

THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER XXX-2026

A by-law to amend By-law Number 0225-2007, as amended.

WHEREAS pursuant to Section 34 and 36 of the Planning Act, R.S.O. 1990, c.P.13, as amended, the Council of a local municipality may pass a zoning by-law;

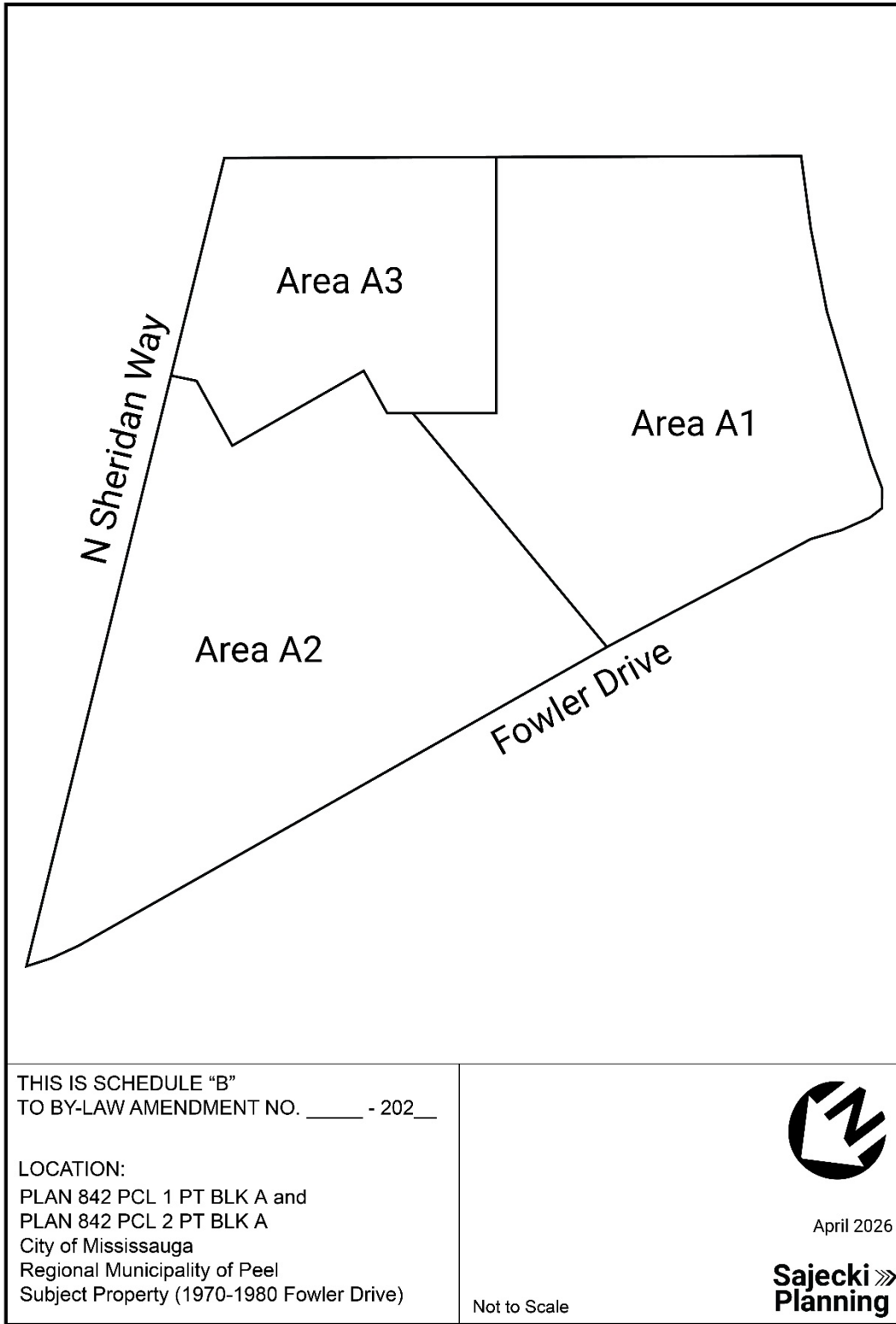
NOW THEREFORE, the Council of the Corporation of the City of Mississauga ENACTS as follows:

1. The lands subject to this By-law consist of Plan of Part of Block A Registered Plan 842, City of Mississauga, as shown on Schedule “A”, “B”, and “C” attached hereto, and that Schedule “A”, “B”, and “C” form part of this By-law.
2. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by rezoning the lands subject to this By-law from “RA4-2” to “RA5-XX” on Area ‘A3’, as shown on Schedule “A”, “B”, and “C” of this By-law, with the following exceptions:

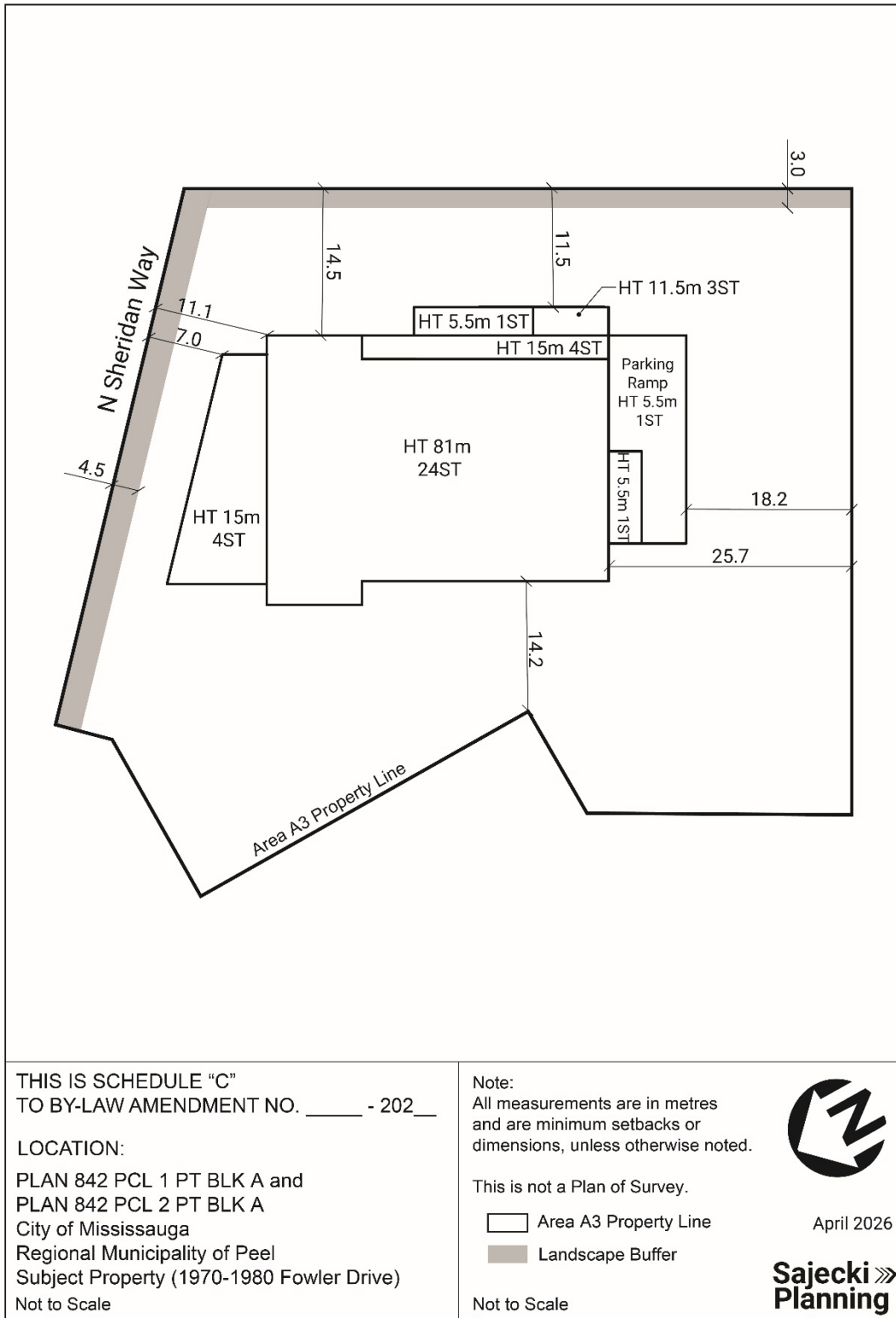
4.15.6.XX	Exception RA5-XX	Map #XX	By-law: XXX-2026
In a RA5-XX zone the permitted uses and applicable regulations shall be as specified for a RA5 zone except that the following uses/regulations shall apply:			
Regulations			
4.15.6.XX.1	Notwithstanding Article 2.1.1.3 of this By-law a physical service and utilities structure for providing electric power transmission shall not be subject to the zone regulations		---
4.15.6.XX.2	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		---
4.15.6.XX.3	Minimum number of resident parking spaces per rental apartment dwelling unit		0.85 resident spaces per unit
4.15.6.XX.4	Minimum number of visitor parking spaces per rental apartment dwelling unit		0.15 visitor spaces per unit
4.15.6.XX.5	Maximum Floor Space Index – Apartment Zone in Area A1 and Area A2 identified on Schedule “B” of this Exception, which are treated as a single parcel for the calculation of Floor Space Index		1.7
4.15.6.XX.6	Maximum Floor Space Index – Apartment Zone on Area A3 identified on Schedule “B” of this Exception		4.0
4.15.6.XX.7	Notwithstanding any provision of this By-law to the contrary, the calculation of height and storey for apartment buildings shall be exclusive of mechanical or architectural appurtenances such as mechanical equipment, mechanical penthouse, elevator machine rooms, telecommunication equipment and enclosures, parapets , turrets, cupolas, and elevator and stair enclosures, noise barriers, and wind screens, located on the roof of a dwelling provided the top of such element is no		---

