

WORKS IN THE MUNICIPAL RIGHT-OF-WAY BEING PERFORMED BY THE CITY'S CONTRACTOR WILL REQUIRE 4 TO 6 WEEKS NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION AFTER ALL DRAWINGS HAVE BEEN APPROVED AND SECURITIES HAVE BEEN RECEIVED.

PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR IS TO REFER TO THE TREE PRESERVATION PLAN PREPARED BY THE LANDSCAPE ARCHITECT.

NOTE:
FOR ADDITIONAL INFORMATION, DETAILS, DIMENSIONS AND CONFORMITY TO THE SITE PLAN, THE CONTRACTOR MUST REFER TO THE ARCHITECTURAL SITE PLAN.

FIRE ACCESS ROUTE WILL BE DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11,363 KG. PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M.

PRIOR TO ANY CONSTRUCTION, THE BUILDER IS TO CONFIRM WITH ARCHITECT OR THE OWNER, THAT THE PROPOSED FINISHED FLOOR, BASEMENT FLOOR AND TOP OF WALL ELEVATIONS ARE IN CONFORMITY WITH THE ARCHITECTURAL DRAWINGS.

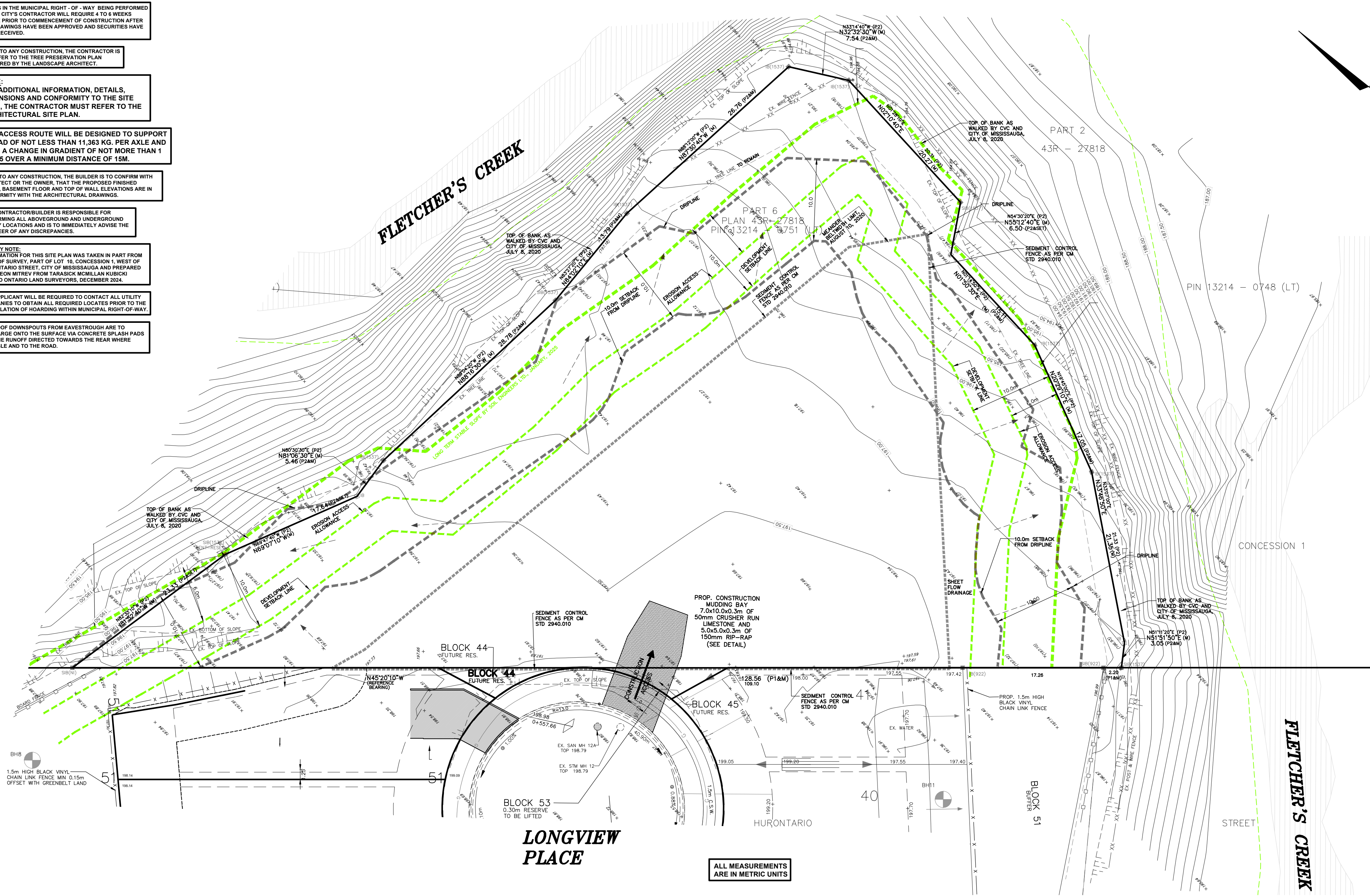
THE CONTRACTOR/BUILDER IS RESPONSIBLE FOR CONFIRMING ALL ABOVEGROUND AND UNDERGROUND UTILITY LOCATIONS AND IS TO IMMEDIATELY ADVISE THE ENGINEER OF ANY DISCREPANCIES.

