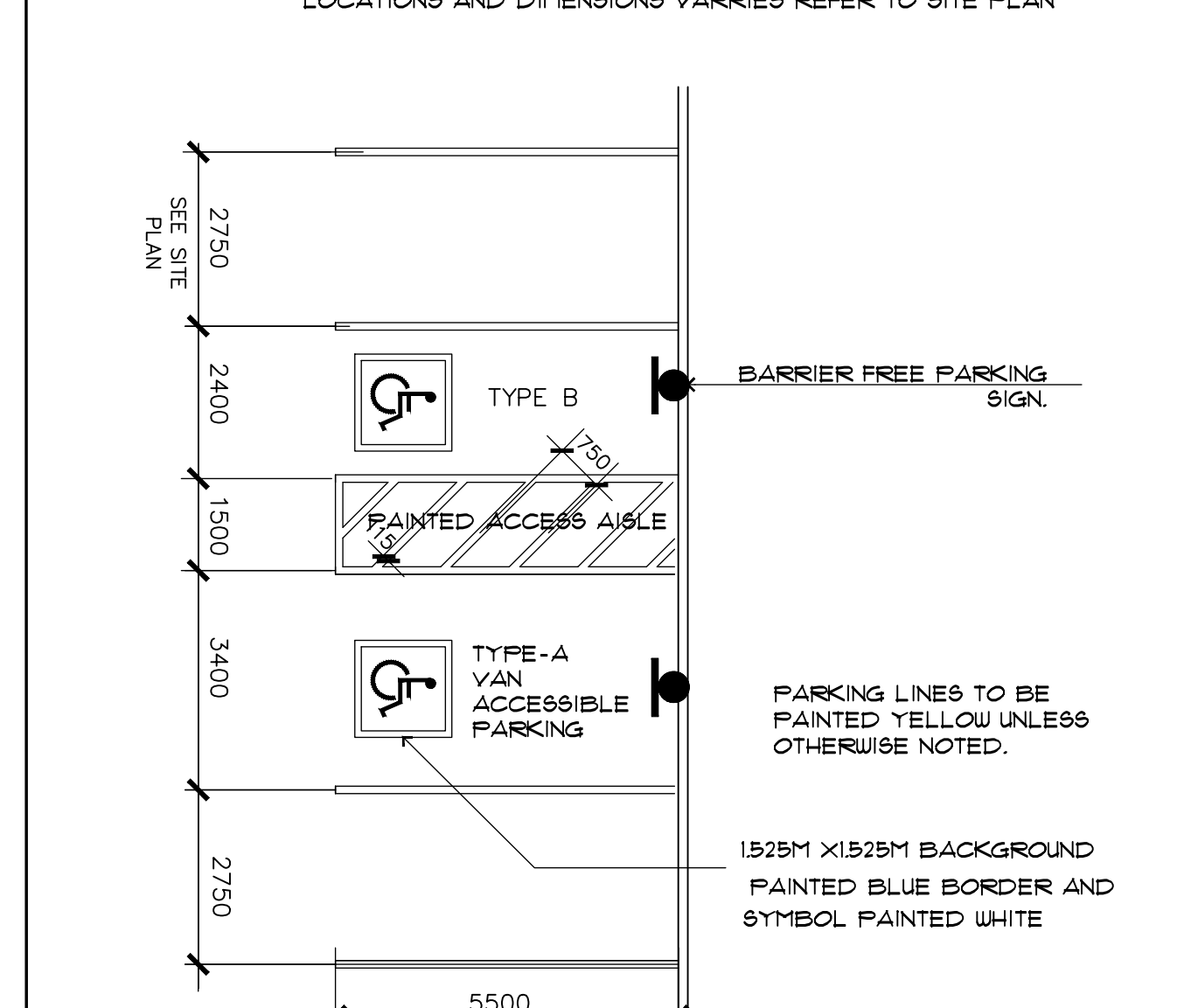
The structural design of any retaining wall over 0.6 m in height or any retaining wall located on a property line is to be shown on the Site Grading plan for this project and is to be approved by the Consulting Engineer for the project.

Continuous 15 cm high barrier type poured concrete curbing will be provided between all asphalt and landscaped areas throughout the site.

All utility companies will be notified for locates prior to the installation of the hoarding that lies within the site and within the limited of the City boulevard area.



**3 TYP. CURB DEPRESSION DETAIL**  
Scale 1 : NTS



**2 BARRIER FREE PARKING STALL LAYOUT**  
Scale 1 : NTS

**SITE LEGEND**

▲	PRINCIPAL ENTRANCE	■	HEAVY DUTY ASPHALT
●	LOADING DOCK DOOR	▨	CONCRETE PAVEMENT
▲	DRIVE-IN DOOR	▩	CONCRETE SIDEWALK
—	PROPERTY LINE	▨	FIRE TRUCK ROUTE
—	FENCE	○	CATCH BASIN SEE CIVIL DWGS
—	FIRE ACCESS ROUTE	○	MANHOLE SEE CIVIL DWGS
○	ACCESSIBLE PARKING SPACE	○	TRAFFIC SIGNAGE
○	HYBRID AND LOW EMISSION VEHICLE PARKING SPACE	□	LIGHT STANDARD SEE CIVIL DWGS
○	BOLLARD	□	WALL MOUNTED LIGHT FIXTURE SEE ELECTRICAL DWGS
○	FIRE HYDRANT	○	FIRE DEPARTMENT CONNECTION
○	CAR POOL VEHICLE PARKING SPACE		

7564 TENTH LINE WEST - DATA CENTRE			
ZONING CATEGORY	EMPLOYMENT - E2 (EXISTING D-8)		
PROPOSED USE	INDUSTRIAL BUSINESS		
SITE AREA AND COVERAGE	PROPOSED		
GROSS SITE AREA	346,112.27	(M <sup>2</sup> )	88.27
BLOCK B - DATA CENTRE LAND	40,874.40	(M <sup>2</sup> )	10.10
DATA CENTRE - LEVEL 1	10,822.00	(M <sup>2</sup> )	114,334
DATA CENTRE - LEVEL 2	10,822.00	(M <sup>2</sup> )	114,334
TOTAL BUILDING FOOTPRINT	10,822.00	(M <sup>2</sup> )	114,334
TOTAL BUILDING GFA	21,244.00	(M <sup>2</sup> )	228,668
LOT COVERAGE	25.98%		
PARKING REQUIREMENTS (0225-2007 PART 3 TABLE 3.1.1.2.1)	STANDARD: 2.8m x 5.2m		
MIN. PARKING SPACE DIMENSIONS	7.0m		
DATA CENTRE	40	PROPOSED	637
ACCESSIBLE PARKING SPACES	4	PROPOSED	4
ELECTRIC VEHICLE PARKING SPACES (1 EV CHARGER PER 1000 M <sup>2</sup> GFA)	4	PROPOSED	3
BICYCLE PARKING REQUIREMENTS (0225-2007 PART 3 TABLE 3.1.6.5)	1.8m x 0.6m		
CLASS A	22	PROPOSED	22
CLASS B	10	PROPOSED	10
LOADING SPACES	3	PROPOSED	3
TOTAL NO. OF LOADING SPACES	15		
MIN. LOADING SPACE DIMENSIONS	3.9m x 9.0m		

**PROLOGIS**

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**00 TENTH LINE WEST, MISSISSAUGA, ON**  
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INDUSTRIAL DEVELOPMENT

**SITE PLAN DATA CENTRE SP 25-63 W9**

**ARCHITECTS**  
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**A.100-4**