

WORKS IN THE MUNICIPAL RIGHT-OF-WAY BEING PERFORMED BY THE CITY CONTRACTOR WILL REQUIRE 4 TO 6 WEEKS NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION AFTER ALL DRAWINGS HAVE BEEN APPROVED AND SECURITIES HAVE BEEN RECEIVED.

PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR IS TO REFER TO THE TREE PRESERVATION PLAN PREPARED BY THE LANDSCAPE ARCHITECT.

NOTE:
FOR ADDITIONAL INFORMATION, DETAILS, DIMENSIONS AND CONFORMITY TO THE SITE PLAN, THE CONTRACTOR MUST REFER TO THE ARCHITECTURAL SITE PLAN.

FIRE ACCESS ROUTE WILL BE DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11,363 KG. PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M.

PRIOR TO ANY CONSTRUCTION, THE BUILDER IS TO CONFIRM WITH ARCHITECT OR THE OWNER, THAT THE PROPOSED FINISHED FLOOR, BASEMENT FLOOR AND TOP OF WALL ELEVATIONS ARE IN CONFORMITY WITH THE ARCHITECTURAL DRAWINGS.

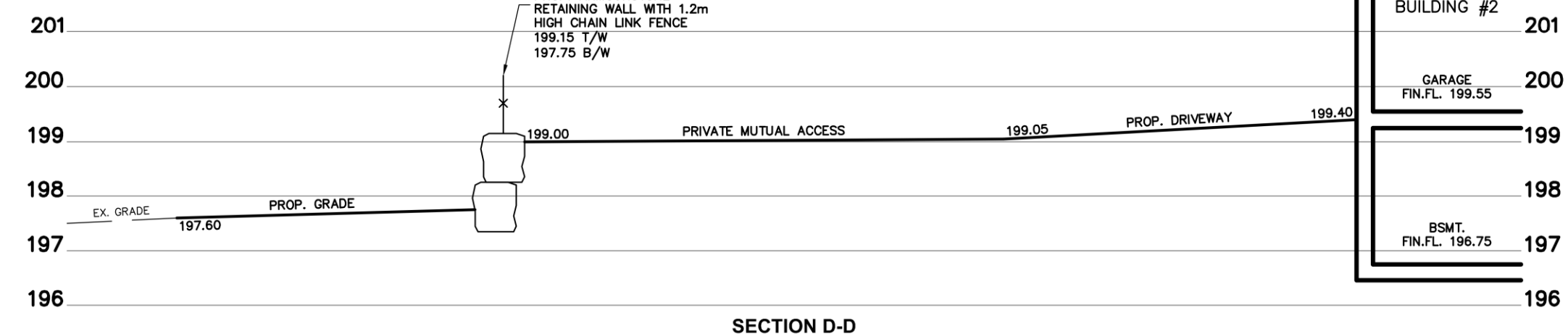
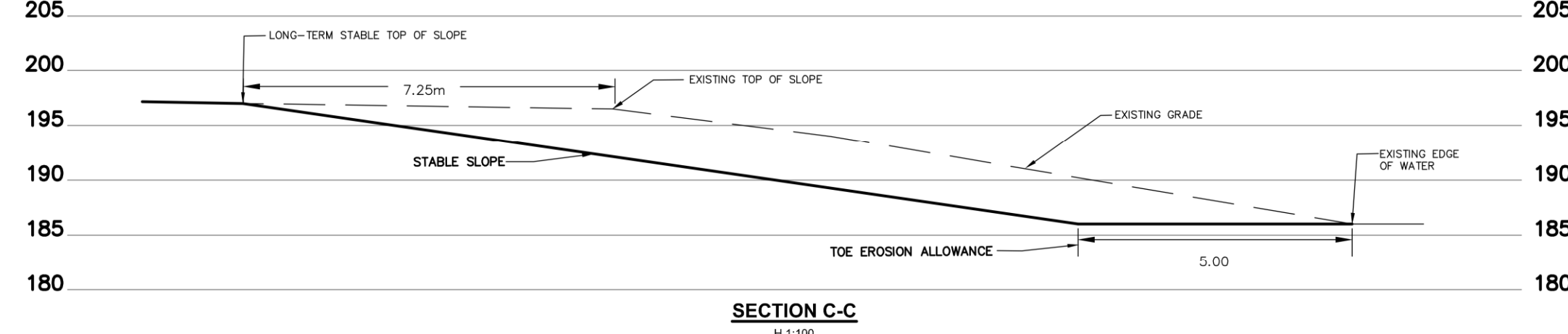
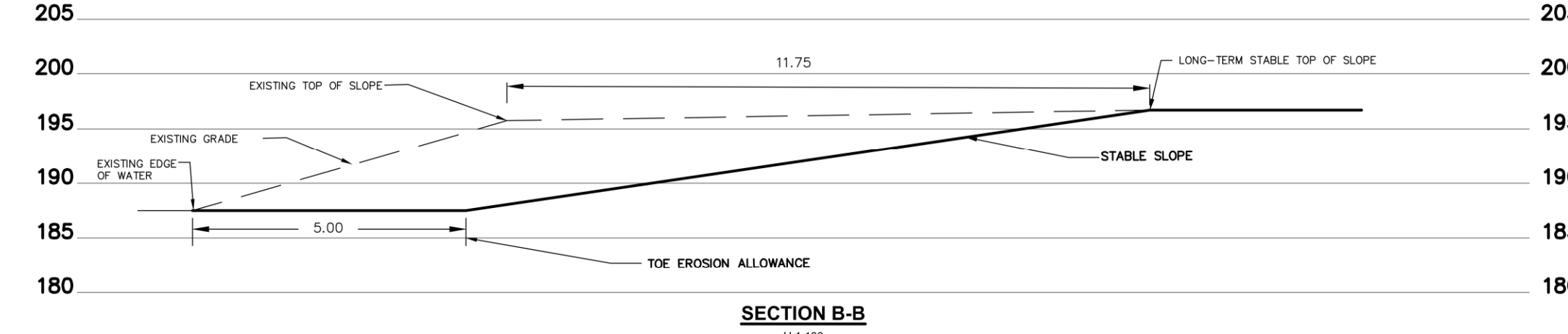
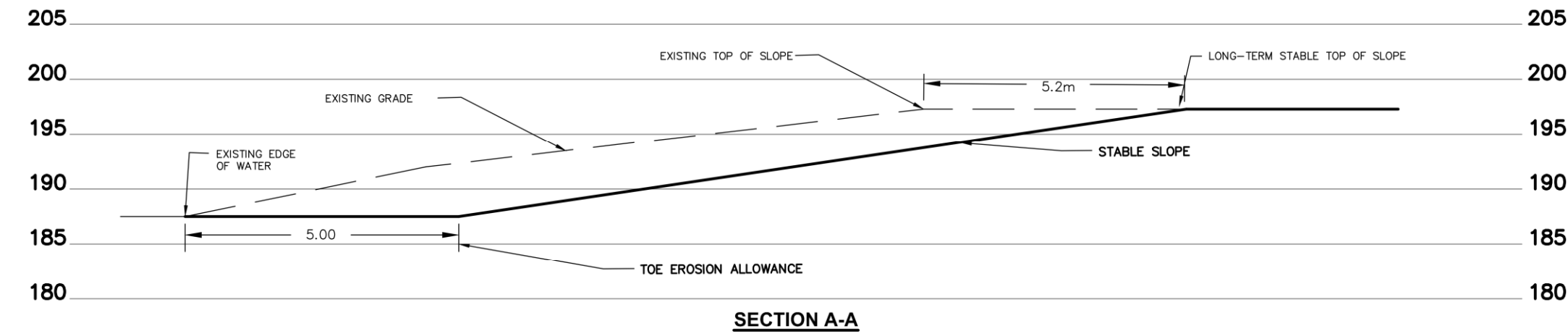
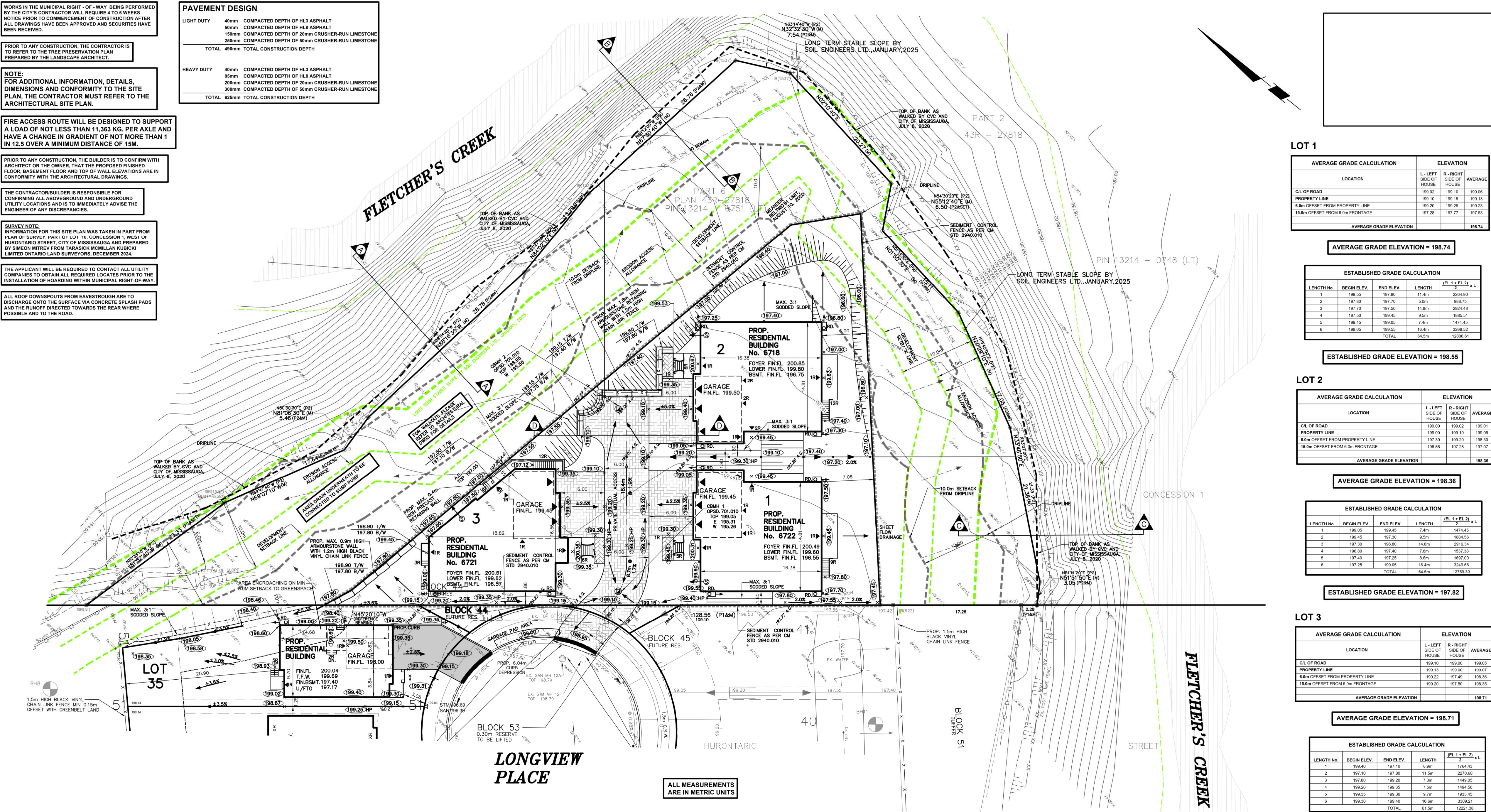
THE CONTRACTOR/BUILDER IS RESPONSIBLE FOR CONFIRMING ALL ABOVEGROUND AND UNDERGROUND UTILITY LOCATIONS AND IS TO IMMEDIATELY ADVISE THE ENGINEER OF ANY DISCREPANCIES.

