

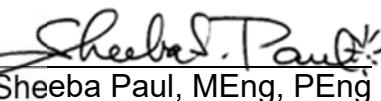
**Noise Impact Study,
Proposed Infill Development
44 – 45 Longview Place
(formerly 0 Derry Road West)**

Mississauga, Ontario

Prepared for:
Harvinder Babra
45 Timberlane Drive
Brampton, ON
L6Y4B3

Prepared by




Sheeba Paul, MEng, PEng

July 12, 2024

HGC Project No.: 01900849

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1 Introduction and Summary

Howe Gastmeier Chapnik Limited (HGC Engineering) was retained by Harvinder Babra to perform a Noise Impact Study for a proposed infill residential development consisting of 3 new lots at 44 – 45 Longview Place (formerly 0 Derry Road West). The site is located south of Derry Road West, north of a green belt, east of existing residences and Longview Place in the City of Mississauga, Ontario. The study is required by the City of Mississauga as part of the planning and approvals process.

This study has been updated to reflect the detailed floor plans and building elevations for the dwellings on the lots and provides responses to the City's comments included in Appendix C.

Air traffic noise from the Lester B. Pearson International Airport is a dominant noise source. Noise exposure forecast contours were obtained from the Greater Toronto Airports Authority (GTAA). The noise contours were used to predict and assess the future sound levels impacting the proposed residences with respect to Ministry of the Environment, Conservation and Parks (MECP) guidelines.

The sound levels from air traffic from the Lester B. Pearson Airport exceed the recommended guidelines of the MECP. All the dwelling units require central air conditioning systems and upgraded building constructions. Noise warning clauses are required for all the lots in the proposed infill development to warn the future occupants of the sound level excesses due to air traffic and existing warehousing facilities further to the southeast. Specific recommendations are provided in this report.

2 Site Description and Noise Sources

The subject site is situated approximately 425 m to the south of Derry Road and approximately 342 m east of McLaughlin Road. Figure 1 is a key plan showing the site in relation to the roadways. A site plan prepared by Technoarch dated 2024-02-21 is provided as Figure 2 and shows the three proposed lots and the location of noise monitoring discussed in Section 6.

Numerous site visits have been completed to observe the area for additional noise sources, potential shielding, and area characteristics. There are existing dwellings on the west side of Longview Place. There is an existing forest to the south. To the southeast is Walmart Canada Logistics office, warehouse and distribution centre. There are existing residences at approximately the same distance as the proposed residences at the infill development. Sound levels were monitored at the property of the nearby warehousing facility to the southeast. These are discussed in Section 6.

Air traffic from Lester B. Pearson Airport is the dominant transportation noise source. The future residential lots are located near Pearson International Airport, and lies between the 30 and 35 Noise Exposure Forecast/Noise Exposure Projection (NEF/NEP) contour (see Figure 3). Air traffic is expected to have some impact on the lots and is considered in the following analysis. Noise from McLaughlin Road and Derry Road West are not expected to contribute to the noise at the infill development because of the shielding provided by intervening existing houses. Other roadways and rail lines are more than 500 m from the site and therefore have not been considered in the analysis.

3 Sound Level Criteria for the Assessment of Traffic Noise on the Proposed Dwellings

3.1 Criteria Governing Road Traffic Noise

Guidelines for acceptable levels of road traffic noise impacting residential developments are given in the MECP publication NPC-300, “Environmental Noise Guideline Stationary and Transportation Sources – Approval and Planning”, release date October 21, 2013, and are listed in Table I below. The values in Table I are energy equivalent (average) sound levels [LEQ] in units of A-weighted decibels [dBA].

Table I: MECP Road Traffic Noise Criteria (dBA)

Area	Daytime L _{EQ} (16 hour) Road	Nighttime L _{EQ} (8 hour) Road
Outdoor Living Area	55 dBA	--
Inside Living/Dining Rooms	45 dBA	45 dBA
Inside Bedrooms	45 dBA	40 dBA

Daytime refers to the period between 07:00 and 23:00. Nighttime refers to the time period between 23:00 and 07:00. The term “Outdoor Living Area” (OLA) is used in reference to an outdoor patio, a backyard, a terrace, or other area where passive recreation is expected to occur. Small balconies are not considered OLAs for the purposes of assessment. Terraces greater than 4 m in depth (measured perpendicular to the building façade) are considered to be OLAs.

The guidelines in the MECP publication allow the daytime sound levels in an Outdoor Living Area to be exceeded by up to 5 dBA, without mitigation, if warning clauses are placed in the purchase and rental agreements to the property. Where OLA sound levels exceed 60 dBA, physical mitigation is required to reduce the OLA sound level to below 60 dBA and as close to 55 dBA as technically, economically and administratively feasible.

A central air conditioning system as an alternative means of ventilation to open windows is required for dwellings where nighttime sound levels outside bedroom or living/dining room windows exceed 60 dBA (or equal to 60 dBA or greater, Region of Peel) or daytime sound levels outside bedroom or living/dining room windows exceed 65 dBA. Forced-air ventilation with ducts sized to accommodate the future installation of air conditioning is required when nighttime sound levels at bedroom or living/dining room windows are in the range of 51 to 60 dBA or when daytime sound levels at bedroom or living/dining room windows are in the range of 56 to 65 dBA.

Building components such as walls, windows and doors must be designed to achieve indoor sound level criteria when the plane of window nighttime sound level is greater than 60 dBA or the daytime sound level is greater than 65 dBA due to road traffic noise.

Warning clauses to notify future residents of possible noise excesses are also required when nighttime sound levels exceed 50 dBA at the plane of the bedroom or living/dining room window

and daytime sound levels exceed 55 dBA in the outdoor living area and at the plane of the bedroom or living/dining room window due to road traffic.

3.2 Air Traffic Noise

Indoor sound limits due to air traffic are also defined in the MECP in publication NPC -300. The maximum allowable Noise Exposure Forecast (NEF) limits are summarized in Table II.

Table II: Air Traffic Noise Criterion

Area	Indoor NEF/NEP
Living/Dining Room (indoor)	5
Bedroom (indoor)	0

The living/dining rooms, dens, family rooms and bedrooms of the proposed dwelling units are the sensitive receptor locations. Typically, washrooms and kitchens are considered noise insensitive areas. There are no outdoor noise criteria for aircraft noise because there is no effective means of mitigation.

The guidelines indicate that warning clauses and mandatory central air conditioning is required for any dwellings located above NEF/NEP contours of 30. In addition, building components including windows, doors, walls and ceiling/roof must be designed to achieve the indoor sound level criteria.

3.3 Criteria Governing Stationary (Industrial) Noise Sources

An industrial or commercial facility is classified in MECP guidelines as a stationary source of sound (as compared to sources such as traffic or construction, for example) for noise assessment purposes. In terms of background sound, the development is located in an urban (Class 1) acoustical environment which is characterized by an acoustical environment dominated by road traffic and human activity.

The facade of a sensitive use (i.e., in the plane of a window), or any associated usable outdoor area is considered a sensitive point of reception. NPC-300 stipulates that the exclusionary minimum sound level limit for a stationary noise source in an urban Class 1 area is 50 dBA during daytime (07:00 to

23:00) hours, and 45 dBA during nighttime hours (23:00 to 07:00). If the background sound levels due to road traffic exceed the exclusionary minimum limits, then the background sound level becomes the criterion. The background sound level is defined as the sound level that is present when the source under consideration is not operating, and may include traffic noise and natural sounds.

Commercial activities such as the occasional movement of customer vehicles, occasional deliveries, and garbage collection are not of themselves considered to be significant noise sources in the MECP guidelines. Accordingly, these sources have not been considered in this study. Noise from safety equipment (e.g. back-up beepers) is also exempt from consideration. Frequent truck movements at a warehouse or busy shipping/receiving docks at an industry must generally be assessed. Trucking activities have not been included in this assessment since they will occur on an infrequent basis.

The MECP guidelines stipulate that the sound level impact during a “predictable worst case hour” be considered. This is defined to be an hour when a typically busy “planned and predictable mode of operation” occurs at the subject facility, coincident with a period of minimal background sound. Compliance with MECP criteria generally results in acceptable levels of sound at sensitive use receptors although there may still be residual audibility during periods of low background sound.

4 Traffic Noise Assessment

The Noise Exposure Forecast (NEF) contours were obtained from the Greater Toronto Airports Authority (GTAA) in terms of NEF contours. From the NEF contour map, the proposed development lies within the 30 – 35 NEF contour. In accordance with MECP guidelines, the more conservative noise contour was used in the analysis.

The NEF contour map was used to determine the Acoustical Insulation Factors (AIF) required for the building components for the proposed dwellings. The Ministry of the Environment, Conservation and Parks’ (MECP) indoor noise criteria for aircraft traffic noise was used as a guideline.

5 Discussion and Recommendations

A review of the airport noise contours indicate that the future air traffic sound levels will exceed MECP guidelines at all of the dwelling units in the development. Recommendations are discussed below.

5.1 Indoor Living Areas

All of the infill lots in the development are located between the 30 to 35 NEF contour lines. Therefore, central air conditioning is required for all dwelling units in the development to provide an alternative means of ventilation to opening windows in accordance with MECP guidelines. Window or through-the-wall air conditioning units are not recommended because of the noise they produce and because the units penetrate through the exterior wall which degrades the overall sound insulating properties of the envelope. The location, installation and sound ratings of the outdoor air conditioning devices should minimize noise impacts and comply with criteria of MECP publication NPC-300.

5.2 Building Facade Constructions

MECP guidelines recommend that building components including windows, walls, ceilings and roofs, where applicable, must be designed so that the indoor sound levels comply with MECP noise criteria. The acoustical performance of the building components (windows, doors, and walls) must also be specified.

The architectural drawings prepared by Technoarch dated 2024-05-13, attached in Appendix A, were reviewed. Calculations have been performed to determine the building envelope constructions likely to be required to maintain indoor sound levels within MECP guidelines. The calculation methods were developed by the National Research Council (NRC). They are based on the predicted future sound levels at the building facades, the area of the façade components (walls, windows and doors) relative to the floor area of the adjacent room.

Exterior Wall Construction

For all the dwellings, the exterior wall is proposed to include wooden panels, stone and stucco and a ventilated attic. These constructions will provide adequate sound insulation for the dwelling units.

Exterior Doors

Any insulated metal exterior door meeting OBC requirements will be sufficient to provide noise insulation. Patio doors proposed for the dwellings have been included in the window area.

Glazing Requirements

Table III summarizes the maximum window to floor area ratios obtained for the spaces and the minimum recommended sound transmission class (STC) rating for the glazing constructions to achieve the indoor sound level criteria.

Table III: Summary of Minimum Glazing Requirements

Area	Location	Maximum Window to Floor Area Ratio	Minimum STC ¹ Requirement
All lots in development are within NEF 30 to 35	Bedrooms	27%	STC-36
	Living/dining/ family rooms and dens	33%	STC-33

Note: If these ratios are exceeded, HGC Engineering should be contacted for a revised recommendation.

¹ STC requirement refers to installed performance, and seals on operable windows and doors. Test data should be provided where available.

5.3 Warning Clauses

The MECP guidelines recommend that warning clauses be included in the property and tenancy agreements for all lots with sound level excesses. The noise warning clauses are numbered in accordance with NPC-300.

