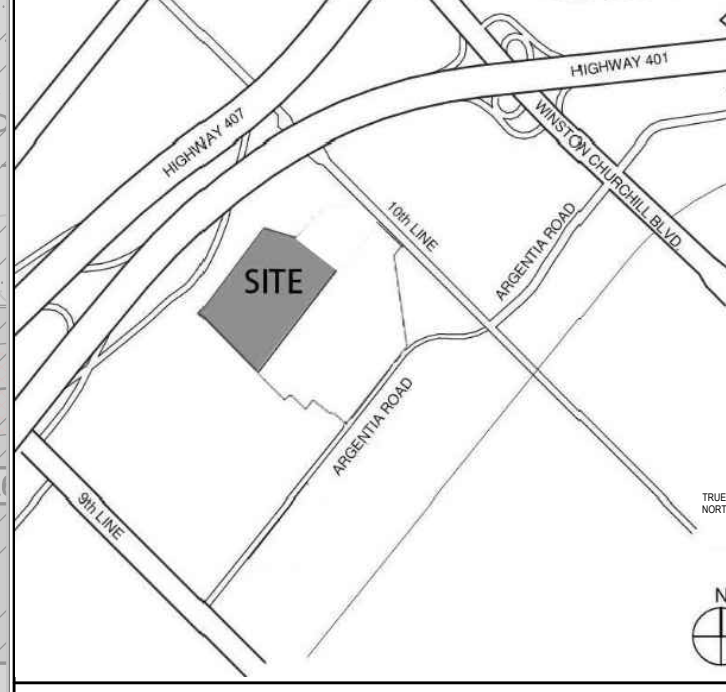


**PETROFF**  
 PETROFF PARTNERSHIP ARCHITECTS  
 10 AVIVA WAY SUITE 400 MARKHAM, ONTARIO L6G 0G1  
 T 905.470.7000 F 905.470.2500  
 www.petroff.com

**PROJECT LOCATION**



**LEGAL DESCRIPTION**

FOR LEGAL SURVEY INFORMATION REFER TO: PART OF LOT 14 CONCESSION 10, NEW SURVEY GEOGRAPHIC TOWNSHIP OF PEEL, REGIONAL MUNICIPALITY OF PEEL, PREPARED BY GENESIS LAND SURVEYING INC., 10 FOUR SEASONS PLACE, 10TH FLOOR, TORONTO, ON M9B 6H7 DATED OCTOBER 16, 2024.

SITE SPECIFIC ZONING TO BE VERIFIED UPON CONSULTATION WITH CITY OF MISSISSAUGA. LAYOUT IS SUBJECT TO IMPLEMENTATION OF ENVIRONMENTAL, STORM WATER MANAGEMENT, ETC. REQUIREMENTS UPON CONSULTATION WITH AUTHORITIES HAVING JURISDICTION.

**ADDITIONAL SITE WORKS**

NOTE: FOR LANDSCAPE AND SITE FURNITURE INFORMATION, REFER TO DRAWINGS BY MHC LANDSCAPE.

FOR GRADING AND SERVICING INFORMATION, REFER TO DRAWINGS BY MTE CONSULTANTS.

FOR SITE PHOTOMETRIC AND ELECTRICAL INFORMATION, REFER TO DRAWINGS BY HAMMERSCHLAG & JOFFE.

FOR TRAFFIC SIGNAGE AND DESIGN REFER TO DRAWINGS BY TYLIN.

NOTE: FIRE ACCESS ROUTE TO BE DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11.363 KG PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M.

ROUTE TO BE DESIGNATED AS PER BYLAW 1036-81 AS AMENDED.

**1 SITE PLAN - BUILDING DC5**  
 A100-3 Scale 1: 500

I hereby certify that this drawing confirms in all respects to the site development plans. Include Architect or Engineer's Signature (if applicable) and Professional seal.

ARCHITECT OR ENGINEER'S SIGNATURE (IF APPLICABLE) AND PROFESSIONAL SEAL.