SURVEY NOTE:
INFORMATION FOR THIS SITE PLAN WAS TAKEN IN PART FROM PLAN OF SURVEY, PART OF LOT 16, CONCESSION 1, WEST OF HURONTARIO STREET, CITY OF MISSISSAUGA, AND PREPARED BY SIMON MITREY FROM TARASICK MCILLAN KUBICKI LIMITED ONTARIO LAND SURVEYORS, DECEMBER 2024.

THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN MUNICIPAL RIGHT-OF-WAY.

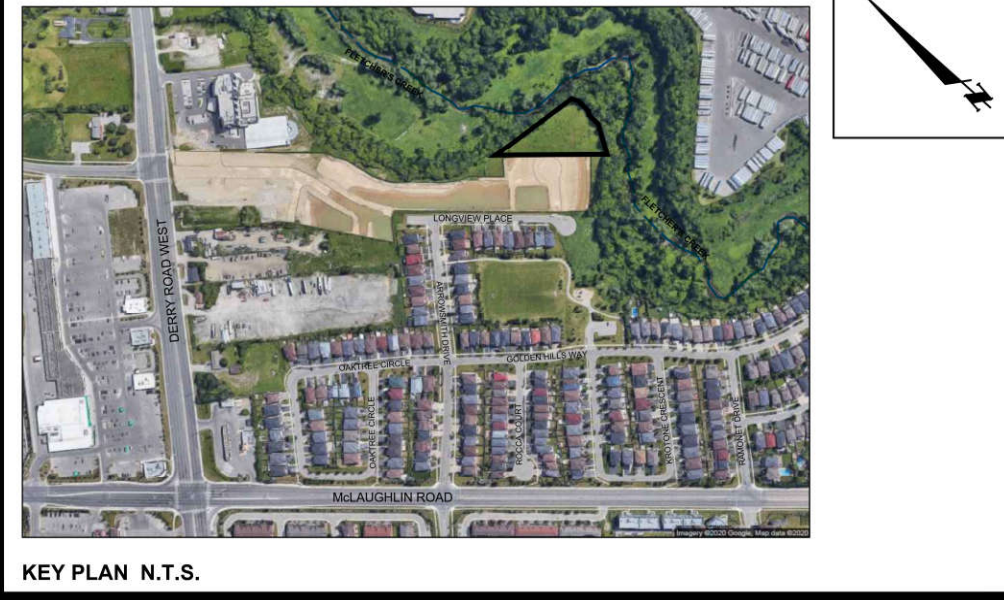
ALL ROOF DOWNSPOUTS FROM GAVENSTROUW ARE TO DISCHARGE ONTO THE SURFACE VIA CONCRETE PLASH PADS AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.

PAVEMENT DESIGN			
LIGHT DUTY	40mm	COMPACTED DEPTH OF H/L3 ASPHALT	
	50mm	COMPACTED DEPTH OF H/L3 ASPHALT	
	150mm	COMPACTED DEPTH OF 20mm CRUSHER-RUN LESTONE	
	200mm	COMPACTED DEPTH OF 40mm CRUSHER-RUN LESTONE	
TOTAL 400mm TOTAL CONSTRUCTION DEPTH			
HEAVY DUTY	40mm	COMPACTED DEPTH OF H/L3 ASPHALT	
	80mm	COMPACTED DEPTH OF H/L3 ASPHALT	
	200mm	COMPACTED DEPTH OF 20mm CRUSHER-RUN LESTONE	
	300mm	COMPACTED DEPTH OF 40mm CRUSHER-RUN LESTONE	
TOTAL 620mm TOTAL CONSTRUCTION DEPTH			



