

PETROFF
PETROFF PARTNERSHIP ARCHITECTS
10 AVIVA WAY SUITE 400 MARKHAM, ONTARIO L6G 0G1 T 905.470.7000 F 905.470.2500 www.petroff.com

PROJECT LOCATION

LEGAL DESCRIPTION
FOR LEGAL SURVEY INFORMATION REFER TO: PART OF LOT 14 CONCESSION 10, NEW SURVEY GEOGRAPHIC TOWNSHIP OF TRAFALGAR CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL PREPARED BY GENESIS LAND SURVEYING INC., 10 FOUR SEASONS PLACE, 10TH FLOOR, TORONTO, ON M9B 6H7 DATED OCTOBER 16, 2024.

ADDITIONAL SITE WORKS
NOTE: FOR LANDSCAPE AND SITE FURNITURE INFORMATION, REFER TO DRAWINGS BY MHC LANDSCAPE.
FOR GRADING AND SERVICES INFORMATION, REFER TO DRAWINGS BY MTE CONSULTANTS.
FOR SITE PHOTOMETRIC AND ELECTRICAL INFORMATION, REFER TO DRAWINGS BY HAMMERSCHLAG & JOFFE.
FOR TRAFFIC SIGNAGE AND DESIGN REFER TO DRAWINGS BY TYLIN.
NOTE: FIRE ACCESS ROUTE TO BE DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11.363 KG PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M.
ROUTE TO BE DESIGNATED AS PER BYLAW 1036-81 AS AMENDED

1 SITE PLAN - BUILDING DC4
A100-2 Scale 1: 500

I hereby certify that this drawing confirms in all respects to the site development plans. Include Architect or Engineer's Signature (if applicable) and Professional seal

ARCHITECT OR ENGINEER'S SIGNATURE (IF APPLICABLE) AND PROFESSIONAL SEAL

ii. The City of Mississauga requires that all working drawings submitted to the Building Division as part of an application for the issuance of a building permit shall be certified by the architect or engineer as being in conformity with the site development plan as approved by the City of Mississauga.

iii. All exterior lighting will be directed onto the site and will not infringe upon the adjacent properties.

iv. All rooftop mechanical units shall be screened from view by the applicant.

v. Parking spaces reserved for people with disabilities must be identified by a sign, installed at the applicant's expense, in accordance with the By-law Requirements and Building Code Requirements.

vi. The applicant will be responsible for ensuring that all plan conform to Transport Canada's restrictions.

vii. Grades will be met with a 3% maximum slope at the property lines and within the site.

viii. All damaged areas are to be reinstated with topsoil and sod prior to the release of securities.

ix. Signage shown on the site development plans is for information purposes only. All signs will be subject to the provisions of Sign by-law 0054-2002, as amended, and a separate sign application will be required through the Building Division.

x. Any fencing adjacent to municipal lands is to be located 15 cm (6.3 in.) inside the property line.

xi. Only shielded lighting fixtures are permitted for all development, except for detached and semi-detached dwellings within 60 m of a residentially zoned property and must conform to the Engineer Certified Lighting Plan.

xii. The Engineer Certified Lighting Plan must be signed by the Consulting Engineer.

xiii. The Owner covenants and agrees to construct and install shielded lighting fixtures on the subject lands, in conformity with the Site Plan and Engineer Certified Lighting Plan to the satisfaction of the City of Mississauga.

xiv. Where planting is to be located in landscaped areas on top of an underground parking structure, it is the responsibility of the applicant to arrange the coordination of the design of the underground parking structure with the Landscape Architect and the Consulting Engineering. Underground parking structures with landscaping area to be capable of supporting the following loads:

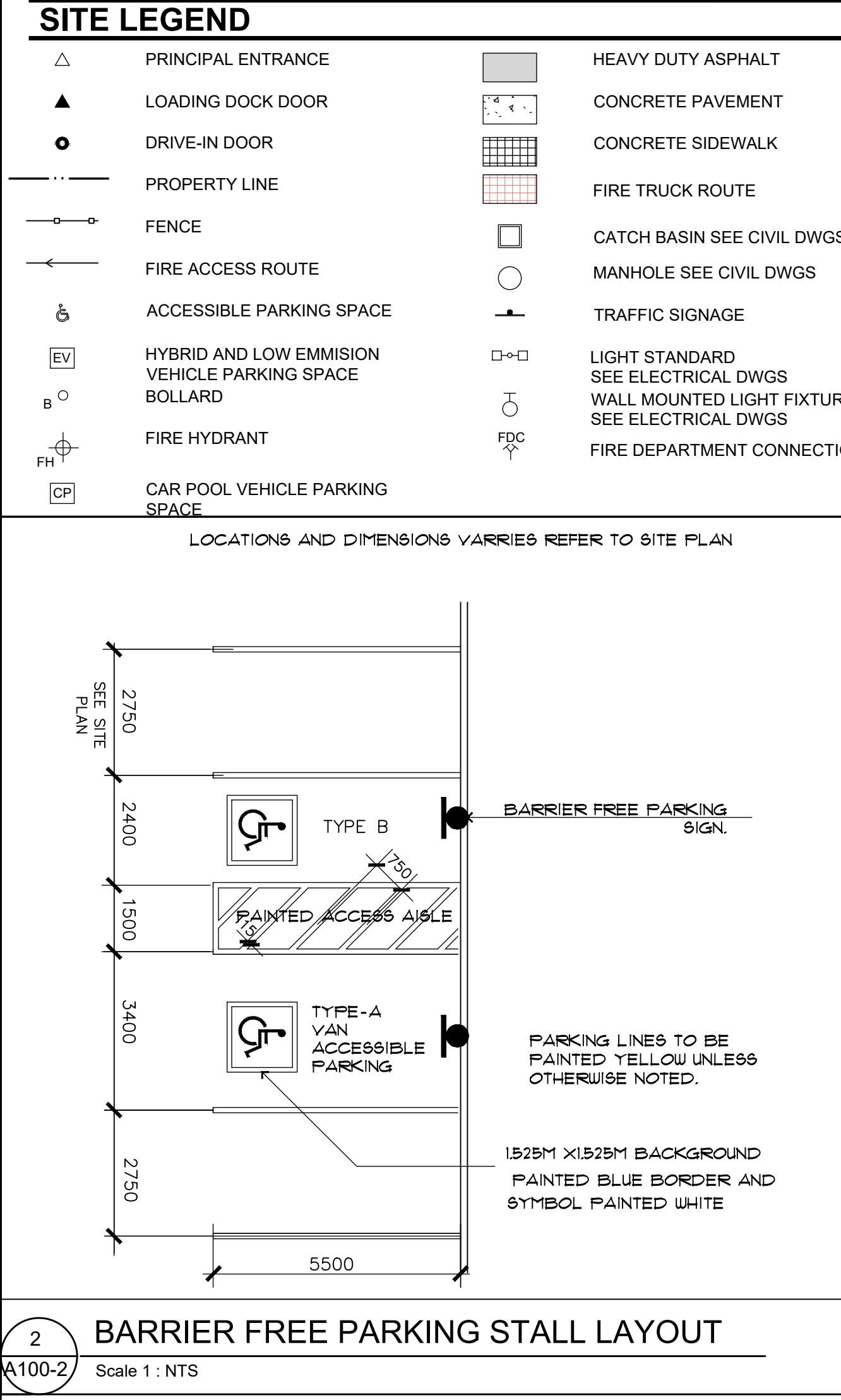
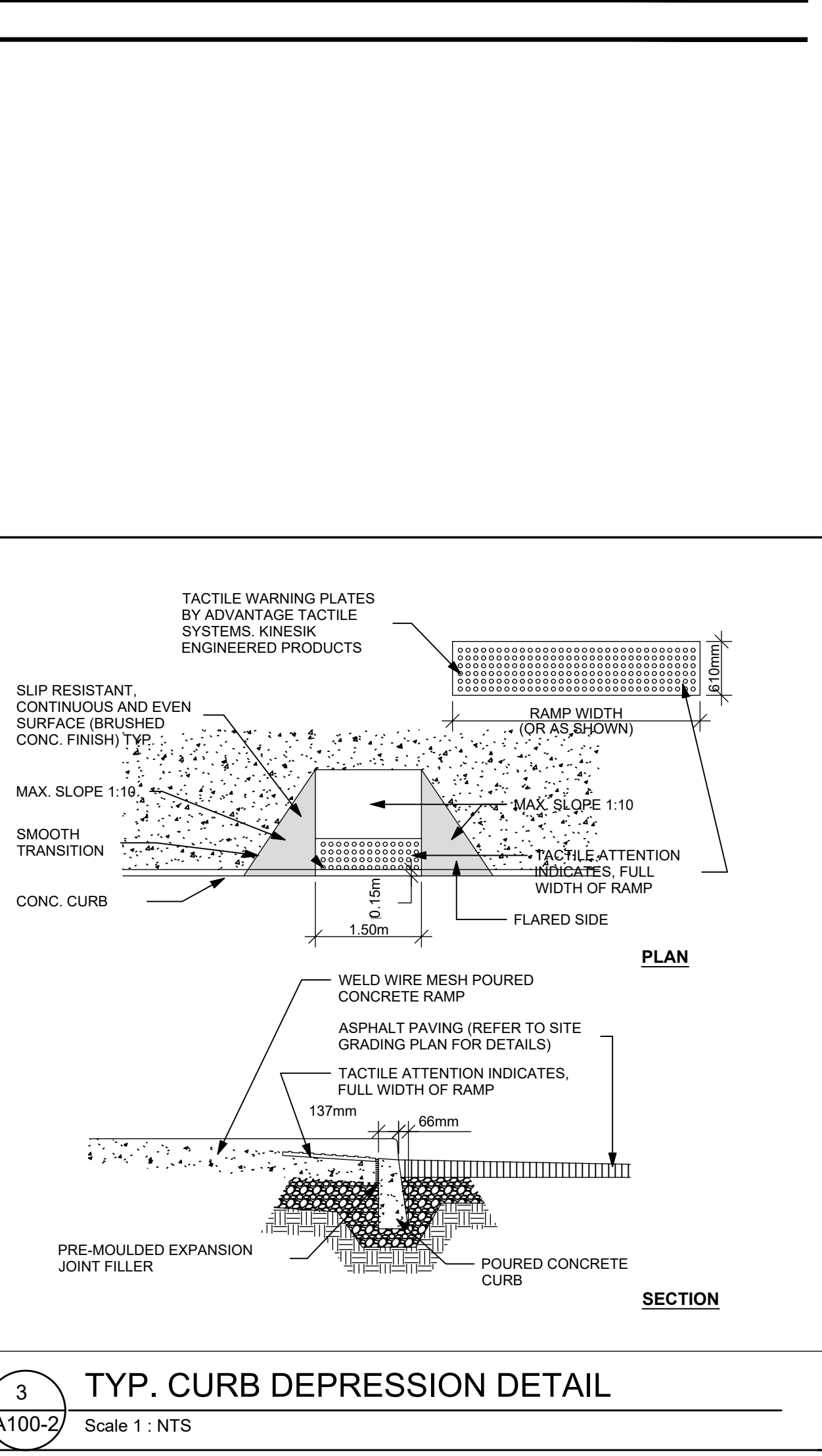
- 15 cm of drainage gravel plus 40 cm topsoil for sod
- 15 cm of drainage gravel plus 60 cm topsoil for shrubs
- 15 cm of drainage gravel plus 90 cm for trees Or
- Prefabricated sheet drain system* with a compressive strength of 1003 Kpa plus 40 cm topsoil for sod
- Prefabricated sheet drain system* with a compressive strength of 1003 Kpa plus 60 cm topsoil for shrubs
- Prefabricated sheet drain system* with a compressive strength of 1003 Kpa plus 90 cm topsoil for trees *Terradrain 900 or approved equal