The City of Mississauga requires that all working drawings submitted to the Building Division as part of an application for the issuance of a building permit shall be certified by the architect or engineer as being in conformity with the site development plan as approved by the City of Mississauga.

All exterior lighting will be directed onto the site and will not infringe upon the adjacent properties.

All rooftop mechanical units shall be screened from view by the applicant.

Parking spaces reserved for people with disabilities must be identified by a sign, installed at the applicant's expense, in accordance with the By-law Requirements and Building Code Requirements.

The applicant will be responsible for ensuring that all plan conform to Transport Canada's restrictions.

Grades will be met with a 3% maximum slope at the property lines and within the site.

All damaged areas are to be reinstated with topsoil and sod prior to the release of securities.

Signage shown on the site development plans is for information purposes only. All signs will be subject to the provisions of Sign by-law 0054-2002, as amended, and a separate sign application will be required through the Building Division.

Any fencing adjacent to municipal lands is to be located 15 cm (6.3 in.) inside the property line.

Only shielded lighting fixtures are permitted for all development, except for detached and semi-detached dwellings within 60 m of a residentially zoned property and must conform to the Engineer Certified Lighting Plan.

The Engineer Certified Lighting Plan must be signed by the Consulting Engineer.

The Owner covenants and agrees to construct and install shielded lighting fixtures on the subject lands, in conformity with the Site Plan and Engineer Certified Lighting Plan to the satisfaction of the City of Mississauga.

Where planting is to be located in landscaped areas on top of an underground parking structure, it is the responsibility of the applicant to arrange the coordination of the design of the underground parking structure with the Landscape Architect and the Consulting Engineering. Underground parking structures with landscaping area to be capable of supporting the following loads:

- 15 cm of drainage gravel plus 40 cm topsoil for sod
- 15 cm of drainage gravel plus 60 cm topsoil for shrubs
- 15 cm of drainage gravel plus 90 cm for trees or
- Pre-fabricated sheet drain system\* with a compressive strength of 1003 Kpa plus 40 cm topsoil for sod
- Pre-fabricated sheet drain system\* with a compressive strength of 1003 Kpa plus 60 cm topsoil for shrubs
- Pre-fabricated sheet drain system\* with a compressive strength of 1003 Kpa plus 90 cm topsoil for trees \*Terradrain 900 or approved equal

The structural design of any retaining wall over 0.6 m in height or any retaining wall located on a property line is to be shown on the Site Grading plan for this project and is to be approved by the Consulting Engineer for the project.

Continuous 15 cm high barrier type poured concrete curbing will be provided between all asphalt and landscaped areas throughout the site.