The suggested wording of the warning clauses to account for the air traffic levels is as follows.

Type B:

Purchasers/tenants are advised that despite the inclusion of noise control features in the development and within the building units, sound levels due to increasing air traffic may on occasions interfere with some activities of the dwelling occupants as the sound levels exceed the sound level limits of the Municipality and the Ministry of the Environment, Conservation and Parks.

Type D:

This dwelling unit has been supplied with a central air conditioning system which will allow windows and exterior doors to remain closed, thereby ensuring that the indoor sound levels are within the sound level limits of the Municipality and the Ministry of the Environment, Conservation and Parks.

These sample clauses are required by the MECP as examples and can be modified by the Municipality as required.

The following warning clause are in accordance with the City of Mississauga's comments and the GTAA.

- i) "Despite the inclusion of noise control features within the building units aircraft noise from operations at Toronto Pearson International Airport may interfere with some indoor and outdoor activities".
- ii) "Purchasers are advised that parts of this development are between the NEF 30 to 35 aircraft noise contours for Lester B. Pearson International Airport and are subject to potential noise impact from aircraft using the Airport. Noise from aircraft will continue to exist potentially interfering with normal activities of occupants particularly outdoors. In the future the Airport and the operations related thereto may be altered or expanded and the noise levels may be affected or increased."
- iii) "The purchaser acknowledges and agrees that he or she has been informed that the

purchaser is purchasing a dwelling subject to noise impact from aircraft using Lester B. Pearson International Airport and the Purchaser hereby waives any claim for damages losses or any other claims or appeals including costs due to or resulting from such aircraft noise either now or in the future against any or all of the City the Greater Toronto Airports Authority or any air carrier using the Airport."

6 Stationary Source Investigation

6.1 Site Visits and Measurements

HGC Engineering visited the site on various occasions in the past at various times of the daytime, evening and nighttime hours to investigate sounds emanating from the nearby Walmart Canada Logistics site, specifically, to perform sound level measurements and to make observations of the acoustic environment. This is detailed in Table IV of this report.

Road traffic from the roadways was audible but not measured. Air traffic noise due to aircraft flyovers were audible at the site and excluded from the monitored data as per MECP guidelines. There is a forest to the south of the subject site, approximately 115 m in depth. There are numerous tractor trailers parked at the Walmart Logistics site. The area is noted to be a Class 1 Area as defined by the MECP guidelines, as will be discussed in further detail below.

6.2 Acoustic Terminology

The following paragraphs provide a brief summary of the acoustical terminology used throughout this report. The discussion and conclusions contained herein will be most beneficial to readers with an understanding of these principles. The number in [] refers to the original document in the references section.

- **Class 1 area** means an area with an acoustical environment typical of a major population centre, where the background sound level is dominated by the activities of people, usually road traffic, often referred to as “urban hum” [2].
- **Sound Level** - The human ear perceives oscillations in air pressure as sound. The magnitude of the oscillations determines the loudness of the sound, and is typically measured logarithmically, in terms of sound pressure level, in units of decibels [dB]. A decibel is a logarithmic quantity, and therefore sound levels expressed in these units must be added and subtracted logarithmically instead of arithmetically. For instance, adding two sound levels of

50 dBA yields a result of 53 dBA. The addition of 40 dBA and 50 dBA yields a result of 50 dBA. A faint whisper might produce only a few decibels, while a loud shout can exceed 100 dB at close range. As a rule of thumb, an increase or decrease of 10 dB in sound level is perceived as a doubling or halving of the loudness, approximately. Likewise, an increase/decrease of 5 dB in sound level equates to a perceived change of about 25% in loudness, and an increase/decrease of less than about 3 dB is typically considered imperceptible [2].

- **A-weighting and Octave Bands** - Most sounds can contain a mixture of many frequencies simultaneously. The human ear varies in its sensitivity to sounds of different frequency. Therefore, sound levels are often measured using a frequency-weighted filter which emulates the frequency sensitivity of the human ear. The frequency-weighting is referred to as the “A-scale.” Most instrumentation for measuring sound has the capability to weight all of the component frequencies of a sound, and sum them into a single number; sounds measured in this way are designated in units of A-weighted decibels [dBA]. A dBA spectral-sum sound pressure level is a reasonable single-number representation of the perceived overall loudness of a complex sound that contains multiple different frequencies. For this reason, most guidelines and limits for noise outdoors, such as the MECP guidelines and some city bylaws, are specified in terms of a single-number dBA level [2].
- **LEQ** “Leq (T): Leq (16), Leq (8), Leq (1)” means the A-weighted sound level of a steady sound carrying the same total energy in the time period T as the observed fluctuating sound. The time period T is given in hours. Leq without a specific time period means Leq (1) [2].
- **L₉₀** is the level exceeded for 90% of the time. For 90% of the time, the noise level is above this level. It is generally considered to be representing the background or ambient level of a noise environment.
- **Stationary source** is a source of sound which does not normally move from place to place, including the premises of a person as one stationary source, unless the dominant source of sound on those premises is construction or a conveyance [1].

Specifically, NPC-300 stipulates that the sound level limit in a Class 1 Area for a stationary source which could operate during daytime/evening hours and nighttime hours is the greater of

- the minimum one-hour LEQ background sound level; or
- the “exclusion limit” of 50 dBA during the daytime and 45 dBA during the nighttime (this is, in essence, a minimum permissible limit that protects stationary facilities that are located in areas with low background noise levels).

The guidelines also stipulate that the noise assessment shall consider a *predictable worst-case hour*,

which is defined as an hour when typically, full operation of the stationary sources under consideration could coincide with an hour of low background sound.

MECP Guidelines provide further instruction on what types of noises constitute the type of background noise that is to be taken into consideration when conducting the above-noted comparison.

6.3 Site Review and Actual Measurements & Observations

In order to quantify the background sound in the vicinity, HGC Engineering personnel visited the site on numerous occasions to measure sound levels at the proposed residences.

The sound level measurements were completed using a *Norsonic* model NOR140 Precision Sound Level Analyzer and a *Brüel & Kjær* model 2238 Precision Integrating Sound Level Meter. All instrumentation was within its annual laboratory calibration, and correct calibration was verified at the start and end of the monitoring period using a *Brüel & Kjær* model 4231 Acoustic Calibrator. The weather during the monitoring period was suitable for outdoor acoustical measurements. Short term attended L_{EQ} sound level measurements were conducted at the proposed Lot 2 as shown on Figure 2. Figures A1, A2 and A3 in Appendix B provide the original monitored data during the day, evening and nighttime hours and are also summarized in Table I.

Table IV – Attended Sound Level Measurements

Date	Time	$L_{EQ20min}$ [dBA]	L_{90} [dBA]	Comments
April 1, 2020	7:05 pm	47	44	Traffic audible/dominant, backup beepers audible, plane passover, bang
April 1, 2020	7:10 pm	46	43	Traffic audible/dominant, backup beepers audible, bang, plane passover
April 1, 2020	11:28 pm	45	43	Traffic audible/dominant, backup beepers audible, bang, plane passover
July 3, 2024	6:30 pm	49	46	Traffic audible/dominant in distance (46), bang (48), plane passover (53, 55), birds chirping (47, 54)
July 3, 2024	11:10 pm	46	44	Traffic audible/dominant in distance (47), bang (47), plane passover (53, 54), birds chirping (47, 52)

Note: Values in parentheses indicate the momentary peak sound levels recorded

In essence, the $L_{EQ20MIN}$ column lists the average calculated sound level during the measurement period, whereas the L_{90} column lists the measurement of the noise that is attributable to the Logistics facility. The monitored sound levels average less than 50 dBA during the daytime and evening

periods and average 45 dBA during the nighttime period.

While HGC Engineering did not calculate the background sound levels due to road traffic in the area, during the site visits, road traffic volumes are audible and dominant on the subject site along with plane passbys.

6.4 Discussion and Recommendations With Regard to Existing Stationary Noise Sources

Sound levels on the subject site due to the operation of the neighbouring Logistics facility meet the MECP criteria at the proposed residences. This is to be expected as there are existing residences at approximately the same distance as the subject site to the west of the Logistics facility.

The following noise warning clause is recommended in the property agreements for the proposed lots in the infill development.

Warning Clause Type C:

“Purchasers are advised that due to the proximity of nearby and adjacent commercial/industrial facility (Walmart Canada Logistics), sound levels from these facilities may at times be audible.”

This sample clause is provided by the MECP as an example and can be modified by the Municipality as required.

While the MECP does not generally accept central air conditioning or mechanical ventilation as mitigation measures for stationary noise sources per se, it is noted that in this case such measures are required for the proposed dwellings so that the windows can remain closed.

7 Summary of Recommendations

The following list summarizes the recommendations made in this report.

For transportation noise sources

1. Central air conditioning systems will be required for the proposed dwellings on all lots. The location, installation and sound ratings of the air conditioning devices should comply with NPC-300, as applicable.
2. Upgraded building constructions will be required for the proposed dwellings as outlined in Section 5.2.
3. Warning clauses should be included in the purchase and sale agreements to inform the future owners of the proposed dwellings of the traffic noise issues. Recommended wording for these warning clauses is provided in Section 5.2 and Section 6.

For stationary noise sources

1. A noise warning clause is required to inform future owners of the dwellings of the presence of the nearby commercial/industrial facility.

The reader is referred to the previous sections of this report where these recommendations are discussed in more detail. The following table summarizes the recommendations made in this report.

Table V: Summary of Noise Control Requirements and Noise Warning Clauses for the Hotel Building

Lot No.	Acoustic Barrier	Ventilation	Type of Warning Clause	Required Glazing Constructions	Mitigation for Stationary Noise Sources
1	--	Central A/C	A, B i), ii), iii)	BR: STC-36 LR/DR/den/FR: STC-33	Type C noise warning clause
2	--		A, B i), ii), iii)	BR: STC-36 LR/DR/den/FR: STC-33	Type C noise warning clause
3	--		A, B i), ii), iii)	BR: STC-36 LR/DR/den/FR: STC-33	Type C noise warning clause

Notes:

-- no specific requirement

OBC – Ontario Building Code Requirements

BR – bedroom

LR/DR/den/FR – living room/dining room/den/family room

The reader is referred to the previous sections of the report where these recommendations are discussed in more detail.

7.1 Implementation

To ensure that the noise control recommendations outlined above are fully implemented, it is recommended that:

1. Prior to occupancy, a Professional Engineer qualified to perform acoustical services in the Province of Ontario or the Municipal Building Department shall conduct a site inspection to confirm that the sound control measures have been installed and constructed in their entirety.