xv. The structural design of any retaining wall over 0.6 m in height or any retaining wall located on a property line is to be shown on the Site Grading plan for this project and is to be approved by the Consulting Engineer for the project.

xvi. Continuous 15 cm high barrier type poured concrete curbing will be provided between all asphalt and landscaped areas throughout the site.

xvii. All utility companies will be notified for locates prior to the installation of the hoarding that ties within the site and within the limited of the City boulevard area.

- SITE PLAN NOTES**
- PROPERTY LINE.
 - 2.85m WIDE X 6.0m WIDE MIN. PARKING SPACE, PAINTED STRIPING PER MUNICIPAL STANDARDS.
 - EXTERIOR PRECAST CONCRETE STAIRS. PROVIDE TUBE STEEL GUARDRAIL AT ALL LOCATIONS HAVING MORE THAN 3 RISERS, TYPICAL.
 - 2.2m MIN. WIDE SIDEWALK TYPICAL U.N.O.
 - LANDSCAPED AREA SEE LANDSCAPE DRAWINGS
 - ACCESSIBLE PARKING SPACE, PAINTED STRIPING PER MUNICIPAL STANDARDS.
 - ACCESSIBLE PARKING SIGN. SIGNS AT TYPE A TO INCLUDE "VAN ACCESSIBLE" DESIGNATION.
 - ACCESSIBLE CURB RAMP TYPICAL
 - PEDESTRIAN WALKWAY, PAINTED STRIPING PER MUNICIPAL STANDARDS.
 - EMPLOYEE AMENITY AREA. SEE LANDSCAPE DRAWINGS FOR SITE FURNITURE
 - 0.15m HIGH CONCRETE CURB. PROVIDE 0.30m HIGH CONCRETE CURB AT ALL LOCATIONS ADJACENT TO TRUCK TRAFFIC. SEE CIVIL DRAWINGS
 - 6.0m MIN. WIDE FIRE ACCESS ROUTE W/ 12m MIN. TURNING RADIUS
 - 3.5m WIDE X 14.5m LONG MIN. LOADING SPACE PER MUNICIPAL STANDARDS
 - DRIVE-IN RAMP SEE CIVIL DRAWINGS FOR SLOPE %
 - RETAINING WALL. PEDESTRIAN RAIL SET INTO RETAINING WALL WHERE GRADE CHANGE IS GREATER THAN 0.6m TYPICAL. SEE CIVIL AND STRUCTURAL DRAWINGS
 - PROVIDE STEEL PIPE BOLLARD AT BOTTOM OF RETAINING WALL TYPICAL
 - REINFORCED CONCRETE APRON SEE CIVIL DRAWINGS
 - EXTERIOR GALVANIZED STEEL STAIRS W/ TUBE STEEL GUARDRAIL TYPICAL
 - HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS ALONG FIRE ACCESS ROUTE OR TRUCK ACCESS. SEE CIVIL DRAWINGS
 - LIGHT DUTY ASPHALT SEE CIVIL DRAWINGS
 - SHORT TERM BICYCLE PARKING SPACES. SEE LANDSCAPE DRAWINGS
 - FIRE HYDRANT C/W BOLLARD PROTECTION TYPICAL. SEE CIVIL DRAWINGS
 - TRANSFORMER C/O BOLLARD PROTECTION TYPICAL. SEE ELECTRICAL DRAWINGS.
 - HIGH VOLTAGE SWITCH GEAR. SEE ELECTRICAL DRAWINGS
 - RESERVED PARKING FOR HYBRID AND LOW EMISSION VEHICLES
 - PROVIDE STEEL PIPE BOLLARD ON BOTH SIDES OF DRIVE-IN DOOR
 - TRAILER PARKING SPACE (12FT X 55FT TYPICAL) WITH 10FT CONCRETE DOLLY PAD TYPICAL
 - DASHED LINE INDICATES LOCATION OF PROPOSED ROOF TOP UNIT AT ROOF LEVEL REFER TO ROOF PLAN
 - PROPOSED SECURITY GATE ARM. PROVISION FOR EMERGENCY ACCESS TO BE INCLUDED AT
 - PEDESTRIAN WALKWAY, PAINTED STRIPING PER MUNICIPAL STANDARDS
 - LONG TERM BICYCLE PARKING SPACES. SEE LANDSCAPE DRAWINGS