SURVEY NOTE:
INFORMATION FOR THIS SITE PLAN WAS TAKEN IN PART FROM PLAN OF SURVEY, PART OF LOT 16, CONCESSION 1, WEST OF HURONTARIO STREET, CITY OF MISSISSAUGA AND PREPARED BY SIMON MITREV FROM TARASICK MCILLAN KUBICKI LIMITED ONTARIO LAND SURVEYORS, DECEMBER 2024.

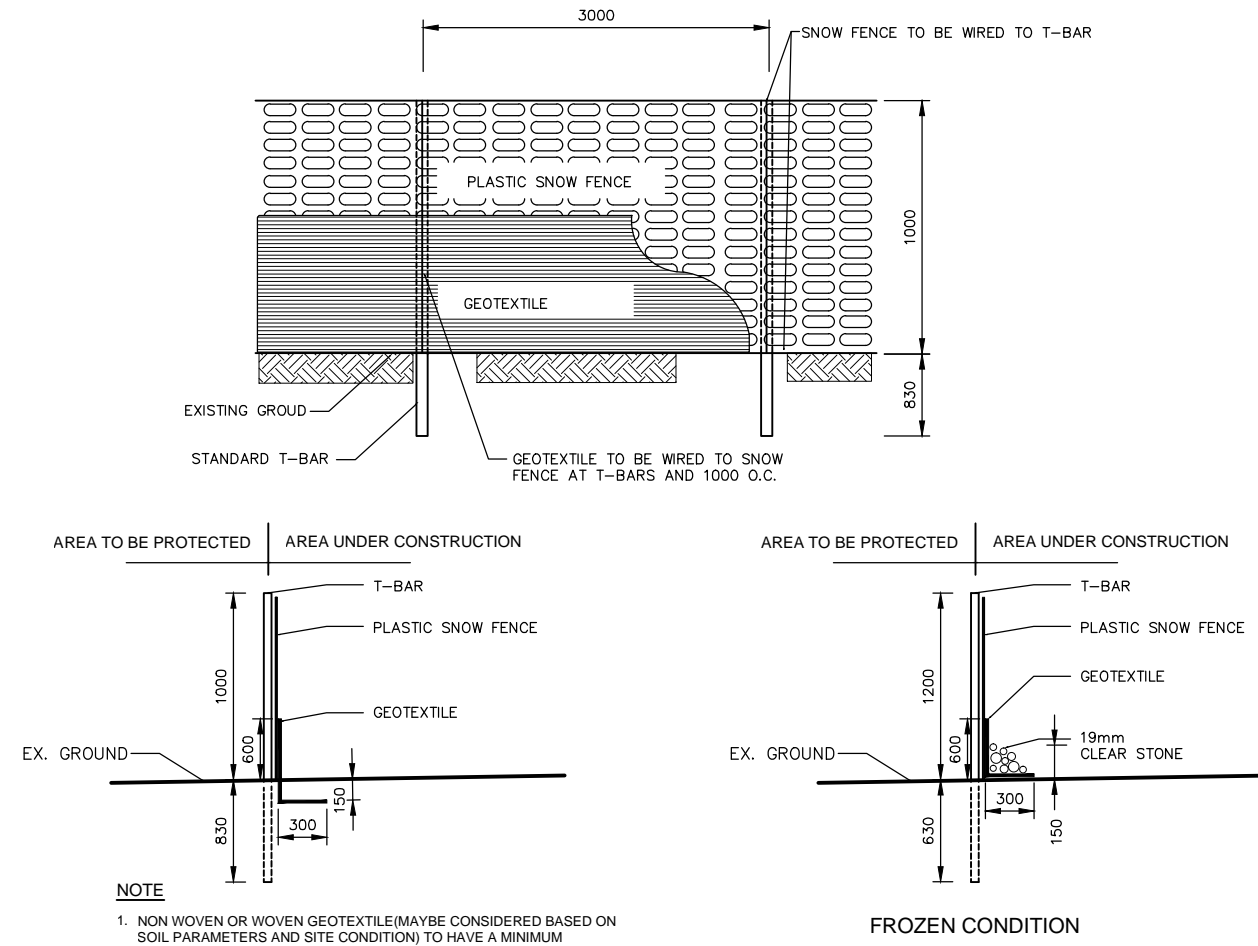
THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN MUNICIPAL RIGHT-OF-WAY.