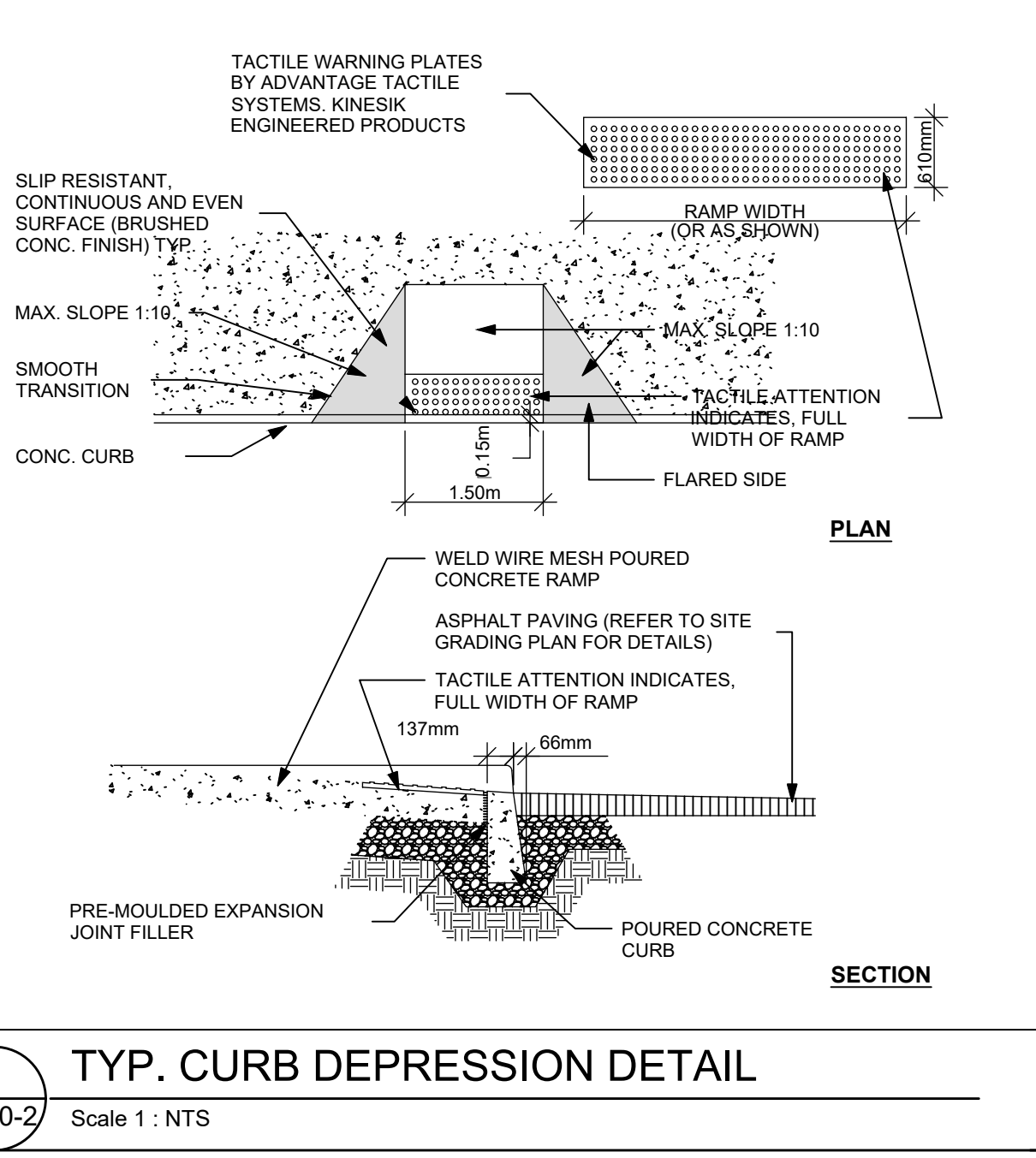
All utility companies will be notified for locations prior to the installation of the hoarding that ties within the site and within the limited of the City boulevard area.