7564 TENTH LINE WEST - INDUSTRIAL BUILDING DC4

ZONING CATEGORY	EMPLOYMENT - E2 (EXISTING D-8)
PROPOSED USE	INDUSTRIAL BUSINESS
SITE AREA AND COVERAGE	
GROSS SITE AREA (m ²)	345,112.27
BLOCK A - INDUSTRIAL LAND (BLDG DC4 & DC5)	130,843.30
PROPOSED BUILDING DC4	26,823.00
TOTAL BUILDING FOOTPRINT	26,823.00
TOTAL BUILDING GFA	26,823.00
LOT COVERAGE	7.78%
PARKING REQUIREMENTS (0225-2007 PART 3 TABLE 3.1.2.2)	
WAREHOUSE DISTRIBUTION FACILITY	
- 11 SPACES PER 1000 GFA UP TO 4,075 M ² GFA	
- 6.4 SPACES PER 1000 GFA OVER 4,075 M ² GFA	
MIN. PARKING SPACE DIMENSIONS	STANDARD - 2.6m x 5.2m
MIN. AISLE WIDTH	PROPOSED 7.0m REQUIRED 7.0m
PROPOSED INDUSTRIAL BUILDING DC4	278 196
TOTAL NO. OF PARKING SPACES	278 196
ACCESSIBLE PARKING SPACES	
PROPOSED INDUSTRIAL BUILDING DC4	8 7
TOTAL NO. OF ACCESSIBLE PARKING SPACES	8 7
ELECTRIC VEHICLE PARKING SPACES (1 EV CHARGER PER 1000 GFA)	
PROPOSED INDUSTRIAL BUILDING DC4	4 3
TOTAL NO. OF ELECTRIC VEHICLE PARKING SPACES	4 3
BICYCLE PARKING REQUIREMENTS (0225-2007 PART 3 TABLE 3.1.4.3)	
PROPOSED INDUSTRIAL BUILDING DC4	14 13
TOTAL NO. OF BICYCLE PARKING SPACES	14 13
MIN. BICYCLE PARKING SPACE DIMENSIONS	
PROPOSED INDUSTRIAL BUILDING DC4	1.8m x 4.0m
LOADING SPACE REQUIREMENTS (0225-2007 PART 3 TABLE 3.1.4.3)	
LOADING SPACES	PROPOSED 0 REQUIRED 0
PROPOSED INDUSTRIAL BUILDING DC4	0 0
TOTAL NO. OF LOADING SPACES	0 0
MIN. LOADING SPACE DIMENSIONS	
PROPOSED INDUSTRIAL BUILDING DC4	3.0m x 9.0m

0 ARGENTIA ROAD, MISSISSAUGA, ON
TOR00394
INDUSTRIAL DEVELOPMENT

PROLOGIS

Prologis Inc. (Canada)
185 The West Mall, Suite 700, Toronto
647-258-2600
Tony Nguyen: tnguyen4@prologis.com
https://www.prologis.com

SHEET TITLE:
SITE PLAN BUILDING DC4 SP 25-63 W9

SEAL:
ONTARIO ASSOCIATION OF ARCHITECTS
ALY HANDEY LICENCE #7818

SHEET NO. A.100-2