	higher than 7.5 m above the height limit otherwise applicable	
4.15.6.XX.8	Notwithstanding Sentence 4.15.6.XX.7 of this Exception, maximum height of an elevator enclosure above the height of the mechanical penthouse for the dwelling	4.1 m
4.15.6.XX.9	Maximum height .	81 m and 24-Storeys
4.15.6.XX.10	Minimum front yard for that portion of the dwelling with a height less than or equal to 20.0 m	7.0 m
4.15.6.XX.11	Maximum encroachment of a balcony located above the first storey into a required yard	1.5 m
4.15.6.XX.12	Maximum projection of a balcony located above the first storey measured from the outermost face or faces of the building from which the balcony projects	2.6 m
4.15.6.XX.13	Minimum setback from a parking structure completely below finished grade, inclusive of external access stairwells, to any lot line	1.0 m
4.15.6.XX.14	Minimum depth of a landscaped buffer along the western lot line	0.0 m
4.15.6.XX.15	Outdoor amenities, a hydro-electrical transformer and pad, walkways, wind screens, and ventilation shafts shall be permitted to encroach into a required landscape buffer	---
4.15.6.XX.16	Minimum percentage of total required amenity area to be provided in one contiguous area	33%
4.15.6.XX.17	Parking areas, amenity area , outside at-grade amenity areas , and landscaped areas may be shared across Area A1, Area A2, and Area A3 as provided by Schedule “B” of this Exception	
4.15.6.XX.18	All site development plans shall comply with Schedule “C” of this Exception	

SCHEDULE “B” (EXCEPTION SCHEDULE RA5-XX ZONE)



SCHEDULE “C” (EXCEPTION SCHEDULE RA5-XX ZONE)





THIS IS SCHEDULE “C”
TO BY-LAW AMENDMENT NO. _____ - 202__

LOCATION:
PLAN 842 PCL 1 PT BLK A and
PLAN 842 PCL 2 PT BLK A
City of Mississauga
Regional Municipality of Peel
Subject Property (1970-1980 Fowler Drive)
Not to Scale

Note:
All measurements are in metres
and are minimum setbacks or
dimensions, unless otherwise noted.

This is not a Plan of Survey.

-  Area A3 Property Line
-  Landscape Buffer

Not to Scale



April 2026

Sajecki »
Planning