**SITE PLAN NOTES**

- PROPERTY LINE.
- 2.85m WIDE X 6.0m WIDE MIN. PARKING SPACE, PAINTED STRIPING PER MUNICIPAL STANDARDS.
- EXTERIOR PRECAST CONCRETE STAIRS, PROVIDE TUBE STEEL GUARDRAIL AT ALL LOCATIONS HAVING MORE THAN 3 RISERS, TYPICAL.
- 2.2m MIN. WIDE SIDEWALK TYPICAL U.N.O.
- LANDSCAPED AREA SEE LANDSCAPE DRAWINGS
- ACCESSIBLE PARKING SPACE, PAINTED STRIPING PER MUNICIPAL STANDARDS.
- ACCESSIBLE PARKING SIGN, SIGNS AT TYPE A TO INCLUDE "VAN ACCESSIBLE" DESIGNATION.
- ACCESSIBLE CURB RAMP TYPICAL
- PEDESTRIAN WALKWAY, PAINTED STRIPING PER MUNICIPAL STANDARDS.
- EMPLOYEE AMENITY AREA. SEE LANDSCAPE DRAWINGS FOR SITE FURNITURE
- 0.15m HIGH CONCRETE CURB. PROVIDE 0.30m HIGH CONCRETE CURB AT ALL LOCATIONS ADJACENT TO TRUCK TRAFFIC. SEE CIVIL DRAWINGS
- 6.0m MIN. WIDE FIRE ACCESS ROUTE W/ 12.0m MIN. TURNING RADIUS
- 3.5m WIDE X 14.5m LONG MIN. LOADING SPACE PER MUNICIPAL STANDARDS
- DRIVE-IN RAMP SEE CIVIL DRAWINGS FOR SLOPE %
- RETAINING WALL, PEDESTRIAN RAIL SET INTO RETAINING WALL WHERE GRADE CHANGE IS GREATER THAN 0.6m TYPICAL. SEE CIVIL AND STRUCTURAL DRAWINGS
- PROVIDE STEEL PIPE BOLLARD AT BOTTOM OF RETAINING WALL TYPICAL
- REINFORCED CONCRETE APRON SEE CIVIL DRAWINGS
- EXTERIOR GALVANIZED STEEL STAIRS W/ TUBE STEEL GUARDRAIL TYPICAL
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS ALONG FIRE ACCESS ROUTE OR TRUCK ACCESS. SEE CIVIL DRAWINGS
- LIGHT DUTY ASPHALT SEE CIVIL DRAWINGS
- SHORT TERM BICYCLE PARKING SPACES. SEE LANDSCAPE DRAWINGS
- FIRE HYDRANT C/W BOLLARD PROTECTION TYPICAL. SEE CIVIL DRAWINGS
- TRANSFORMER C/O BOLLARD PROTECTION TYPICAL. SEE ELECTRICAL DRAWINGS.
- HIGH VOLTAGE SWITCH GEAR. SEE ELECTRICAL DRAWINGS
- RESERVED PARKING FOR HYBRID AND LOW EMISSION VEHICLES
- EV CHARGER ON CONCRETE POST. SEE ELECTRICAL AND STRUCTURAL DRAWINGS
- PROVIDE STEEL PIPE BOLLARD ON BOTH SIDES OF DRIVE-IN DOOR
- TRAILER PARKING SPACE (12FT X 55FT TYPICAL) WITH 10FT CONCRETE DOLLY PAD TYPICAL
- DASHED LINE INDICATES LOCATION OF PROPOSED ROOF TOP UNIT AT ROOF LEVEL REFER TO ROOF PLAN
- PROPOSED SECURITY GATE ARM. PROVISION FOR EMERGENCY ACCESS TO BE INCLUDED AT
- PEDESTRIAN WALKWAY, PAINTED STRIPING PER MUNICIPAL STANDARDS
- LONG TERM BICYCLE PARKING SPACES. SEE LANDSCAPE DRAWINGS