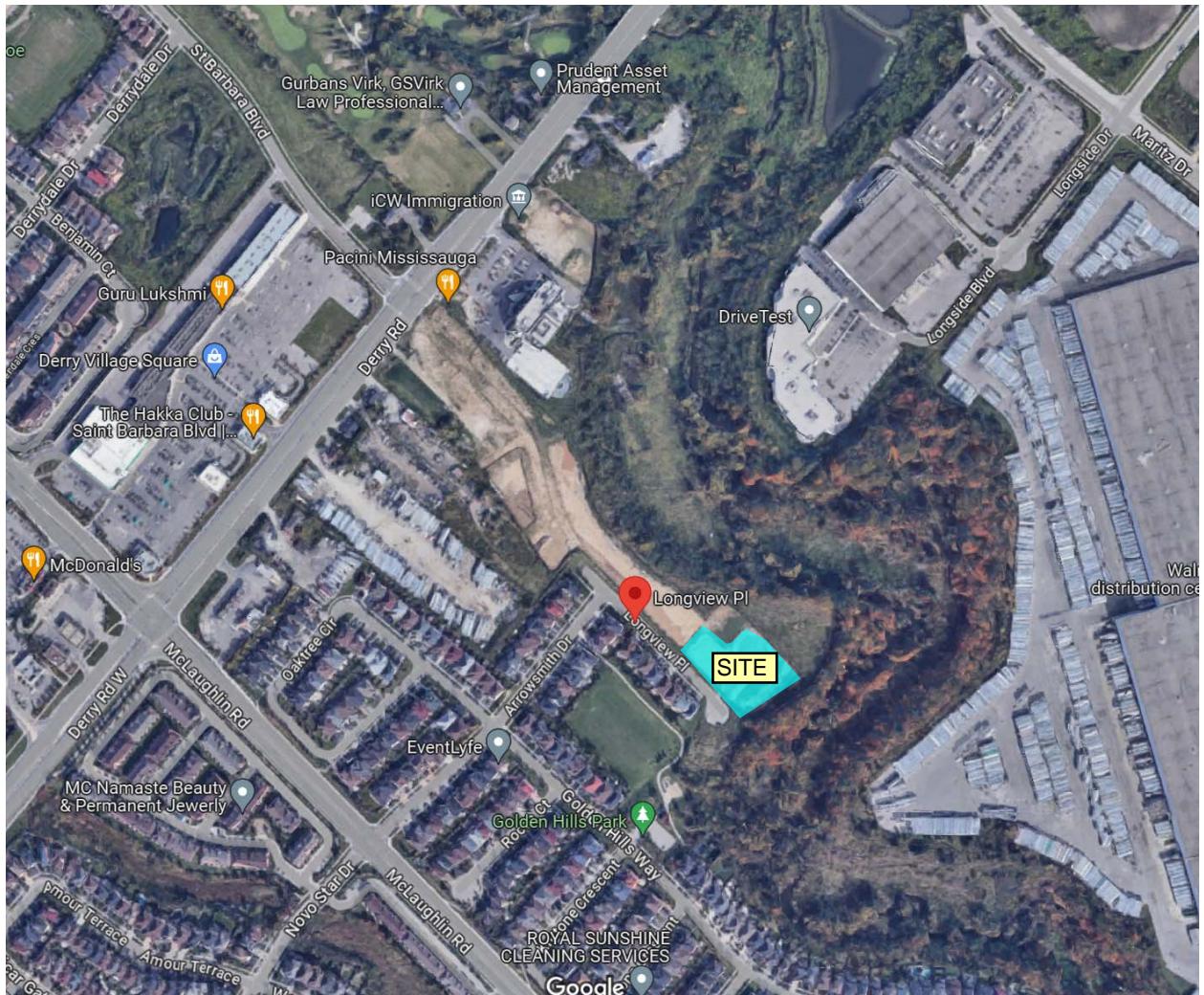


Figure 1 - Key Plan

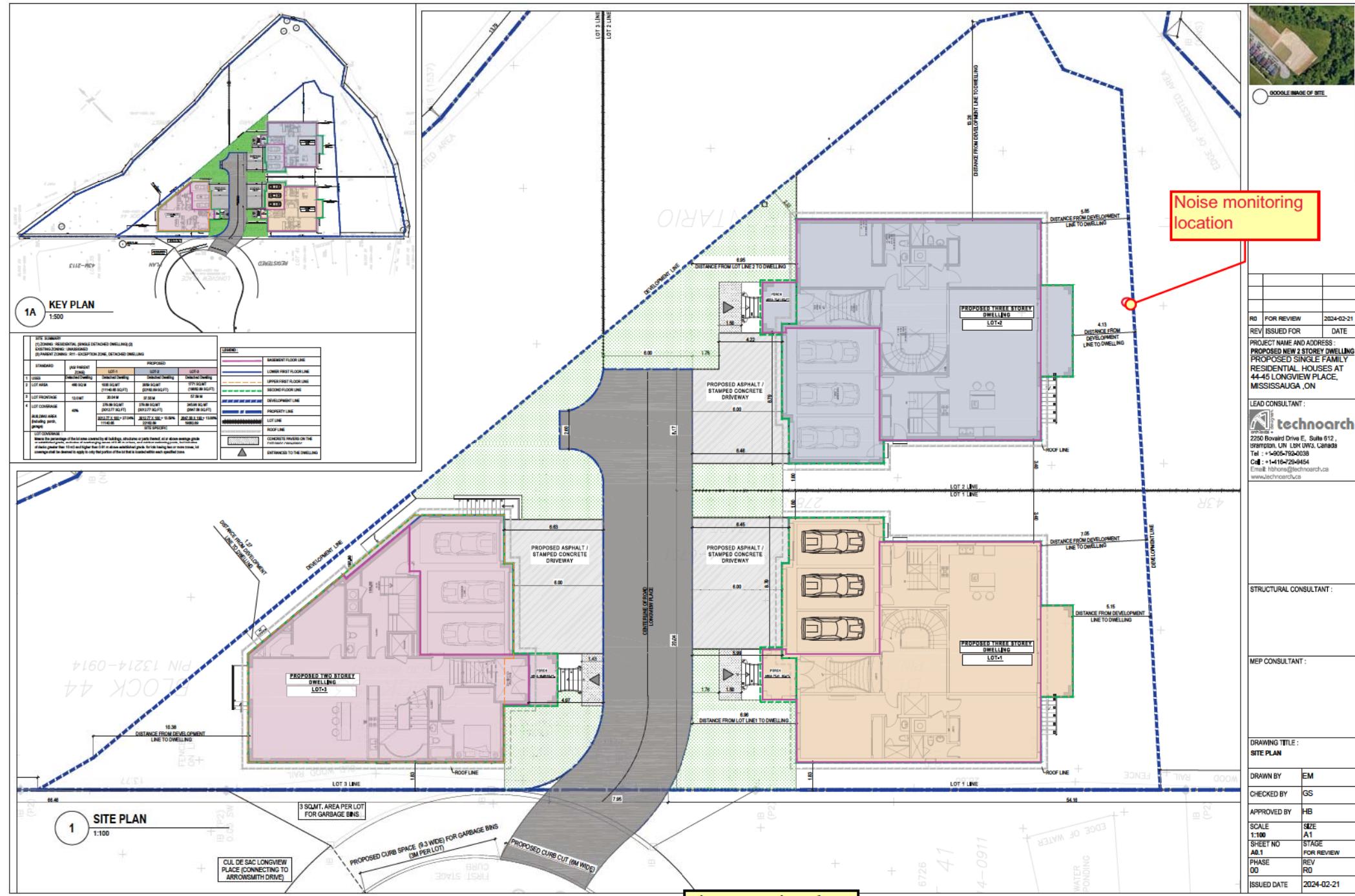


Figure 2: Site Plan

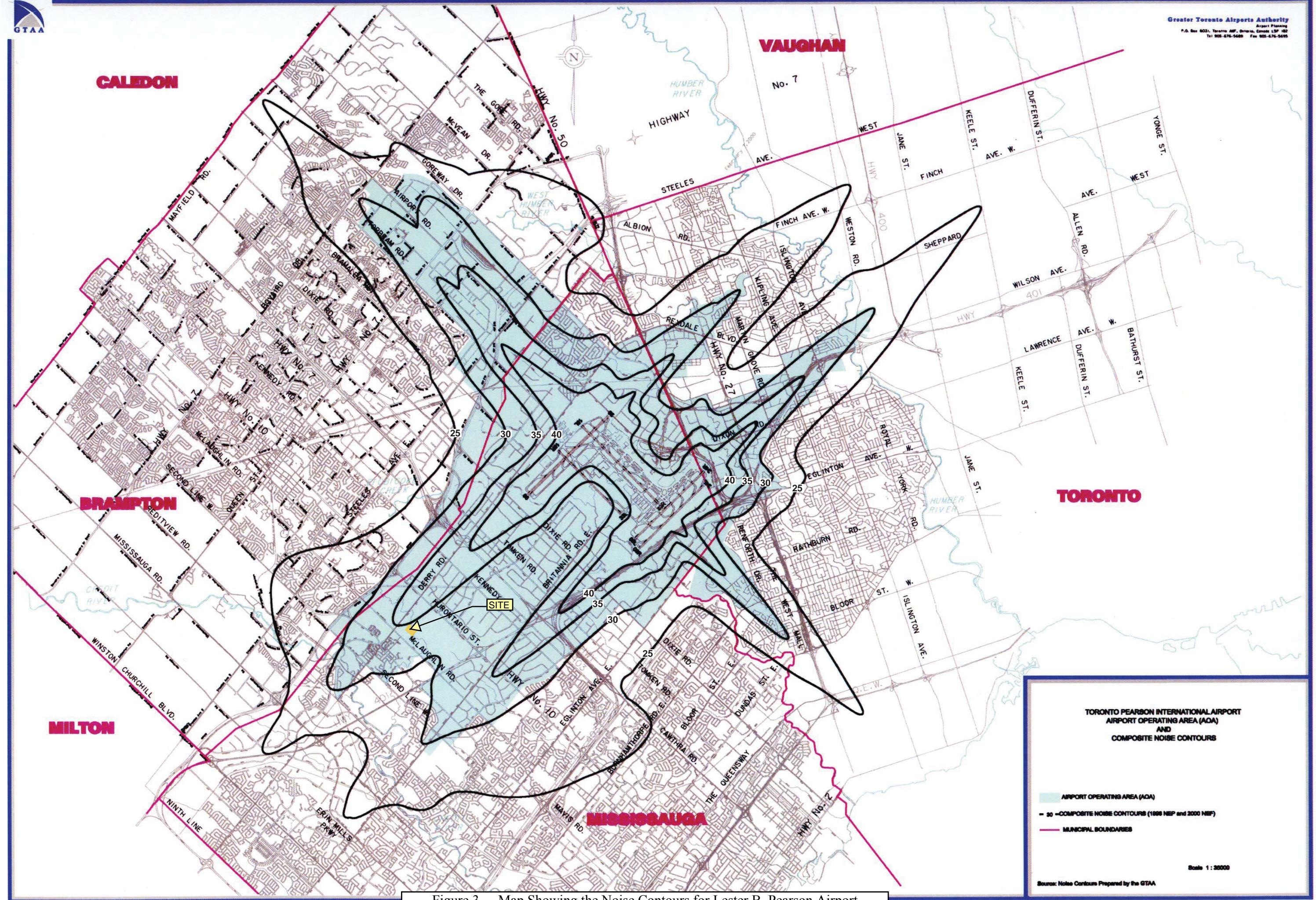


Figure 3 - Map Showing the Noise Contours for Lester B. Pearson Airport

APPENDIX A

Supporting Drawings



ACOUSTICS

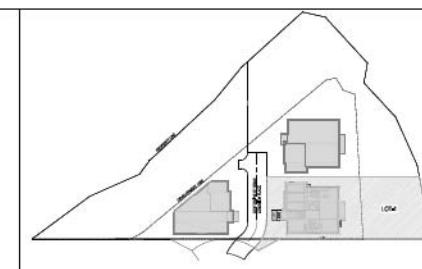
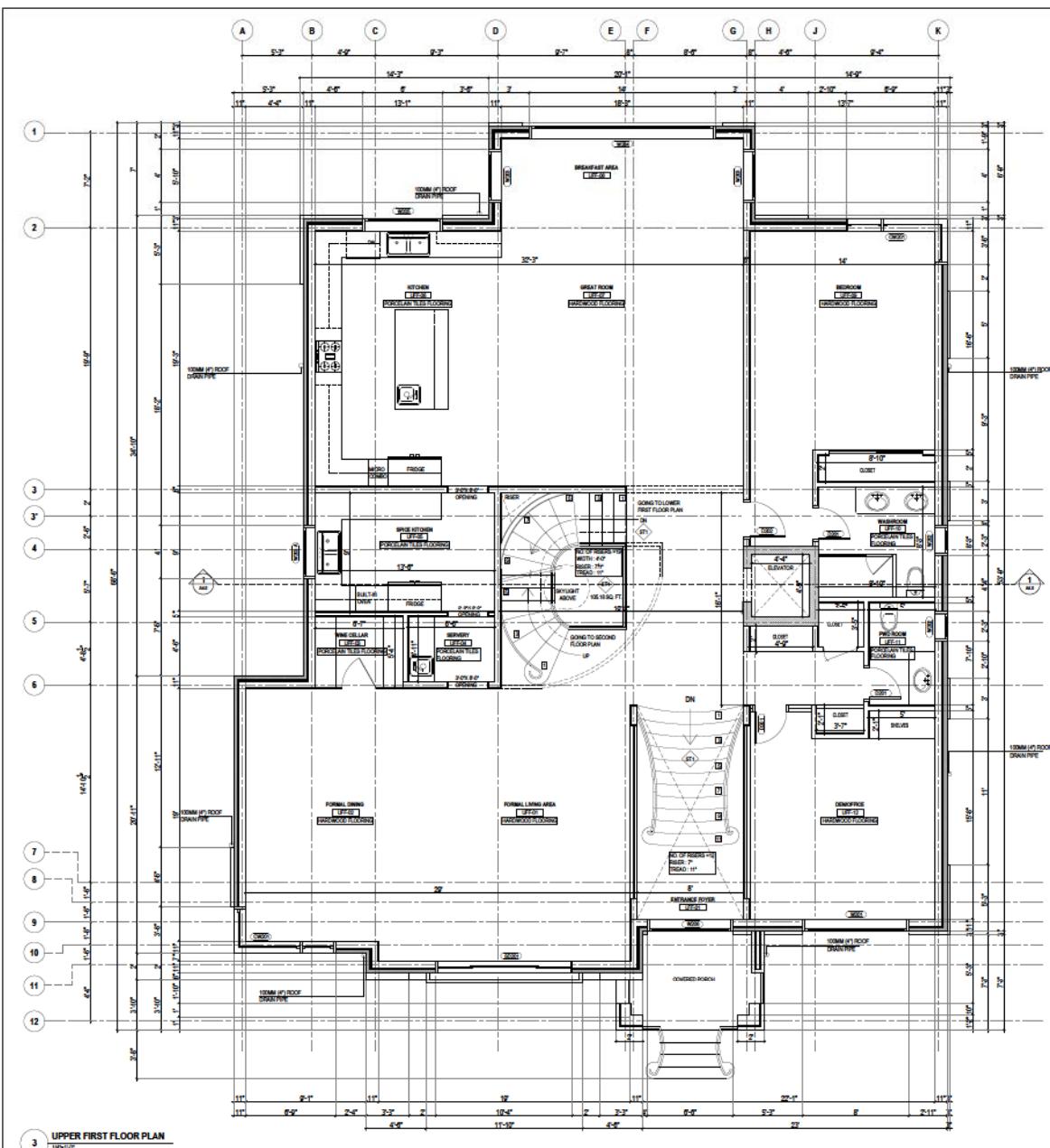


NOISE



VIBRATION

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KEY PL

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STRUCTURAL CONSULTANT:

MEP CONSULTANT:

NOTE: PREFABRICATED STAIRS ARE SHOWN HERE FOR REFERENCE ONLY. STAIRS TO BE INSTALLED AS PER OWNERS CHOICE IN ACCORDANCE WITH MANUFACTURING SPECIFICATIONS. OWNER TO SUBMIT SHOP DRAWINGS FOR APPROVAL.

WINDOW NO	SIZE	WGT	HT	REL	UNITS	QUANTITY	TYPE	DESCRIPTION
1001	12"	100	12"	100	1	1	DOUBLE GLAZED VINYL	DOUBLE GLAZED VINYL WINDOW
1002	24"	100	12"	100	1	1	DOUBLE GLAZED VINYL	DOUBLE GLAZED VINYL WINDOW