- LEGEND
- EXISTING ELEVATION TO REMAIN
 - EXISTING ELEVATION
 - DIRECTION OF SURFACE FLOW
 - PROPOSED ELEVATION
 - PROPOSED CATCHBASIN
 - PROPOSED CATCHBASIN WITH TEMPORARY SEDIMENT CONTROL
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - EXISTING TREE TO BE RELOCATED
 - SUMP PUMP
 - HYDRO METER
 - GAS METER
 - SANITARY SEWAGE EJECTOR
 - METER ROOM
 - ROOF DOWNSPOUTS
 - AREA DRAIN
 - FIRE HYDRANT
 - SEDIMENT CONTROL FENCE
 - TREE HOARDING
 - FRAMED TREE HOARDING
 - SOLID PLYWOOD HOARDING
 - PROPOSED GAS MAIN
 - PROPOSED HYDRO

No.	DATE	REVISION	INIT.
9.	DEC 09 2025	REVISED AS PER SITE PLAN COMMENTS	S.C.
8.	JUN 25 2025	REVISED AS PER CVC COMMENTS	S.C.
7.	APR 17 2025	REVISED AS PER CVC COMMENTS	S.C.
6.	FEB 19 2025	ADDED LONG TERM STABLE SLOPE LINE BY SOIL ENGINEERS	S.S.
5.	DEC 03 2024	ADDED BUILDING ENVELOPE AT LOT 35 HOUSE NO 6721	S.S.
4.	APR 25 2024	REVISED AS PER ARCHITECT COMMENTS	D.W.
3.	APR 11 2024	REVISED AS PER ARCHITECT COMMENTS	D.W.
2.	MAR 28 2024	ADDED AVERAGE AND ESTABLISHED GRADE CALCULATION	D.W.
1.	MAR 06 2024	REVISED AS PER ARCHITECTURAL PLAN	D.W.



- GENERAL NOTES
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS. IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREET LINES MUST BE LOCATED BY THE OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
 - ALL CONNECTORS SHALL BE INSTALLED AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS.
 - BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
 - THE ELEVATION OF THE SIDE SWALE AT THE BUILDING LINE SHALL BE A MINIMUM OF 150mm BELOW THE BUILDING LINE AT THE CENTER OF THE SWALE.
 - OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150mm BELOW BRICK VENEER ELEVATION.
 - PRIOR TO ANY CONSTRUCTION, THE BUILDER IS TO INQUIRE TO THE SOIL CONSULTANT TO ADVISE THE ENGINEER THAT THE LOT HAS BEEN GRAZED AND TOPSOILED AND SLOTTED COMPLETELY WITH A MINIMUM DEPTH OF 100mm OF TOPSOIL. THE MINIMUM DEPTH OF TOPSOIL SHALL BE 100mm. THE TOPSOIL SHALL BE COMPACTED TO A MINIMUM OF 90% P.D. ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75mm OF ASPHALT BETWEEN THE CURBS AND THE DRIVEWAY.
 - NO SODDING ON ANY LOTS IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
 - THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING OR FUTURE SIDEWALK AND CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
 - DRIVEWAY GRADERS SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8%.
 - LAWN AND SNAILES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 8%.
 - WHERE GRADERS IN EXCESS OF 8% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 8% GRADE CHANGES IN EXCESS OF 8% ARE TO BE ACCOMPANIED BY THE USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
 - ALL BACKFILL FOR SEWERS, WATERMANS AND UTILITIES ON THE ROAD ALLOWANCE AND THE INTERNAL SITE MUST BE COMPACTED TO MINIMUM 90% P.D. EXCEPT FOR TOP 300mm WHICH MUST BE COMPACTED TO 90% P.D. ON THE ROAD ALLOWANCE UNLESS OTHERWISE NOTED AND UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL SOILS CONSULTANT.
 - THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNBURNABLE BACKFILL MATERIAL AS PER C.M. STD. 2228.040 AND 2228.052 UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAINED.
 - ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT MUNICIPAL STANDARDS & SPECIFICATIONS.
 - SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER C.M. STD. 2940.010.