ALL ROOF DOWNSPOUTS FROM GAVESSTROUGHS ARE TO DISCHARGE ONTO THE SURFACE VIA CONCRETE SPLASH PADS AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.

BH18
1.5m HIGH BLACK VINYL CHAIN LINK FENCE WITH 0.15m OFFSET WITH GREENBELT LAND

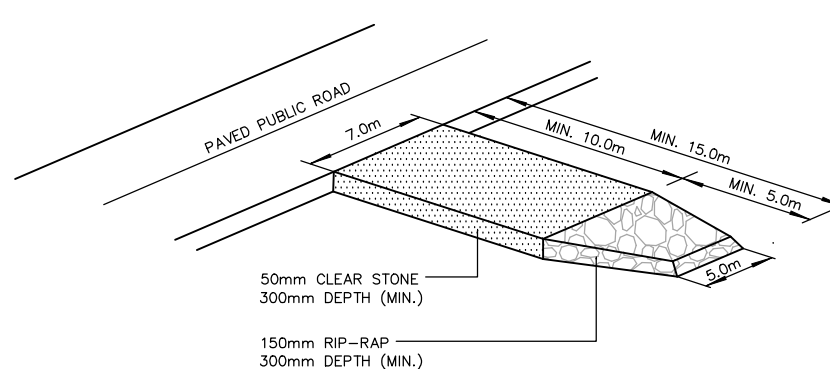


ALL MEASUREMENTS
ARE IN METRIC UNITS



NOTE:
1. NON WOVEN OR WOVEN GEOTEXTILE MAY BE CONSIDERED BASED ON SOIL PARAMETERS AND SITE CONDITION TO HAVE A MINIMUM EQUIVALENT OPENING SIZE OF 0.1mm AND A MAXIMUM EQUIVALENT OPENING SIZE OF 0.25mm.
2. WOVEN GEOTEXTILE TO HAVE A HORIZONTAL OVERLAP OF 1.0m AT JOINTS.
3. SNOW FENCE TO BE UV STABILIZED HIGH DENSITY POLYETHYLENE OR APPROVED EQUIVALENT.

SEDIMENT CONTROL FENCE C.M. STD. 2940.010
N.T.S.



NOTE:
1. GEOTEXTILE IS TO BE PLACED OVER THE ENTIRE AREA PRIOR TO STONE PLACEMENT.

CONSTRUCTION ACCESS AND MUDDING BAY DETAIL
N.T.S.

- LEGEND
- EXISTING ELEVATION TO REMAIN
 - EXISTING ELEVATION
 - DIRECTION OF SURFACE FLOW
 - PROPOSED ELEVATION
 - PROPOSED CATCHBASIN
 - PROPOSED CATCHBASIN WITH TEMPORARY
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - EXISTING TREE TO BE RELOCATED
 - SUMP PUMP
 - HYDRO METER
 - GAS METER
 - SANITARY SEWAGE EJECTOR
 - METER ROOM
 - ROOF DOWNSPOUTS
 - AREA DRAIN
 - FIRE HYDRANT
 - SEDIMENT CONTROL FENCE
 - TREE HOARDING
 - FRAMED TREE HOARDING
 - SOLID PLYWOOD HOARDING
 - PROPOSED GAS MAIN
 - PROPOSED HYDRO