1003	48"	100	12"	100	1	1	DOUBLE GLAZED VINYL	DOUBLE GLAZED VINYL WINDOW
1004	12"	100	12"	100	1	1	DOUBLE GLAZED VINYL	DOUBLE GLAZED VINYL WINDOW
1005	24"	100	12"	100	1	1	DOUBLE GLAZED VINYL	DOUBLE GLAZED VINYL WINDOW
1006	48"	100	12"	100	1	1	DOUBLE GLAZED VINYL	DOUBLE GLAZED VINYL WINDOW
1007	12"	100	12"	100	1	1	CORNERS	DOUBLE GLAZED VINYL WINDOW
1008	24"	100	12"	100	1	1	CORNERS	DOUBLE GLAZED VINYL WINDOW
1009	48"	100	12"	100	1	1	CORNERS	DOUBLE GLAZED VINYL WINDOW

DRAWING TITLE:
PROPOSED UPPER FIRST
FLOOR PLAN (LOT 1)

DRAWN BY EM

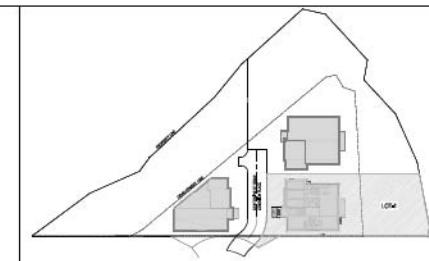
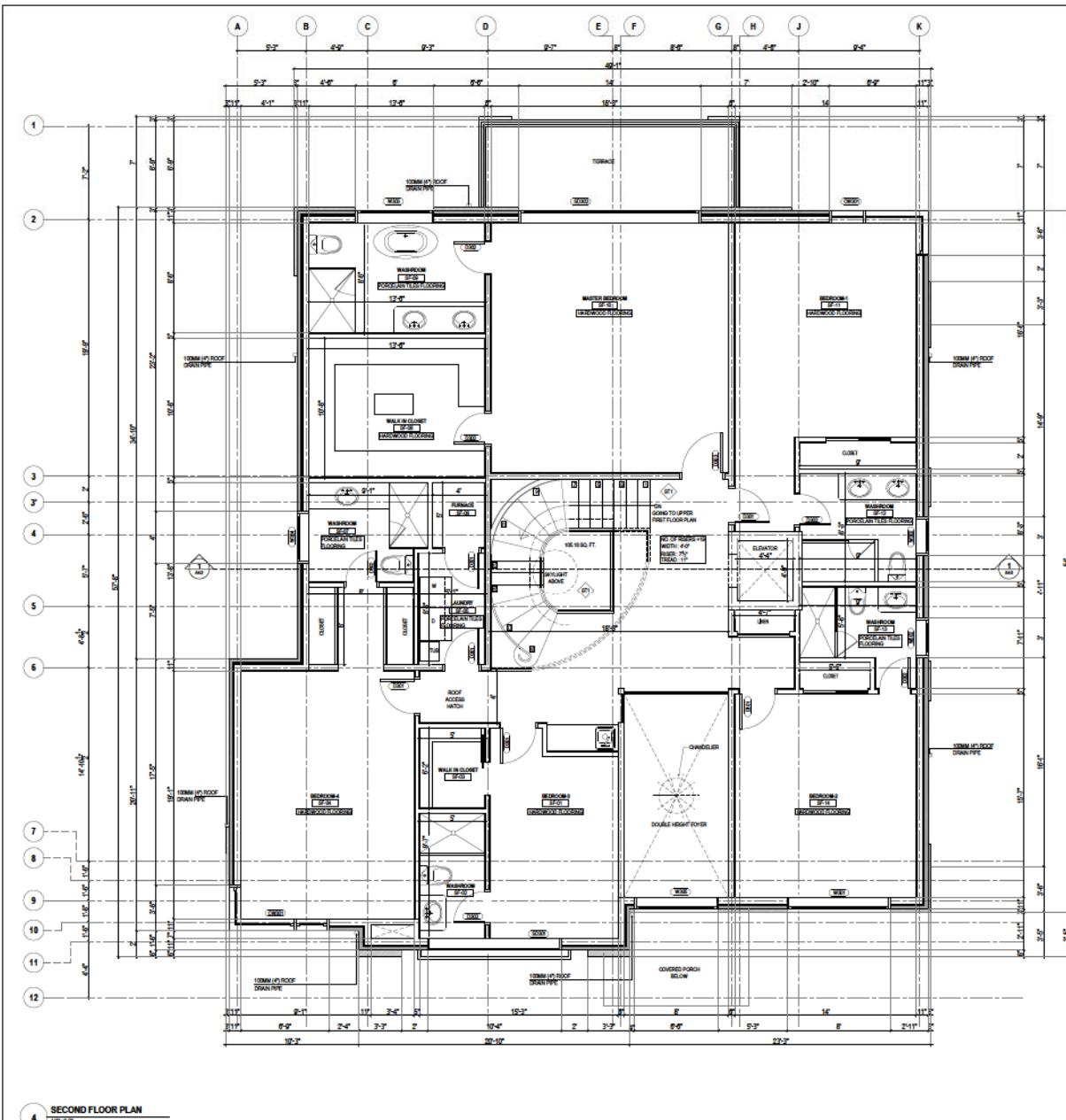
CHECKED BY JK

APPROVED BY **HB**

1/4"=1'-0" A1
SHEET NO STAGE

A2.3	ZONING
PHASE	REV

ISSUED DATE 2024-05-13



	
PROJECTED NORTH	TRUE NORTH

PROJECTED NORTH	TRUE NORTH
-----------------	------------

RD ZONING 2024-05-13

REF ISSUED FOR DATE

PROJECT NAME AND ADDRESS :
**PROPOSED CUSTOM HOUSE WITH
UNFINISHED BASEMENT AT LOT-1,
44-45 LONGVIEW PLACE,
MISSISSAUGA, ON**