**SITE PLAN LEGEND**

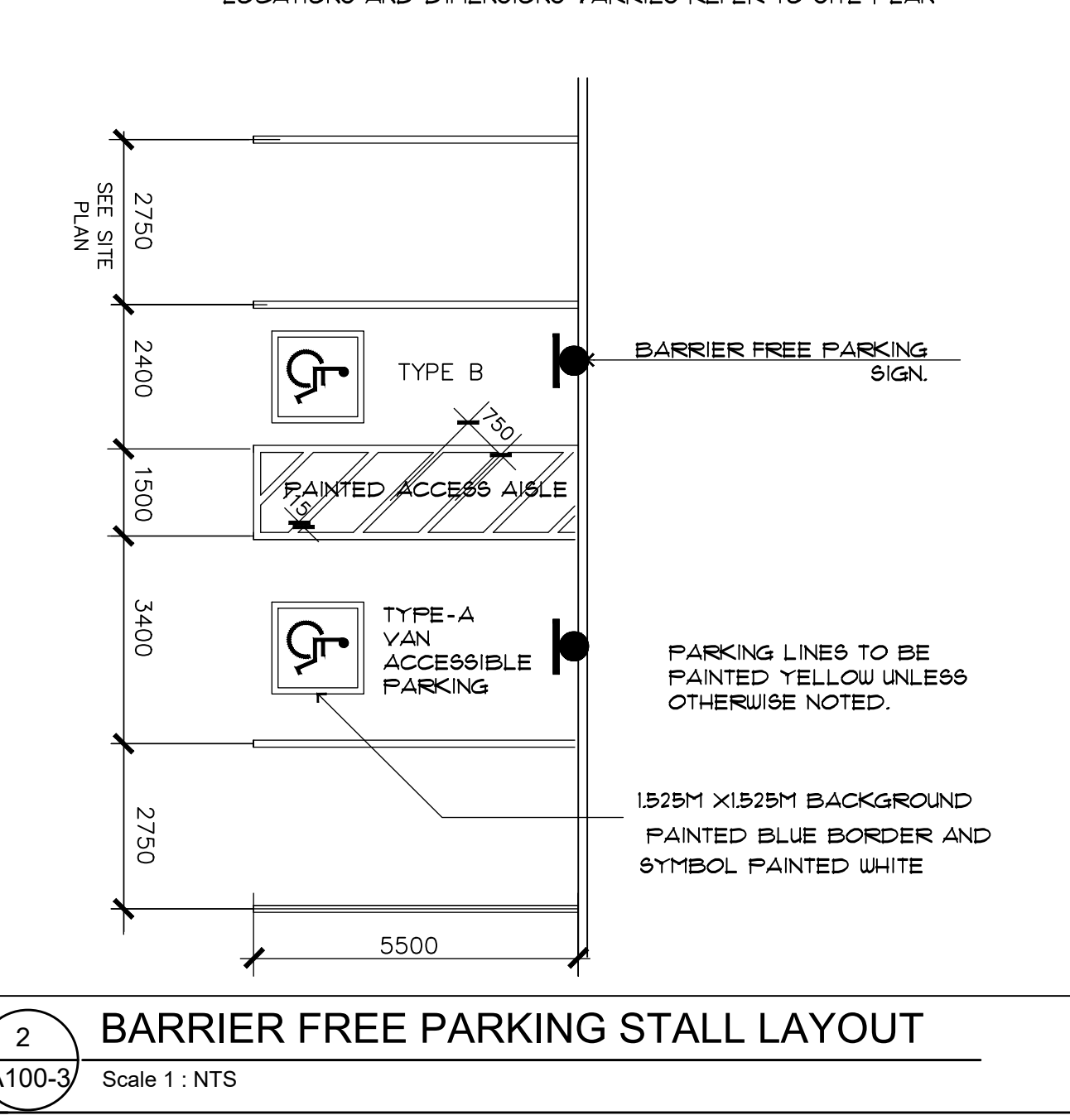
- PRINCIPAL ENTRANCE
- LOADING DOCK DOOR
- DRIVE-IN DOOR
- PROPERTY LINE
- FENCE
- FIRE ACCESS ROUTE
- ACCESSIBLE PARKING SPACE
- HYBRID AND LOW EMISSION VEHICLE PARKING SPACE
- BOLLARD
- FIRE HYDRANT
- CAR POOL VEHICLE PARKING SPACE
- HEAVY DUTY ASPHALT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- FIRE TRUCK ROUTE
- CATCH BASIN SEE CIVIL DWGS
- MANHOLE SEE CIVIL DWGS
- TRAFFIC SIGNAGE
- LIGHT STANDARD SEE ELECTRICAL DWGS
- WALL MOUNTED LIGHT FIXTURE SEE ELECTRICAL DWGS
- FIRE DEPARTMENT CONNECTION



