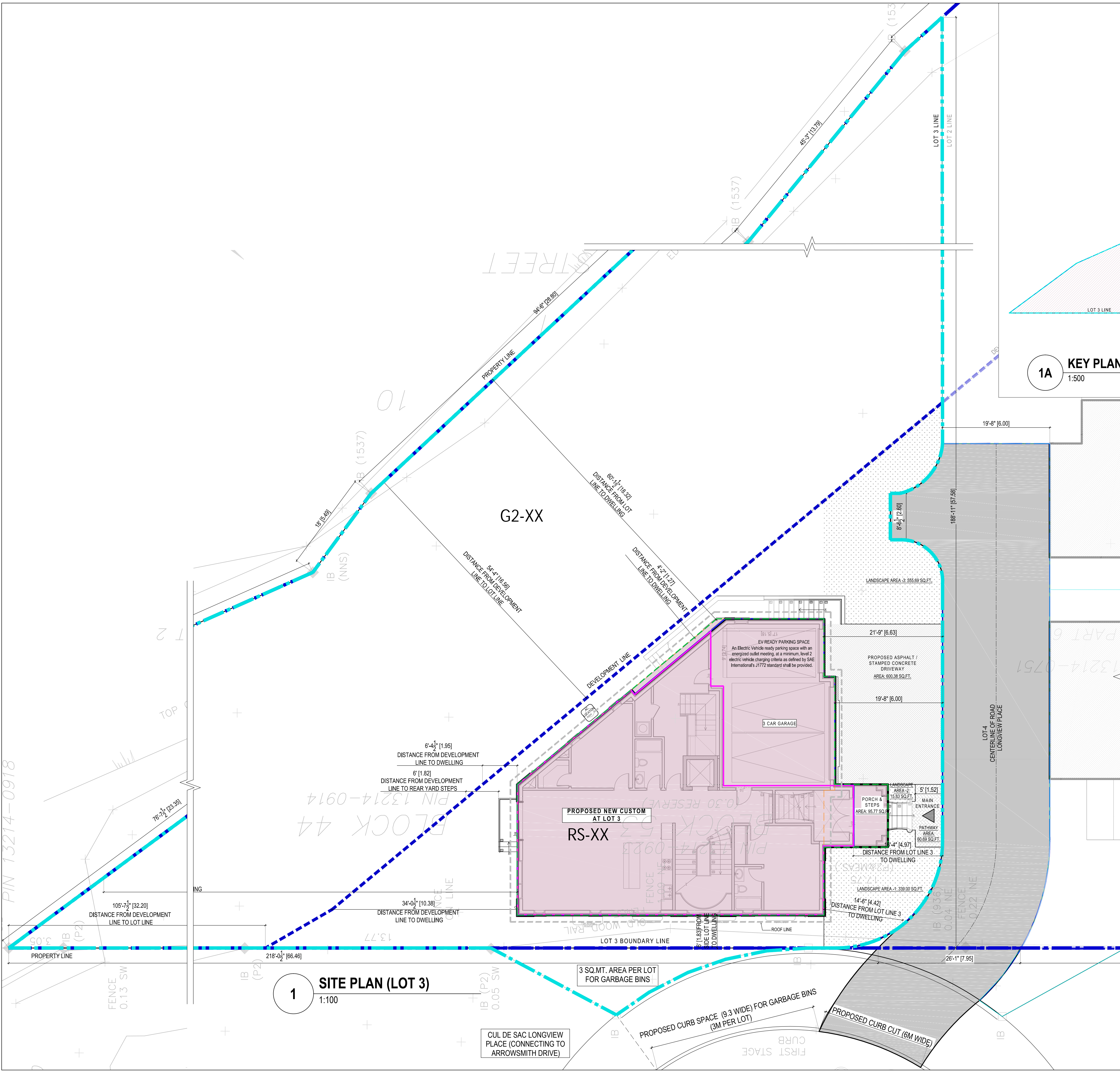
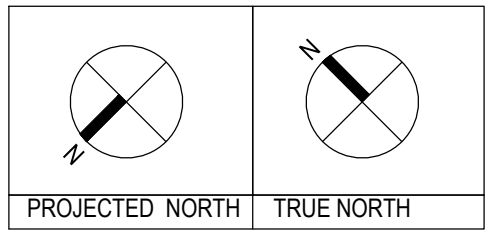


PIN 13214-0918



1A KEY PLAN
1:500



LEGEND :	
	BASEMENT FLOOR LINE
	LOWER FIRST FLOOR LINE
	UPPER FIRST FLOOR LINE
	SECOND FLOOR LINE
	DEVELOPMENT LINE
	PROPERTY LINE
	LOT LINE
	ROOF LINE
	CONCRETE PAVERS ON THE PATHWAY / WALKWAY
	ENTRANCES TO THE DWELLING