LEAD CONSULTANT:
 **technoarch**
2250 Bovard Drive E, Suite 612,
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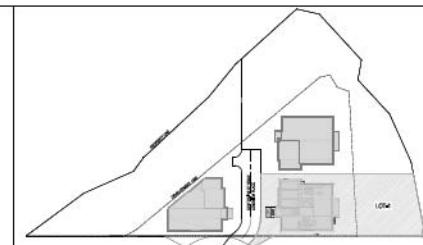
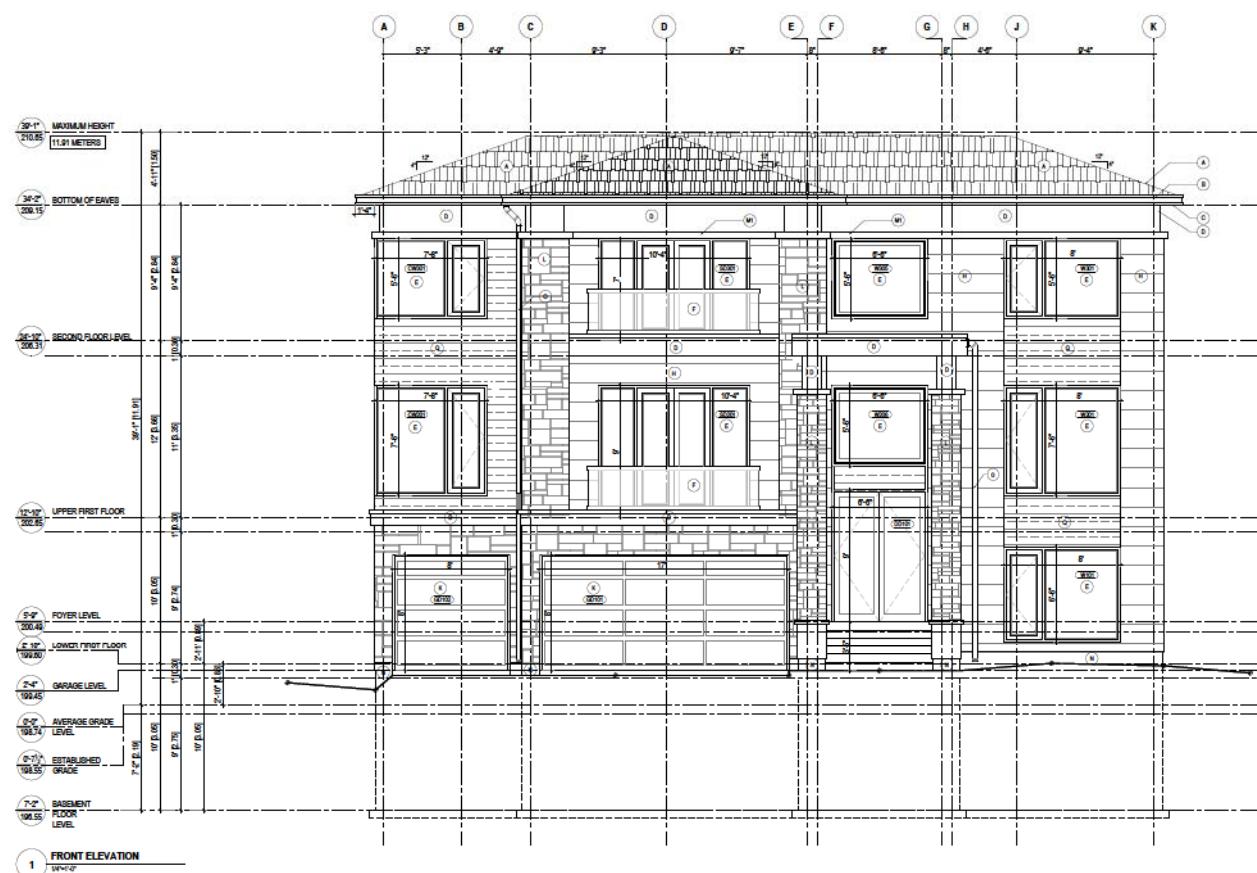
STRUCTURAL CONSULTANT:

MEP CONSULTANT:

NOTE:	PREFABRICATED STAIRS ARE SHOWN HERE FOR REFERENCE ONLY. STAIRS TO BE INSTALLED AS PER OWNERS CHOICE IN ACCORDANCE WITH MANUFACTURING SPECIFICATIONS. OWNER TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
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WINDOW ID	SIZE	HEIGHT	WIDTH	GLASS	UNITS	QUANTITY	TYPE	DESCRIPTION
W001	4'x6'	64"	48"	4"	4"	1	DOUBLE GLAZED VINYL WINDOW	
W002	4'x6'	64"	48"	4"	4"	1	DOUBLE GLAZED VINYL WINDOW	
W003	4'x6'	64"	48"	4"	4"	1	DOUBLE GLAZED VINYL WINDOW	
W004	4'x6'	64"	48"	4"	4"	1	DOUBLE GLAZED VINYL WINDOW	
W005	3'x6'	64"	36"	4"	4"	1	DOUBLE GLAZED VINYL WINDOW	
W006	3'x6'	64"	36"	4"	4"	1	DOUBLE GLAZED VINYL WINDOW	
W007	3'x6'	64"	36"	4"	4"	1	DOUBLE GLAZED VINYL WINDOW	
W008	3'x6'	64"	36"	4"	4"	1	CORNER	DOUBLE GLAZED VINYL WINDOW

UPPER FIRST FLOOR AREA CALCULATIONS					
NO	DESCRIPTION	AREA, SF	AREA, m ²	EXCLUDED	INCLUDED
1	UPPER FIRST FLOOR AREA	2074.64 SF	200.64 m ²	TERRACES	DOUBLE HEIGHT AREA & STAIRS
2	DOUBLE HEIGHT AND STAIRS AREA	200.36 SF	21.72 m ²	NR	NR



KEY PL

	
PROJECTED NORTH	TRUE NORTH

PROJECTED NORTH		TRUE NORTH
RD	ZONING	2024-05-10
REV	ISSUED FOR	DATE
PROJECT NAME AND ADDRESS :		
PROPOSED CUSTOM HOUSE WITH UNFINISHED BASEMENT AT LOT-1, 44, 45 J LONGJUIN PLACE		

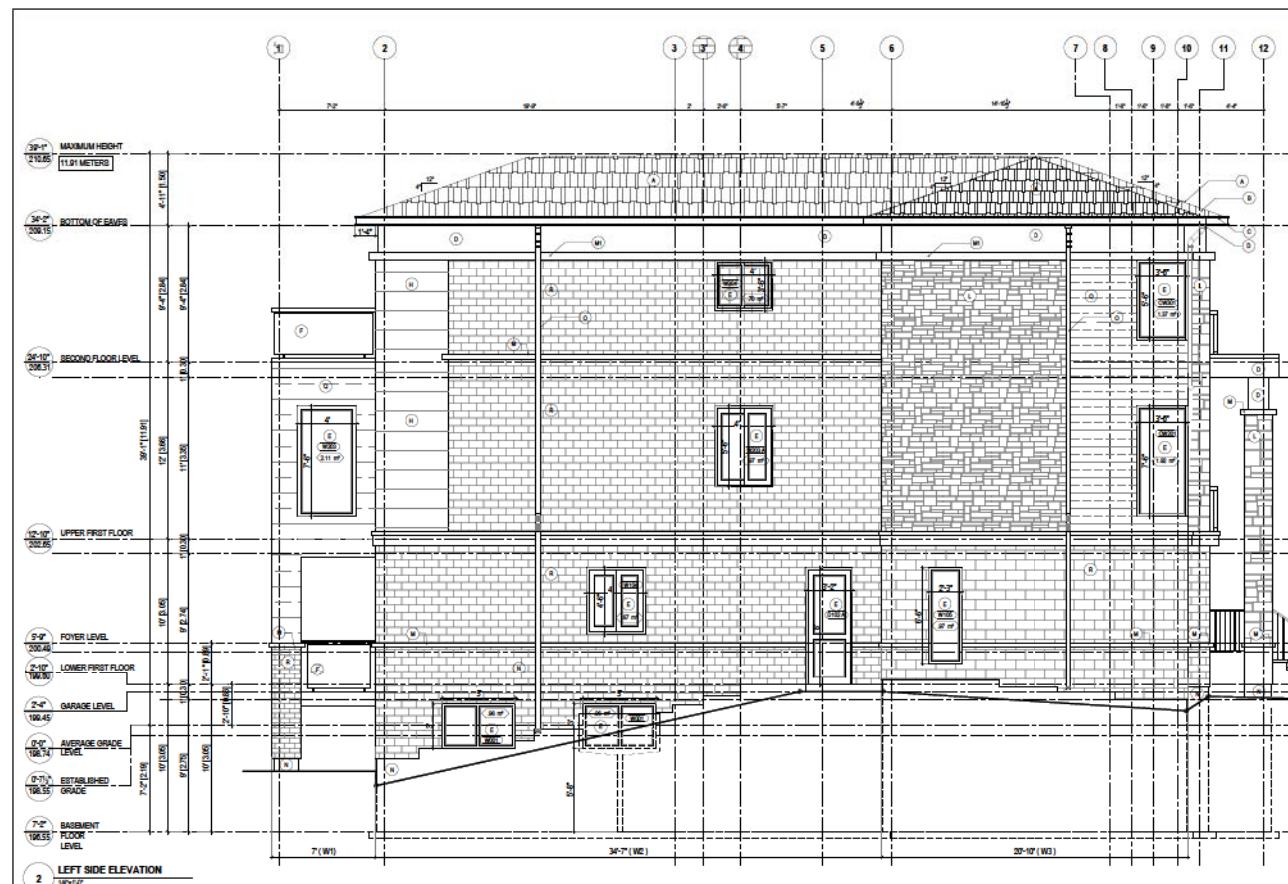
LEAD CONSULTANT:
 **technoarch**
architects
2250 Bovaird Drive E, Suite 612,
Brampton, ON L6R 0W3, Canada
Tel : +1-403-794-0038
Cell : +1-416-729-9454
Email: hbhons@technoarch.ca



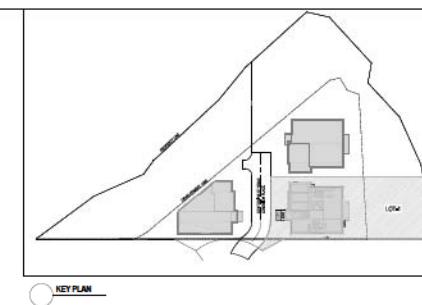
STRUCTURAL CONSULTANT:

TYPICAL EXTERIOR MATERIAL & COLOR SCHEDULE					
SR. NO.	MATERIAL ITEM	COMPANY	MODEL	FINISH/COLOR	DESCRIPTION/SIZES
①	ALUMINUM GUTTER ATTACHED TO DOWNGEAVES	CERTAINTEED OR EQUIVALENT	LANDMARK SERIES	COLOR: GEORGETOWN GREY	6" ALUMINUM GUTTER
②	ALUMINUM GUTTER ATTACHED TO DOWNGEAVES	AMERIMAX OR EQUIVALENT	AMERIMAX	COLOR TO BE MATCHED WITH ROOF SHINGLE	6" ALUMINUM GUTTER
③	DAVIES GRIFFIT	PROGRESSIVE EQUIVALENT	NATURSOFT	COLOR: AS PER CLIENT'S PREFERENCES	DAVIES GRIFFIT
④	ALUMINUM COMPOSITE MATERIAL (ACM)	WEEDON OR EQUIVALENT	ADM	COLOR: CARBON BLACK	6X9' ACM SHEET SIZE
⑤	WINDOWS	VIRBILT OR EQUIVALENT	WINDOWS	FRAME COLOR: CARBON BLACK	CLAR GLASS REINFORCED DOUBLE HUNG WINDOW
⑥	METAL GLASS RAILING	GEORGEMAX OR EQUIVALENT	GEORGEMAX	PAINT BLACK (ON EXTERIOR)	REFER ARCHITECTURE DRAWING FOR HEIGHT OF THE RAILING
⑦	OUTDOOR LIGHTS	ASTRA OR EQUIVALENT	AMP101-COAL	BLACK METAL FRAME	REFER PRODUCT SPECIFICATIONS
⑧	SMOOTH STONE, LIME STONE OR EQUIVALENT	BRAMPTON BRICKS OR EQUIVALENT	PRESTON	COLOR: IRIS	REFER MANUFACTURER SPECIFICATIONS
⑨	PRE-CAST STONE STUDS ADJ/ADJ DESIGN	PETRA DESIGN INC. OR EQUIVALENT	MATERIAL: PRE-CAST CONCRETE	COLOUR TO BE MATCHED WITH SMOOTH STONE FINISH	REFER TYPICAL DETAILS
⑩	DOOR	PROFESSIONAL MAESTRO SAVAGE DOOR OR EQUIVALENT	MODEL: PREMIUM SIZED RANGE WITH GLASS ON TOP ROW	DOOR COLOR: BLACK	REFER MAESTRO DOOR SPECIFICATIONS
⑪	ROUGH STONE	RMX OR EQUIVALENT	LONDONA STONES	COLOR: MOORESBURG	REFER MAESTRO DOOR SPECIFICATIONS
⑫	STRING COURSE	PETRA DESIGN OR EQUIVALENT		END-1501	6'X6' STRING COURSE
⑬	STRING COURSE	PETRA DESIGN OR EQUIVALENT		END-1501	3'X6' STRING COURSE
⑭	EXPOSED FOUNDATION		CONCRETE FINISH	CONCRETE WALL TO BE MAINTAINED AT 100% GRADE LEVEL	
⑮	RAIN WATER DOWNGEAVES	AMERIMAX OR EQUIVALENT	AMERIMAX	DOWNGEAVES WITH 1/4" IN. SPACERS	
⑯	BRICKS	RMX OR EQUIVALENT	CHILO-BLENDER BRICK FINISH	AS PER MANUFACTURER SPECIFICATION	
⑰	WOODEN PINE OR EQUIVALENT	PAINTED PROGRESSIVE OR EQUIVALENT	MATERIAL: PROGRESSIVE	COLOR: AS PER CLIENT'S PREFERENCES	AS PER MANUFACTURER SPECIFICATION

NOTE: REFER THE GRADING PLAN PROVIDED BY CONSULTANT TO CHECK GRADING ELEVATIONS AND RELATED LEVELS.



NOTE: REFER THE GRADING PLAN PROVIDED BY CONSULTANT TO CHECK GRADING ELEVATIONS AND RELATED LEVELS.



KEY PL

PROJECTED NORTH		TRUE NORTH	
RE	ZONING	2024-05-13	
REV ISSUED FOR		DATE	
PROJECT NAME AND ADDRESS :			
PROPOSED CUSTOM HOUSE WITH UNFINISHED BASEMENT AT LOT-1, 44-45 LONGVIEW PLACE, MISSISSAUGA, ON			
LEAD CONSULTANT :			
 technoarch 2250 Bovard Drive E, Suite 612, Brampton, ON L6R 0W3, Canada Call: +1-416-790-0454 Email: info@technoarch.ca			

STRUCTURAL CONSULTANT:

UNPROTECTED EXPOSURE LEFT SIDE ELEVATION:	
CALCULATION PER FIG. 8.14.4 (D)	100%
REFERRED TABLE NUMBER 8.14.14	
TOTAL AREA OF WALL (W/H = 265/307 = 0.87 FT = 108.46 SQ. FT.):	
"W" WALL AREA:	122.11 FT ² (11.40 M ²)
LIMITING DISTANCE:	7.67 M
ALLOWABLE % GLAZED OPENING AREA:	100% (11.40 M ²)
PROPOSED % GLAZED OPENING AREA:	100% (11.40 M ²)
"Wc" WALL AREA:	139.67 FT ² (12.37 M ²)
LIMITING DISTANCE:	7.44 M
ALLOWABLE % GLAZED OPENING AREA:	100% (11.23 M ²)
PROPOSED % GLAZED OPENING AREA:	100% (11.20 M ²)
"W" WALL AREA:	614.83 FT ² (56.59 M ²)
LIMITING DISTANCE:	1.82 M
ALLOWABLE % GLAZED OPENING AREA:	100% (5.66 M ²)
PROPOSED % GLAZED OPENING AREA:	8.37% (4.71 M ²)

SR. NO.	MATERIAL ITEM	COMPANY	MODEL	FINISH/COLOR	DESCRIPTION/ SIZES
A		ASPHALT SHINGLES (SELF SEALING) OR METAL ROOF OR GRC	CERTAIN TEED OR EQUVALENT	LANDMARK SERIES	COLOR: GEORGE TOWN GREY
B		ALUMINUM GUTTER ATTACHED TO DOWNSPOUTS	AMERIMAX OR EQUIVALENT		COLOR TO BE MATCHED WITH ROOF SHINGLES
C		SIDING SOFFIT	PROSIDER OR EQUIVALENT	NATURSHRIFT	COLOR: AS PER CLIENT'S PREFERENCES
D		ALUMINUM COMPOSITE MATERIAL SIDING	WEISHEIM OR EQUIVALENT	ADM	COLOR: ORION BLACK
E		WINDOWS	VANGLIST OR EQUIVALENT		FRAME COLOR: ORION BLACK
F		METAL OR GLASS RAILING	GEORGIA OR EQUIVALENT		PAINT BLACK OR (BALUSTERS)
G		OUTDOOR LIGHTS	ATKINS OR EQUIVALENT	AMP1-CA01	BLACK STEEL FRAME
H		BRICK/STONE LINTEL OR EQUIVALENT	BRAMPTON BRICKS OR EQUIVALENT	PRESTON	TESTER PRODUCT SPECIFICATIONS
I		PRE-CAST STONE STUDIO AS PER DESIGN	PETER DESIGN INC OR EQUIVALENT	MATERIAL: PRE-CAST STONE	COLOR: BEIGE
J		GARAGE DOOR	PROFESSIONAL DOORS OR EQUIVALENT	MODEL: PREMIUM OR EQUIVALENT GLASS ON TOP ROW	DOOR COLOR: BLACK
K		BRICK	REED OR EQUIVALENT	LONDON STONES	DOOR MANUFACTURER SPECIFICATIONS
L		STRING COURSE	PETER DESIGN OR EQUIVALENT		DOOR MANUFACTURER SPECIFICATIONS
M		STRING COURSE	PETER DESIGN OR EQUIVALENT		DOOR MANUFACTURER SPECIFICATIONS
N		EXPOSED FOUNDATION		CONCRETE FINISH	CONCRETE WALL TO BE MINIMUM 10 CM THICK AND 100 CM HIGH FROM GROUND LEVEL
O		RAIN WATER DOWNSPOUTS	AMERIMAX OR EQUIVALENT		DOWNPIPE OR EQUIVALENT SPECIFICATIONS
P		BRICKS	RING OR EQUIVALENT	COLD SLENDER BRICK FINISH	WHEELBAR PRESTINE
Q		WOODEN PANELS OR SIDING	PALMEX PRODUC OR EQUIVALENT	MATERIAL: PRODUC	COLOR: AS PER CLIENT'S PREFERENCES

DRAWING TITLE :
PROPOSED LEFT SIDE ELEVATION
(LOT 1)

DRAWN BY EM

CHECKED BY JK

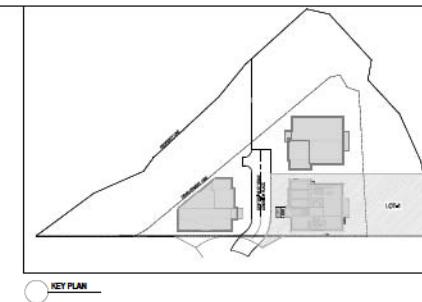
APPROVED BY **HB**

SCALE
4 1/2" x 11 3/4"

SHEET NO. 122 STAGE ZONING

PHASE	ZONING
REV	REV

ISSUED DATE 2024-05-13



KEY POINTS

PROJECTED NORTH	TRUE NORTH	
REV	ZONING	2024-05-13
ISSUED FOR		DATE
PROJECT NAME AND ADDRESS : PROPOSED CUSTOM HOUSE WITH UNFINISHED BASEMENT AT LOT-1, 44-45 LONGVIEW PLACE, MISSISSAUGA, ON		
LEAD CONSULTANT : technoarch 2290 Bovard Drive E. Suite 612, Brampton, ON L6R 0W3, Canada Tel : +1-499-702-0038 Cell : +1-416-719-0454 Email : thibons@technoarch.ca		



OFFICIAL EXTERIOR MATERIAL & COLOR SCHEDULE					
SR. NO.	MATERIAL ITEM	COMPANY	MODEL	FINISH/COLOR	DESCRIPTION/USES
A	ALUMINUM SASHES (SGL/SEALING) METAL RAIL OR EQ.	CERTAIN TEED OR ALUMINUM EQUIVALENT	LANDMARK SERIES	COLOR: GEORGETOWN GREY	
B	ALUMINUM GUTTER ATTACHED TO DOWNSPOUTS	ALUMINUM EQUIVALENT		COLOR TO BE MATCHED WITH ROOF SHINGLES	6' ALUMINUM GUTTER
C	DAVIS SOFFIT	PROGRESS OR ALUMINUM EQUIVALENT	NATURSOFFIT	COLOR AS PER CLIENT'S PREFERENCES	BRATTIC SOFFITS AND ROOF LINE
D	ALUMINUM COMPOSITE MATERIAL (ACM)	MEADOWS OR ALUMINUM EQUIVALENT	ACM	COLOR: CARBON BLACK	SPY 127' SHEET A/C
E	WINDOWS	WILMINGTON EQUIVALENT		FRAME COLOR: CARBON BLACK	CLEAR GLASS SEALED WITH SILICONE
F	METAL / GLASS RAILING	GEORGIAN OR ALUMINUM EQUIVALENT		PAINT: BLACK (OR SILVER)	REFER ARCHITECTURE SPECIFICATIONS FOR HEIGHT OF THE RAILING
G	OUTDOOR LIGHTS	ANTRAL EQUIVALENT	AMPERE-100W	STAINLESS STEEL FRAME	REFER PRODUCT SPECIFICATIONS
H	SMOOTH STONE, LIME STONE OR EQUIVALENT	SMARTSTONE BLOCKS OR EQUIVALENT	PRESTON	COLOR: BEIGE	REFER MANUFACTURER'S SPECIFICATIONS
I	PREF-CAST STONE/STUCCO AS PER DESIGN	PETRA DESIGN INC.	MATERIAL: PREF-CAST STONE	COLOUR TO BE MATCHED WITH SMOOTH STONE	REFER TYPICAL DETAIL
J	SMART STONE DOOR	PROFESSIONAL MASTERS GARAGE DOOR EQUIVALENT	MODEL: PREMIUM RAISED RANCH WITH GLASS DAY/ NIGHT	COLOR: COLOR BLACK	DOOR IN-PAIR OF STONE DOOR
K	ROUGH STONE	BRICK OR STONE EQUIVALENT	LONDON STONES	COLOR: MOORSREST	REFER MANUFACTURER'S SPECIFICATIONS
L	STRING COURSE	PETRA DESIGN INC. OR EQUIVALENT			
M	STRING COURSE	PETRA DESIGN INC. OR EQUIVALENT			15' 7" STRING COURSE
N	EXPOSED FOUNDATION		CONCRETE FINISH		15' 7" STRING COURSE
O	DAVIS DOWNSPOUTS	ALUMINUM OR EQUIVALENT			DRAINABLE WITH FOLY-ON EXTERIOR SEALANT
P	BRICK	BRICK OR EQUIVALENT	CELO SLENDER BRICK FINISH	WHISTLER PRESTINE	AS PER MANUFACTURER'S SPECIFICATION
Q	WOODEN PANELS OR EQUIVALENT	PALMER PRODUC OR EQUIVALENT	MATERIAL: PRODUC	COLOR: AS PER CLIENT'S PREFERENCES	AS PER MANUFACTURER'S SPECIFICATION