**3 TYP. CURB DEPRESSION DETAIL**  
 A100-2 Scale 1: NTS

**SITE PLAN LEGEND**

- PRINCIPAL ENTRANCE
- LOADING DOCK DOOR
- DRIVE-IN DOOR
- PROPERTY LINE
- FENCE
- FIRE ACCESS ROUTE
- ACCESSIBLE PARKING SPACE
- HYBRID AND LOW EMISSION VEHICLE PARKING SPACE
- BOLLARD
- FIRE HYDRANT
- CAR POOL VEHICLE PARKING SPACE
- HEAVY DUTY ASPHALT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- FIRE TRUCK ROUTE
- CATCH BASIN SEE CIVIL DWGS
- MANHOLE SEE CIVIL DWGS
- TRAFFIC SIGNAGE
- LIGHT STANDARD SEE ELECTRICAL DWGS
- WALL MOUNTED LIGHT FIXTURE SEE ELECTRICAL DWGS
- FIRE DEPARTMENT CONNECTION



**2 BARRIER FREE PARKING STALL LAYOUT**  
 A100-3 Scale 1: NTS

7564 TENTH LINE WEST INDUSTRIAL BUILDING DC5			
ZONING CATEGORY	EMPLOYMENT - E2 (EXISTING D-4)		
PROPOSED USE	INDUSTRIAL BUSINESS		
SITE AREA AND COVERAGE			
GROSS SITE AREA	(m <sup>2</sup> )	(AC)	
BLOCK A - INDUSTRIAL LAND (BLDG DC4 & DC5)	120,843.30	29.86	
PROPOSED BUILDING DC5			
TOTAL BUILDING GFA	(m <sup>2</sup> )	(F <sup>2</sup> )	
TOTAL BUILDING GFA	30,500.00	328,531.96	
TOTAL BUILDING GFA	30,500.00	328,531.96	
PARKING REQUIREMENTS (0225-2007 PART 3 TABLE 3.1.2.3)			
MIN. PARKING SPACE DIMENSIONS	STANDARD - 2.0m x 5.2m		
MIN. AISLE WIDTH	7.0m		
PROPOSED INDUSTRIAL BUILDING DC5			
PROPOSED INDUSTRIAL BUILDING DC5	218	218	
ACCESSIBLE PARKING SPACES			
PROPOSED INDUSTRIAL BUILDING DC5	8	0	
ELECTRIC VEHICLE PARKING SPACES (1 EV CHARGER PER TRUCK OR G/A)	4	4	
BICYCLE PARKING REQUIREMENTS (0225-2007 PART 3 TABLE 3.1.6.4)			
PROPOSED INDUSTRIAL BUILDING DC5	4	4	
PROPOSED INDUSTRIAL BUILDING DC5			
PROPOSED INDUSTRIAL BUILDING DC5	16	15	
MIN. BICYCLE PARKING SPACE DIMENSIONS	1.8m x 0.6m		
LOADING SPACE REQUIREMENTS (0225-2007 PART 3 TABLE 3.1.4.3)			
PROPOSED INDUSTRIAL BUILDING DC5	PROPOSED	REQUIRED	
PROPOSED INDUSTRIAL BUILDING DC5	6	6	
MIN. LOADING SPACE DIMENSIONS	3.5m x 9.0m		

REV #	DATE	REVISION TITLE
1	AUG 15, 2025	ISSUED FOR SPA
2	MAR 4, 2026	ISSUED FOR SPA
3	MAR 25, 2026	ISSUED FOR SPA RESUBMISSION

PROJECT NO: 25026 00  
 DRAWN BY: TY  
 CHECKED BY: RCB

NOT RELEASED FOR CONSTRUCTION  
 RELEASED FOR CONSTRUCTION

**0 ARGENTIA ROAD, MISSISSAUGA, ON**  
 TOR00394  
 INDUSTRIAL DEVELOPMENT



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 647-258-2600  
 Tony Nguyen: tnguyen4@prologis.com  
 https://www.prologis.com

**SHEET TITLE:**  
 SITE PLAN  
 BUILDING DC5  
 SP 25-63 W9

SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**  
 ALY HAMDI LICENCE #7818

SHEET NO. **A.100-3**