PROJECT STATISTICS - RESIDENTIAL		
MUNICIPAL ADDRESS : 44-45 LONGVIEW PL, MISSISSAUGA, ON.		
ZONING : RS-XXX		
STANDARD	PERMISSIBLE AS/ ZONING	PROPOSED
LOT AREA :	285M ² (3067.71 FT ²)	1797.31 M ² (19346.16 FT ²)
LOT FRONTAGE :	9.75M (31.99 FT)	57.58 M (188'-11")
AVERAGE GRADE (SHOW CALC ON SITE PLAN) :		198.71
SITE STATS		
SETBACKS	PERMISSIBLE AS/ ZONING	PROPOSED
MINIMUM FRONT YARD:	3.5M (11.48 FT)	4.97 M (16.30 FT)
MINIMUM EXTERIOR SIDE YARD:		1.27M (4.17 FT)
MINIMUM INTERIOR SIDE YARD:	1.2M (3.94FT)	1.83M (6.0 FT)
MINIMUM REAR SIDE YARD:	7.0M (22.97 FT)	10.38 M (34.05 FT)
WOODEN DECK @ 2'-6"		
	27.79 FT ²	27.79 FT ² (2.58 M ²)
EAVES PROJECTION FROM EXTERIOR WALLS	1'-3"	1'-3" (0.38 M)
PROPOSED HEIGHT (FROM AVERAGE GRADE TO TOP OF ROOF)	39'-3"	39'-3" (11.96 M)
GROSS FLOOR AREA		
LOWER FIRST FLOOR (INCL PORCH)	2590.18 FT ² + 66.90 FT ²	2647.57 FT ² (245.96 M ²)
UPPER FIRST FLOOR (EXCL DOUBLE HEIGHT & STAIRS AREA)	2371.20 FT ²	2371.20 FT ² (220.29 M ²)
SECOND FIRST FLOOR (EXCL TERRACE, DOUBLE HEIGHT & STAIRS AREA)	2413.99 FT ²	2413.99 FT ² (224.26 M ²)
TOTAL GFA		7432.76 FT ² (690.52 M ²)
MEANS THE PERCENTAGE OF THE LOT AREA COVERED BY ALL BUILDINGS, STRUCTURES OR PARTS THEREOF, AT OR ABOVE AVERAGE GRADE OR ESTABLISHED GRADE, EXCLUSIVE OF OVERHANGING EAVES OF 0.45 M OR LESS, AND OUTDOOR SWIMMING POOLS, BUT INCLUSIVE OF PERGOLAS AND DECKS GREATER THAN 0.61 M ABOVE ESTABLISHED GRADE. FOR LOTS HAVING TWO OR MORE ZONES, LOT COVERAGE SHALL BE DEEMED TO APPLY TO ONLY THAT PORTION OF THE LOT THAT IS LOCATED WITHIN EACH SPECIFIED ZONE. (0325-2008), (0208-2022)		
LOT COVERAGE		
DWELLING FOOT PRINT (INCL GARAGE)	2590.18 FT ² (240.63 M ²)	2590.18 FT ² (240.63 M ²)
WOODEN DECK @ 2'-6"	27.79 FT ² (2.58 M ²)	27.79 FT ² (2.58 M ²)
PORCH:	66.99 FT ² (6.22 M ²)	66.99 FT ² (6.22 M ²)
TOTAL PROPOSED LOT COVERAGE		2684.96 FT ² (249.44 M ²)
PERCENTAGE OF PROPOSED LOT COVERAGE		13.87%
LANDSCAPE SOFT AREA		
FRONT YARD AREA		1667.36 FT ² (154.90 M ²)
HARD SURFACE AREAS (DRIVEWAY, WALKWAY, PORCH)	600.38 + 60.69 + 95.77	756.84 FT ² (70.31 M ²)
PROPOSED SOFT LANDSCAPE	339.00 + 15.83 + 555.69	910.52 FT ² (84.59 M ²)
LANDSCAPE 1 + LANDSCAPE 2 + LANDSCAPE 3		
PERCENTAGE OF TOTAL SOFT LANDSCAPE		54.60%



GOOGLE IMAGE OF SITE

R1	ZONING	2025-09-24
R0	ZONING	2024-05-13
REV	ISSUED FOR	DATE

PROJECT NAME AND ADDRESS :

PROPOSED CUSTOM HOUSE WITH UNFINISHED BASEMENT AT LOT-3, 44-45 LONGVIEW PLACE, MISSISSAUGA ,ON

LEAD CONSULTANT :



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architects + designers

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ONTARIO ASSOCIATION
OF
ARCHITECTS
HARPREET SINGH BHONSE
LICENCE
6942

STRUCTURAL CONSULTANT :

MEP CONSULTANT :

DRAWING TITLE :
SITE PLAN (LOT 3)

DRAWN BY	EM
CHECKED BY	JK
APPROVED BY	HB
SCALE 1:100	SIZE A1
SHEET NO A1.1	STAGE ZONING
PHASE 00	REV R1
ISSUED DATE	2025-09-24