1. *What is the relationship between the two concepts of the self?*

1000

DRAWING TITLE :
PROPOSED REAR SIDE
ELEVATION (LOT 1)

DRAWN BY

DRAWN BY

CHECKED BY **JK**

APPROVED BY **HB**

SCALE **1:100**

SHEET NO. STAG

ALL ZONI

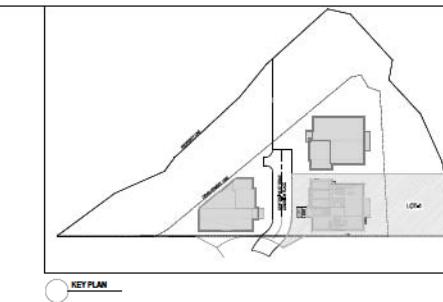
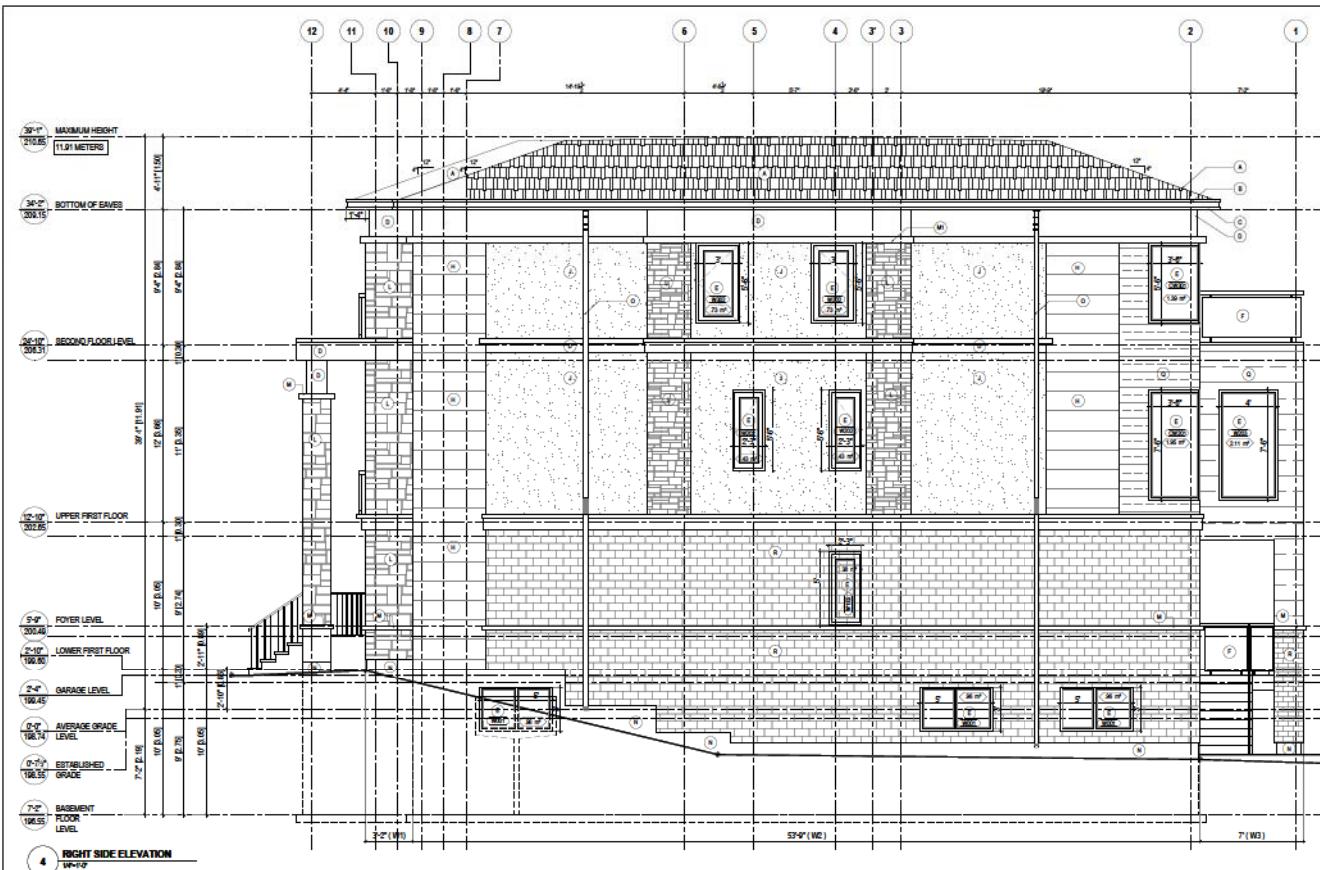
REV R0

ISSUED DATE 2024

1000

1000 J. POLYMER SCIENCE: PART A

NOTE:
REFER THE GRADING PLAN PROVIDED BY CONSULTANT TO CHECK GRADING ELEVATIONS AND RELATED LEVELS.



UNPROTECTED OPENING (RIGHT SIDE ELEVATION): CALCULATED BY 1.1544 REFERRED TABLE NUMBER 8.14.4.4				
TOTAL AREA OF WALL (W/H/P = WxL) 2171.84 FT ² (201.77 SQ M)				
W/H WALL AREA:				
LIMITING DISTANCE:	100.88 FT (30.7 M)			
ALLOWABLE % GLAZED OPENING AREA:	0.05 M			
PROPOSED % GLAZED OPENING AREA:	100% (0.37 M)			
W/P WALL AREA:				
LIMITING DISTANCE:	105.13 FT (31.91 M)			
ALLOWABLE % GLAZED OPENING AREA:	7% (1.05 M)			
PROPOSED % GLAZED OPENING AREA:	4.01% (0.8 M)			
W/Z WALL AREA:				
LIMITING DISTANCE:	103.92 FT (31.63 M)			
ALLOWABLE % GLAZED OPENING AREA:	0.25 M			
PROPOSED % GLAZED OPENING AREA:	100% (1.123 M)			
W/Z WALL AREA:				
LIMITING DISTANCE:	103.78 FT (31.63 M)			
ALLOWABLE % GLAZED OPENING AREA:	18.78% (2.11 M)			
PROPOSED % GLAZED OPENING AREA:	100% (0.37 M)			

TYPICAL EXTERIOR MATERIAL & COLOR SOURCE					
REF. NO.	MATERIAL ITEM	COMPANY	MODEL	FINISH/COLOR	DESCRIPTION/SIZE
A	ASPHALT SHINGLES (SELF SEALING) / METAL ROOF OR EQUIVALENT	CERTAIN TEED OR EQUIVALENT	LANDMARK SERIES	COLOR: GEORGE TOWN GREY	
B	ALUMINUM COMPOSITE MATERIAL OR EQUIVALENT	ATTICO OR EQUIVALENT		COLOR TO BE MATCHED WITH ROOF SHAVES	6" ALUMINUM GUTTER
C	DAVES SHAVES	PRODEMA OR EQUIVALENT	WATERSHIFT	COLOR: AS PER CLIENT'S PREFERENCES	IMM THE SHAVES ARE TO BE MATCHED WITH THE GUTTER
D	ALUMINUM COMPOSITE MATERIAL (ACM)	ACM		COLOR: CARBON BLACK	6"X12" SHEET SIZE
E	WINDOWS	WINDLINE OR EQUIVALENT		FRAME COLOR: BLACK GLASS: GLAZED DOUBLE GLAZED	
F	METAL / GLASS RAILING	GEORGIAN FENCE OR EQUIVALENT		PAINT: BLACK STRUCTURE: STAINLESS STEEL	RECOMMENDED HEIGHT FOR THE HEIGHT OF THE RAILING
G	OUTDOOR LIGHTS	ARTINA OR EQUIVALENT	AMP-10-COB	BLACK STEEL FRAME	REFER PRODUCT SPECIFICATIONS
H	SMOOTH STONE, LIME STONE OR EQUIVALENT	BRAMPTON STONE OR EQUIVALENT	PRESTON	COLOR: BEIGE	REFER MANUFACTURER SPECIFICATIONS
I	PRE-CUT STONE STUDIO AS PER DESIGN	ARTINA DESIGN INC. OR EQUIVALENT	MATERIAL: PRE-CAST STONE	COLOR TO BE MATCHED WITH STONE	REFER TYPICAL DETAILS
J	Garage door	PROFESSIONAL DOOR SYSTEMS OR EQUIVALENT	MODEL: PREMIUM DOOR OR EQUIVALENT GLASS ON TOP ROW	DOOR COLOR: BLACK INNER GARAGE DOOR	REFER MANUFACTURER SPECIFICATIONS
K	ROUGH STONE	BRICK OR EQUIVALENT	LONDON STONES	COLOR: MOONCREST	REFER MANUFACTURER SPECIFICATIONS
L	STRING COURSE	ETETON OR EQUIVALENT		SHD-1001	TOP STRING COURSE
M	STRING COURSE	ETETON OR EQUIVALENT		SHD-1001	2ND STRING COURSE
N	EXPOSED FOUNDATION		CONCRETE FINISH	CONCRETE WALL TO BE MINIMUM OF 18" FROM GROUND LEVEL	
O	RAIN WATER DOWNSPOUTS	AMERIMAX OR EQUIVALENT			DOWNPIPE: 4" X 4" X 1/2" CONCRETE WATER DOWNSPOUTS: AS PER MANUFACTURER SPECIFICATIONS
P	BRICKS	BRICK OR EQUIVALENT	CELO BLENDED BRICK FINISH	WHEELER PRESTIGE	AS PER MANUFACTURER SPECIFICATIONS
Q	WOODEN PANELS OR EQUIVALENT	PARKER PROGRESS OR EQUIVALENT	MATERIAL: PROGRESS	COLOR: AS PER CLIENT'S PREFERENCES	AS PER MANUFACTURER SPECIFICATIONS

PROJECTED NORTH	TRUE NORTH
RD ZONING	2024-05-13
REV ISSUED FOR	DATE
PROJECT NAME AND ADDRESS:	PROPOSED CUSTOM HOUSE WITH UNFINISHED BASEMENT AT LOT-1, 44-45 LONGVIEW PLACE, MISSISSAUGA, ON
LEAD CONSULTANT:	technoarch 2250 Bovard Drive E, Suite 512, Brampton, ON L6R 0W3, Canada Tel: +1-403-793-0398 Cell: +1-416-729-0454 Email: info@technoarch.ca www.technoarch.ca