9	DEC 09 2025	REVISED AS PER SITE PLAN COMMENTS.	S.C.
8	JUN 25 2025	REVISED AS PER CVC COMMENTS.	S.C.
7	APR 17 2025	REVISED AS PER CVC COMMENTS.	S.C.
6	FEB 19 2025	ADDED LONG TERM STABLE SLOPE LINE BY SOIL ENGINEERS	S.S.
5	DEC 03 2024	ADDED BUILDING ENVELOPE AT LOT 35, HOUSE NO 6721	S.S.
4	APR 25 2024	REVISED AS PER ARCHITECT COMMENTS.	D.W.
3	APR 11 2024	REVISED AS PER ARCHITECT COMMENTS.	D.W.
2	MAR 28 2024	ADDED AVERAGE AND ESTABLISHED GRADE CALCULATION.	D.W.
1	MAR 06 2024	REVISED AS PER ARCHITECTURAL PLAN.	D.W.
No.	DATE	REVISION	INIT.



KEY PLAN N.T.S.

GENERAL NOTES

- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS. IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREET LINES MUST BE LOCATED BY THE CONTRACTOR AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTORS SHALL BE INSTALLED AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- THE ELEVATION OF THE SIDE SWALE AT THE BUILDING LINE SHALL BE A MINIMUM OF 150mm BELOW THE BUILDING LINE AT THE CENTRE OF THE SWALE.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150mm BELOW BRICK VENEER ELEVATION.
- PRIOR TO ANY GRADING, THE BUILDER IS TO INQUIRE TO THE SOIL CONSULTANT INSIDE THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SLOPED COMPLETELY WITH A MINIMUM DEPTH OF 100mm OF TOPSOIL AND A MINIMUM DEPTH OF 100mm OF TOPSOIL AND A MINIMUM DEPTH OF 100mm OF TOPSOIL ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 100mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SCODING ON ANY LOTS IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING OR FUTURE SIDEWALK AND CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
- DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8%.
- LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 8%.
- WHERE GRADES IN EXCESS OF 8% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1 GRADE CHANGES IN EXCESS OF 3m ARE TO BE ACCOMPANIED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- ALL BACKFILL FOR SEWERS, WATERMANS AND UTILITIES ON THE ROAD ALLOWANCE AND THE INTERNAL SITE MUST BE COMPACTED TO MINIMUM 90% S.D. EXCEPT FOR TOP 300mm WHICH MUST BE COMPACTED TO 95% S.D. ON THE ROAD ALLOWANCE UNLESS OTHERWISE NOTED AND UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL SOILS CONSULTANT.
- THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNDEGRADABLE BACKFILL MATERIAL AS PER C.M. STD. 220.01 AND 220.02 UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAINED.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT MUNICIPAL STANDARDS & SPECIFICATIONS.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER C.M. STD. 2940.010.



C.M. BENCHMARK No. 230 ELEVATION: 200.400

DESCRIPTION: ON THE NORTH FACE AT THE WEST CORNER OF A RED BRICK BUNGALOW #330 ON THE SOUTH SIDE OF DERRY ROAD WEST, 30m EAST OF MCLAUGHLIN ROAD.

SKIRA & ASSOCIATES LTD.
CONSULTING ENGINEERS
3464 Semenyk Court, Suite 100, Mississauga, Ontario L5C 4P8
Tel. (905) 276-5100 Fax. (905) 270-1936 Email - info@skiraconsult.ca

PROPOSED RESIDENTIAL BUILDINGS PART OF LOT 10, CONCESSION 1

6718, 6721 & 6722 LONGVIEW PLACE

BALBIR SIGNH BABRA

C/O GURSEWAK SINGH, 31 SHERWOOD CRESCENT, BRAMPTON ON L6X 2C9 TEL: (905) 965-1610



SITE EROSION AND SEDIMENT CONTROL PLAN

DATE: NOVEMBER 2023	AREA: Z-00	DWG No.
SCALE: 1:300	DRAWN BY: D.W.	C103
CITY FILE: XXXXXX	REGION FILE: XXXXXX	PROJECT No. 219-M117