- ROADS
- ALL FILL WITHIN ROAD ALLOWANCE AND EASEMENTS TO BE COMPACTED TO MIN 90% STANDARD PROCTOR DENSITY. THE SUBMITTAL AND COMPACTION OF ALL FILL MATERIALS SHALL BE CONFIRMED BY A RECOGNIZED SOIL CONSULTANT TO THE CITY ENGINEER AND THE SUBGRADE OF ALL ROADWAYS SHALL BE PROOF ROLLED UNDER THE SUPERVISION OF THE SOILS CONSULTANT PRIOR TO THE INSTALLATION OF ANY ROAD BASE MATERIALS.
 - THE DEVELOPER/CONTRACTOR MUST ENSURE THAT A BUREAU CERTIFICATE IS ISSUED BY THE GEOTECHNICAL SOILS CONSULTANT TO THE ENGINEER. ONLY UPON INSPECTION AND APPROVAL OF ANY ROAD BASE MATERIALS BE PLACED. FAILURE TO FOLLOW THIS PROCEDURE WILL MEAN THE REMOVAL OF ROAD BASE MATERIALS AND/OR ADDITIONAL TESTING THAT PROPER COMPACTION HAS BEEN ACHIEVED AT THE SUBGRADE AT DEVELOPER/CONTRACTOR'S EXPENSE.
 - THE DEVELOPER/CONTRACTOR MUST ENSURE THAT A BUREAU CERTIFICATE IS ISSUED BY THE GEOTECHNICAL SOILS CONSULTANT TO THE ENGINEER. ONLY UPON INSPECTION AND APPROVAL OF ANY ROAD BASE MATERIALS BE PLACED. FAILURE TO FOLLOW THIS PROCEDURE WILL MEAN THE REMOVAL OF ROAD BASE MATERIALS AND/OR ADDITIONAL TESTING THAT PROPER COMPACTION HAS BEEN ACHIEVED AT THE SUBGRADE AT DEVELOPER/CONTRACTOR'S EXPENSE.
 - TRENCH BACKFILLING ON PROPOSED ROADS SHALL COMPLY WITH CITY OF MISSISSAUGA SECTION 42.04. TRENCH BACKFILLING ON ROADS AS PROVIDED IN THE CITY'S DEVELOPMENT REQUIREMENT MANUAL.
 - THE TOP 100mm OF THE SUBGRADE IS TO BE COMPACTED TO A MINIMUM 90% OF SPD WITHIN 7% OF THE OPTIMUM MOISTURE CONTENT.
 - ALL EXISTING EXCAVATIONS WITHIN EXISTING ROAD ALLOWANCE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH CRUSHED C MATERIAL AND COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR DENSITY. SURFACE RESTORATION SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITION IN ACCORDANCE WITH S.S. 907.
 - CURB TO BE AS PER O.P. 8.0, 800-040 UNLESS OTHERWISE NOTED.
 - SUBURBAN INFRASTRUCTURE (A.I.) CURB TO BE MINIMUM 100mm AS PER C.M. STD. 2228.040 AND 2228.052.
 - ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REGENERATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF CITY OF MISSISSAUGA.

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF SINGLE FAMILY DWELLINGS AT 6718-6722 LONGVIEW PLACE AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADINGS AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

SIGNATURE: DATE: DECEMBER 9, 2025



C.M. BENCHMARK No. 230 ELEVATION: 200.400
DESCRIPTION: ON THE NORTH FACE AT THE WEST CORNER OF A RED BRICK BUNGALOW #320 ON THE SOUTH SIDE OF DERRY ROAD WEST, 30m EAST OF MCLAUGHLIN ROAD.

SKIRA & ASSOCIATES LTD.
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PROPOSED RESIDENTIAL BUILDINGS
PART OF LOT 10, CONCESSION 1

6718, 6721 & 6722 LONGVIEW PLACE
BALBIR SIGNH BABRA
C/O GURSEWAK SINGH, 31 SHERWOOD CRESCENT, BRAMPTON ON L6X 2C9 TEL: (905) 965-1610



SITE GRADING PLAN

DATE: NOVEMBER 2023	AREA: Z-00	DWG No. C102
SCALE: 1:300	DRAWN BY: D.W.	PROJECT No. 219-M117
CITY FILE: XXXXXX	REGION FILE: XXXXXX	