STRUCTURAL CONSULTANT:

MEP CONSULTANT:

DRAWING TITLE:
PROPOSED RIGHT SIDE ELEVATION (LOT 1)

DRAWN BY	EM
CHECKED BY	JK
APPROVED BY	HB
SCALE	SIZE 1IN=14' A1
SHEET NO	STAGE A1-A
PHASE	ZONING REV RD
ISSUED DATE	2024-05-13

APPENDIX B

Site Noise Monitoring



ACOUSTICS



NOISE



VIBRATION

www.hgcengineering.com

Figure A1 - Daytime Monitored Sound Levels, 6:20 pm start

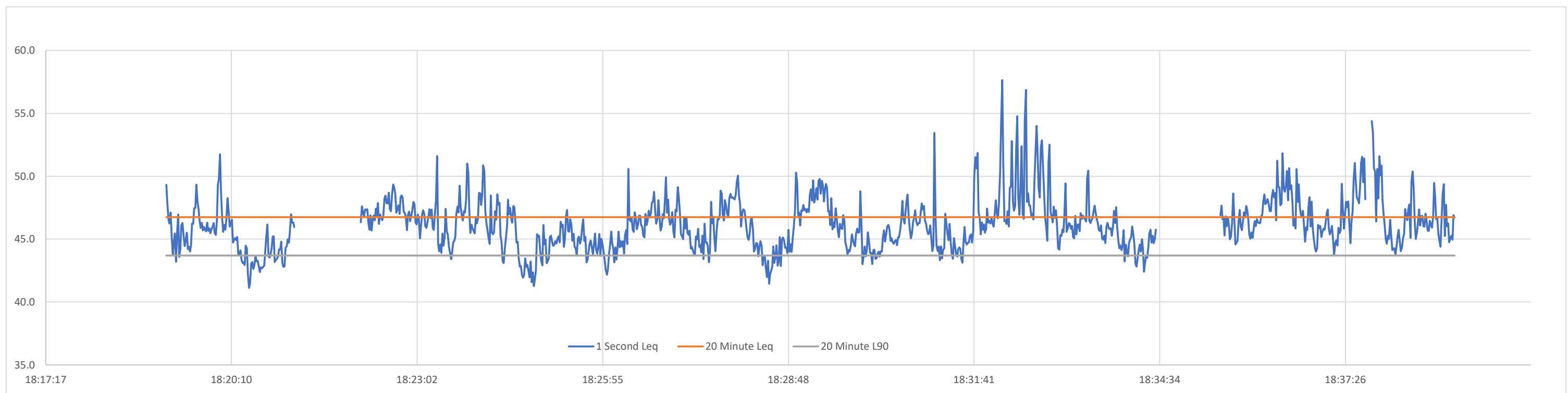


Figure A2 - Evening Monitored Sound Levels, 7:10 pm start

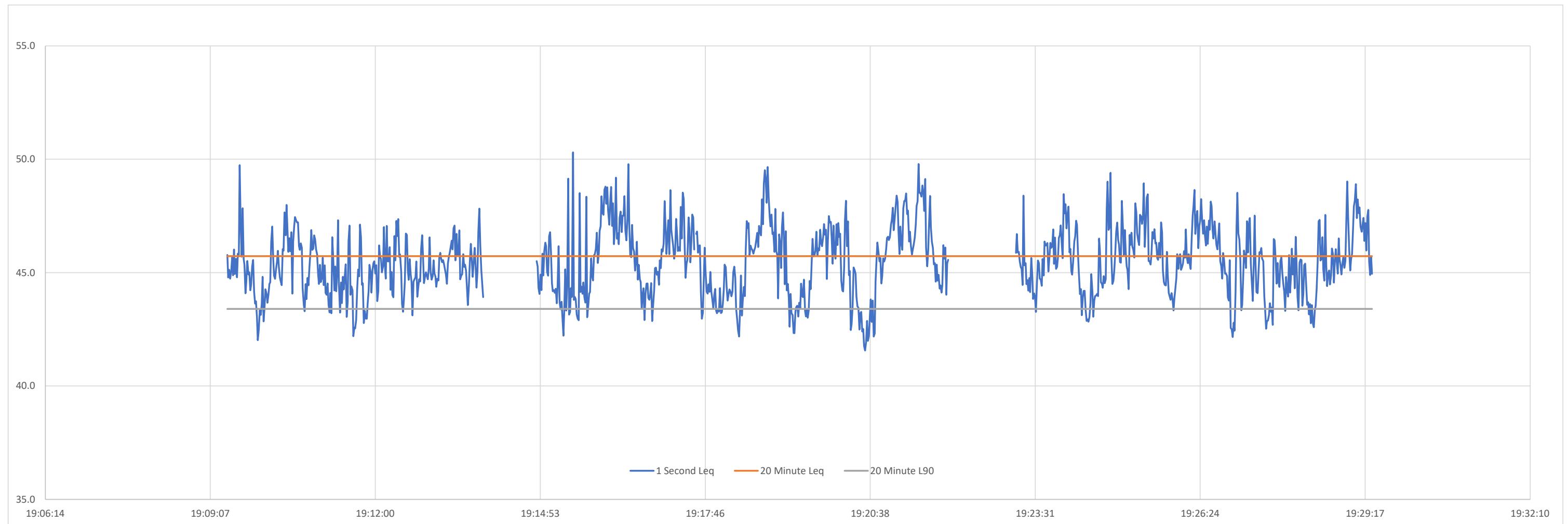
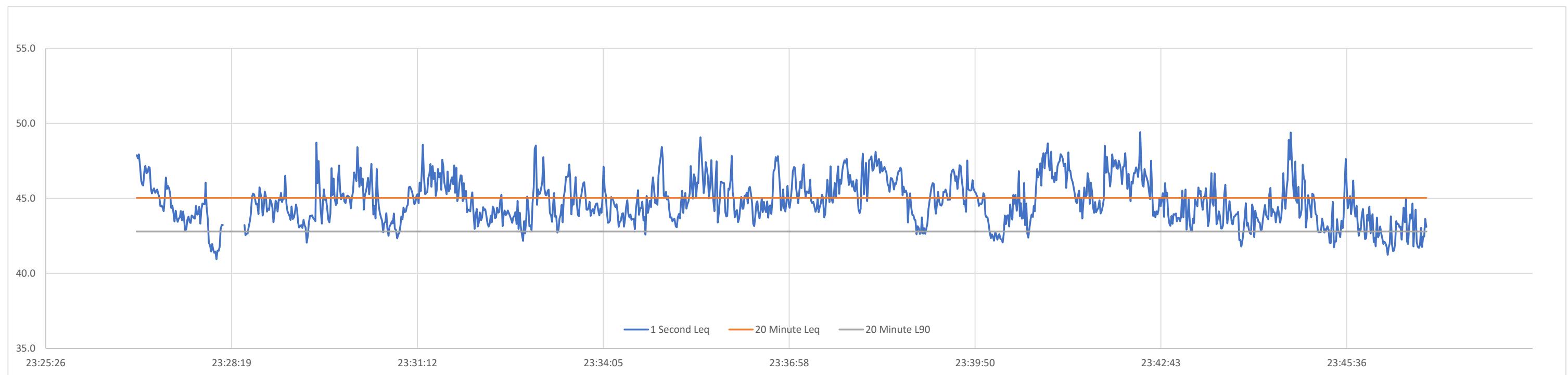


Figure A3 - Nighttime Monitored Sound Levels, 11:28 pm start



APPENDIX C

City Comments



ACOUSTICS



NOISE



VIBRATION

www.hgcengineering.com

APPLICATION NO OZ/OPA 21-12 W11

APPLICATION TYPE REZONING

ADDRESS 44-45 Longview Place (Formerly 0 Derry Road West)

GENERAL

LOCATION SOUTH OF DERRY ROAD WEST, EAST OF MC LAUGHLIN ROAD

DESCRIPTION Three residential lots on a private shared road

DEPARTMENT	COMMENT TYPE	CORRESPONDING CONSULTANT	COMMENT TEXT
DEVELOPMENT ENGINEERING REVIEW	Additional Comment	Development Agreement Noise Study	<p>[INCLUDE IN SCHEDULE B - NOISE (TYPE B)] - Purchasers/tenants are advised that despite the inclusion of noise control features in the development and within the building units sound levels due to increasing air traffic may on occasions interfere with some activities of the dwelling occupants as the sound levels exceed the sound level limits of the Municipality and the Ministry of the Environment Conservation and Parks.</p> <p>[INCLUDE IN SCHEDULE B - NOISE (TYPE D)] - This dwelling unit has been supplied with a central air conditioning system which will allow windows and exterior doors to remain closed thereby ensuring that the indoor sound levels are within the sound level limits of the Municipality and the Ministry of the Environment Conservation and Parks.</p> <p>[INCLUDE IN SCHEDULE B - GTAA] - As the proposed site is between the NEP/NEF 30 and NEP/NEF 35 contour lines of the Toronto Pearson International Airport the following warning clauses are to be included in INCLUDE IN SCHEDULE 'B' of the Development Agreement:(i) "Despite the inclusion of noise control features within the building units aircraft noise from operations at Toronto Pearson International Airport may interfere with some indoor and outdoor activities".(ii) "Purchasers are advised that parts of this development are between the NEF 30 to 35 aircraft noise contours for Lester B. Pearson International Airport and are subject to potential noise impact from aircraft using the Airport. Noise from aircraft will continue to exist potentially interfering with normal activities of occupants particularly outdoors. In the future the Airport and the operations related thereto may be altered or expanded and the noise levels may be affected or increased."(iii) "The purchaser acknowledges and agrees that he or she has been informed that the purchaser is purchasing a dwelling subject to noise impact from aircraft using Lester B. Pearson International Airport and the Purchaser</p>

		<p>hereby waives any claim for damages losses or any other claims or appeals including costs due to or resulting from such aircraft noise either now or in the future against any or all of the City the Greater Toronto Airports Authority or any air carrier using the Airport."</p> <p>[NOISE STUDY] - The owner has submitted a Noise Impact Study for the proposed infill development prepared by HGC Engineering and dated February 23,2021. Pending any revisions to the proposal submitted, the Noise Impact Study may require revisions. The Noise Study is stamped by a P.Eng but the signature must be located within the stamp (not beside), this is to be revised accordingly.</p> <p>[INCLUDE IN SCHEDULE B - NOISE (TYPE E)] - Purchasers/tenants are advised that due to the proximity of the nearby and adjacent commercial/industrial facility (Walmart Canada Logistics), sound levels from these facilities may at times be audible.</p>
URBAN DESIGNER		<p>ACOUSTICAL STUDY - The Acoustical Study prepared by HGC Engineering dated February 23, 2021 has been received and the following comments have been provided. Please provide the Warning Clauses found in Sections 5 and 6 of the report in the Development Agreement and samples of the Agreements of Purchase and Sale prior to final approval. Prior to final approval provide the samples of the Agreements of Purchase and Sale for review. The findings of the study must be certified by a professional engineer that the development meets the required noise standards.</p>